## RIO MARINE VILLAGE

#### PHASE I EAST PERMIT SET 9.20.23

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date: **9/20/23** job no: **4301.20** drawn by:**AP** reviewed by: CBA issue history:

 $\Delta$  Date

Sheet Title

BLDG TYPE-2 MULTIFAMILY PROJECT COVER SHEET



INIDEX	$\bigcirc F$	DRAWINGS
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	STRUCTURAL BLDG TYPE 2			MECHANICAL BLDG TYPE 2				
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION	SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION	
S0.02.1	BLDG TYPE 2 MULTIFAMILY PROJECT COVER SHEET	09/20/23		M0.00	MECHANICAL SYMBOLS LEGEND	9/20/23		
\$1.02.1	BLDG TYPE 2 MULTIFAMILY FOUNDATION PLAN	09/20/23		M1.02.1	BLDG TYPE 2-MULTIFAMILY-FIRST FLOOR PLAN - MECHANICAL	9/20/23	1	
\$1.02.2	BLDG TYPE 2 MULTIFAMILY SECOND FLOOR FRAMING PLAN	09/20/23		M1.02.2	BLDG TYPE 2-MULTIFAMILY-SECOND FLOOR PLAN - MECHANICAL	9/20/23		
\$1.02.3	BLDG TYPE 2 MULTIFAMILY THIRD FLOOR FRAMING PLAN	09/20/23		M1.02.3	BLDG TYPE 2-MULTIFAMILY-THIRD FLOOR PLAN - MECHANICAL	9/20/23		
\$1.02.4	BLDG TYPE 2 MULTIFAMILY ROOF FRAMING PLAN	09/20/23		M4.01	UNIT A1 - MECHANICAL	9/20/23		
\$2.02.1	BLDG TYPE 2 STRUCTURAL NOTES & SCHEDULES	09/20/23		M4.02	UNIT A2 - MECHANICAL	9/20/23		
\$2.02.2	BLDG TYPE 2 WIND LOADS & TYPICAL DETAILS	09/20/23		M4.03	UNIT B1 - MECHANICAL	9/20/23		
\$2.02.3	BLDG TYPE 2 TYPICAL DETAILS	09/20/23		M4.04	UNIT B2 - MECHANICAL	9/20/23		
\$2.02.4	BLDG TYPE 2 TYPICAL DETAILS	09/20/23		M4.05	UNIT B2 ALT - MECHANICAL	9/20/23		
\$3.02.1	BLDG TYPE 2 SECTIONS	09/20/23		M5.03	MULTIFAMILY SCHEDULES - MECHANICAL	9/20/23	1	
\$3.02.2	BLDG TYPE 2 SECTIONS	09/20/23		M6.01	DETAILS - MECHANICAL	9/20/23		
11				M6.02	DETAILS - MECHANICAL	9/20/23		
				M6.04	DETAILS - MECHANICAL	9/20/23		
				M6.05	DETAILS - MECHANICAL	9/20/23		
				M6.06	DETAILS - MECHANICAL	9/20/23		
				M6.07	DETAILS - MECHANICAL	9/20/23		
]				M7.01	RISERS - MECHANICAL	9/20/23		
				17				

SHEET NUMBER	Sheet name	SHEET ISSUE DATE	CURRENT REVISION
E0.00	ELECTRICAL SYMBOLS LEGEND	9/20/23	112 1 1010 1 1
E0.10	SITE PLAN - ELECTRICAL - RIO MARINA	9/20/23	
E0.11	SITE PLAN - ELECTRICAL - RIO PRESERVE	9/20/23	
E1.02.1	BLDG TYPE 2 -MULTIFAMILY-FIRST FLOOR PLAN - ELECTRICAL	9/20/23	1
E1.02.2	BLDG TYPE 2-MULTIFAMILY-SECOND FLOOR PLAN - ELECTRICAL	9/20/23	
E1.02.3	BLDG TYPE 2-MULTIFAMILY-THIRD FLOOR PLAN - ELECTRICAL	9/20/23	
E2.01	ENLARGED ELECTRICAL ROOMS	9/20/23	1
E2.02	ENLARGED ELEVATOR EQUIPMENT ROOMS	9/20/23	
E4.01	UNIT A1 - ELECTRICAL	9/20/23	
E4.02	UNIT A2 - ELECTRICAL	9/20/23	
E4.03	UNIT B1 - ELECTRICAL	9/20/23	
E4.04	UNIT B2 - ELECTRICAL	9/20/23	
E4.05	UNIT B2 ALT - ELECTRICAL	9/20/23	
E5.01	POWER RISER DIAGRAMS RESIDENTIAL 2	9/20/23	
E6.02	MULTIFAMILY CALCS AND PANEL SCHEDULES	9/20/23	1
E6.03	MULTIFAMILY BUILDING HOUSE PANELS	9/20/23	
E6.04	MULTIFAMILY LIGHTING SCHEDULES	9/20/23	1
E7.01	ELECTRICAL DETAILS	9/20/23	
E7.02	FIRE ALARM RISER DIAGRAM	9/20/23	1

	PLUMBING BLDG TYPE 2		
SHEET NUMBER	Sheet name	SHEET ISSUE DATE	CURRENT REVISION
P0.00	PLUMBING SYMBOLS LEGEND	9/20/23	
P0.10	SITE PLAN - PLUMBING - RIO MARINE	9/20/23	1
P0.11	SITE PLAN - PLUMBING - RIO PRESERVE	9/20/23	
P1.02.0	BLDG TYPE 2-MULTIFAMILY-UNDERGROUND PLAN - PLUMBING	9/20/23	
P1.02.1	BLDG TYPE 2-MULTIFAMILY-FIRST FLOOR PLAN - PLUMBING	9/20/23	
P1.02.2	BLDG TYPE 2-MULTIFAMILY-SECOND FLOOR PLAN - PLUMBING	9/20/23	
P1.02.3	BLDG TYPE 2-MULTIFAMILY-THIRD FLOOR PLAN - PLUMBING	9/20/23	
P4.01	UNIT A1 - PLUMBING	9/20/23	
P4.02	UNTI A2 - PLUMBING	9/20/23	
P4.03	UNIT B1 - PLUMBING	9/20/23	
P4.04	UNIT B2 - PLUMBING	9/20/23	
P4.05	UNIT B2 ALT - PLUMBING	9/20/23	
P5.03	MULTIFAMILY SCHEDULES - PLUMBING	9/20/23	1
P5.04	MULTIFAMILY SCHEDULES - PLUMBING	9/20/23	
P6.01	DETAILS - PLUMBING	9/20/23	
P6.03	DETAILS - PLUMBING	9/20/23	
P6.04	DETAILS - PLUMBING	9/20/23	
P6.06	DETAILS - PLUMBING	9/20/23	
P6.07	DETAILS - PLUMBING	9/20/23	
P6.08	DETAILS - PLUMBING	9/20/23	
P7.01	RISERS - PLUMBING	9/20/23	
P7.02	RISERS - PLUMBING	9/20/23	
P7.03	RISERS - PLUMBING	9/20/23	

THE PRESERVE AT RIO MARINE VILLA

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date: 9/20/23 job no: 4301.20 drawn by: TK reviewed by: OL

issue history: <sub>Date</sub>

Sheet Title

BLDG TYPE-2 MULTIFAMILY INDEX OF DRAWINGS

A0.10CC

A0.02.2

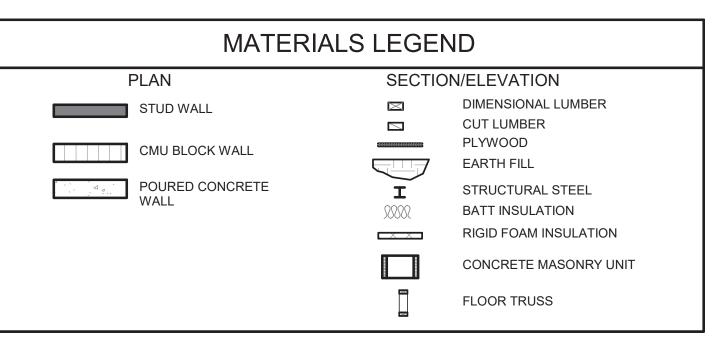
 $\cdots$ **BUILDING TYPE 2 BUILDING TYPE - APARTMENT** 

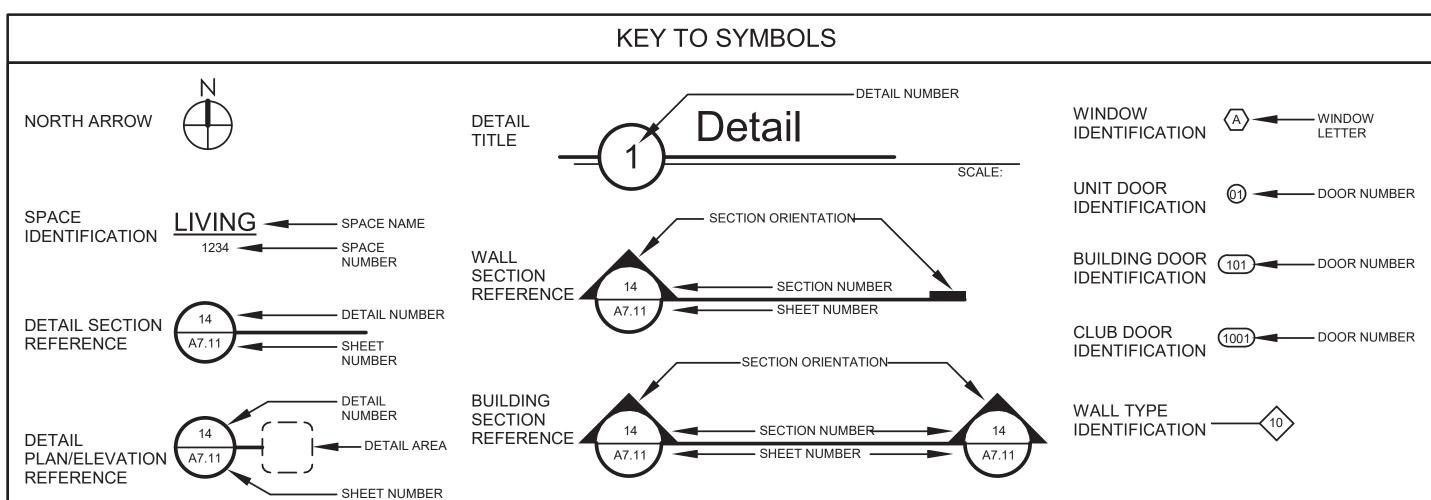
SIGNAGE NOTE: ALL SIGNAGE SHALL BE REVIEWED AT TIME OF BUILDING PERMIT FOR COMPLIANCE WITH MARTIN COUNTY SIGN REGULATIONS. NO SIGNAGE IS APPROVED AS PART OF THIS SITE PLAN REVIEW. 

**NOTE:** F.F.E. IS BASED ON CIVIL SITE PLAN DRAWINGS

#### MAINTENANCE NOTE

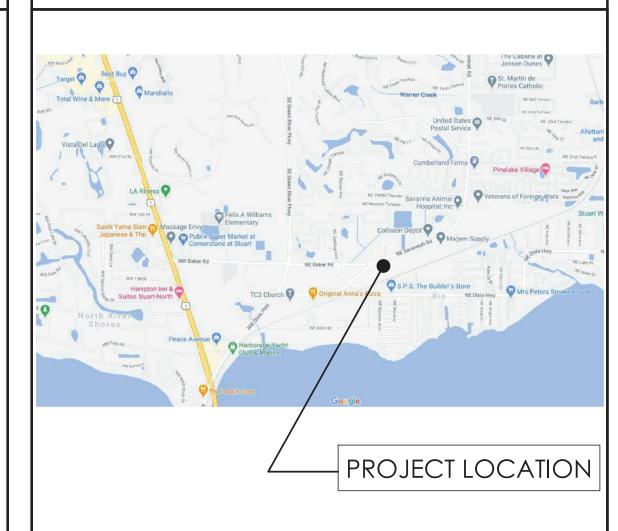
THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THE BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.



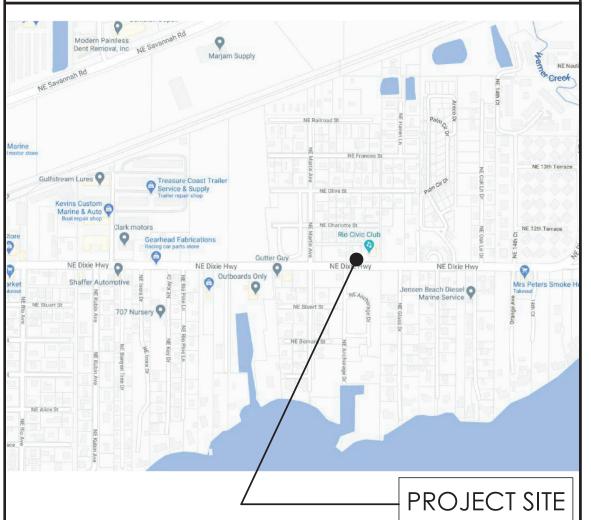


STANDARD ABBREVIATIONS								
A.B. ANCHOR BOLT A/C AIR CONDITIONER ADJ. ADJACENT A.H.U. AIR HANDLER UNIT ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATE BRG. BEARING BD. BOARD BLDG. BUILDING BLK. BLOCK B.M. BEAM BTM. BOTTOM COL. COLUMN CER. CERAMIC C.J. CONSTRUCTION JOINT CLG. CEILING C.M.U. CONCRETE BLOCK CONC. CONCRETE CONST. CONSTRUCTION CONT. CONTINUOUS CTR . CENTER D DRYER DBL. DOUBLE DET. DETAIL DIAM. DIAMETER DIM. DIMENSION DISP. DISPOSAL	D.L. DN. DRYW. D.W. DWG. E.A. E.I.F.S.  E.J. ELEV. E.P.S.  EQ. EST. EXIST. EXT. FN.FL. FIN. F.G. F.P. FTG. GA. GALV. GL. GYP. H.B. H.C.	DEAD LOAD DOWN DRYWALL DISHWASHER DRAWING EACH EXTERIOR INSULATION FINISH SYSTEM EXPANSION JOINT ELEVATION EXPANDED POLYSTYRENE SYSTEM EQUAL ESTIMATE EXISTING EXTERIOR FINISH FLOOR FINISH FIXED GLASS FIREPLACE FEET FOOTING GAGE GALVANIZED GLASS GYPSUM HOSE BIB HOLLOW CORE	HDWR. H.M. HORTZ. HGT. HTG. HTR IN. INSUL. INT. JST. JT. LB. LAW. LTG. MATL. MAX. M.C. MECH. MIN. MISC. M.O. M.T. MTL. O.A. O.C. O.D. OPP.	HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HEATER INCHES INSULATION INTERIOR JOIST JOINT POUND LAMINATED LAVATORY LIGHTING MATERIALS MAXIMUM MEDICAL CABINET MECHANICAL MINIMUM MISCELLANEOUS MASONRY OPENING METAL OVERALL ON CENTER OUTSIDE DIAMETER	OPT. P. P.C. PED. PERP. PL. PLYWD. PROP. P.S.F. P.S.I. P.T. PTN. P.H. QUAL. QUAN. R.A.G. RAD. R.D. REF. REINF. REQD. REV. RM. ROS. S.C. SCHED. SDNG SEC.	OPTIONAL PANTRY PULL CHAIN PEDESTAL PERPENDICULAR PLATE PLYWOOD PROPERTY POUND PER SQUARE FEET POUND PER SQUARE INCH PRESSURE TREATED PARTITION PAPER HOLDER QUALITY QUANTITY RETURN AIR GRILL RADIUS ROOF DRAIN REFRIGERATOR REINFORCE REQUIRED REVISION/REVERSE ROOM ROUGH SAWN SOLID CORE SCHEDULE SIDING SECTION	SH. SHT. SIM. S.G.D. SQ. S.S. STD. STO. STR. SUB. SUP. T.C. TEMP. THK. TYP. U.L. LABORAT VENT. VERT. VOL. V.T.R. W. W.C. W.D. WDW W.H. W.I.C. W.P.	SHELF SHEET SIMILAR SLIDING GLASS DOOR SQUARE STAINLESS STEEL STANDARD STORAGE STRUCTURAL SUBSTITUTE SUPPORT TRASH COMPACTOR TEMPERATURE THICK/THICKNESS TYPICAL UNDERWRITERS FORY VENTILATION VERTICAL VOLUME VENT THROUGH ROOF WIDTH/WIDE/WASHER WATER CLOSET WOOD WINDOW WATER HEATER WALK IN CLOSET WATERPROOF

#### VICINITY MAP



#### LOCATION MAP



#### APPLIED CODES

FLORIDA BUILDING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE

NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

FLORIDA STATUES

FLORIDA ADMINISTRATIVE CODE

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

#### PROJECT NARRATIVE

PROJECT NARRATIVE:

HE PROPOSED PROJECT IS LOCATED IN UNICORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS OMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY, RESTAURANT AND COMMERCIAL BUILDINGS AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL AND POOL DECK, BUT PROVIDED BY OTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

HE COMMERCIAL BUILDINGS WILL BE A 'COLD-DARK SHELL' CONSTRUCTION WITH ELEVATOR AND STAIRS, BUILD-OUT PROPOSED BY 'FUTURE TENANTS'. VARIOUS BUILDINGS WILL BE SHARED FOR BOTH RIO NORTH AND RIO SOUTH.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20

BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 10, 16, 17, 18, 19, 21

#### BUILDING IDENTIFICATION

BUILDING TYPE 1	= CLUBHOUSE
BUILDING TYPE 2	= APARTMENT
BUILDING TYPE 3	= APARTMENT
BUILDING TYPE 4	= TOWNHOME
BUILDING TYPE 5	= TOWNHOME
BUILDING TYPE 6	= TOWNHOME
BUILDING TYPE 7	= LIVE-WORK
BUILDING TYPE 8	= LIVE-WORK
BUILDING TYPE 10	= MARINE SERVICES
BUILDING TYPE 14	= RECREATIONAL
BUILDING TYPE 15	= APARTMENT
BUILDING TYPE 16	= APARTMENT
BUILDING TYPE 17	= MAIL KIOSK
BUILIDNG TYPE 18	= TRASH ENCLOSURE
BUILDING TYPE 19	= RECYCLING ENCLOSURE #1
BUILDING TYPE 20	= RECYLCING ENCLOSURE #2
BUILDING TYPE 21	= ENTRY FEATURE

#### CODE INFORMATION

#### **APARTMENT**

SPRINKLED: NFPA - 13R

.1 BUILDING USE / OCCUPANCY / TYPE GROUP R-2, S-2 CONSTRUCTION TYPE: TYPE V-B

.2 BUILDING HEIGHT (FBC TABLE 503)

GENERAL DISTRICT: 35'-0" 

7,000 SQ. FT. / PER FLOOR 12,250 SQ. FT. (INCREASE PER FBC 506.2) PROPOSED: REFER TO BUILDING AREA TABLES

ALLOWABLE AREA PER IBC 506.2.3:  $I_f = [F/P - 0.25] W/30$ 

 $I_f = [708/708 - 0.25] 30/30$  $I_f = 0.75$ 

1-FIRST FLOOR

 $A_{c} = [A_{t} + (NS \times I_{f})]$  $A_{c} = [7,000 + (7,000 \times 0.75)]$  $A_{q} = 12,250 SF$ 

#### **BUILDING TYPE 2 AREA - GROSS**

		MAXIMUM EXIT ACCESS TRAVEL DISTANCE MAXIMUM COMMON PATH OF EGRESS TI
1-FIRST FLOOR	9,843 SF	(FBC 1014.3)
2-SECOND FLOOR AP	9,882 SF	MAXIMUM DEAD END: 20' (FBC 1018.4)
3-THIRD FLOOR AP	9,805 SF	· · · · · · · · · · · · · · · · · · ·
		1.7 MINIMUM INTERIOR FINISH CLASSIFIC

OTAL BUILDING AREA: BUILDING TYPE 2 AREA - A/C

DOILDING THE 27 (NE/	/ (/ C
01-FIRST FLOOR	7,596
02-SECOND FLOOR AP	7,590
03-third floor ap	7,590
TOTAL BUILDING AREA:	22,776

1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601) STRUCTURAL FRAME: INTERIOR BEARING WALLS: 0 HOUR EXTERIOR BEARING WALLS: 0 HOURS **EXTERIOR NON-BEARING WALLS:** 0 HOUR INTERIOR NON-BEARING WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOUR

1.5 FIRE SEPARATION TENANT SEPARATION: CORRIDOR:

ROOF CONSTRUCTION:

1 HOUR (FBC 708.3) 1 HOUR (FBC 1018.1)

0 HOUR

1.6 EXIT ACCESS 1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE

REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURE IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THI MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA

MAXIMUM EXIT ACCESS TRAVEL DISTANCE : 250' (FBC 1016.2) MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' (FBC 1014.3)

1.7 MINIMUM INTERIOR FINISH CLASSIFICATION

NFPA 101 TABLE A.10.2.2

GROUP	JP SPRINKLERED (NFPA - 13R)							
	VERTICAL EXITS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES					
R-2	А	А	С					

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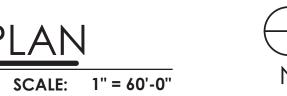
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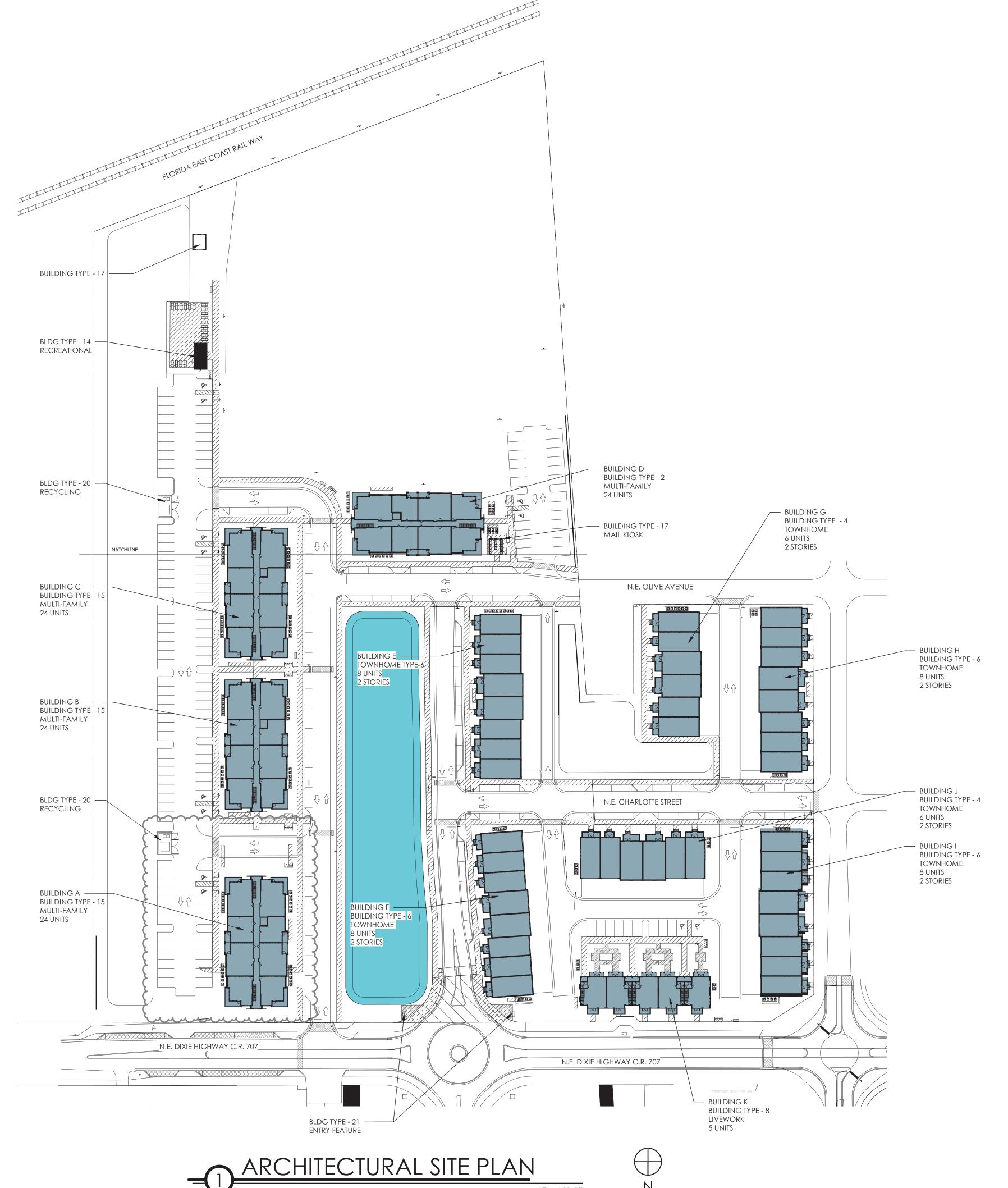
drawn by: **TK** reviewed by: OL

issue history: Date 1 11.6.23

Sheet Title

BLDG TYPE-2 MULTIFAMILY PROJECT DATA





MARINE <u>R</u> **PRESERVE** charlan • brock associates architects | • planners

date: 9/20/23 job no: **4301.20** drawn by: OL, TYA reviewed by: CBA

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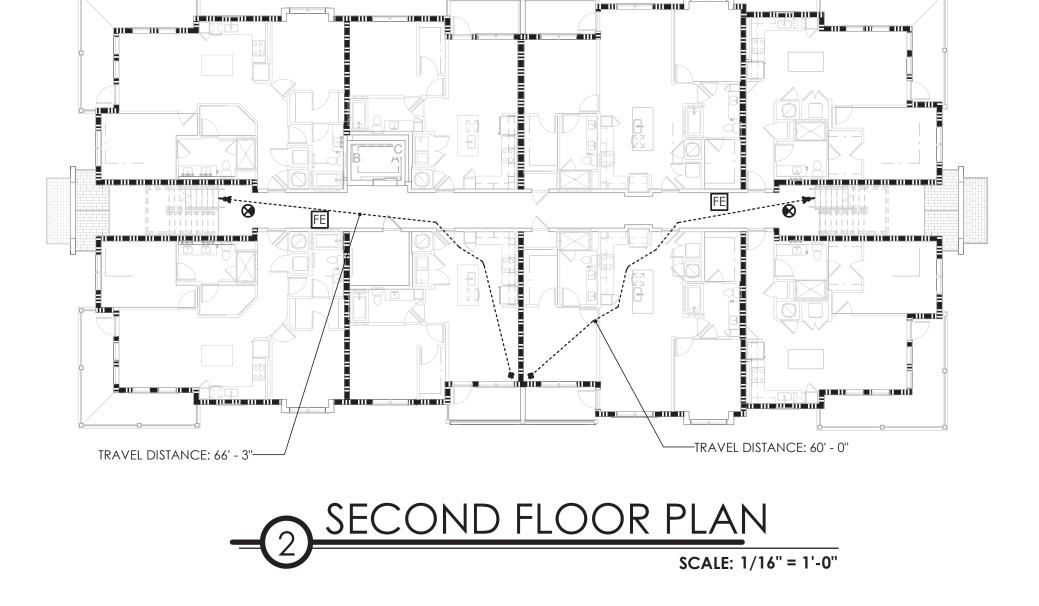
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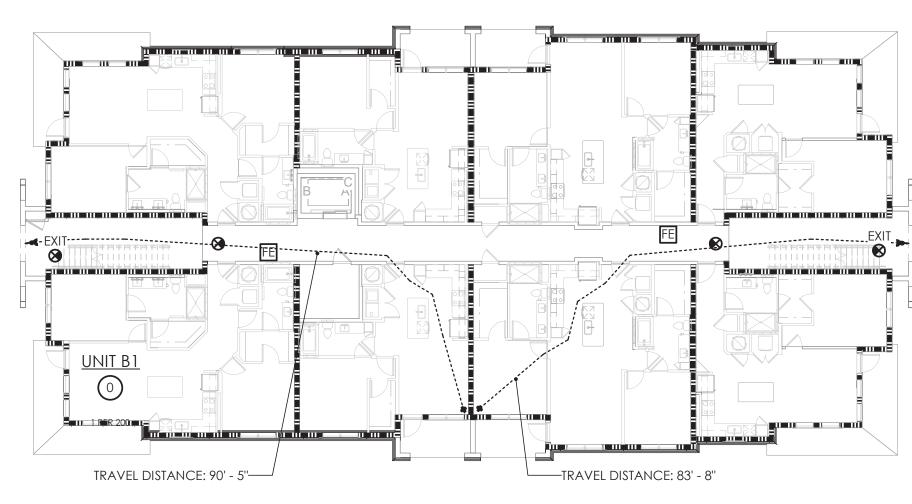
Sheet Title

ARCHITECTURAL SITE PLAN - PRESERVE

THIRD FLOOR PLAN

TRAVEL DISTANCE: 66' - 3''-----





FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"

#### TRUSS SIGNAGE REQUIREMENTS

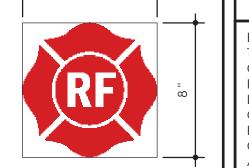
TRAVEL DISTANCE: 60' - 0"

SCALE: 1/16" = 1'-0"

1. MALTESE CROSS MEASURING 8" HORIZONTALLY AND 8" VERTICALLY, OF A BRIGHT RED REFLECTIVE COLOR, DESIGNED IN ACCORDANCE WITH NFPA 101, 2009 EDITION. 2. THE APPROVED SYMBOL SHALL BE PLACED WITHIN 24" TO THE LEFT OF THE MAIN ENTRY DOOR AND:

BE PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE ON A CONTRASTING BACKGROUND OR, BE MOUNTED ON A CONTRASTING BASE MATERIAL WHICH IS THEN PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE. 3. THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR THE FINISHED FLOOR TO THE BOTTOM OF THE SYMBOL SHALL BE NOT LESS THAN 4

4. THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR FINISHED FLOOR TO THE TOP OF THE SYMBOL SHALL BE NOT MORE THAN 6 FEET (72



#### LIFE SAFETY LEGEND

INDICATES 2 HOUR RATED WALL

INDICATES 1 HOUR RATED WALL

•----- INDICATES PATH OF TRAVEL (250 FEET MAXIMUM - PER FBC 1016.2) INDICATES COMMON PATH OF TRAVEL

(125 FEET MAXIMUM - PER FBC 1014.3)

INDICATES EXIT SIGN INDICATES REQUIRED PANIC HARDWARE AT DOORS

(PER FBC 1008.1.9) INDICATES FIRE EXTINGUISHER - "TYPE-A" IN SEMI-RECESSED FIRE RATED CABINET. TRAVEL DISTANCE TO CABINET 75'-0" MAX. MOUNT TOP OF CABINET NOT MORE THAN 5'-0" A.F.F.; BOTTOM NOT

LESS THAN 4" A.F.F. NOTE: FIRE EXTINGUISHERS WILL ALSO BE PLACED IN EACH UNIT.

#### POSTING OF OCCUPANT LOAD

PER FBC 1004.3

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. POSTED OCCUPANCY NUMBER SHALL NOT EXCEED ONE OCCUPANT PER SEVEN SQUARE FEET (FBC 1004.2) OR BE GREATER THAN THE NUMBER OF OCCUPANTS THAT CAN BE ACCOMMODATED BY THE SPACE'S NARROWEST EGRESS COMPONTENT

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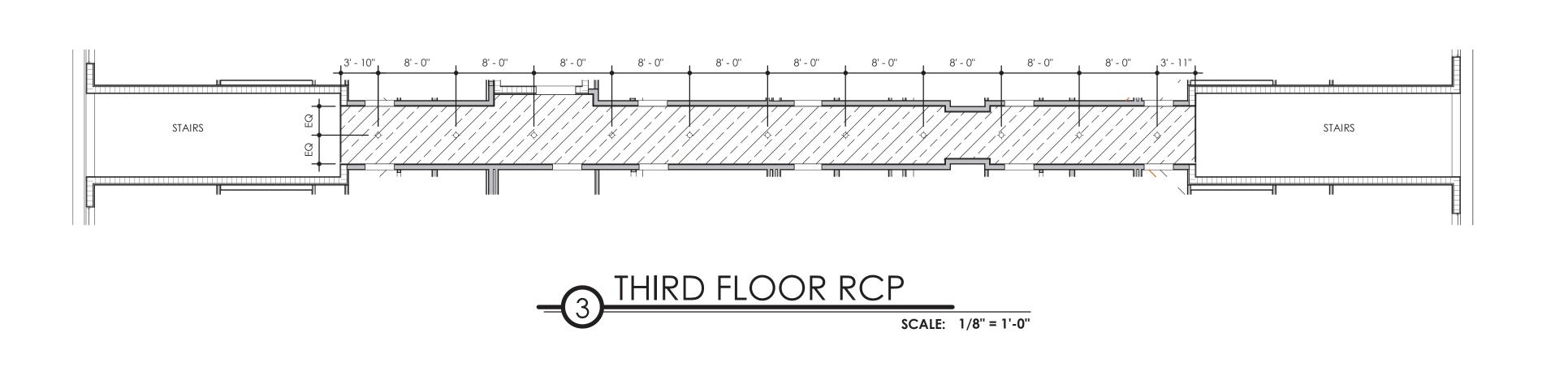
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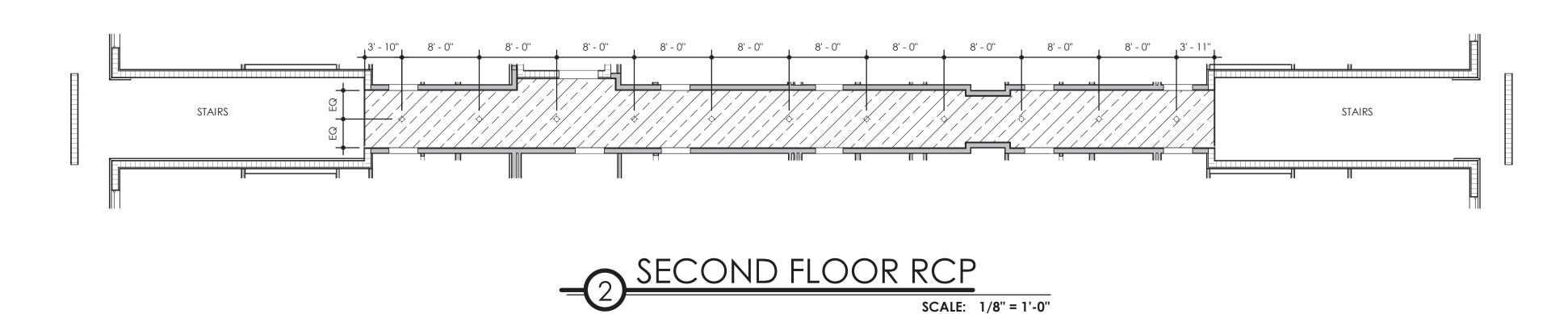
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Sheet Title

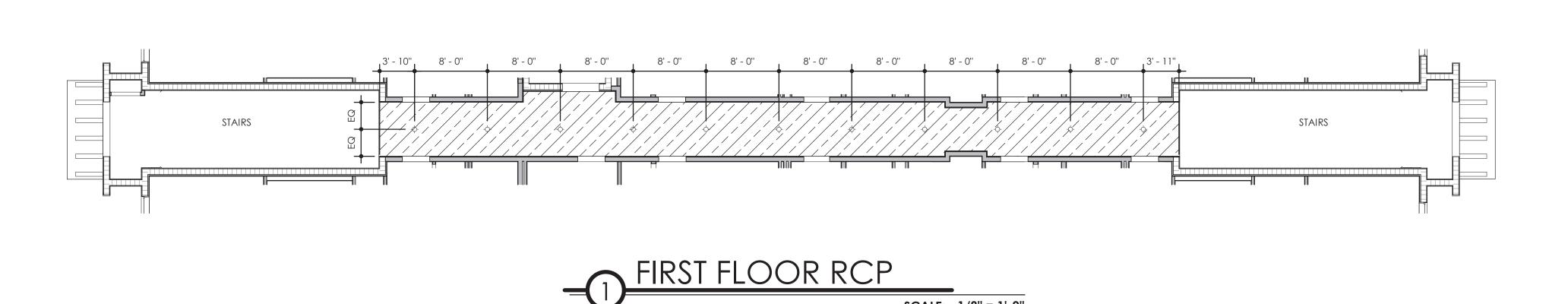
BLDG TYPE-2 MULTIFAMILY LIFE SAFETY PLANS

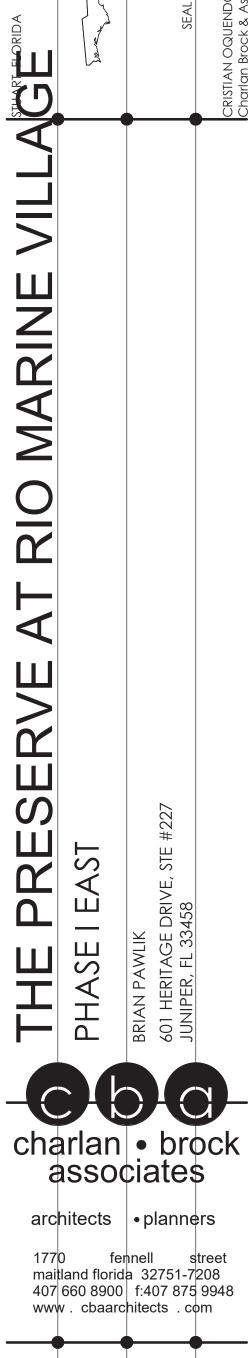




SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"





date: 9/20/23 job no: **4301.20** drawn by: Author reviewed by: Checker

issue history: Date



2. STAIRWELL LIGHTS NOT SHOWN - REFER TO ELECTRICAL DRAWINGS.

Sheet Title BLDG TYPE-2 MULTIFAMILY CORRIDOR RCPS

TYPICAL ELEVATION NOTES

CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR

PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO

ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.

ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.

ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.

PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.

PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.

PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.

SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.

ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF

PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.

COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.

EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.

TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.

ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.

PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.

17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ALL EXTERIOR TRIM RAISED STUCCO.

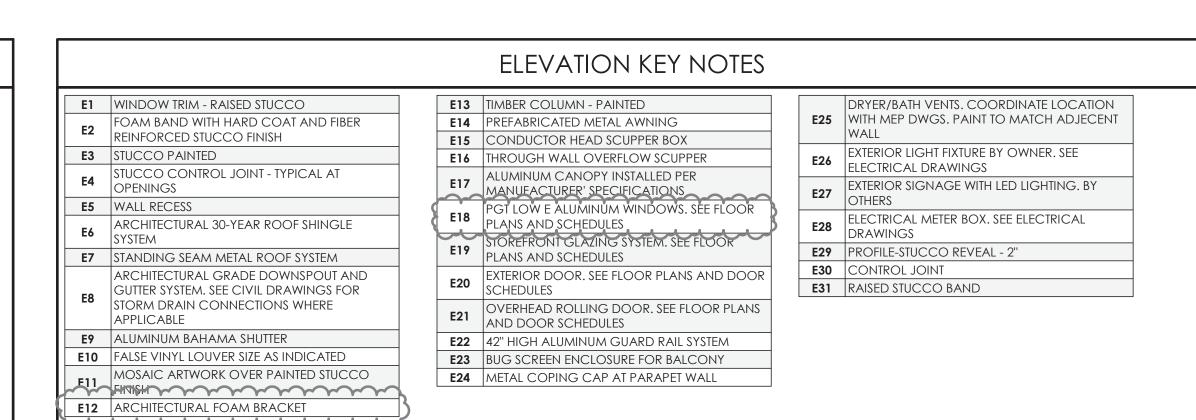
SOFFIT AND CEILING CONDITIONS.

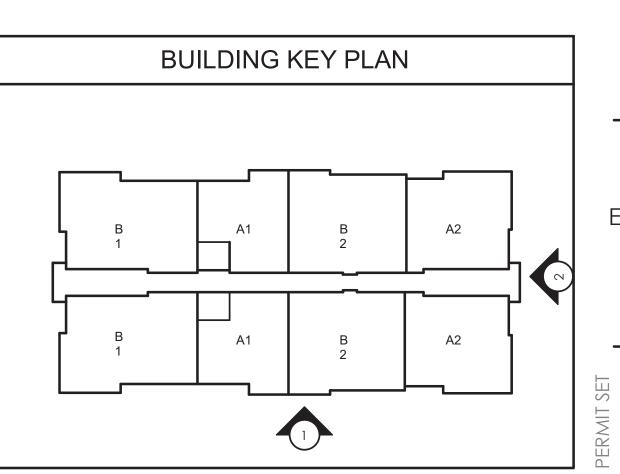
APPROVAL

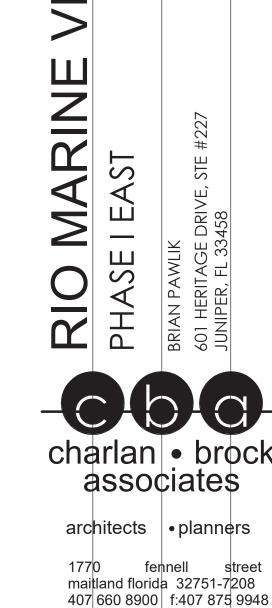




### BLDG TYPE 2 - FRONT ELEVATION SCALE: 1/8" = 1'-0"







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history: Date

1 11.6.23

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Sheet Title

BLDG TYPE-2 MULTIFAMILY EXTERIOR ELEVATIONS

A0.10CC

A2.02.1

TYPICAL ELEVATION NOTES

ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.

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ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.

PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.

PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.

PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.

SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.

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PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.

17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ALL EXTERIOR TRIM RAISED STUCCO.

SOFFIT AND CEILING CONDITIONS.

APPROVAL







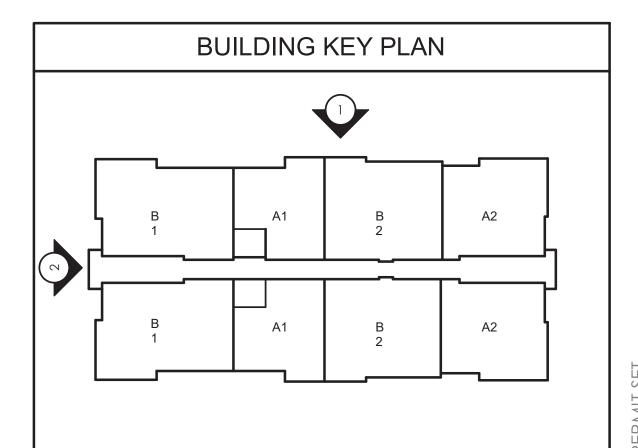
#### BLDG TYPE 2 - REAR ELEVATION SCALE: 1/8" = 1'-0"

MOSAIC ARTWORK OVER PAINTED STUCCO MOSAIC ARIWORK OVER PAINTED STUCCO

**E12** ARCHITECTURAL FOAM BRACKET

#### ELEVATION KEY NOTES E1 WINDOW TRIM - RAISED STUCCO E13 TIMBER COLUMN - PAINTED DRYER/BATH VENTS. COORDINATE LOCATION **E25** WITH MEP DWGS. PAINT TO MATCH ADJECENT **E14** PREFABRICATED METAL AWNING FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH E15 CONDUCTOR HEAD SCUPPER BOX ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF EXTERIOR LIGHT FIXTURE BY OWNER. SEE E3 STUCCO PAINTED E16 THROUGH WALL OVERFLOW SCUPPER ELECTRICAL DRAWINGS CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR E17 ALUMINUM CANOPY INSTALLED PER STUCCO CONTROL JOINT - TYPICAL AT E4 OPENINGS EXTERIOR SIGNAGE WITH LED LIGHTING. BY MANUFACTURER' SPECIFICATIONS PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES OTHERS E5 WALL RECESS ELECTRICAL METER BOX. SEE ELECTRICAL E6 ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM E28 DRAWINGS STOREFRONT GLAZING SYSTEM, SEE FLOOR PLANS AND SCHEDULES **E29** PROFILE-STUCCO REVEAL - 2" PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS. E7 STANDING SEAM METAL ROOF SYSTEM E30 CONTROL JOINT PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO ARCHITECTURAL GRADE DOWNSPOUT AND EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR E20 E31 RAISED STUCCO BAND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR SCHEDULES STORM DRAIN CONNECTIONS WHERE OVERHEAD ROLLING DOOR. SEE FLOOR PLANS APPLICABLE AND DOOR SCHEDULES E9 ALUMINUM BAHAMA SHUTTER **E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM **E10** FALSE VINYL LOUVER SIZE AS INDICATED **E23** BUG SCREEN ENCLOSURE FOR BALCONY

**E24** METAL COPING CAP AT PARAPET WALL



Sheet Title BLDG TYPE-2 MULTIFAMILY **EXTERIOR ELEVATIONS** 

A0.10CC

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date: 9/20/23 job no: **4301.20** 

drawn by: **TK** 

history: Date

1 11.6.23

issue

reviewed by: OL





ENLARGED ELEVATION SCALE: 1/4" = 1'-0"





drawn by: **TK** reviewed by: OL issue history: Date 1 CLIENT **UPDATES** 



#### TYPICAL ELEVATION NOTES

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#### **ELEVATION KEY NOTES**

E1 WINDOW TRIM - RAISED STUCCO FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH E3 STUCCO PAINTED

STUCCO CONTROL JOINT - TYPICAL AT OPENINGS

E5 WALL RECESS ARCHITECTURAL 30-YEAR ROOF SHINGLE

**E7** STANDING SEAM METAL ROOF SYSTEM ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE

E9 ALUMINUM BAHAMA SHUTTER **E10** FALSE VINYL LOUVER SIZE AS INDICATED MOSAIC ARTWORK OVER PAINTED STUCCO E11 FINISH E12 | ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C

E13 TIMBER COLUMN - PAINTED **E14** PREFABRICATED METAL AWNING E15 CONDUCTOR HEAD SCUPPER BOX E16 THROUGH WALL OVERFLOW SCUPPER E17 ALUMINUM CANOPY INSTALLED PER MANUFACTURER' SPECIFICATIONS

PGT LOW E ALUMINUM WINDOWS. SEE FLOOR

PLANS AND SCHEDULES STOREFRONT GLAZING SYSTEM. SEE FLOOR

PLANS AND SCHEDULES EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES

**E24** METAL COPING CAP AT PARAPET WALL

E21 OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES **E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM **E23** BUG SCREEN ENCLOSURE FOR BALCONY

DRYER/BATH VENTS. COORDINATE LOCATION **E25** WITH MEP DWGS. PAINT TO MATCH ADJECENT EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS EXTERIOR SIGNAGE WITH LED LIGHTING. BY ELECTRICAL METER BOX. SEE ELECTRICAL

E27 DRAWINGS

**E29** PROFILE-STUCCO REVEAL - 2"

E30 CONTROL JOINT

E31 RAISED STUCCO BAND

A0.10CC

BLDG TYPE-2

MULTIFAMILY

ENLARGED

**ELEVATIONS** 

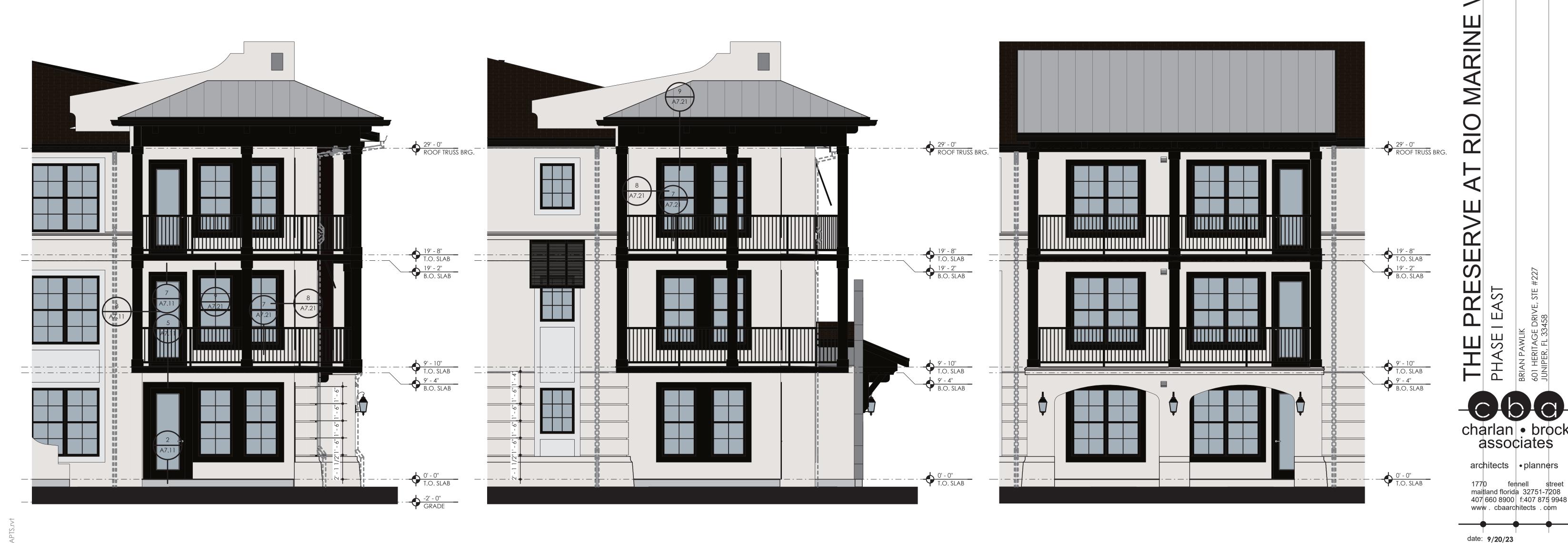
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ENLARGED ELEVATION SCALE: 1/4" = 1'-0"

ENLARGED ELEVATION SCALE: 1/4" = 1'-0"



#### COLOR LEGEND COLOR 1 COLOR 2 CLOUD NINE DEEP FOREST BROWN SW 6546 SW 9175

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E1 WINDOW TRIM - RAISED STUCCO FOAM BAND WITH HARD COAT AND FIBER

REINFORCED STUCCO FINISH E3 STUCCO PAINTED STUCCO CONTROL JOINT - TYPICAL AT

PENINGS E5 WALL RECESS ARCHITECTURAL 30-YEAR ROOF SHINGLE

E6 SYSTEM E7 STANDING SEAM METAL ROOF SYSTEM

ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE

**E12** | ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C

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E17 ALUMINUM CANOPY INSTALLED PER MANUFACTURER' SPECIFICATIONS

E18 PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES

E19 STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES

EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES

OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES **E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM **E23** BUG SCREEN ENCLOSURE FOR BALCONY **E24** METAL COPING CAP AT PARAPET WALL

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ELECTRICAL DRAWINGS EXTERIOR SIGNAGE WITH LED LIGHTING. BY E27

ELECTRICAL METER BOX. SEE ELECTRICAL | E28 | DRAWINGS

**E29** PROFILE-STUCCO REVEAL - 2" E30 CONTROL JOINT

E31 RAISED STUCCO BAND

MULTIFAMILY ENLARGED **ELEVATIONS** 

BLDG TYPE-2

Sheet Title

job no: **4301.20** drawn by: **TK** reviewed by: OL

issue

history: Date

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## RIO MARINE VILLAGE

#### PHASE I EAST PERMIT SET 9.20.23

OWNER:

RIO SOUTH DIXIE, LLC BRIAN PAWLIK 601 HERITAGE DR., STE #227 JUPITER, FL 33458 P: 561.575.6454 E: bpawlik@prairieridgedev.com

**ARCHITECT** 

CHARLAN BROCK ARCHITECTS AARON PINEDA, PM 1770 FENNELL STREET MAITLAND, FL 32751 P: 407.660.8900 E: AARON@CBAARCHITECTS.COM

STRUCTUR **ENGINEER**:

ONMJ PATRICK JACKSON 1655 PALM BEACH LAKES BLVD. SUITE 204 WEST PALM BEACH 33401 P: 561.835.8255

**MECHANICAL ELECTRICAL PLUMBING ENGINEER**:

JLC SIMON ROJAS 1880 HARWOOD AVE **SUITE 3000** ALTAMONT SPRINGS, FL 32714 P: 321.972.4466

**OWNER'S** CIVIL **ENGINEER**:

SIMMONS & WHITE, INC JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698 E: PARRISH@SIMMONSANDWHITE.COM

**OWNER'S** LANDSCAPE

COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

**OWNER'S INTERIOR DESIGNER**:

ARCHITECT:

OFF CENTER DESIGN GROUP AMANDA PRIZZI 1109 OKEECHOBEE ROAD SUITE 22 WEST PALM BEACH FL 33401 585.315.9777 REBECCA@OFFCENTEREDDESIGNGROUP.COM

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BLDG TYPE-4 TOWNHOME PROJECT **COVER SHEET** 



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BLDG TYPE-4

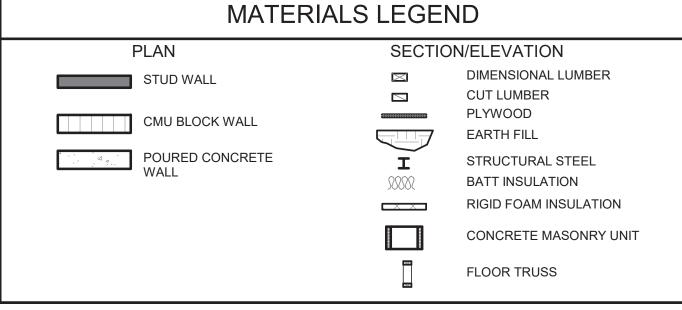
DRAWINGS

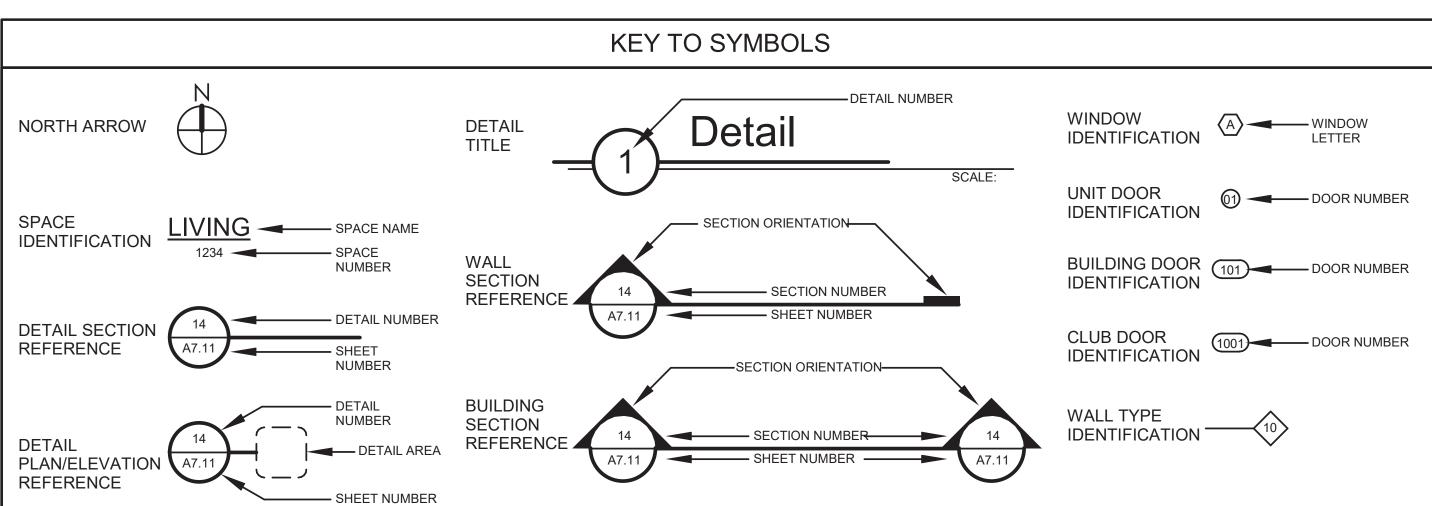
Sheet Title



## THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THE BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM. KEY TO SYMBO

MAINTENANCE NOTE





STANDARD ABBREVIATIONS								
A.B. ANCHOR BOLT A/C AIR CONDITIONER ADJ. ADJACENT A.H.U. AIR HANDLER UNIT ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATE BRG. BEARING BD. BOARD BLDG. BUILDING BLK. BLOCK B.M. BEAM BTM. BOTTOM COL. COLUMN CER. CERAMIC C.J. CONSTRUCTION JOINT CLG. CEILING C.M.U. CONCRETE BLOCK CONC. CONCRETE CONST. CONSTRUCTION CONT. CONTINUOUS CTR . CENTER D DRYER DBL. DOUBLE DET. DETAIL DIAM. DIAMETER DIM. DIMENSION DISP. DISPOSAL								

## Trotal Wine & More D Additional Section of Sections o

VICINITY MAP

# Modern Pannels S. Dent Removal. Inc. W. Seminary Red Maryam Supply Mr. Name Mr. Share Removal. Red Mr. Share Removal. Red Mr. Share Removal. R

#### APPLIED CODES

FLORIDA BUILDING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

N31 A 117.1 - 1700 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE

FLORIDA STATUES

florida administrative code

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

#### PROJECT NARRATIVE

PROJECT NARRATIVE:

THE PROPOSED PROJECT IS LOCATED IN UNICORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY, RESTAURANT AND COMMERCIAL BUILDINGS AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL AND POOL DECK, BUT PROVIDED BY OTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

THE COMMERCIAL BUILDINGS WILL BE A 'COLD-DARK SHELL' CONSTRUCTION WITH ELEVATOR AND STAIRS, BUILD-OUT PROPOSED BY 'FUTURE TENANTS'. VARIOUS BUILDINGS WILL BE SHARED FOR BOTH RIO NORTH AND RIO SOUTH.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20

BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 10, 16, 17, 18, 19, 21

#### BUILDING IDENTIFICATION

BUILDING TYPE 1 = CLUBHOUSE BUILDING TYPE 2 = APARTMENT BUILDING TYPE 3 = APARTMENT = TOWNHOME BUILDING TYPE 4 = TOWNHOME BUILDING TYPE 5 = TOWNHOME BUILDING TYPE 6 BUILDING TYPE 7 = LIVE-WORK **BUILDING TYPE 8** = LIVE-WORK = MARINE SERVICES **BUILDING TYPE 10 BUILDING TYPE 14** = RECREATIONAL **BUILDING TYPE 15** = APARTMENT = APARTMENT BUILDING TYPE 16 BUILDING TYPE 17 = MAIL KIOSK = TRASH ENCLOSURE BUILIDNG TYPE 18 BUILDING TYPE 19 = RECYCLING ENCLOSURE #1 BUILDING TYPE 20 = RECYLCING ENCLOSURE #2

= ENTRY FEATURE

#### CODE INFORMATION

#### TOWNHOME

CONSTRUCTION TYPE: TYPE V-B

BUILDING TYPE 21

1.1 BUILDING USE / OCCUPANCY / TYPE GROUP R-2, S-2

SPRINKLED: NFPA - 13R

1.2 BUILDING HEIGHT (FBC TABLE 503)

CORE DISTRICT: 40'-0"
GENERAL DISTRICT: 35'-0"
PROPOSED: 2310RIES, 26'-0"

.3 BUILDING AREA (FBC TABLE 503)

ALLOWED: 7,000 SQ. FT. / PER FLOOR

PROPOSED: REFER TO BUILDING AREA TABLES

#### BUILDING TYPE 4 AREA - GROSS

01-FIRST FLOOR 6,916 SF 02-SECOND FLOOR AP 5,487 SF TOTAL BUILDING AREA: 12,403 SF

G

8,925 \$

BUILDING TYPE 4 AREA - A/C

1-FIRST FLOOR
2-SECOND FLOOR AP

5,488 S

1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601)
STRUCTURAL FRAME:

OTAL BUILDING AREA:

STRUCTURAL FRAME:

INTERIOR BEARING WALLS:

EXTERIOR BEARING WALLS:

EXTERIOR NON-BEARING WALLS:

INTERIOR NON-BEARING WALLS:

O HOUR

O HOUR

O HOUR

O HOUR

O HOUR

ROOF CONSTRUCTION: 0 HOUR

1.5 FIRE SEPARATION
PARTY WALL: 2 HOUR (FBC 706.4.1.2)

1.6 EXIT ACCESS 1015.2.1 WHERE

1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURE IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 250' (FBC 1016.2)
MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75'
(FBC 1014.3)
MAXIMUM DEAD END: 20' (FBC 1018.4)

1.7 MINIMUM INTERIOR FINISH CLASSIFICATION

1.7 MINIMUM INTERIOR FINISH

NFPA 10	I IABLE A.IO							
GROUP	P SPRINKLERED (NFPA - 13R)							
	VERTICAL EXITS	EXIT ACCESS CORRIDORS	rooms and enclosed spaces					
R-2	А	Α	С					
S-2	C	С	С					

- C C C Charlan • brock

 $\overline{\phantom{a}}$ 

7

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date: 9/20/23 job no: 4301.20

drawn by: **TK**reviewed by: **OL**issue

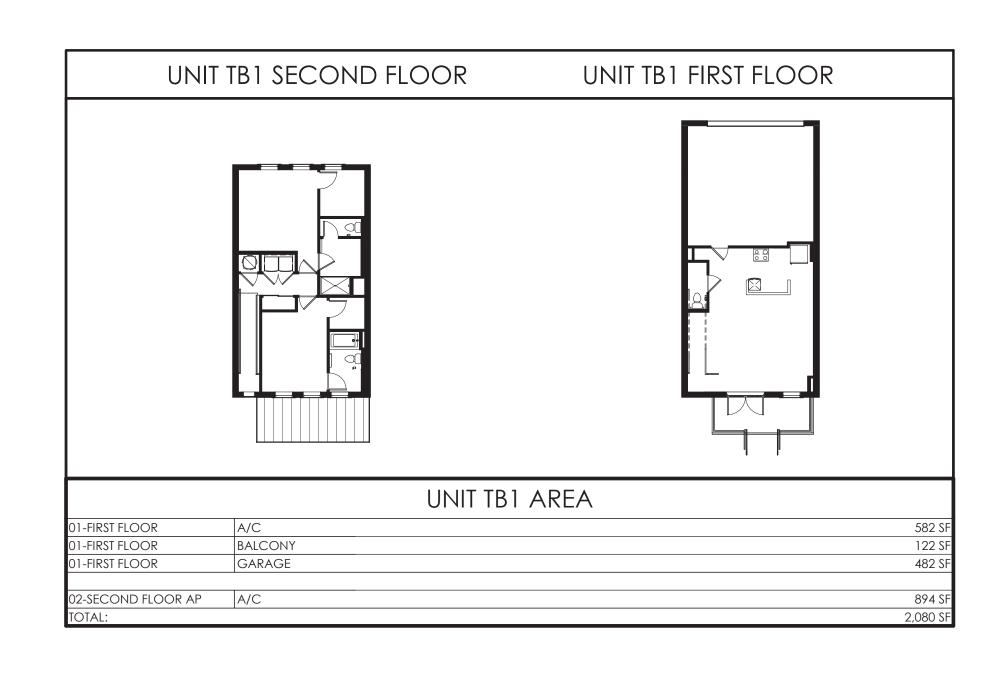
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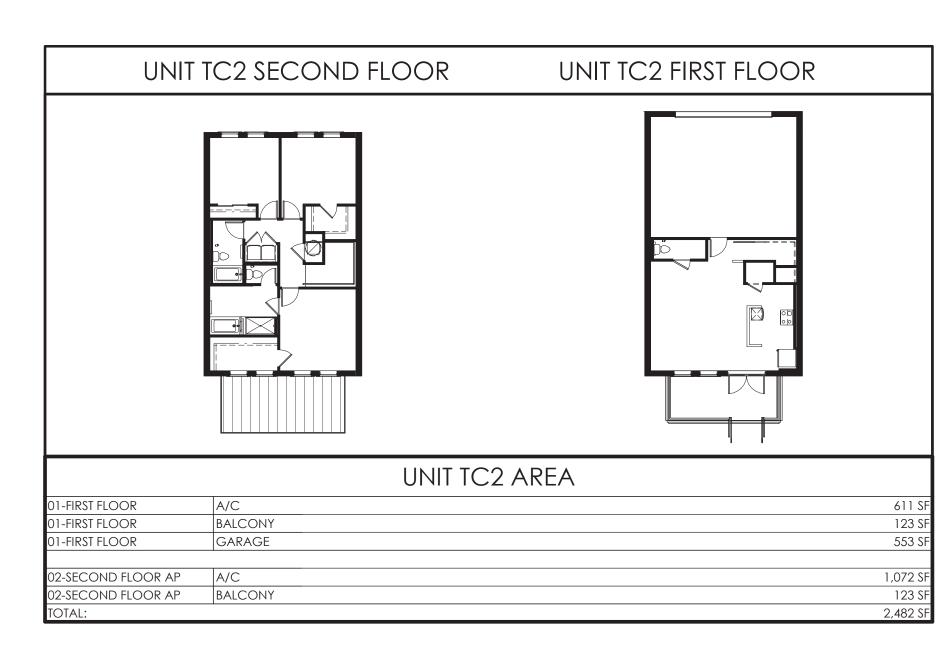
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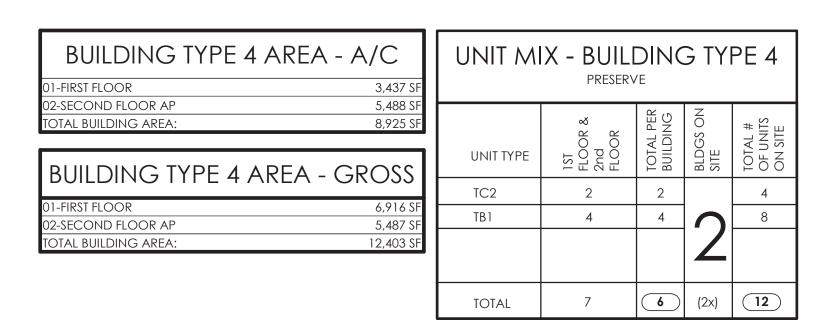
BLDG TYPE-4 TOWNHOMES PROJECT DATA

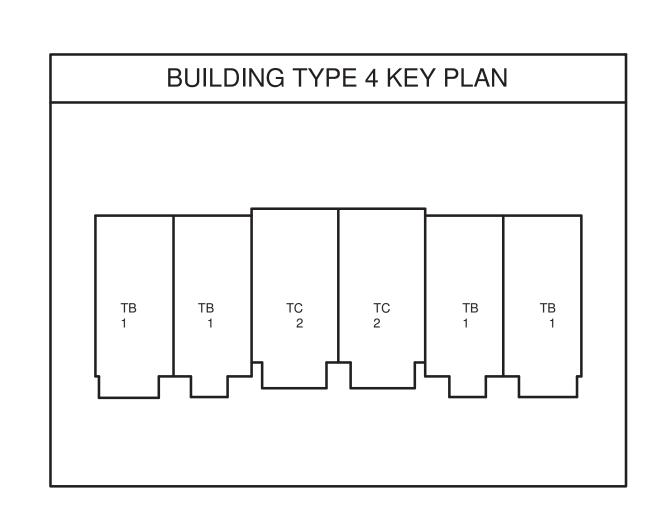
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A0.03.4











reviewed by: Checker

issue

Sheet Title

BLDG TYPE 4

BUILDING & UNIT

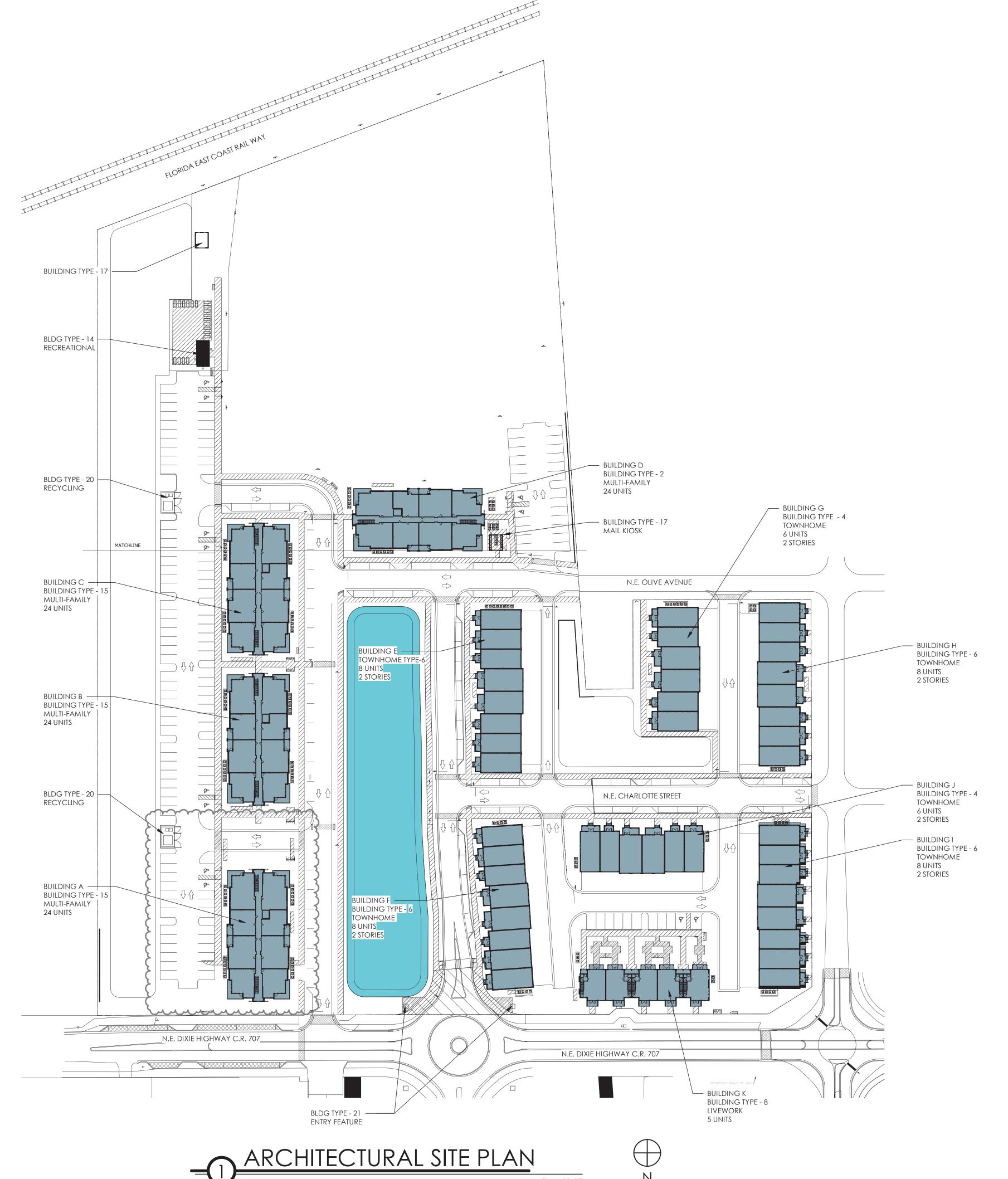
DATA

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history: Date

**R**0

SCALE: 1" = 60'-0"



MARINE <u>R</u> **PRESERVE** charlan • brock associates

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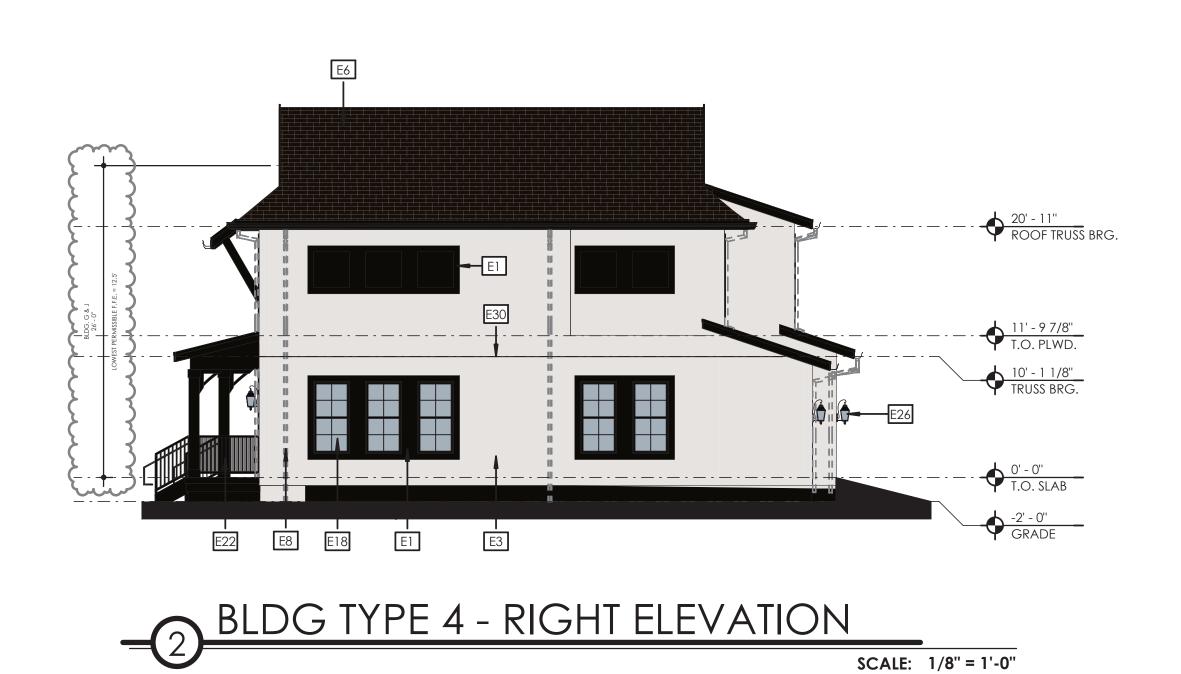
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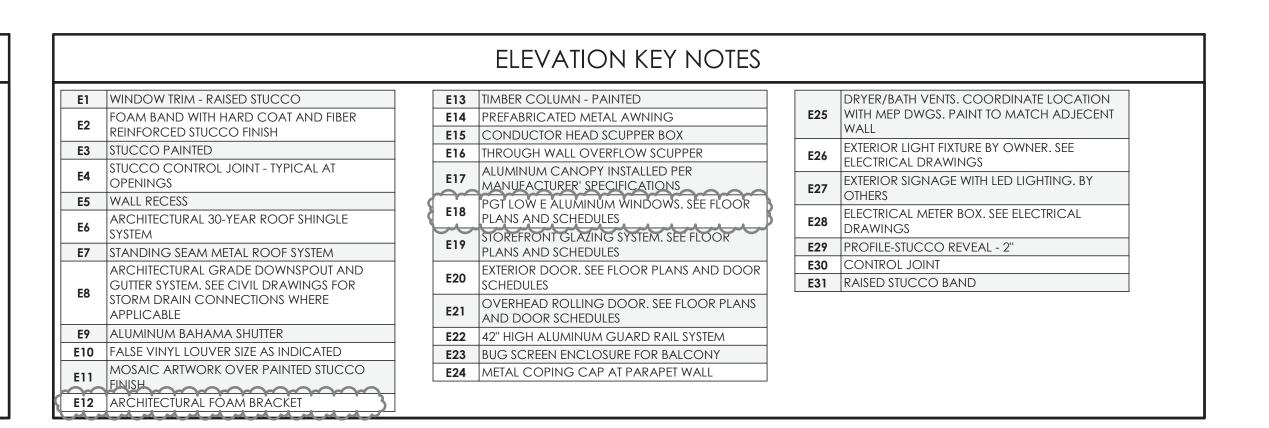
ARCHITECTURAL SITE PLAN - PRESERVE



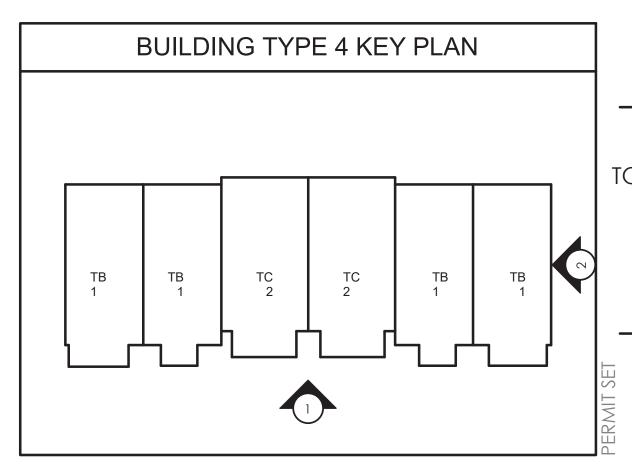




- TYPICAL EXTERIOR CLADDING STUCCO, PAINTED.
- ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR
- APPROVAL ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
- ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
- ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
- PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
- PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
- PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
- PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
- EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- 17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

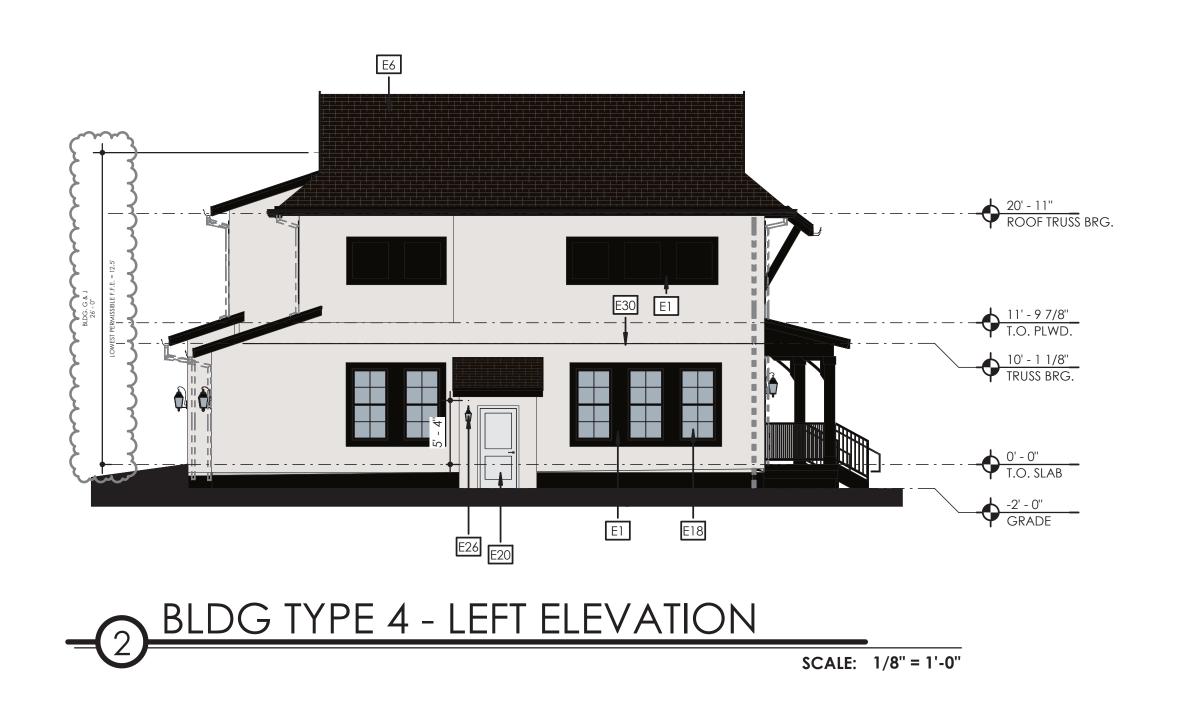


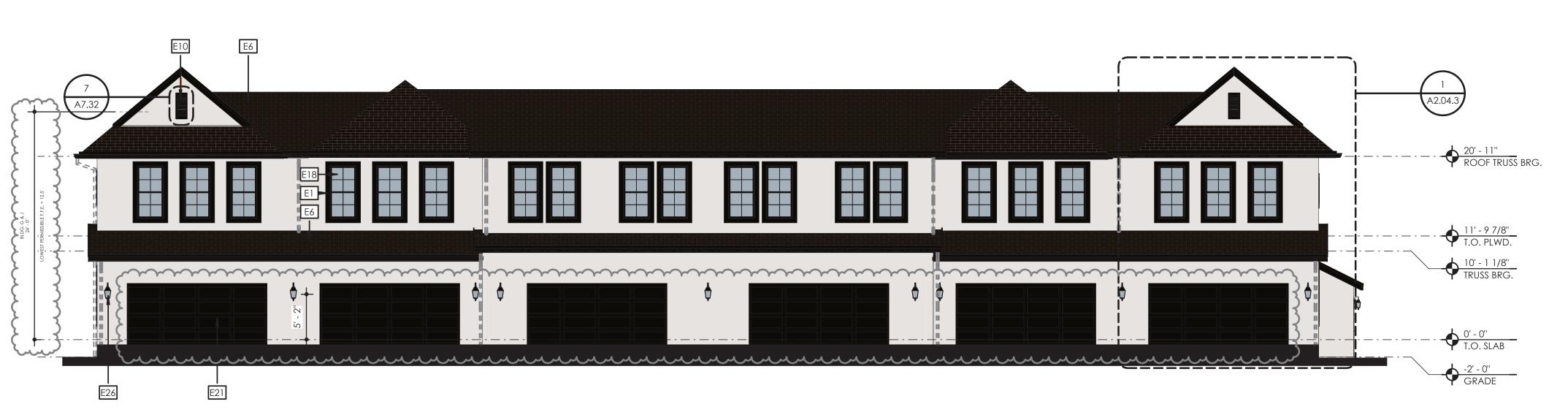
SCALE: 1/8" = 1'-0"



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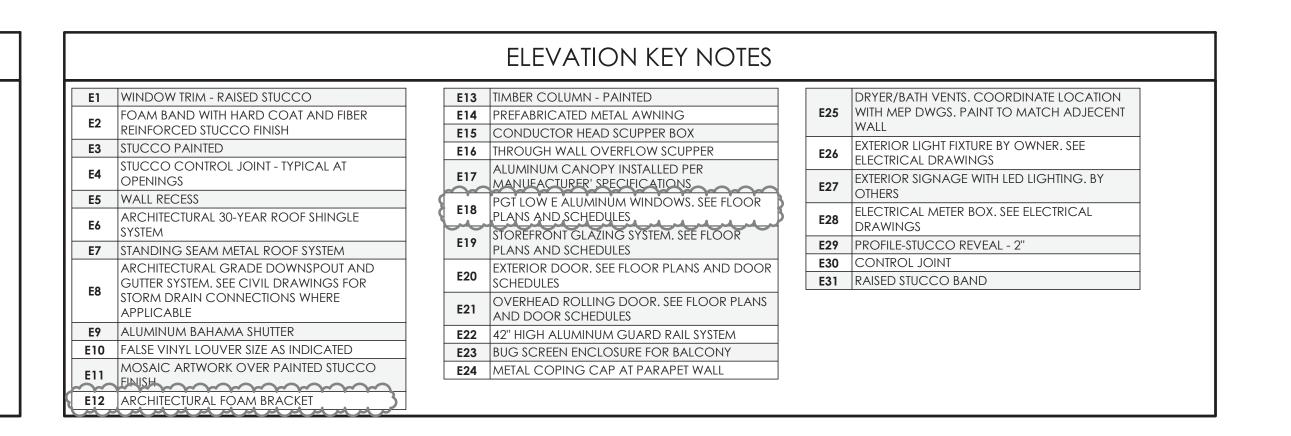


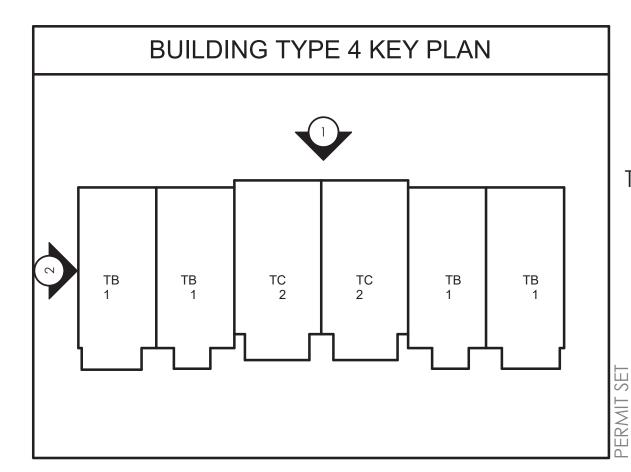


BLDG TYPE 4 - REAR ELEVATION SCALE: 1/8" = 1'-0"

#### TYPICAL ELEVATION NOTES

- TYPICAL EXTERIOR CLADDING STUCCO, PAINTED.
- ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR
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- SOFFIT AND CEILING CONDITIONS. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
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- ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.





Sheet Title BLDG TYPE-4

TOWNHOME EXTERIOR **ELEVATIONS** 

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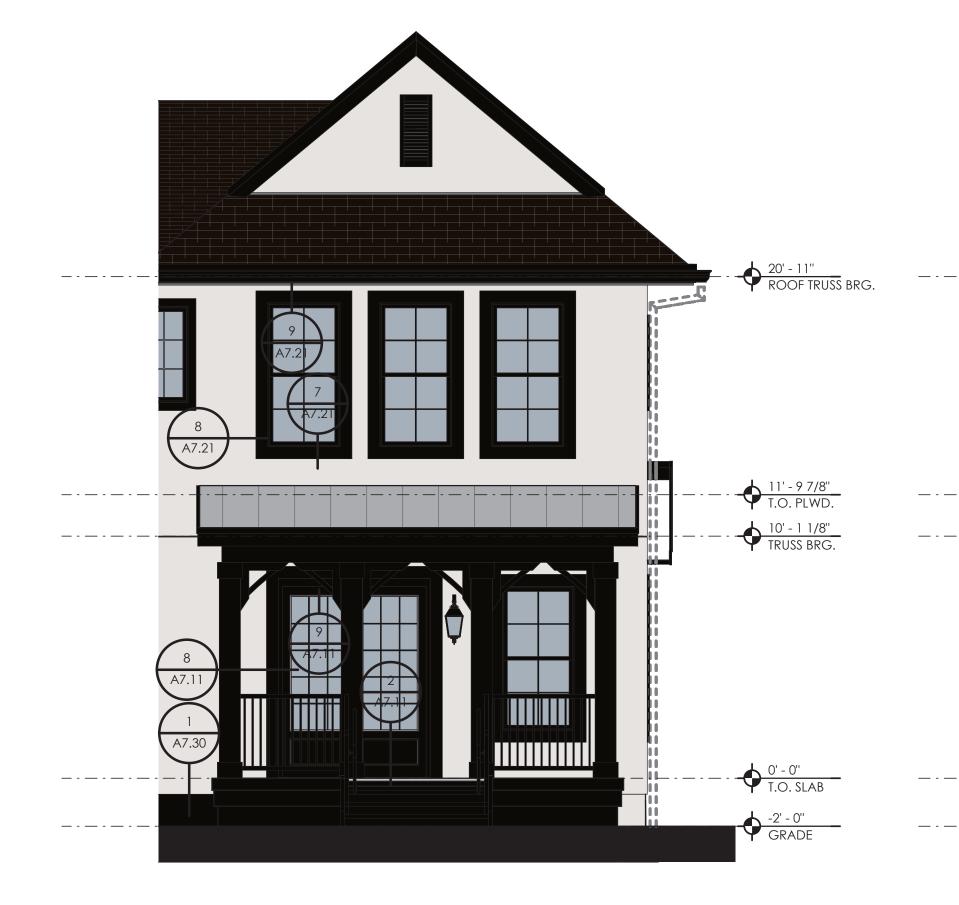
drawn by: **TK** 

history: Date

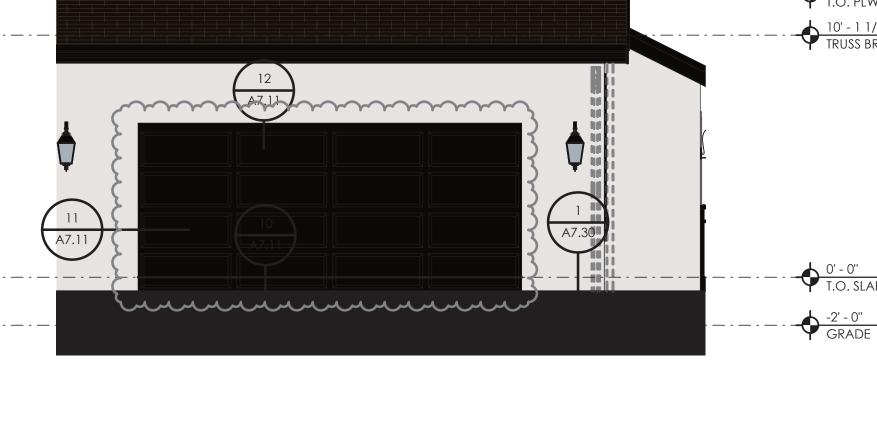
1 11.6.23

issue

reviewed by: OL









SCALE: 1/4" = 1'-0"



#### TYPICAL ELEVATION NOTES

TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED. ALL EXTERIOR TRIM RAISED STUCCO.

ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR

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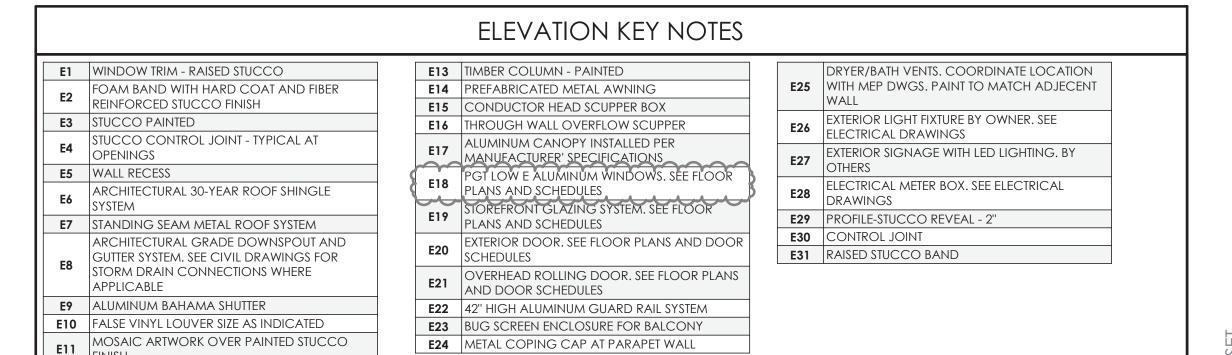
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ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.



**E24** METAL COPING CAP AT PARAPET WALL

F12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.

MARINE architects | • planners maitland florida 32751-7208 407 660 8900 f:407 875 9948 www.cbaarchitects.com date: 9/20/23 job no: **4301.20** drawn by: **TK** reviewed by: OL issue

20' - 11"

ROOF TRUSS BRG.

history: Date 1 CLIENT **UPDATES** 

Sheet Title

BLDG TYPE-4 TOWNHOME ENLARGED **ELEVATIONS** 

## RIO MARINE VILLAGE

#### PHASE I EAST PERMIT SET 9.20.23

OWNER:

RIO SOUTH DIXIE, LLC BRIAN PAWLIK JUPITER, FL 33458 P: 561.575.6454

CHARLAN BROCK ARCHITECTS

ONMJ PATRICK JACKSON 1655 PALM BEACH LAKES BLVD. SUITE 204 WEST PALM BEACH 33401 P: 561.835.8255

**MECHANICAL ELECTRICAL PLUMBING ENGINEER**:

JLC SIMON ROJAS 1880 HARWOOD AVE **SUITE 3000** ALTAMONT SPRINGS, FL 32714 P: 321.972.4466

**OWNER'S** CIVIL **ENGINEER**:

SIMMONS & WHITE, INC JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698

**OWNER'S** LANDSCAPE

COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

**OWNER'S INTERIOR DESIGNER**:

OFF CENTER DESIGN GROUP AMANDA PRIZZI 1109 OKEECHOBEE ROAD SUITE 22 WEST PALM BEACH FL 33401 585.315.9777 REBECCA@OFFCENTEREDDESIGNGROUP.COM

601 HERITAGE DR., STE #227

E: bpawlik@prairieridgedev.com

**ARCHITECT** 

AARON PINEDA, PM 1770 FENNELL STREET MAITLAND, FL 32751 P: 407.660.8900

E: AARON@CBAARCHITECTS.COM

STRUCTUR **ENGINEER**:

E: PARRISH@SIMMONSANDWHITE.COM

ARCHITECT:

Sheet Title BLDG TYPE-6 TOWNHOME PROJECT **COVER SHEET** 

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history: Date

THE PRESERVE AT RIO MARINE VILI
PHASE I EAST

date: 9/20/23

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history: Date

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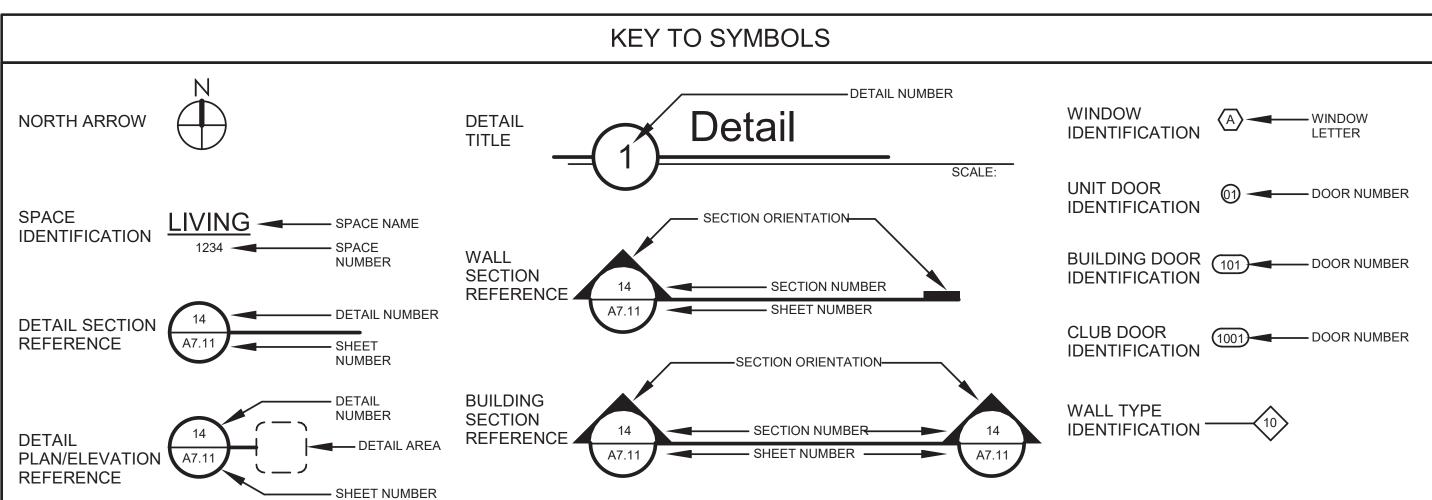
BLDG TYPE-6 TOWNHOME INDEX OF DRAWINGS

A0.10CC

A0.02.6

**BUILDING HEIGHT** 

#### THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL STUD WALL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO TH BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.



PLAN

CMU BLOCK WALL

POURED CONCRETE

SECTION/ELEVATION

SSSSS

**DIMENSIONAL LUMBER** 

STRUCTURAL STEEL

RIGID FOAM INSULATION

**CONCRETE MASONRY UNIT** 

BATT INSULATION

FLOOR TRUSS

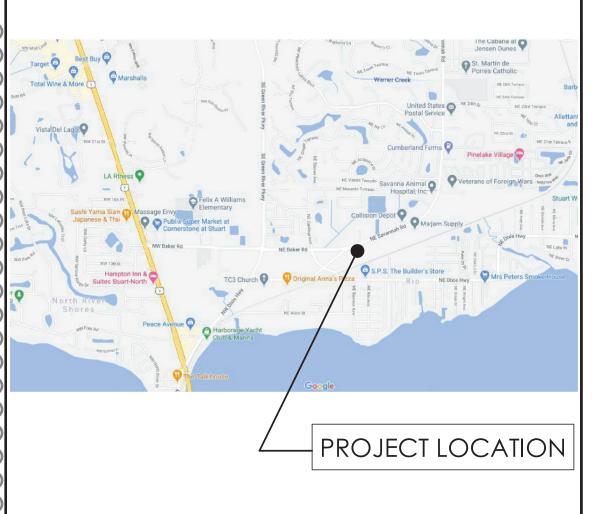
**CUT LUMBER** 

PLYWOOD

EARTH FILL

A.B. ANCHOR BOLT A/C AIR CONDITIONER DN. DOWN HM. ALT. AL CONDITIONER DN. DOWN HM. ALT. AL JAJACENT A.H.U. AIR HANDLER UNIT DRYWALL HOT. HEIGHT ALUMINUM ALT. ALTERNATE E.A. EACH BOAPPOX.MATE BOAPD BOAPD BEARING BO. BEARING BO. BEARING BO. BOAPD B. E.J. EXPANSION JOINT BLK. BLOCK E.P.S. EXPANDED POLYSTYRENE BLK. BLOCK E.P.S. EXPANDED POLYSTYRENE BLK. BOTTOM		STANDARD ABBREVIATIONS								
The Hellew Series Serie	A/C A ADJ. A.H.U. ALUM. ALT. APPROX. BRG. BD. BLDG. BLK. B.M. BTM. COL. CER. C.J. CLG. C.M.U. CONC. CONST. CONT. CTR D DBL. DET. DIAM.	IR CONDITIONER ADJACENT AIR HANDLER UNIT ALUMINUM ALTERNATE APPROXIMATE BEARING BOARD BUILDING BLOCK BEAM BOTTOM COLUMN CERAMIC CONSTRUCTION JOINT CEILING CONCRETE BLOCK CONCRETE CONSTRUCTION CONTINUOUS CENTER DRYER DOUBLE DETAIL DIAMETER	DN. DRYW. D.W. DWG. E.A. E.I.F.S.  E.J. ELEV. E.P.S.  EQ. EST. EXIST. EXT. FN.FL. FIN. F.G. F.P. FT. FTG. GA. GALV. GL. GYP.	DOWN DRYWALL DISHWASHER DRAWING EACH EXTERIOR INSULATION FINISH SYSTEM EXPANSION JOINT ELEVATION EXPANDED POLYSTYRENE SYSTEM EQUAL ESTIMATE EXISTING EXTERIOR FINISH FLOOR FINISH FLOOR FINISH FIXED GLASS FIREPLACE FEET FOOTING GAGE GALVANIZED GLASS GYPSUM	H.M. HORTZ. HGT. HTG. HTR IN. INSUL. INT. JST. JT. LB. LAM. LAV. LTG. MATL. MAX. M.C. MECH. MIN. MISC. M.O. M.T. MTL. O.A. O.C.	HOLLOW METAL HORIZONTAL HEIGHT HEATING HEATER INCHES INSULATION INTERIOR JOIST JOINT POUND LAMINATED LAVATORY LIGHTING MATERIALS MAXIMUM MEDICAL CABINET MECHANICAL MINIMUM MISCELLANEOUS MASONRY OPENING METAL OVERALL ON CENTER	P. P.C. PED. PERP. PL. PLYWD. PROP. P.S.F. P.S.I. P.T. PTN. P.H. QUAL. QUAN. R.A.G. RAD. R.D. REF. REINF. REQD. REV. RM. ROS. S.C. SCHED.	PANTRY PULL CHAIN PEDESTAL PERPENDICULAR PLATE PLYWOOD PROPERTY POUND PER SQUARE FEET POUND PER SQUARE INCH PRESSURE TREATED PARTITION PAPER HOLDER QUALITY QUANTITY RETURN AIR GRILL RADIUS ROOF DRAIN REFRIGERATOR REINFORCE REQUIRED REVISION/REVERSE ROOM ROUGH SAWN SOLID CORE SCHEDULE	SHT. SIM. S.G.D. SQ. S.S. STD. STO. STR. SUB. SUP. T.C. TEMP. THK. TYP. U.L. LABORAT VENT. VENT. VERT. VOL. V.T.R. W. W.C. W.D. WDW W.H.	SHEET SIMILAR SLIDING GLASS DOOR SQUARE STAINLESS STEEL STANDARD STORAGE STRUCTURAL SUBSTITUTE SUPPORT TRASH COMPACTOR TEMPERATURE THICK/THICKNESS TYPICAL UNDERWRITERS TORY VENTILATION VERTICAL VOLUME VENT THROUGH ROOF WIDTH/WIDE/WASHER WATER CLOSET WOOD WINDOW WATER HEATER

#### VICINITY MAP



# LOCATION MAP

#### APPLIED CODES

PROJECT SITE

FLORIDA BUILDING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE

FLORIDA STATUES

FLORIDA ADMINISTRATIVE CODE

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

#### PROJECT NARRATIVE

PROJECT NARRATIVE:

HE PROPOSED PROJECT IS LOCATED IN UNICORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY redevelopment area south, of ne dixie highway and rio north dixie, of ne dixie highway. The project is COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY, RESTAURANT AND COMMERCIAL BUILDINGS AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL AND POOL DECK, BUT PROVIDED BY DTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

he commercial buildings will be a 'cold-dark shell' construction with elevator and stairs, build-out PROPOSED BY 'FUTURE TENANTS'. VARIOUS BUILDINGS WILL BE SHARED FOR BOTH RIO NORTH AND RIO SOUTH.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20

BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 10, 16, 17, 18, 19, 21

#### BUILDING IDENTIFICATION

JILDING TYPE 1 JILDING TYPE 2 JILDING TYPE 3 JILDING TYPE 4 JILDING TYPE 5 JILDING TYPE 6 JILDING TYPE 7 JILDING TYPE 8 JILDING TYPE 10 JILDING TYPE 14 JILDING TYPE 15 JILDING TYPE 16 JILDING TYPE 16 JILDING TYPE 16 JILDING TYPE 16	= CLUBHOUSE = APARTMENT = APARTMENT = TOWNHOME = TOWNHOME = TOWNHOME = LIVE-WORK = LIVE-WORK = MARINE SERVICES = RECREATIONAL = APARTMENT = MAIL KIOSK
JILDING TYPE 16	= APARTMENT
JILIDNG TYPE 18 JILDING TYPE 19 JILDING TYPE 20	= TRASH ENCLOSURE = RECYCLING ENCLOSURE #1 = RECYLCING ENCLOSURE #2

#### CODE INFORMATION

#### **TOWNHOME**

BUILDING TYPE 21

.1 BUILDING USE / OCCUPANCY / TYPE GROUP R-2, S-2 CONSTRUCTION TYPE: TYPE V-B

SPRINKLED: NFPA - 13R

GENERAL DISTRICT: 35'-0"

2 STORIES, 25'-9" 7,000 SQ. FT. / PER FLOOR

12,250 SQ. FT. (INCREASE PER FBC 506.2) PROPOSED: REFER TO BUILDING AREA TABLES

= ENTRY FEATURE

ALLOWABLE AREA PER IBC 506.2.3:  $I_f = [F/P - 0.25] W/30$ 

> $I_f = 0.75$  $A_{\alpha} = [A_{\dagger} + (NS \times I_{f})]$

 $I_f = [708/708 - 0.25] 30/30$ 

 $A_{c} = [7,000 + (7,000 \times 0.75)]$ 

#### $A_{\alpha} = 12,250 \text{ SF}$ BUILDING TYPE 6 AREA - GROSS

9,186 S -FIRST FLOOR -SECOND FLOOR AP 7,188 S 16,374 SF OTAL BUILDING AREA:

#### BUILDING TYPE 6 AREA - A/C

4	
01-FIRST FLOOR	4,526 SF
02-SECOND FLOOR AP	7,187 SF
TOTAL BUILDING AREA:	11,713 SF

.4 FIRE RESISTANCE RATINGS (FBC TABLE 601) STRUCTURAL FRAME: 0 HOUR INTERIOR BEARING WALLS: 0 HOUR EXTERIOR BEARING WALLS: 0 HOUR EXTERIOR NON-BEARING WALLS: 0 HOUR INTERIOR NON-BEARING WALLS: 0 HOUR FLOOR CONSTRUCTION: 0 HOUR ROOF CONSTRUCTION: 0 HOUR

1.5 FIRE SEPARATION PARTY WALL: 2 HOUR (FBC 706.4.1.2)

#### .6 EXIT ACCESS

1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF

THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL

DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURE IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 250' (FBC 1016.2) MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' (FBC 1014.3) MAXIMUM DEAD END: 20' (FBC 1018.4)

.7 MINIMUM INTERIOR FINISH CLASSIFICATION

NFPA 101 TABLE A.10.2.2				
GROUP	Sprinklered (nfpa - 13r)			
	VERTICAL EXITS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES	
R-2	А	Α	С	
5.0	C	C	_	

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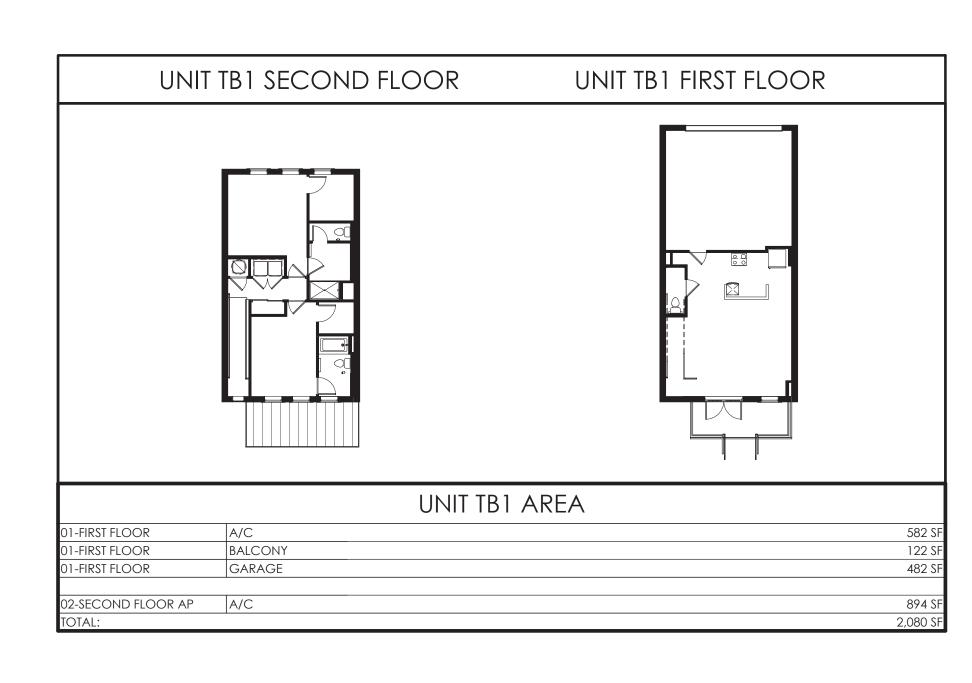
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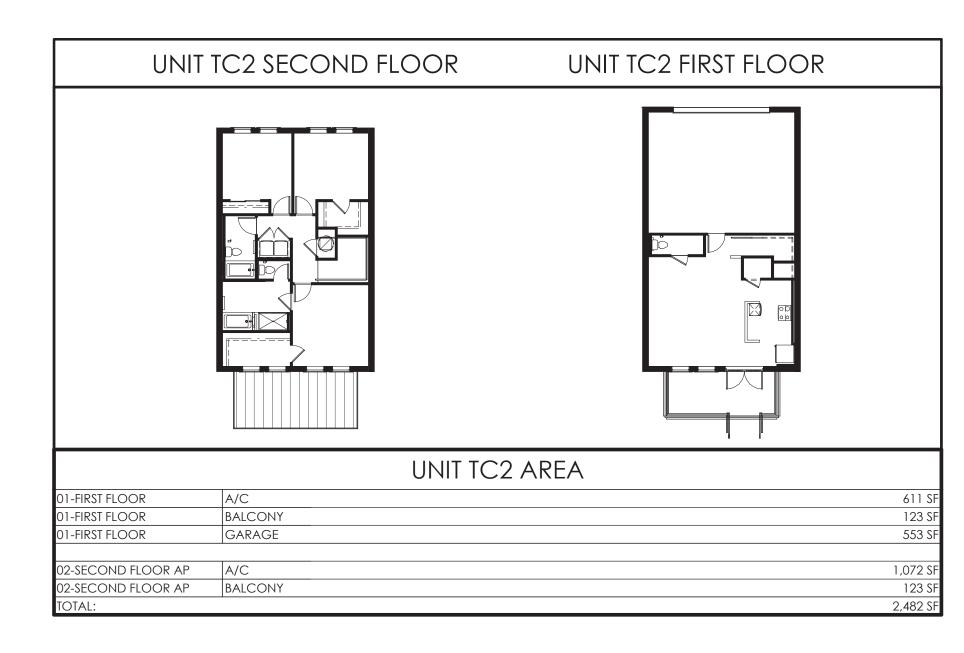
date: 9/20/23 job no: **4301.20** drawn by: **TK** 

reviewed by: OL issue

history: Date 1 11.6.23

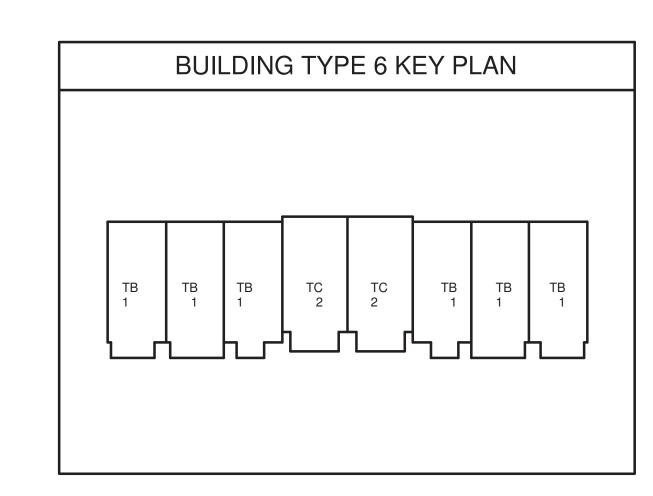
Sheet Title BLDG TYPE-6 MULTIFAMILY PROJECT DATA





BUILDING TYPE 6 A	REA - A/C
01-FIRST FLOOR	4,526 SF
02-SECOND FLOOR AP	7,187 SF
TOTAL BUILDING AREA:	11,713 SF
1017 (2 2012211 10 7 (112) (1	
TO THE BOTEDITY OF TIME THE	
BUILDING TYPE 6 AR	REA - GROSS
BUILDING TYPE 6 AR	REA - GROSS 9,186 SF

UNIT MIX - BUILDING TYPE 6				
UNIT TYPE	1ST FLOOR & 2nd FLOOR	TOTAL PER BUILDING	BLDGS ON SITE	TOTAL # OF UNITS ON SITE
TC1	2	2		8
TB1	6	6	1	24
			4	
TOTAL	8	8	(4x)	32





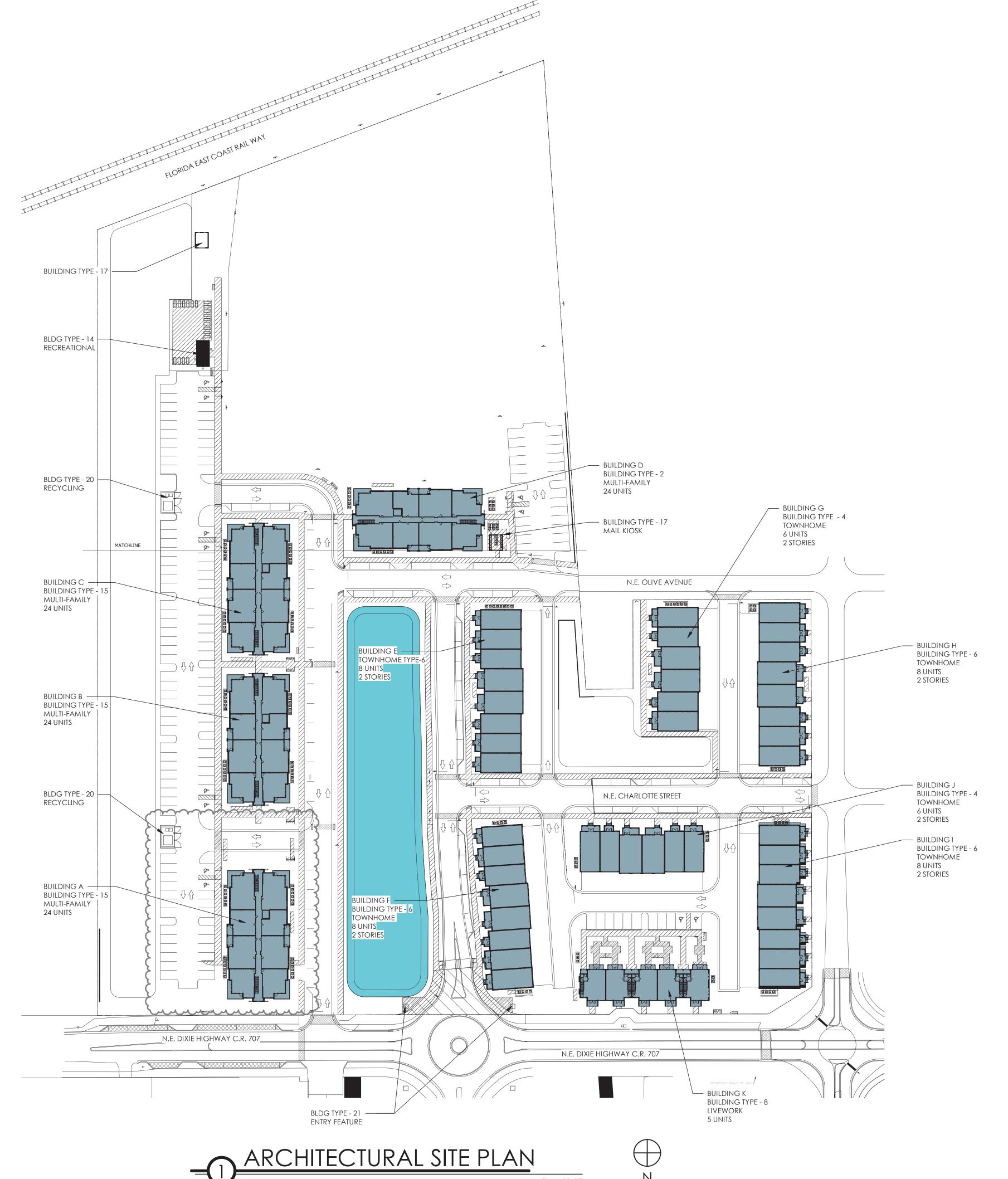
Sheet Title

BLDG TYPE 6

BUILDING & UNIT

DATA

SCALE: 1" = 60'-0"



MARINE <u>R</u> **PRESERVE** charlan • brock associates

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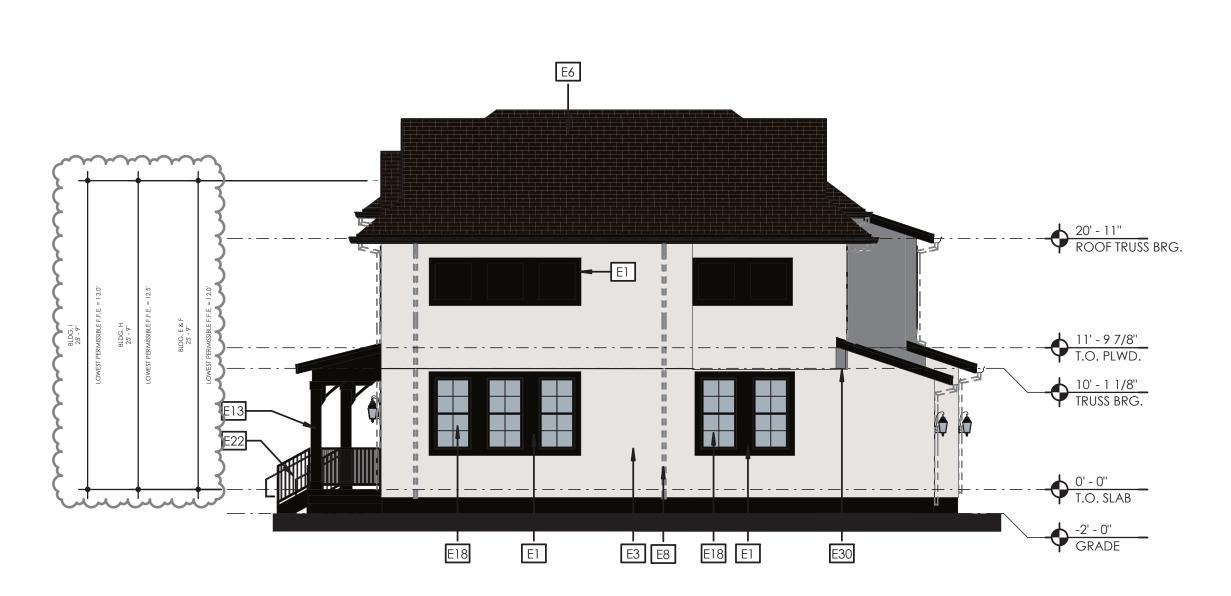
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Sheet Title

ARCHITECTURAL SITE PLAN - PRESERVE



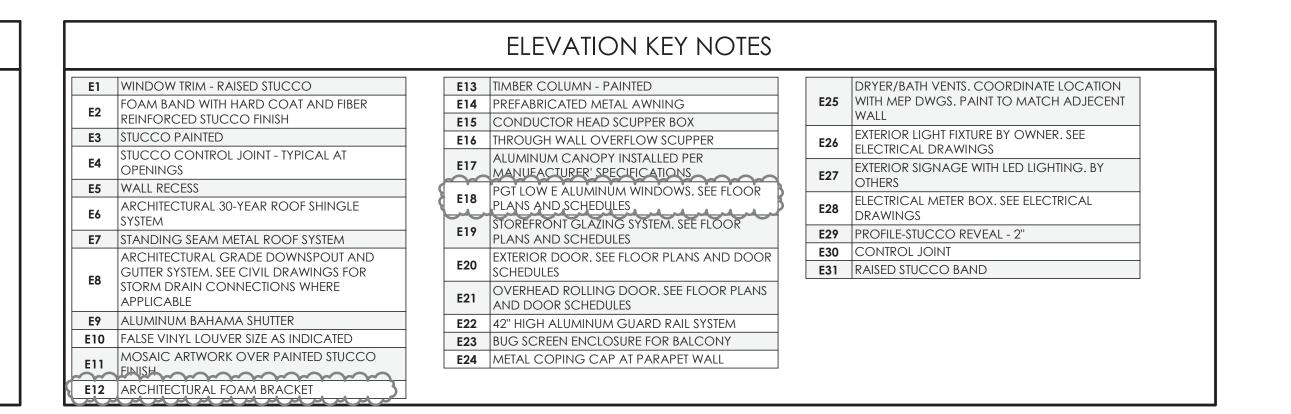
BLDG TYPE 6 - RIGHT ELEVATION SCALE: 1/8" = 1'-0"

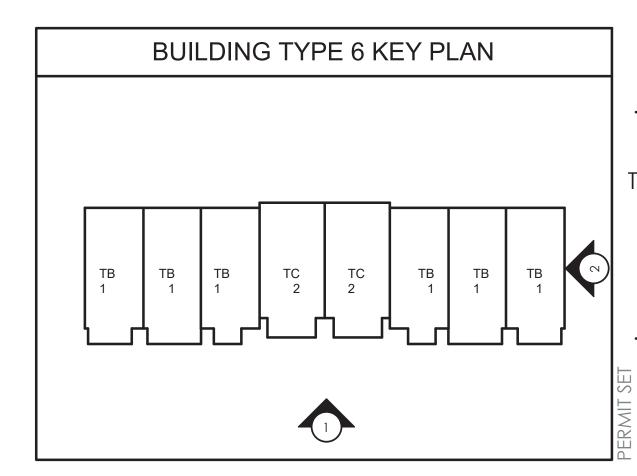


BLDG TYPE 6 - FRONT ELEVATION SCALE: 1/8" = 1'-0"

#### TYPICAL ELEVATION NOTES

- TYPICAL EXTERIOR CLADDING STUCCO, PAINTED.
- ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR
- APPROVAL ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
- ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
- ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO
- SOFFIT AND CEILING CONDITIONS. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
- SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
- PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
- EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.





Sheet Title BLDG TYPE-6 TOWNHOME EXTERIOR **ELEVATIONS** 

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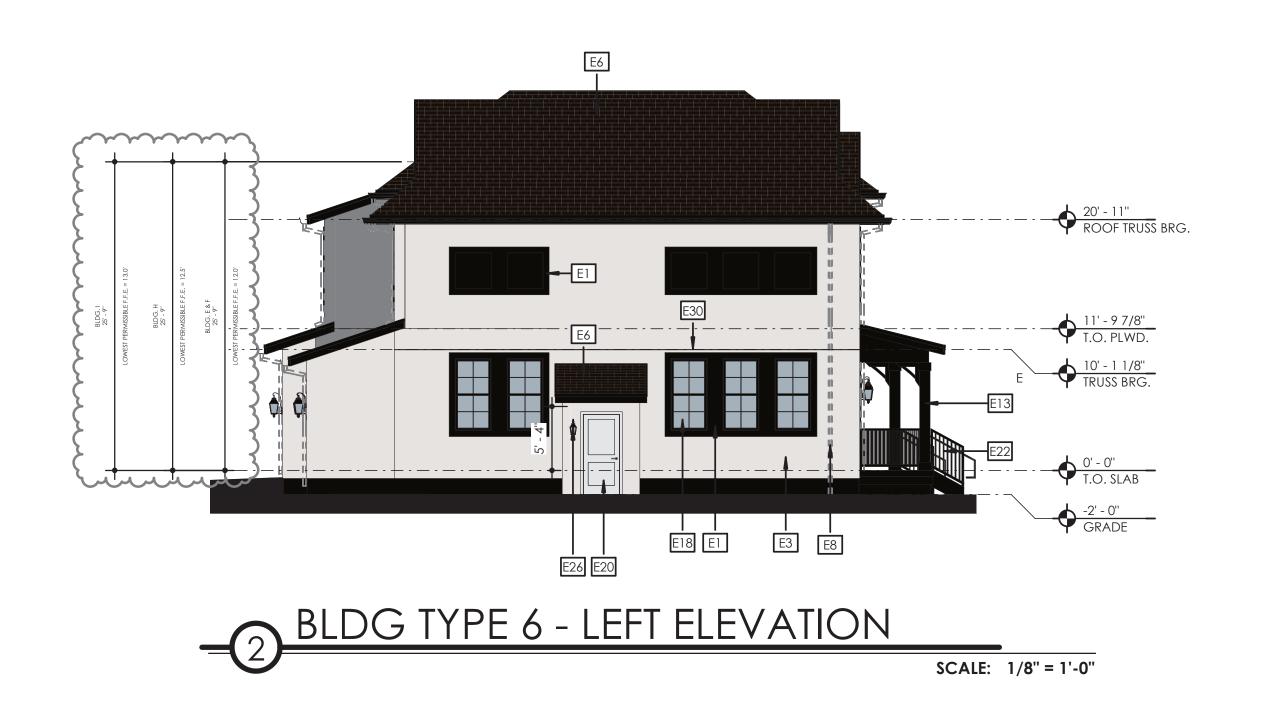
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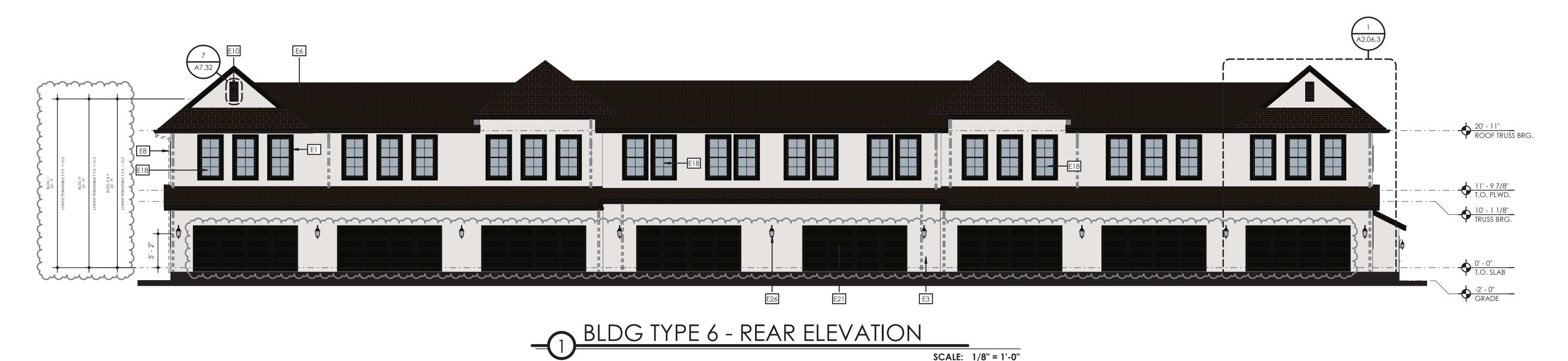
reviewed by: OL

history: Date

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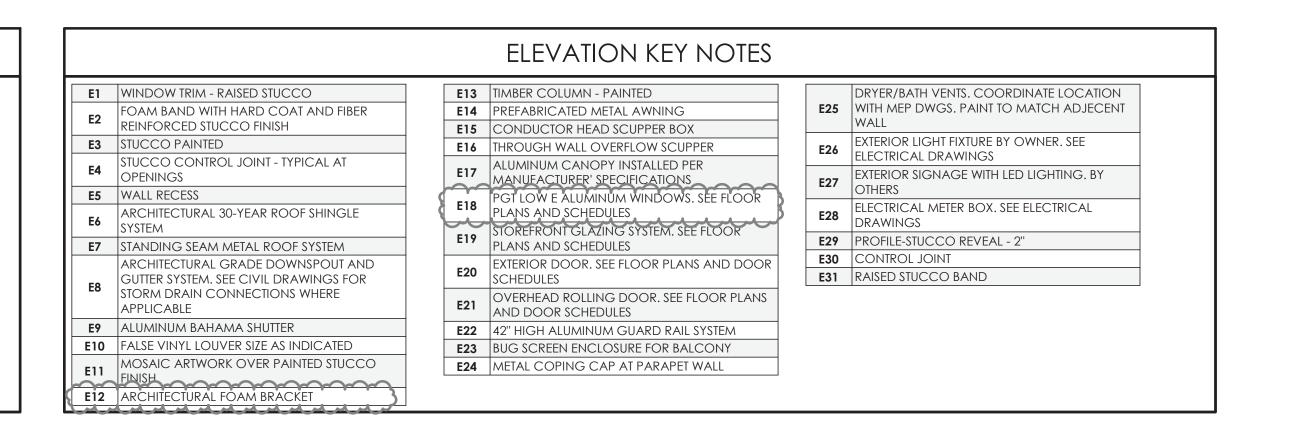
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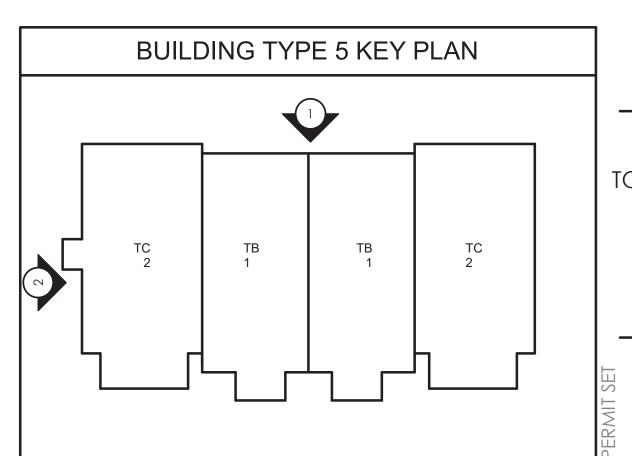






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- ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.



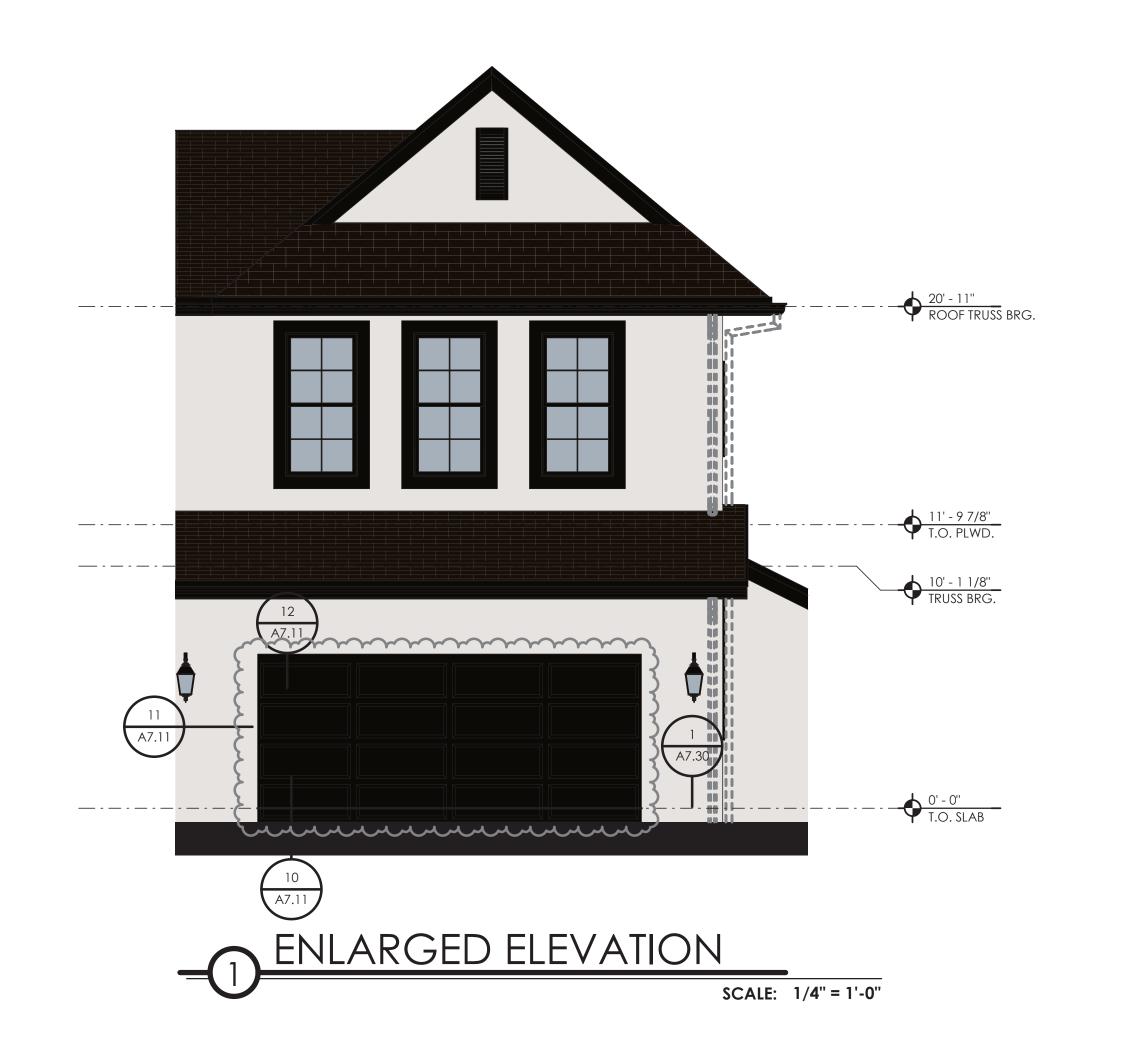




Sheet Title BLDG TYPE-6 TOWNHOME EXTERIOR **ELEVATIONS** 









CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR

TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.

ALL EXTERIOR TRIM RAISED STUCCO.

ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF

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ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.

PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.

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#### E1 WINDOW TRIM - RAISED STUCCO

FOAM BAND WITH HARD COAT AND FIBER

REINFORCED STUCCO FINISH E3 STUCCO PAINTED

STUCCO CONTROL JOINT - TYPICAL AT

**E4** OPENINGS

**E5** WALL RECESS

ARCHITECTURAL 30-YEAR ROOF SHINGLE

E7 STANDING SEAM METAL ROOF SYSTEM

ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE

E9 ALUMINUM BAHAMA SHUTTER **E10** FALSE VINYL LOUVER SIZE AS INDICATED MOSAIC ARTWORK OVER PAINTED STUCCO FINISH

E12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.

#### **ELEVATION KEY NOTES**

E13 TIMBER COLUMN - PAINTED **E14** PREFABRICATED METAL AWNING

E15 CONDUCTOR HEAD SCUPPER BOX E16 THROUGH WALL OVERFLOW SCUPPER ALUMINUM CANOPY INSTALLED PER

MANUFACTURER' SPECIFICATIONS

PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PGT LOW E ALUMINOM ......
PLANS AND SCHEDULES
STOREFRONT GLAZING SYSTEM. SEE FLOOR

PLANS AND SCHEDULES EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR

SCHEDULES OVERHEAD ROLLING DOOR. SEE FLOOR PLANS

AND DOOR SCHEDULES **E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM **E23** BUG SCREEN ENCLOSURE FOR BALCONY **E24** METAL COPING CAP AT PARAPET WALL

DRYER/BATH VENTS. COORDINATE LOCATION **E25** WITH MEP DWGS. PAINT TO MATCH ADJECENT

WALL EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS

EXTERIOR SIGNAGE WITH LED LIGHTING. BY E27 OTHERS ELECTRICAL METER BOX. SEE ELECTRICAL

E28 DRAWINGS **E29** PROFILE-STUCCO REVEAL - 2"

E30 CONTROL JOINT E31 RAISED STUCCO BAND Sheet Title

MARINE

BLDG TYPE-6 TOWNHOME ENLARGED **ELEVATIONS** 

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history: Date

1 CLIENT **UPDATES** 

issue

A0.10CC

Sheet Number

## RIO MARINE VILLAGE

#### PHASE I EAST PERMIT SET 9.20.23

OWNER:

RIO SOUTH DIXIE, LLC BRIAN PAWLIK 601 HERITAGE DR., STE #227 JUPITER, FL 33458 P: 561.575.6454 E: bpawlik@prairieridgedev.com

**ARCHITECT** 

CHARLAN BROCK ARCHITECTS AARON PINEDA, PM 1770 FENNELL STREET MAITLAND, FL 32751 P: 407.660.8900

E: AARON@CBAARCHITECTS.COM

STRUCTUR **ENGINEER**:

**PLUMBING** 

**ENGINEER**:

ONMJ PATRICK JACKSON 1655 PALM BEACH LAKES BLVD. SUITE 204 WEST PALM BEACH 33401 P: 561.835.8255

**MECHANICAL ELECTRICAL** 

JLC SIMON ROJAS 1880 HARWOOD AVE **SUITE 3000** ALTAMONT SPRINGS, FL 32714

P: 321.972.4466

**OWNER'S** CIVIL **ENGINEER**:

SIMMONS & WHITE, INC JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698

E: PARRISH@SIMMONSANDWHITE.COM

**OWNER'S** LANDSCAPE ARCHITECT:

COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

**OWNER'S INTERIOR DESIGNER**:

OFF CENTER DESIGN GROUP AMANDA PRIZZI 1109 OKEECHOBEE ROAD SUITE 22 WEST PALM BEACH FL 33401 585.315.9777 REBECCA@OFFCENTEREDDESIGNGROUP.COM

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Sheet Title

BLDG TYPE-8 LIVEWORK PROJECT **COVER SHEET** 

A0.10CC

BLDG TYPE-8

DRAWINGS

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history: Date

Sheet Title

**DIMENSIONAL LUMBER** STUD WALL **CUT LUMBER** PLYWOOD CMU BLOCK WALL EARTH FILL POURED CONCRETE STRUCTURAL STEEL SSSSS BATT INSULATION RIGID FOAM INSULATION **CONCRETE MASONRY UNIT** FLOOR TRUSS

#### **KEY TO SYMBOLS** - DETAIL NUMBER **WINDOW** WINDOW **NORTH ARROW** Detai **IDENTIFICATION** UNIT DOOR 01 — DOOR NUMBER **IDENTIFICATION** LIVING — SPACE NAME **IDENTIFICATION** —— SPACE BUILDING DOOR NUMBER SECTION **IDENTIFICATION** - SECTION NUMBER REFERENCE **DETAIL SECTION** CLUB DOOR 1001 DOOR NUMBER REFERENCE — SHEET **IDENTIFICATION** NUMBER SECTION ORIENTATION-BUILDING WALL TYPE NUMBER SECTION IDENTIFICATION — PLAN/ELEVATION REFERENCE SHEET NUMBER

IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER

IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE

PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THI

MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR

BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED

TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED

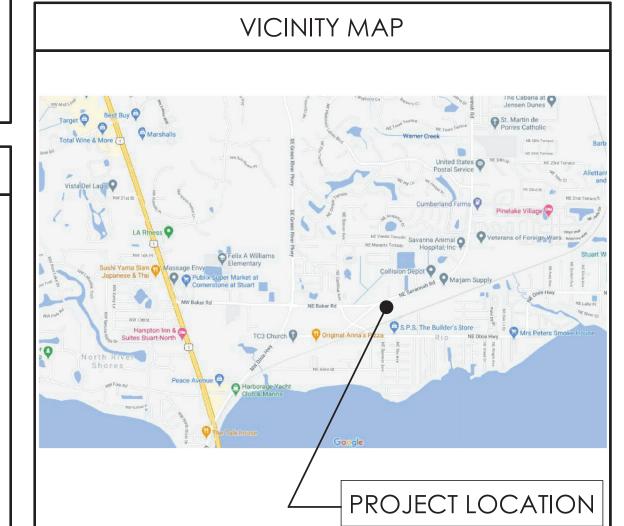
WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE

MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN

OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO

THE MAINTENANCE PROGRAM.

#### STANDARD ABBREVIATIONS ANCHOR BOLT D.L. DEAD LOAD HARDWARE AIR CONDITIONER H.M. HOLLOW METAL PANTRY SHT. SHEET DN. DOWN **ADJACENT** DRYWALL HORTZ HORIZONTAL PULL CHAIN SIMILAR HGT. S.G.D. SLIDING GLASS DOOR A.H.U. AIR HANDLER UNIT D.W. DISHWASHER HEIGHT PEDESTAL HTG. ALUM. **ALUMINUM** DWG. **DRAWING** HEATING PERP. **PERPENDICULAR** SQ. SQUARE STAINLESS STEEL ALT. EACH HTR ALTERNATE HEATER PLATE S.S. APPROX. EXTERIOR INSULATION PLYWOOD STD. STANDARD APPROXIMATE E.I.F.S. INCHES FINISH SYSTEM INSUL **INSULATION** PROPERTY STO. STORAGE BRG. **BEARING** STRUCTURAL BOARD **EXPANSION JOINT** INT. INTERIOR P.S.F. STR. POUND PER SQUARE FEET BLDG. BUILDING ELEV. **ELEVATION** JST. JOIST POUND PER SQUARE INCH SUB. SUBSTITUTE BLK. BLOCK E.P.S. EXPANDED POLYSTYRENE PRESSURE TREATED SUP. **SUPPORT** TRASH COMPACTOR PARTITION T.C. B.M. BEAM SYSTEM POUND EQ. PAPER HOLDER BTM. **LAMINATED TEMPERATURE** BOTTOM EQUAL LAM. EST. THK. COL. COLUMN ESTIMATE LAVATORY QUALITY THICK/THICKNESS TYP. CER. EXIST. LTG. LIGHTING CERAMIC **EXISTING** QUAN. QUANTITY **TYPICAL** CONSTRUCTION JOINT EXT. EXTERIOR MATL **MATERIALS** R.A.G. **RETURN AIR GRILL** U.L. **UNDERWRITERS** CLG. FN.FL. FINISH FLOOR MAX. RAD. LABORATORY CEILING MAXIMUM RADIUS C.M.U. CONCRETE BLOCK M.C. MEDICAL CABINET **ROOF DRAIN** VENT. VENTILATION FIN. FINISH CONC. CONCRETE FIXED GLASS **MECH MECHANICAL** REFRIGERATOR VERT. VERTICAL CONST. VOLUME CONSTRUCTION FIREPLACE MIN. MINIMUM REINF. REINFORCE VOL. VENT THROUGH ROOF CONT. CONTINUOUS FT. FEET MISC **MISCELLANEOUS** REQD. REQUIRED V.T.R. CTR CENTER FTG. FOOTING M.O. MASONRY OPENING REV. REVISION/REVERSE WIDTH/WIDE/WASHER GA. M.T. METAL THRESHOLD W.C. WATER CLOSET DRYFR GAGE ROOMGALV. **GALVANIZED** MTL. **ROUGH SAWN** W.D. DOUBLE METAL WOOD DET. DETAIL OVERALL WDW GLASS O.A. SOLID CORE WINDOW O.C. W.H. DIAM. DIAMETER GYP. GYPSUM ON CENTER SCHEDULE WATER HEATER SCHED. O.D. DIMENSION HOSE BIB OUTSIDE DIAMETER SDNG W.I.C. WALK IN CLOSET DISP. SEC. SECTION WATERPROOF DISPOSAL **HOLLOW CORE** OPP. OPPOSITE



FRONTAGE TYPE IS **'STOOP'** 

## LOCATION MAP PROJECT SITE

#### PROJECT NARRATIVE

#### PROJECT NARRATIVE:

HE PROPOSED PROJECT IS LOCATED IN UNICORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY redevelopment area South, of ne dixie highway and rio north dixie, of ne dixie highway. The project is COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY, RESTAURANT AND COMMERCIAL BUILDINGS AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL AND POOL DECK, BUT PROVIDED BY DTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

he commercial buildings will be a 'cold-dark shell' construction with elevator and stairs, build-out PROPOSED BY 'FUTURE TENANTS'. VARIOUS BUILDINGS WILL BE SHARED FOR BOTH RIO NORTH AND RIO SOUTH.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20 BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 10, 16, 17, 18, 19, 21

#### BUILDING IDENTIFICATION

#### CODE INFORMATION

IVE-WORK			
1 BUILDING USE / OCCUPANCY / TYPE			

GROUP R-2 CONSTRUCTION TYPE: TYPE V-B

SPRINKLED: NFPA - 13R .2 BUILDING HEIGHT (FBC TABLE 503)

.3 BUILDING AREA (FBC TABLE 503)

TAL BUILDING AREA:

PARTY WALL:

706.4.1.2)

ALLOWED: 7,000 SQ. FT. / PER FLOOR PROPOSED: REFER TO BUILDING AREA TABLES

#### BUILDING TYPE 8 AREA - GROSS -FIRST FLOOR 5,789 \$

-SECOND FLOOR AP 5,186 S OTAL BUILDING AREA:

#### BUILDING TYPE 8 AREA - A/C I-FIRST FLOOR 4,812 -SECOND FLOOR AP 4,812 S

.4 FIRE RESISTANCE RATINGS (FBC TABLE 601) STRUCTURAL FRAME: 0 HOUR 0 HOUR INTERIOR BEARING WALLS: EXTERIOR BEARING WALLS: 0 HOUR EXTERIOR NON-BEARING WALLS: 0 HOUR INTERIOR NON-BEARING WALLS: 0 HOUR FLOOR CONSTRUCTION: 0 HOUR **ROOF CONSTRUCTION:** 0 HOUR .5 FIRE SEPARATION

#### 1.6 EXIT ACCESS

1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF
required from and portion of the exit access, the
EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED
A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF
THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL

DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURE IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 250' (FBC 1016.2) MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' (FBC 1014.3)

MAXIMUM DEAD END: 20' (FBC 1018.4)

1.7 MINIMUM INTERIOR FINISH CLASSIFICATION

- 1	0.000	0000 00 5050 0050	
	NFPA 10	11 TABLE A.10.2.2	
5 SF			
	1 / / / / / / / / / / / / /	TOTAL IT TIENT OIL THE TIOT OF TO	,011 1 0

GROUP	SPRINKLERED (NFPA - 13R)			
	VERTICAL EXITS		ROOMS AND ENCLOSED SPACES	
R-2	А	А	С	
S-2	С	С	С	

#### APPLIED CODES

9,624 S

FLORIDA BUILDING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

2 HOUR (FBC

ELORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE

NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

FLORIDA STATUES

florida administrative code

to the best of charlan brock and associates knowledge these plans and SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

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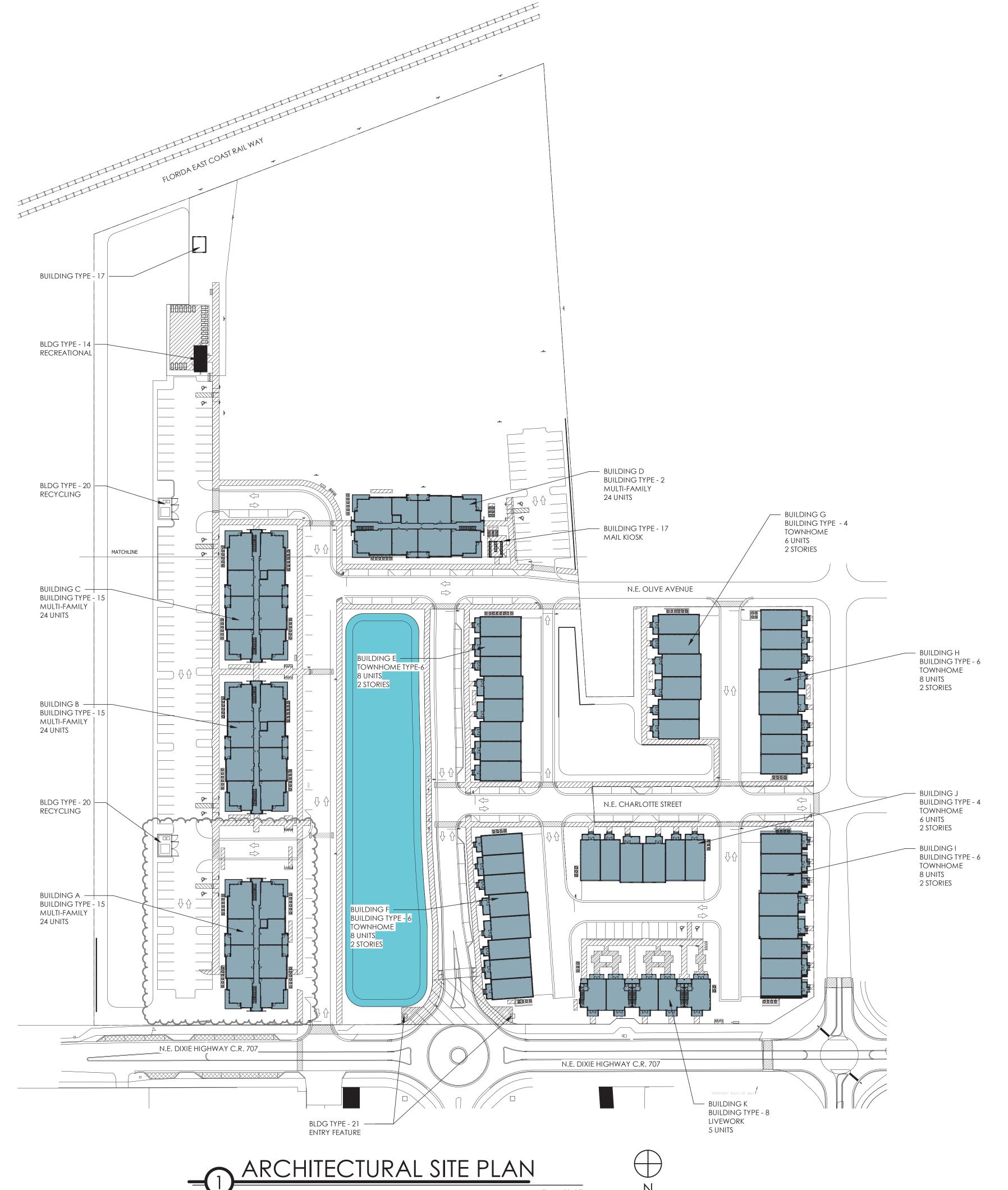
date: 9/20/23 job no: **4301.20** drawn by: **TK** reviewed by: OL

issue history: Date 1 11.6.23

Sheet Title

**BLDG TYPE-8** LIVE-WORK PROJECT DATA

SCALE: 1" = 60'-0"



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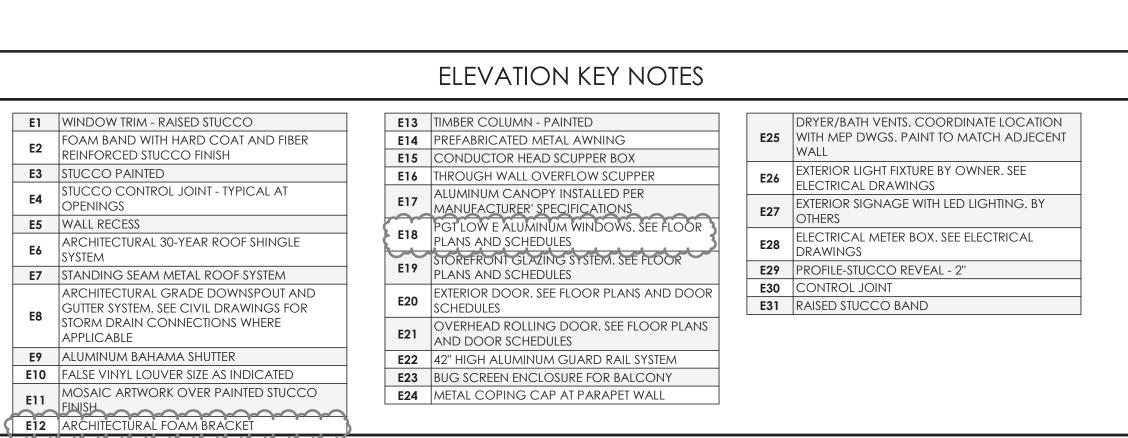
date: 9/20/23 job no: **4301.20** drawn by: OL, TYA reviewed by: CBA

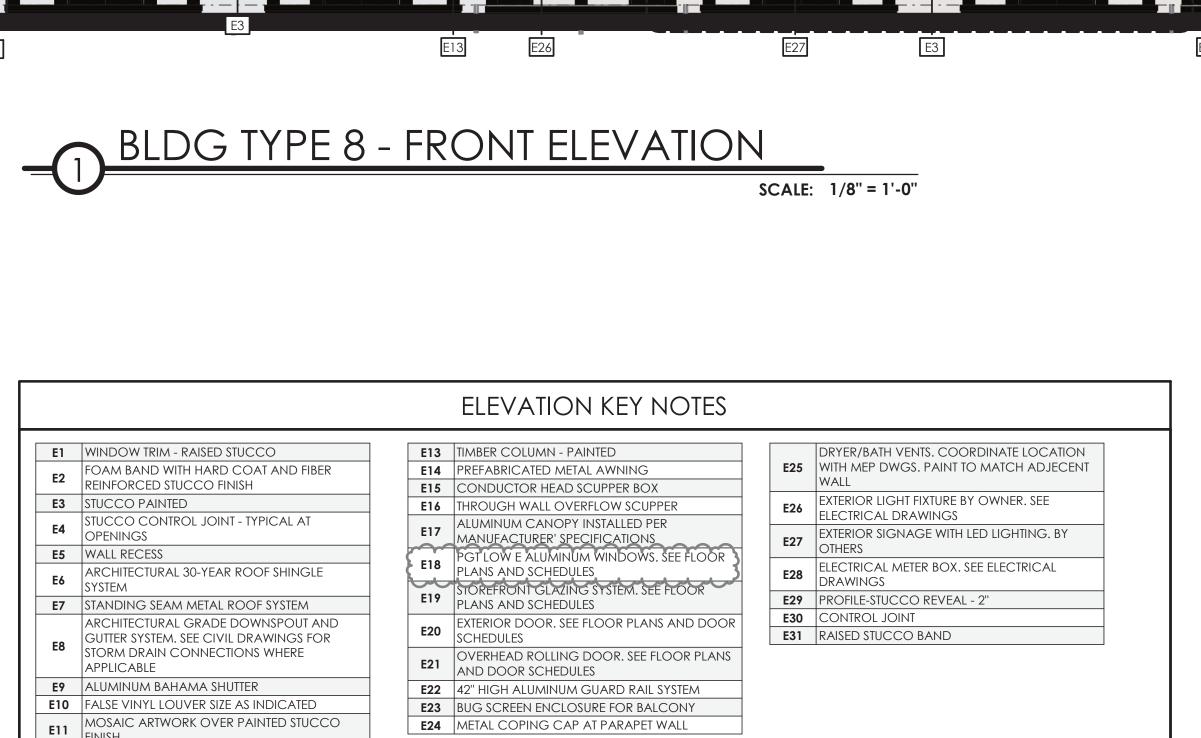
issue history: Date 1 CLIENT UPDATES

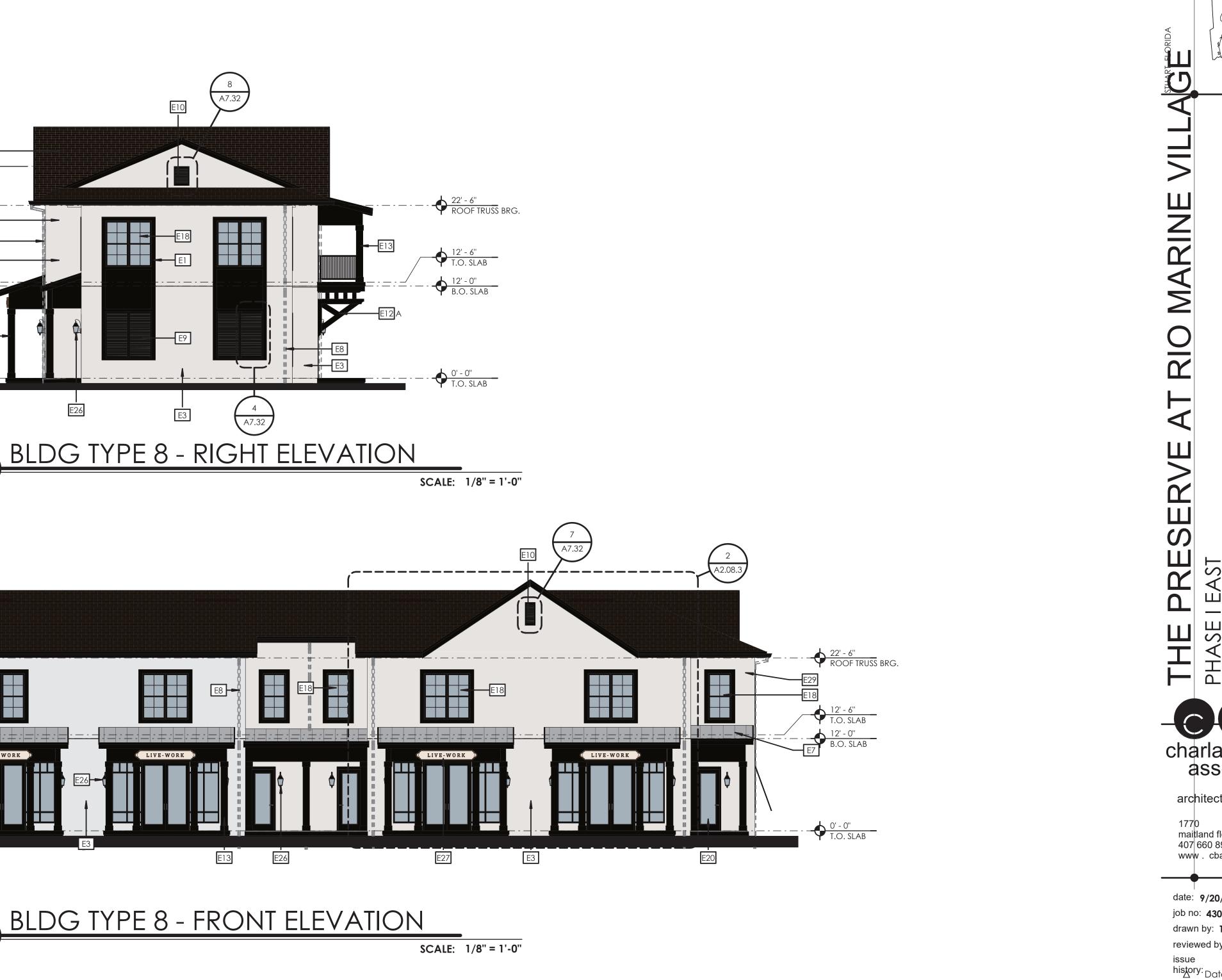
Sheet Title

ARCHITECTURAL SITE PLAN - PRESERVE









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Sheet Title BLDG TYPE-8 LIVEWORK EXTERIOR **ELEVATIONS** 

BUILDING TYPE 8 KEY PLAN

A0.10CC

TYPICAL ELEVATION NOTES

TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.

ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR

APPROVAL ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.

ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.

PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO

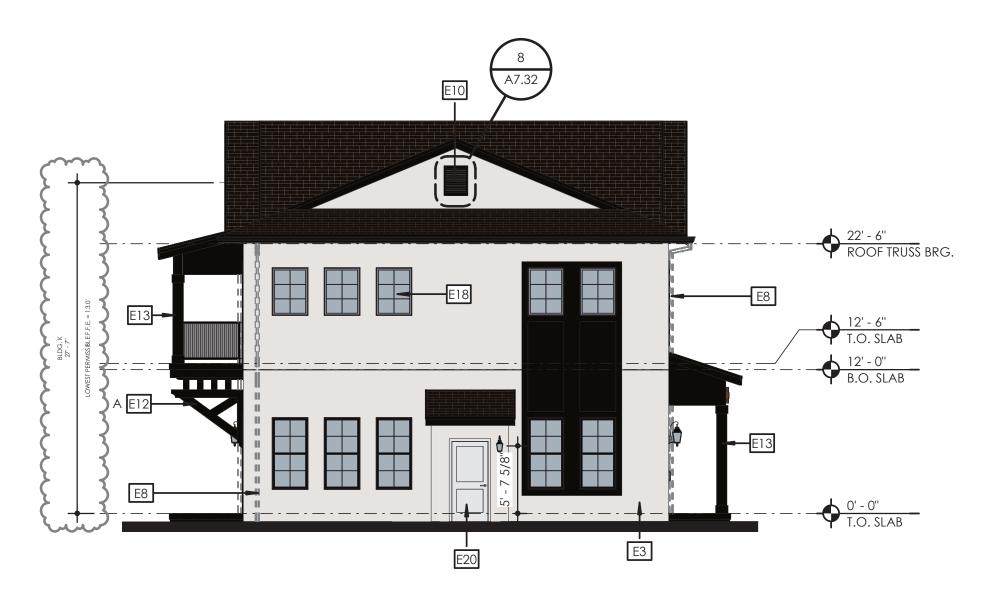
SOFFIT AND CEILING CONDITIONS.

PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.

SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.

EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.

ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

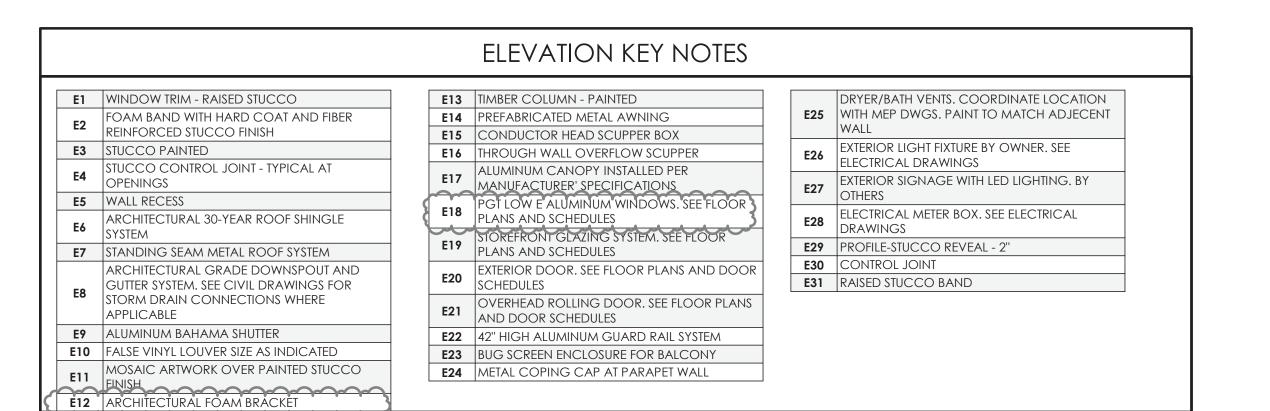


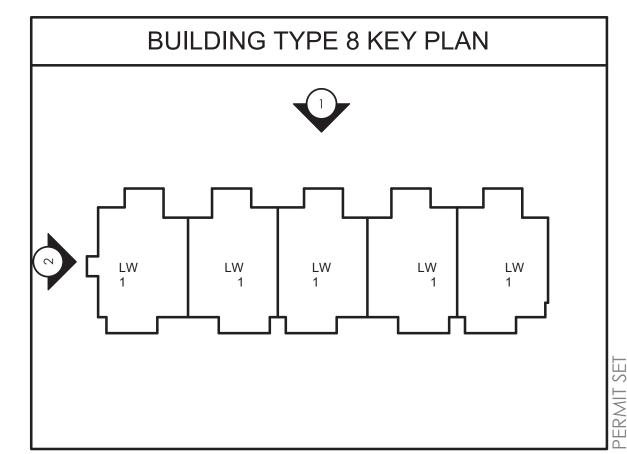
BLDG TYPE 8 - LEFT ELEVATION SCALE: 1/8" = 1'-0"



#### TYPICAL ELEVATION NOTES

- TYPICAL EXTERIOR CLADDING STUCCO, PAINTED.
- ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR
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- SOFFIT AND CEILING CONDITIONS.
- PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
- PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
- PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
- COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.





Sheet Title BLDG TYPE-8 LIVEWORK EXTERIOR **ELEVATIONS** 

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reviewed by: OL

history: Date

1 11.6.23

issue









#### COLOR LEGEND COLOR 1 COLOR 2

DEEP FOREST BROWN

SW 9175

CLOUD NINE

SW 6546

TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED. ALL EXTERIOR TRIM RAISED STUCCO.

ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR

TYPICAL ELEVATION NOTES

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ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.

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#### ELEVATION KEY NOTES

E1 WINDOW TRIM - RAISED STUCCO

FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH E3 STUCCO PAINTED

STUCCO CONTROL JOINT - TYPICAL AT OPENINGS E5 WALL RECESS ARCHITECTURAL 30-YEAR ROOF SHINGLE

E7 STANDING SEAM METAL ROOF SYSTEM ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR

STORM DRAIN CONNECTIONS WHERE APPLICABLE E9 ALUMINUM BAHAMA SHUTTER

**E10** FALSE VINYL LOUVER SIZE AS INDICATED MOSAIC ARTWORK OVER PAINTED STUCCO E11 FINISH

E12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C. E13 TIMBER COLUMN - PAINTED **E14** PREFABRICATED METAL AWNING E15 CONDUCTOR HEAD SCUPPER BOX

E16 THROUGH WALL OVERFLOW SCUPPER ALUMINUM CANOPY INSTALLED PER

PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES STOREFRONT GLAZING SYSTEM. SEE FLOOR

PLANS AND SCHEDULES EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES

**E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM

**E23** BUG SCREEN ENCLOSURE FOR BALCONY

**E24** METAL COPING CAP AT PARAPET WALL

OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES

WALL EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS EXTERIOR SIGNAGE WITH LED LIGHTING. BY E27 OTHERS

DRYER/BATH VENTS. COORDINATE LOCATION

E25 WITH MEP DWGS. PAINT TO MATCH ADJECENT

ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS

**E29** PROFILE-STUCCO REVEAL - 2" E30 | CONTROL JOINT

E31 RAISED STUCCO BAND

BLDG TYPE-8 LIVEWORK ENLARGED **ELEVATIONS** 

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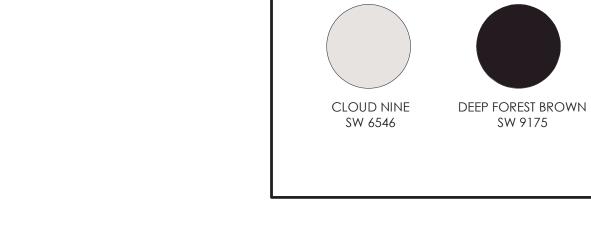
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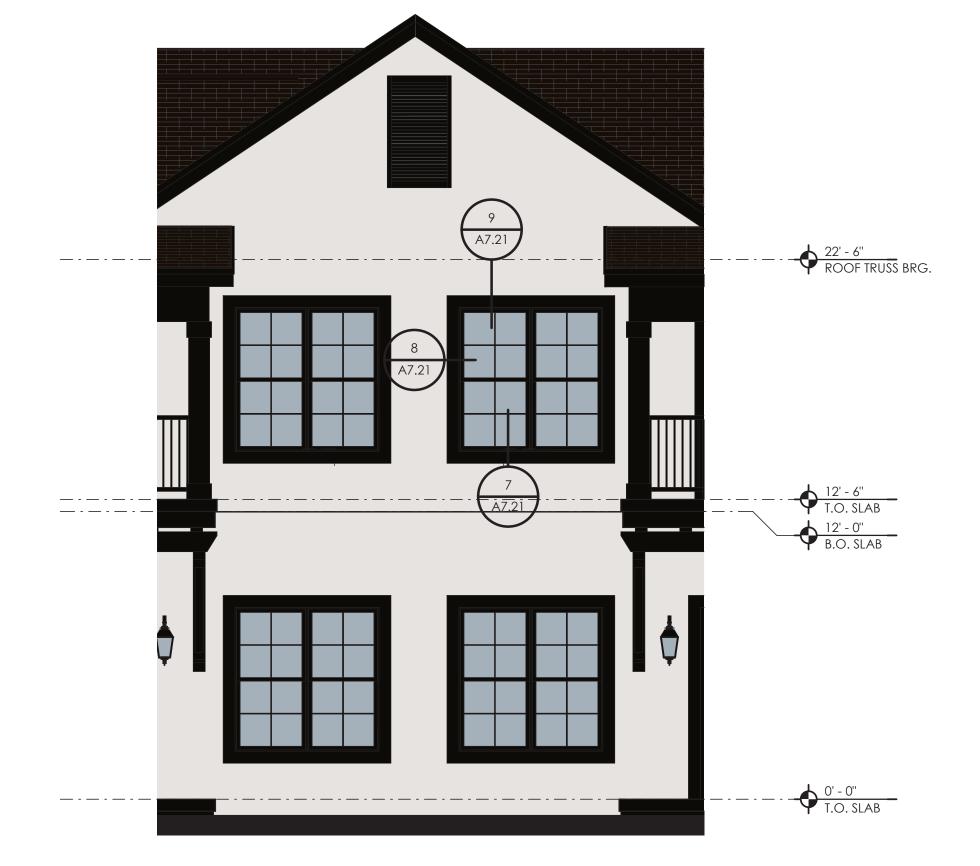
COLOR LEGEND

COLOR 2

COLOR 1









#### TYPICAL ELEVATION NOTES

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REINFORCED STUCCO FINISH E3 STUCCO PAINTED

STUCCO CONTROL JOINT - TYPICAL AT OPENINGS **E5** WALL RECESS

ARCHITECTURAL 30-YEAR ROOF SHINGLE E7 STANDING SEAM METAL ROOF SYSTEM

ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE

E9 ALUMINUM BAHAMA SHUTTER **E10** FALSE VINYL LOUVER SIZE AS INDICATED MOSAIC ARTWORK OVER PAINTED STUCCO

E12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.

E17

MANUFACTURER' SPECIFICATIONS

E18

PGT LOW E ALUMINUM WINDOWS. SEE FLOOR
PLANS AND SCHEDULES

STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES

**E23** BUG SCREEN ENCLOSURE FOR BALCONY

**E24** METAL COPING CAP AT PARAPET WALL

E13 TIMBER COLUMN - PAINTED

**E14** PREFABRICATED METAL AWNING

**E15** CONDUCTOR HEAD SCUPPER BOX

E16 THROUGH WALL OVERFLOW SCUPPER

E17 ALUMINUM CANOPY INSTALLED PER

OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES **E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM

DRYER/BATH VENTS. COORDINATE LOCATION **E25** WITH MEP DWGS. PAINT TO MATCH ADJECENT WALL EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS

**E29** PROFILE-STUCCO REVEAL - 2"

E30 | CONTROL JOINT E31 RAISED STUCCO BAND

Sheet Title BLDG TYPE-8 LIVEWORK ENLARGED **ELEVATIONS** 

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date: 9/20/23

job no: **4301.20** drawn by: **TK** 

reviewed by: OL

history: Date

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issue

## RIO MARINE VILLAGE

#### PHASE I EAST PERMIT SET 9.20.23

OWNER:

RIO SOUTH DIXIE, LLC BRIAN PAWLIK 601 HERITAGE DR., STE #227 JUPITER, FL 33458 P: 561.575.6454 E: bpawlik@prairieridgedev.com

**ARCHITECT** 

CHARLAN BROCK ARCHITECTS AARON PINEDA, PM 1770 FENNELL STREET MAITLAND, FL 32751 P: 407.660.8900

E: AARON@CBAARCHITECTS.COM

STRUCTUR **ENGINEER**:

ONMJ PATRICK JACKSON 1655 PALM BEACH LAKES BLVD. SUITE 204

WEST PALM BEACH 33401 P: 561.835.8255

**MECHANICAL ELECTRICAL PLUMBING ENGINEER**:

JLC SIMON ROJAS 1880 HARWOOD AVE **SUITE 3000** ALTAMONT SPRINGS, FL 32714

P: 321.972.4466

**OWNER'S** CIVIL **ENGINEER**:

SIMMONS & WHITE, INC JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698

E: PARRISH@SIMMONSANDWHITE.COM

**OWNER'S** LANDSCAPE ARCHITECT:

COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

**OWNER'S INTERIOR DESIGNER**:

OFF CENTER DESIGN GROUP AMANDA PRIZZI 1109 OKEECHOBEE ROAD SUITE 22 WEST PALM BEACH FL 33401 585.315.9777 REBECCA@OFFCENTEREDDESIGNGROUP.COM

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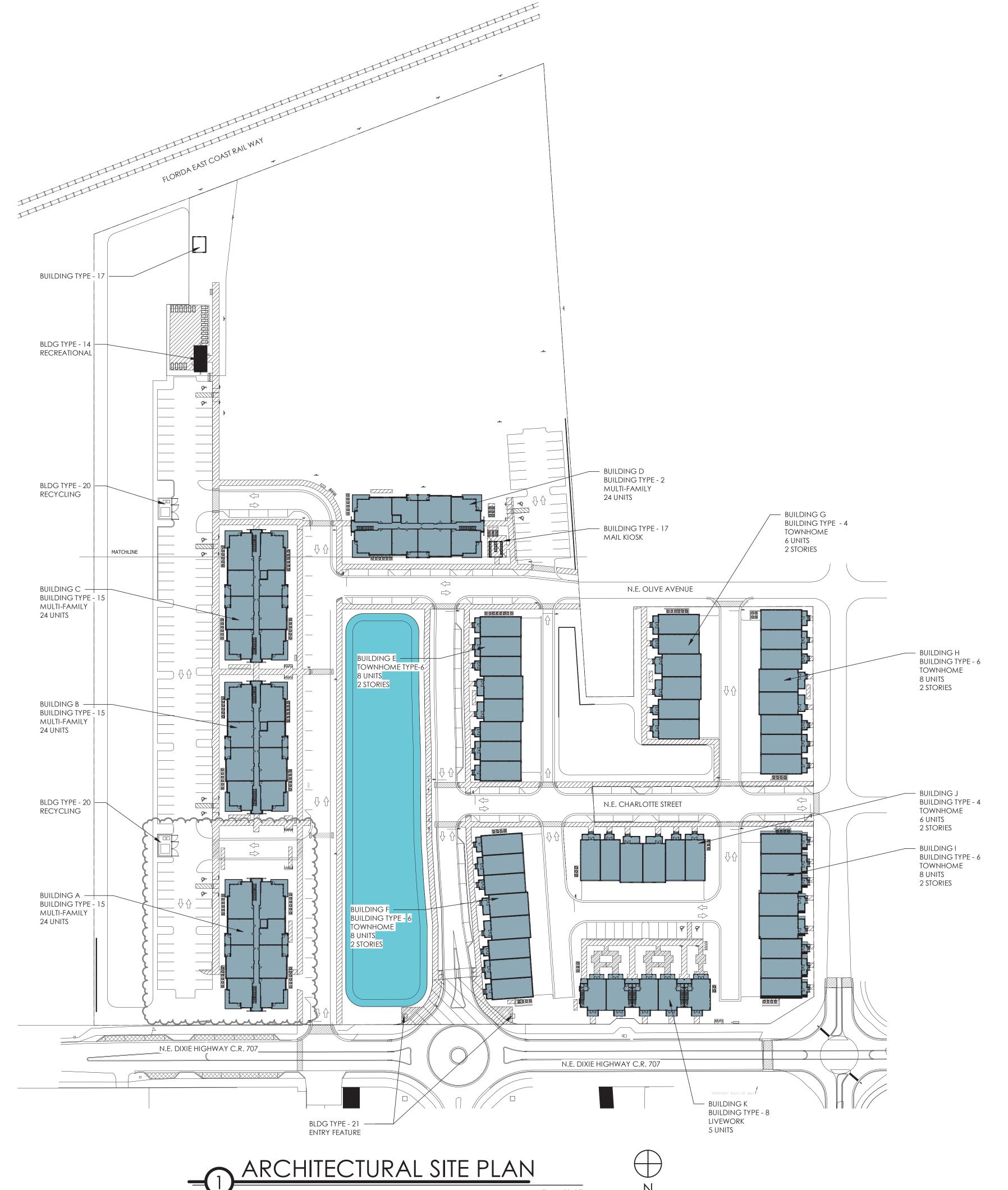
Sheet Title

BLDG TYPE-14 RECREATIONAL PROJECT COVER SHEET

associates

BLDG TYPE-14 RECREATIONAL INDEX OF DRAWINGS

SCALE: 1" = 60'-0"



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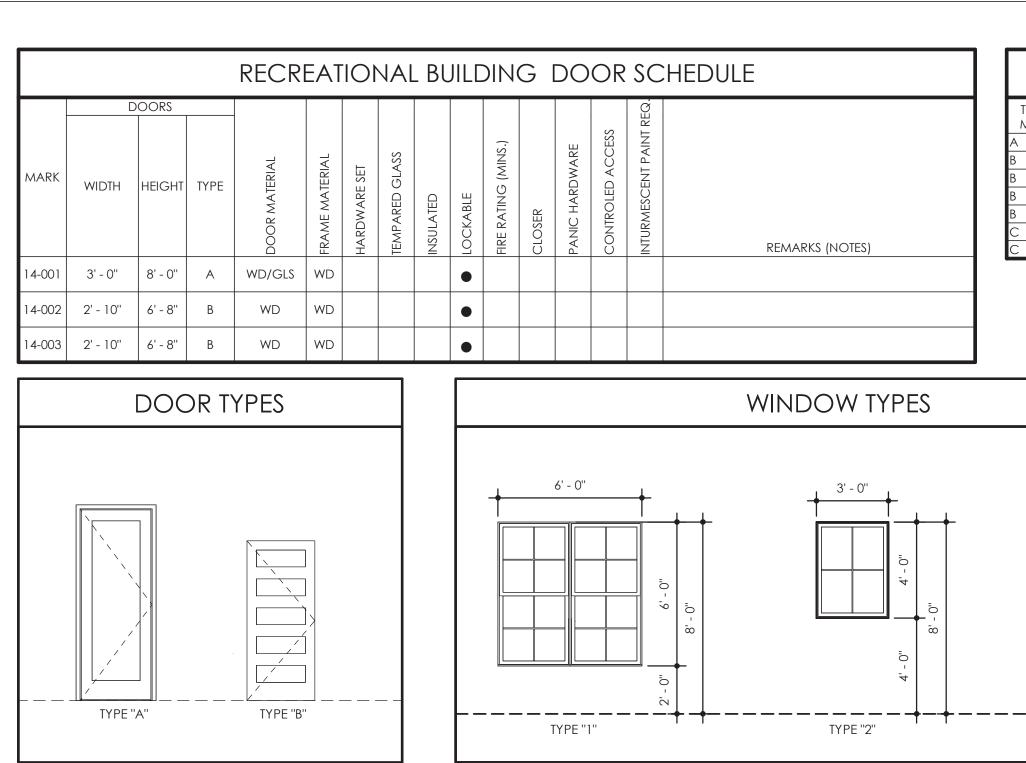
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Sheet Title

ARCHITECTURAL SITE PLAN - PRESERVE



OVER RESILIENT CHANNELS

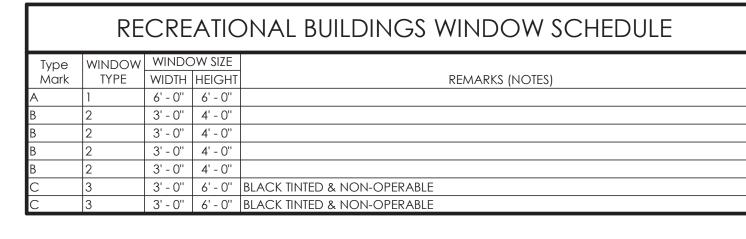
- 4" CONC SLAB PER STRUCTURAL

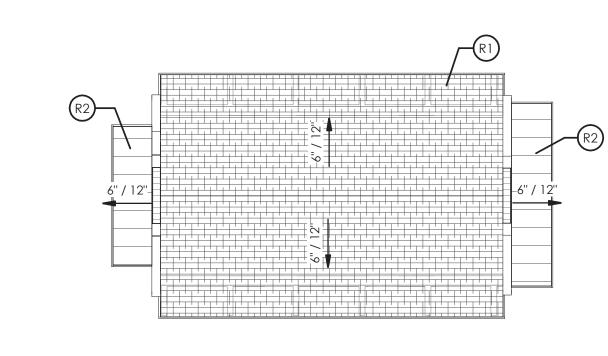
0' - 0" T.O. SLAB

ASSUMED GRADE

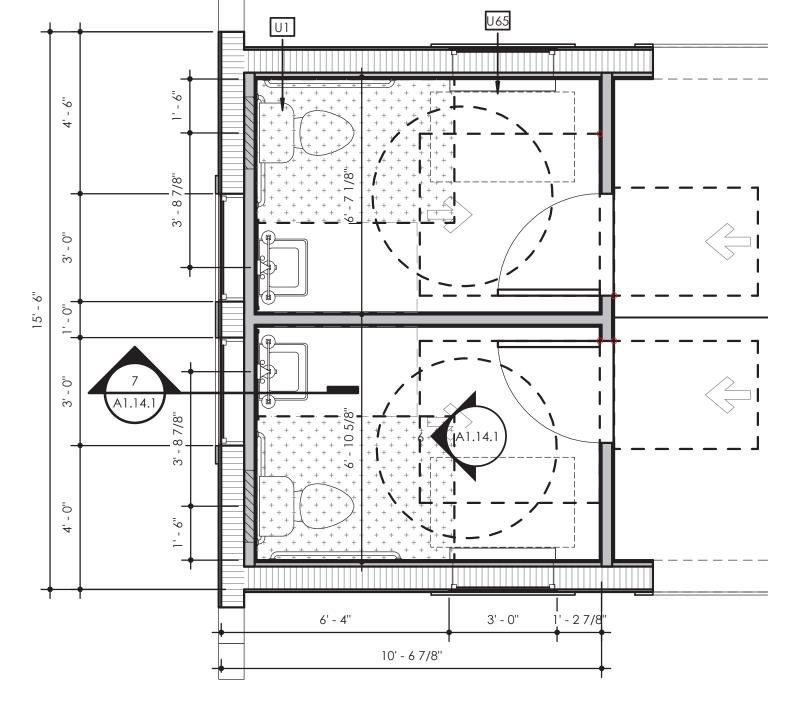
— 10 MIL. VAPOR BARRIER - TYPICAL

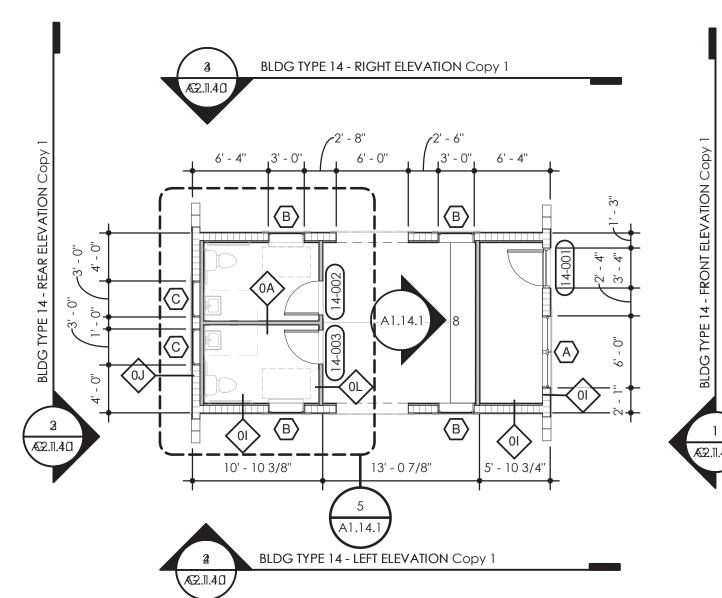
**RESTROOM** 





BLDG TYPE 14 ROOF PLAN





BLDG TYPE 14 - FLOOR PLAN SCALE: 1/8" = 1'-0"

8 1/2" 9' - 10 5/8"

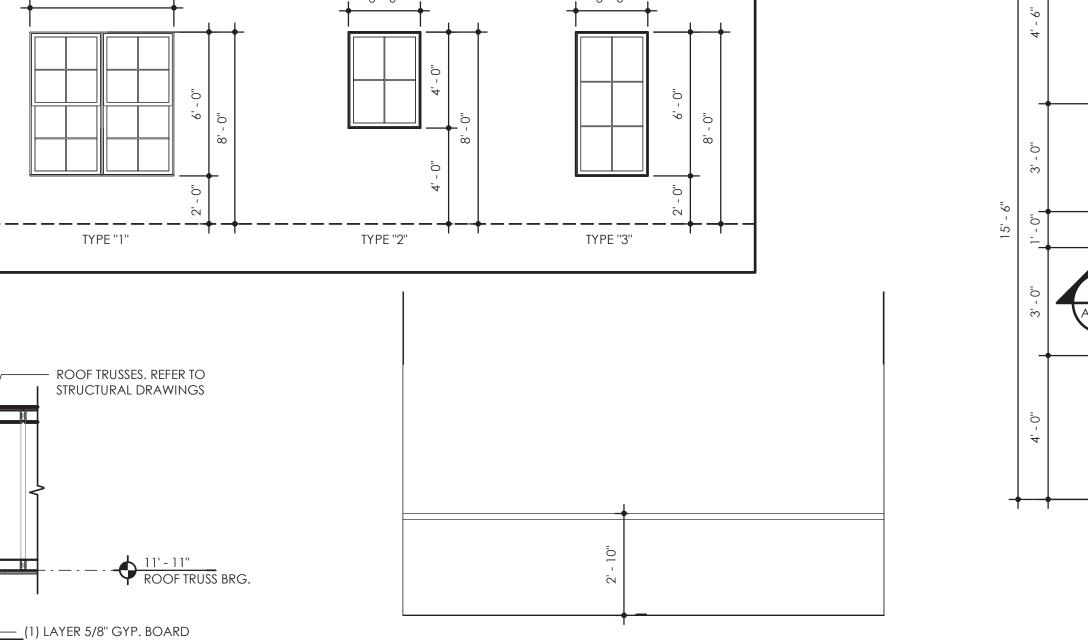
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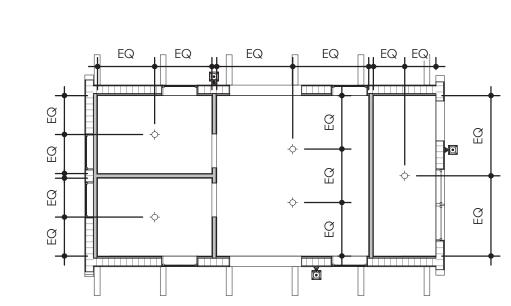
issue history: Date



INTERIOR ELEVATION

8 INTERIOR ELEVATION ENLARGED RESTROOM PLAN SCALE: 3/8" = 1'-0"

SCALE: 3/8" = 1'-0"



RCP PLAN

SCALE: 3/8" = 1'-0"

# BLDG TYPE 14 - SLAB PLAN



BUILDING SECTION

	K	EY N	1OT	ES
C1	2x6 STUD WALL	Γ	C18	URINAL
C2	2x8 STUD WALL		C19	WATER CLOSET
C3	2x10 STUD WALL		C20	DECORATIVE SINK APRON
C4	CEILING SOFFIT		C21	MIRROR (SIZE PER INTERIOR ELEVATIONS)
C5	SINK PER INTERIOR DESIGN'S DRAWINGS		C22	LIGHT FIXTURE
C6	DISHWASHER		C23	METAL STALL PARTITION
C7	REFRIGERATOR		C24	BABY CHANGING STATION
C8	UNDERCOUNTER REFRIGERATOR		C25	TOILET PAPER HOLDER
C9	UNDERCOUNTER ICE MAKER		C26	SANITARY NAPKIN DISPOSAL
C10	HIGH/LOW DRINKING FOUNTAIN		C27	COAT HOOK
C11	COUNTERTOP PER INTERIOR DESIGNER		C28	WATER HEATER
C12	GRILL		C29	PAPER TOWEL DISPOSAL WITH WASTE
C13	FIREPLACE PER INTERIOR DESIGNER		027	RECEPTACLE
C14	FLOOR DRAIN	L	C30	SOAP DISPENSER
C15	MOP SINK			
C16	PROVIDE INSULATION AND KNEE PROYECTION AT SUPPLY AND DRAIN PIPES			
C17	LAVATORY			

	ACCESSIBILITY KEY NOTES							
A1	KITCHEN SINK - 30"x48" CLEAR FLOOR SPACE PER 2009 ICC A117.1 SECTION 305.3 CENTERED &		A6	LAVATORY - 30"x48" CLEAR FLOOR SPACE PER 2009 ICC A117.1 SECTION 305.3				
	POSITIONED FOR PARALLEL APPROACH  DISHWASHER - 30"x48" CLEAR FLOOR SPACE PER 2009 ICC A117.1 SECTION 305.3 POSITIONED FOR		<b>A</b> 7	WATER CLOSET (SIDE APPROACH) - 48"x56" CLEAR FLOOR SPACE PER 2009 ICC A117.1 CHAPTER 10, SECTION 1004.11.3.1.2				
A2	PARALLEL OR FORWARD APPROACH. DISHWASHER DOOR IN THE OPEN POSITION SHALL NOT OBSTRUCT CLEAR FLOOR SPACE PER		A8	WATER CLOSET (FRONT APPROACH) - 48"x66" CLEAR FLOOR SPACE PER 2009 ICC A117.1 CHAPTER 10, SECTION 1004.11.3.1.2				
A3	2009 ICC A117.1 SECTION 1004.12.2.2  COOKTOP / OVEN - 30"x48" CLEAR FLOOR SPACE PER 2009 ICC A117.1 SECTION 305.3 POSITIONED FOR PARALLEL OR FORWARD APPROACH.		А9	WATER CLOSET ON TYPE A UNITS - 60"X66" CLEAR FLOOR SPACE PER 2009 ICC CHAPTER 10, SECTION 1003.11.2.4				
A4	REFRIGERATOR / FREEZER - 30"x48" CLEAR FLOOR SPACE PER 2009 ICC A117.1 SECTION 305.3		A10	BATH TUB - 60"x48" CLEAR FLOOR SPACE PER 2009 ICC A117.1 SECTION CHAPTER 10, SECTION 1004.11.3.2				
	POSITIONED FOR PARALLEL OR FORWARD APPROACH CENTERED ON APPLIANCE		A11	SHOWER (PARALLEL APPROACH) - 48"x30" CLEAR FLOOR SPACE PER 2009 ICC A117.1 CHAPTER 10,				
A5	LAUNDRY - 30"x48" CLEAR FLOOR SPACE PER 2009 ICC A117.1 SECTION 305.3 POSITIONED FOR PARALLEL OR FORWARD APPROACH.		A13	SECTION 1004.11.3.1.3.3				

	SCALE: 1/8" = 1'-0"
	ROOF KEYNOTES
R1	30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT STANDING SEAM METAL ROOF SYSTEM
R2) R3 ====	DENOTES SUGGESTED 6" GUTTER LOCATIONS
<b>R4</b> ⊕	SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS, VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION
F	ROOF PLAN GENERAL NOTES

29' - 10 7/8"

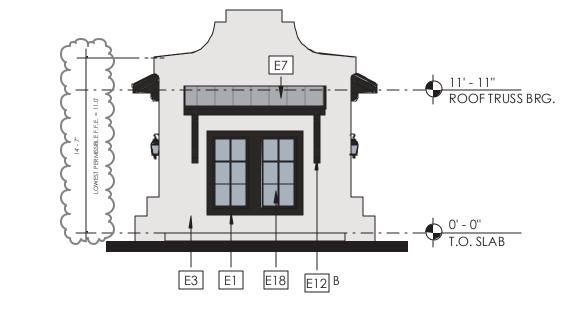
19' - 3 3/4"

ALL ROOF PITCHES ARE 5:12 UNLESS NOTED OTHERWISE. ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE FBC. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS ON THIS SHEET.

Sheet Title BLDG TYPE-14 RECREATIONAL PLANS

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BLDG TYPE 14 - LEFT ELEVATION SCALE: 1/8" = 1'-0"



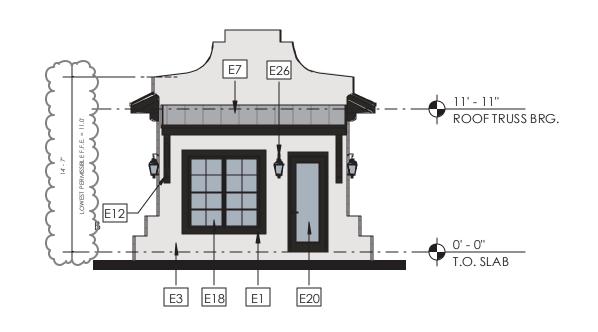
BLDG TYPE 14 - REAR ELEVATION

SCALE: 1/8" = 1'-0"





BLDG TYPE 14 - RIGHT ELEVATION SCALE: 1/8" = 1'-0"



BLDG TYPE 14 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

## TYPICAL ELEVATION NOTES

- TYPICAL EXTERIOR CLADDING STUCCO, PAINTED.
- ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF
- CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL
- ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
- ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
- PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
- PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
- SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
- PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
- EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS, ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

## **ELEVATION KEY NOTES**

- E1 WINDOW TRIM RAISED STUCCO FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
- E3 STUCCO PAINTED STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
- E5 WALL RECESS ARCHITECTURAL 30-YEAR ROOF SHINGLE

E12 ARCHITECTURAL FOAM BRACKET

- E7 STANDING SEAM METAL ROOF SYSTEM
- ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
- E9 ALUMINUM BAHAMA SHUTTER E10 FALSE VINYL LOUVER SIZE AS INDICATED E11 MOSAIC ARTWORK OVER PAINTED STUCCO
- E16 THROUGH WALL OVERFLOW SCUPPER E17 ALUMINUM CANOPY INSTALLED PER MANUFACTURER' SPECIFICATIONS PGT LOW E ALUMINUM WINDOWS. SEE FLOOR

E13 TIMBER COLUMN - PAINTED

E14 PREFABRI CATED METAL AWNING

E15 CONDUCTOR HEAD SCUPPER BOX

- PLANS AND SCHEDULES STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
- EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
- **E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM E23 BUG SCREEN ENCLOSURE FOR BALCONY E24 METAL COPING CAP AT PARAPET WALL
- DRYER/BATH VENTS. COORDINATE LOCATION E25 WITH MEP DWGS. PAINT TO MATCH ADJECENT EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRI CAL DRAWINGS E27 OTHERS EXTERIOR SIGNAGE WITH LED LIGHTING. BY E28 ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS **E29** PROFILE-STUCCO REVEAL - 2" E30 CONTROL JOINT E31 RAISED STUCCO BAND

Sheet Title

BLDG TYPE-14 RECREATIONAL ELEVATIONS

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date: 9/20/23 job no: **4301.20** drawn by: **TK** 

reviewed by: OL

history:<sub>Date</sub>

1 11.6.23

issue

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# RIO MARINE VILLAGE

## PHASE I EAST PERMIT SET 9.20.23

OWNER:

RIO SOUTH DIXIE, LLC BRIAN PAWLIK P: 561.575.6454

**ARCHITECT** 

CHARLAN BROCK ARCHITECTS AARON PINEDA, PM

STRUCTUR **ENGINEER**:

ONMJ PATRICK JACKSON 1655 PALM BEACH LAKES BLVD. SUITE 204 WEST PALM BEACH 33401 P: 561.835.8255

**ENGINEER**:

JLC ALTAMONT SPRINGS, FL 32714 P: 321.972.4466

**OWNER'S** CIVIL **ENGINEER**:

SIMMONS & WHITE, INC JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698

COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

**OWNER'S INTERIOR DESIGNER**:

OFF CENTER DESIGN GROUP AMANDA PRIZZI 1109 OKEECHOBEE ROAD SUITE 22 WEST PALM BEACH FL 33401 585.315.9777 REBECCA@OFFCENTEREDDESIGNGROUP.COM

601 HERITAGE DR., STE #227 JUPITER, FL 33458

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1770 FENNELL STREET MAITLAND, FL 32751 P: 407.660.8900

E: AARON@CBAARCHITECTS.COM

**MECHANICAL ELECTRICAL PLUMBING** 

SIMON ROJAS 1880 HARWOOD AVE **SUITE 3000** 

E: PARRISH@SIMMONSANDWHITE.COM

**OWNER'S** LANDSCAPE ARCHITECT:

Sheet Title BLDG TYPE-15 **MULTI-FAMILY** PROJECT COVER SHEET

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history: Date

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TM: NC	SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION
		MECHANICAL SYMBOLS LEGEND	9/20/23	KEVISIOIN
		BLDG TYPE 15 - MULTIFAMILY - FIRST FLOOR PLAN - MECHANICAL	9/20/23	
		BLDG TYPE 15 - MULTIFAMILY - SECOND FLOOR PLAN - MECHANICAL	9/20/23	
		BLDG TYPE 15 - MULTIFAMILY - THIRD FLOOR PLAN - MECHANICAL	9/20/23	
	M4.01	UNIT A1 - MECHANICAL	9/20/23	
	M4.02	UNIT A2 - MECHANICAL	9/20/23	
	M4.03	UNIT B1 - MECHANICAL	9/20/23	
	M4.04	UNIT B2 - MECHANICAL	9/20/23	
	M4.05	UNIT B2 ALT - MECHANICAL	9/20/23	
	M5.03	MULTIFAMILY SCHEDULES - MECHANICAL	9/20/23	1
	M6.01	DETAILS - MECHANICAL	9/20/23	
	M6.02	DETAILS - MECHANICAL	9/20/23	
	M6.04	DETAILS - MECHANICAL	9/20/23	
	M6.05	DETAILS - MECHANICAL	9/20/23	
	M6.06	DETAILS - MECHANICAL	9/20/23	
	M6.07	DETAILS - MECHANICAL	9/20/23	
	M7.01	RISERS - MECHANICAL	9/20/23	

CLIEFT	ELECTRICAL BLDG TYPE 15		OUDDENIE
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION
E0.00	ELECTRICAL SYMBOLS LEGEND	9/20/23	
E0.11	SITE PLAN - ELECTRICAL - RIO PRESERVE	9/20/23	
E1.15.1	BLDG TYPE 15 - MULTIFAMILY - FIRST FLOOR PLAN - ELECTRICAL	9/20/23	1
E1.15.2	BLDG TYPE 15 - MULTIFAMILY - SECOND FLOOR PLAN - ELECTRICAL	9/20/23	
E1.15.3	BLDG TYPE 15 - MULTIFAMILY - THIRD FLOOR PLAN - ELECTRICAL	9/20/23	
E2.01	ENLARGED ELECTRICAL ROOMS	9/20/23	1
E4.01	UNIT A1 - ELECTRICAL	9/20/23	
E4.02	UNIT A2 - ELECTRICAL	9/20/23	
E4.03	UNIT B1 - ELECTRICAL	9/20/23	
E4.04	UNIT B2 - ELECTRICAL	9/20/23	
E4.05	UNIT B2 ALT - ELECTRICAL	9/20/23	
E5.09	POWER RISER DIAGRAMS RESIDENTIAL 15	9/20/23	
E6.02	MULTIFAMILY CALCS AND PANEL SCHEDULES	9/20/23	1
E6.03	MULTIFAMILY BUILDING HOUSE PANELS	9/20/23	
E6.04	MULTIFAMILY LIGHTING SCHEDULES	9/20/23	1
E7.01	ELECTRICAL DETAILS	9/20/23	
E7.02	FIRE ALARM RISER DIAGRAM	9/20/23	1

	PLUMBING BLDG TYPE 15		
SHEET NUMBER	Sheet name	SHEET ISSUE DATE	CURRENT REVISION
P0.00	PLUMBING SYMBOLS LEGEND	9/20/23	
P0.11	SITE PLAN - PLUMBING - RIO PRESERVE	9/20/23	
P1.15.0	BLDG TYPE 15 - MULTIFAMILY - UNDERGROUND PLAN - PLUMBING	9/20/23	
P1.15.1	BLDG TYPE 15 - MULTIFAMILY - FIRST FLOOR PLAN - PLUMBING	9/20/23	
P1.15.2	BLDG TYPE 15 - MULTIFAMILY - SECOND FLOOR PLAN - PLUMBING	9/20/23	
P1.15.3	BLDG TYPE 15 - MULTIFAMILY - THIRD FLOOR PLAN - PLUMBING	9/20/23	
P4.01	UNIT A1 - PLUMBING	9/20/23	
P4.02	UNTI A2 - PLUMBING	9/20/23	
P4.03	UNIT B1 - PLUMBING	9/20/23	
P4.04	UNIT B2 - PLUMBING	9/20/23	
P4.05	UNIT B2 ALT - PLUMBING	9/20/23	
P5.03	MULTIFAMILY SCHEDULES - PLUMBING	9/20/23	1
P5.04	MULTIFAMILY SCHEDULES - PLUMBING	9/20/23	
P6.01	DETAILS - PLUMBING	9/20/23	
P6.03	DETAILS - PLUMBING	9/20/23	
P6.04	DETAILS - PLUMBING	9/20/23	
P6.06	DETAILS - PLUMBING	9/20/23	
P6.07	DETAILS - PLUMBING	9/20/23	
P6.08	DETAILS - PLUMBING	9/20/23	
P7.01	RISERS - PLUMBING	9/20/23	
P7.02	RISERS - PLUMBING	9/20/23	
P7.03	RISERS - PLUMBING	9/20/23	

THE PRESERVE AT RIO MARINE VILL

PHASE I EAST

BRIAN PAWLIK

601 HERITAGE DRIVE, STE #227

JUNIPER, FL 33458

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job no: 4301.20
drawn by: Author
reviewed by: Checker

issue history: <sub>Date</sub>

Sheet Title

BLDG TYPE-15 MULTI-FAMILY INDEX OF DRAWINGS

A0.10CC

A0.02.15

# FACADE TRANSPARENCY CALCULATIONS

GROUND FLOOR: 1,204 SQ FT SECOND FLOOR: 1,024 SQ FT THIRD FLOOR: 1,098 SQ FT GROUND FLOOR: 316 SQ FT

FACADE AREA:

WINDOW AREA:

SECOND FLOOR: 297 SQ FT

THIRD FLOOR: 321 SQ FT

REQUIRED: 20% - 70% PROVIDED: 27% SECOND FLOOR: REQUIRED: 20% - 50% PROVIDED: 29%

GROUND FLOOR:

TOTAL TRANSPARENT WINDOW COVERAGE:

THIRD FLOOR: REQUIRED: 20% - 50% PROVIDED: 29%

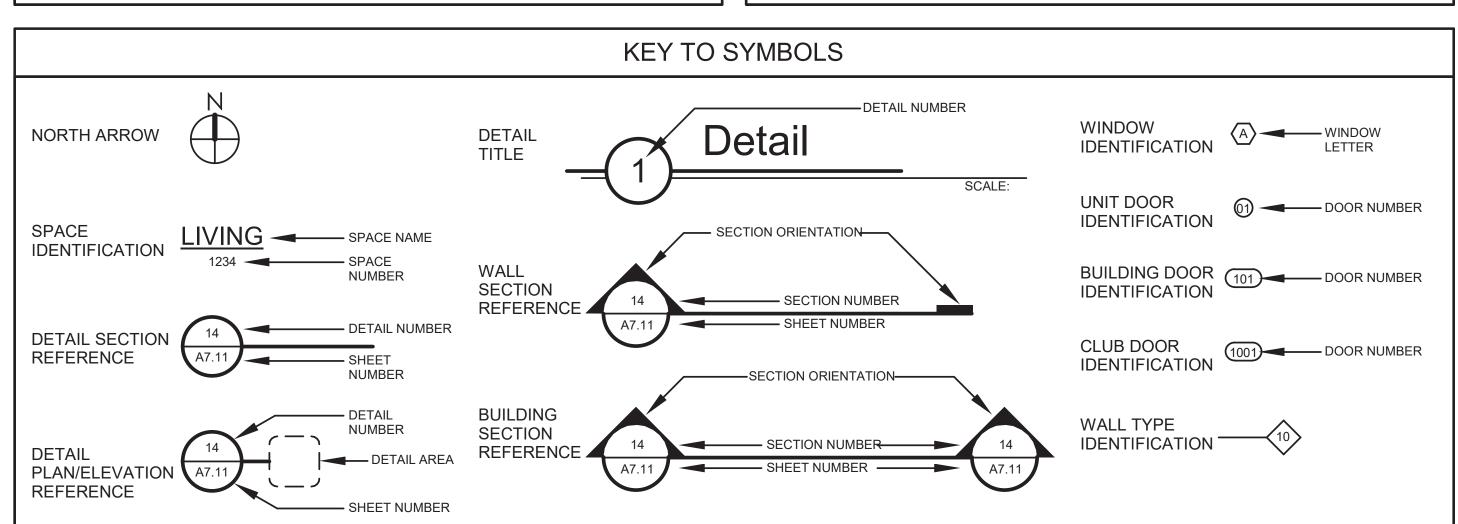


**NOTE:** F.F.E. IS BASED ON CIVIL SITE PLAN DRAWINGS

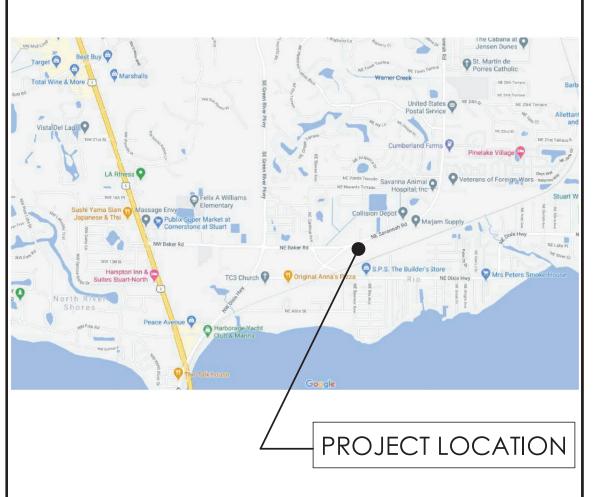
#### MAINTENANCE NOTE

THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THI BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.

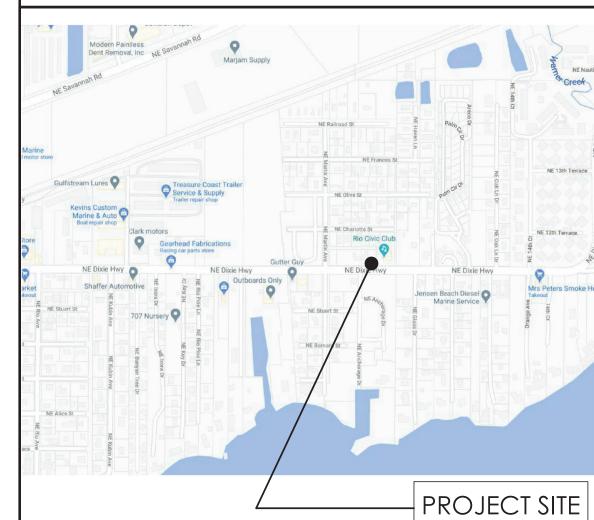
#### MATERIALS LEGEND PLAN SECTION/ELEVATION **DIMENSIONAL LUMBER** STUD WALL **CUT LUMBER** PLYWOOD CMU BLOCK WALL EARTH FILL POURED CONCRETE STRUCTURAL STEEL SSSSS BATT INSULATION RIGID FOAM INSULATION CONCRETE MASONRY UNIT FLOOR TRUSS



#### VICINITY MAP



#### LOCATION MAP



#### APPLIED CODES

FLORIDA BUILDING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

FLORIDA STATUES

FLORIDA ADMINISTRATIVE CODE

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

#### PROJECT NARRATIVE

#### PROJECT NARRATIVE:

HE PROPOSED PROJECT IS LOCATED IN UNICORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY redevelopment area South, of ne dixie highway and rio north dixie, of ne dixie highway. The project is COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY, RESTAURANT AND COMMERCIAL BUILDINGS AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL AND POOL DECK, BUT PROVIDED BY DTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20

BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 10, 16, 17, 18, 19, 21

## **BUILDING IDENTIFICATION**

BUILDING TYPE 1	= CLUBHOUSE	
BUILDING TYPE 2	= APARTMENT	
BUILDING TYPE 3	= APARTMENT	
BUILDING TYPE 4	= TOWNHOME	
BUILDING TYPE 5	= TOWNHOME	
BUILDING TYPE 6	= TOWNHOME	
BUILDING TYPE 7	= LIVE-WORK	
BUILDING TYPE 8	= LIVE-WORK	
BUILDING TYPE 10	= MARINE SERVICES	
BUILDING TYPE 14	= RECREATIONAL	
BUILDING TYPE 15	= APARTMENT	
BUILDING TYPE 16	= APARTMENT	
BUILDING TYPE 17	= MAIL KIOSK	
BUILIDNG TYPE 18	= TRASH ENCLOSURE	
BUILDING TYPE 19	= RECYCLING ENCLOSURE #1	
BUILDING TYPE 20	= RECYLCING ENCLOSURE #2	

#### CODE INFORMATION

## **APARTMENT**

= ENTRY FEATURE

.1 BUILDING USE / OCCUPANCY / TYPE GROUP R-2, S-2 CONSTRUCTION TYPE: TYPE V-B

UILDING TYPE 21

SPRINKLED: NFPA - 13R

7,000 SQ. FT. / PER FLOOR

12,250 SQ. FT. (INCREASE PER FBC 506.2) PROPOSED: REFER TO BUILDING AREA TABLES

ALLOWABLE AREA PER IBC 506.2.3:  $I_f = [F/P - 0.25] W/30$  $I_f = [708/708 - 0.25] 30/30$ 

 $A_{\alpha} = [A_{\dagger} + (NS \times I_{f})]$  $A_{\alpha} = [7,000 + (7,000 \times 0.75)]$   $A_{\alpha} = 12,250 \text{ SF}$ 

 $I_f = 0.75$ 

9,843 -FIRST FLOOR -SECOND FLOOR AP 9,890 -THIRD FLOOR AP 9,793 OTAL BUILDING AREA: 29,526 \$

BUILDING TYPE 15 AREA - A/C

4	III	
01-FIRST FLOOR	7,742 SF	GROUP
02-SECOND FLOOR AP	7,590 SF	
03-THIRD FLOOR AP	7,590 SF	
TOTAL BUILDING AREA:	22,922 SF	    <sub>R-2</sub>
		1 1 2

1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601) STRUCTURAL FRAME: 0 HOUR INTERIOR BEARING WALLS: 0 HOUR EXTERIOR BEARING WALLS: 0 HOURS EXTERIOR NON-BEARING WALLS 0 HOUR INTERIOR NON-BEARING WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOUR ROOF CONSTRUCTION: 0 HOUR

1.5 FIRE SEPARATION TENANT SEPARATION: 1 HOUR (FBC 708.3) CORRIDOR: 1 HOUR (FBC 1018.1)

1.6 EXIT ACCESS

1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURE IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE VITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION BUILDING TYPE 15 AREA - GROSS DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS LL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF TH MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA

> MAXIMUM EXIT ACCESS TRAVEL DISTANCE : 250' (FBC 1016.2) MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75'

MAXIMUM DEAD END: 20' (FBC 1018.4)

## .7 MINIMUM INTERIOR FINISH CLASSIFICATION

NFPA 101 TABLE A.10.2.2

associates SPRINKLERED (NFPA - 13R) vertical | exit access | rooms and architects | • planners

CORRIDORS ENCLOSED SPACES

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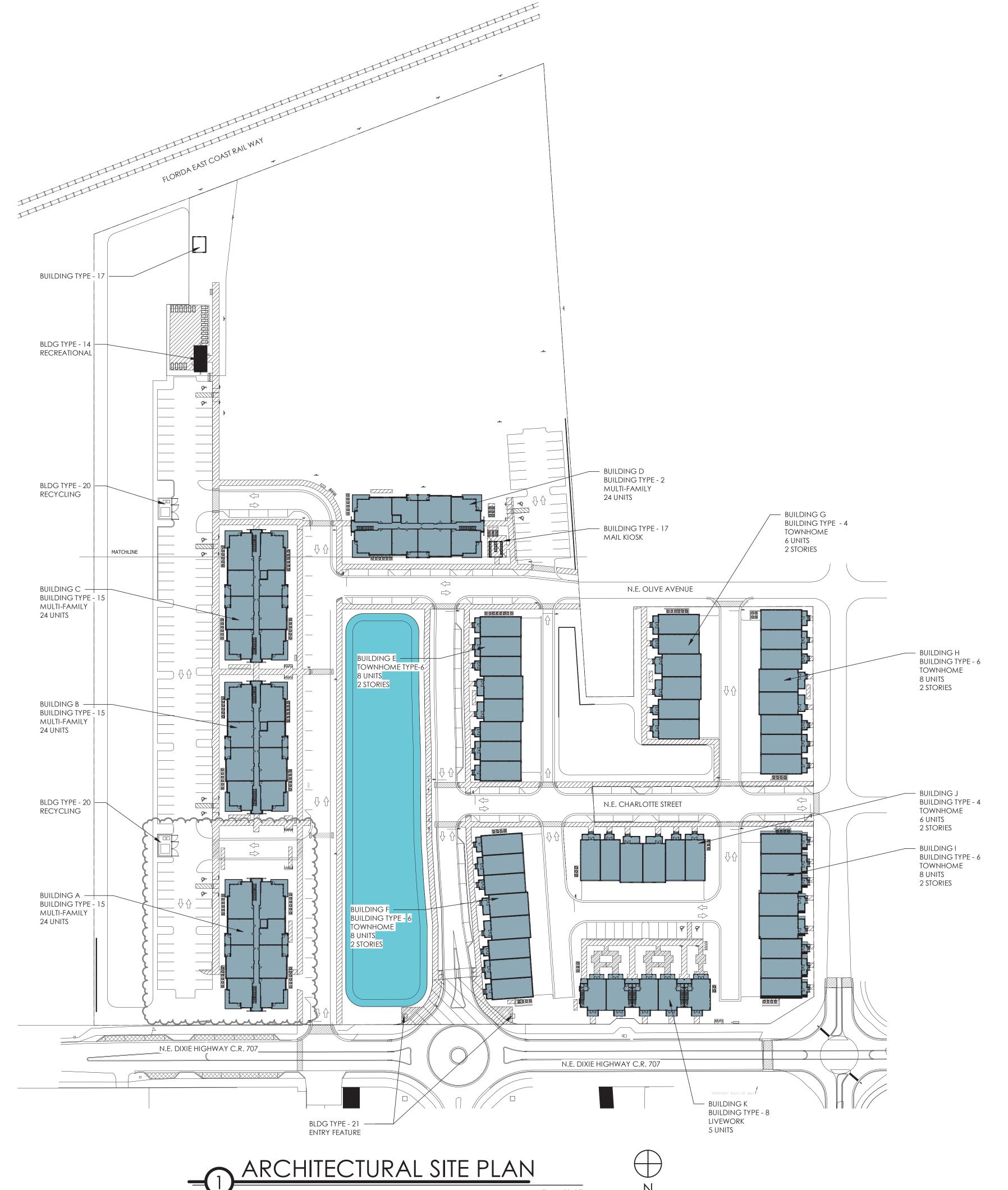
reviewed by: Checker

history: Date 1 11.6.23

Sheet Title

BLDG TYPE-15 **MULTI-FAMILY** PROJECT DATA

SCALE: 1" = 60'-0"



MARINE RO charlan • brock associates

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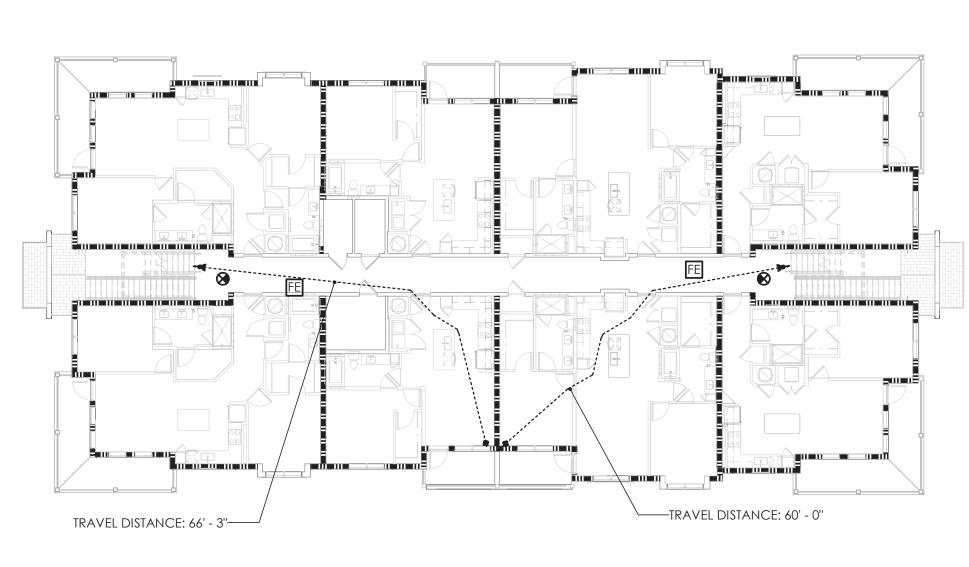
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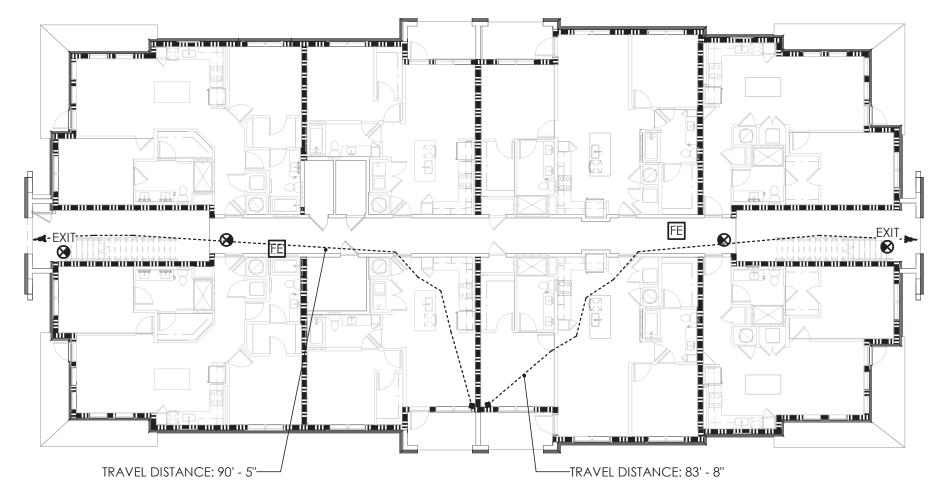
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Sheet Title

ARCHITECTURAL SITE PLAN - PRESERVE









	FLORIDA PLUMBING CODE  MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (PER TABLES 403.1 & 403.6)									
occ	CUPANCY TYPE	TOTAL OCCUPANTS	REQUIRED W.C. MALE	REQUIRED W.C. FEMALE	TOTAL W.C. REQUIRED	REQUIRED LAV. MALE	REQUIRED LAV. FEMALE	TOTAL LAV. REQUIRED	DRINKING FOUNTAINS	service sinks
M RETAIL		13 M 13 F	1 PER 500	1 PER 500	1 M 1 F	1 PER 750		1 M 1 F	1 PER 1000	1
F BOAT SHOP		l	BATHROOM FOR LESS PER TENANT		1 PER TENANT SPACE	1 PER TENA	ant space	1 PER	1 PER 400	1

TRUSS SIGNAGE REQUIREMENTS		7 -
	8"	 Ш
EFLECTIVE ALUM. SIGN NOTES PURSUANT TO FLORIDA STATE STATUTE 6555.027.  MALTESE CROSS MEASURING 8" HORIZONTALLY AND 8" VERTICALLY, OF A BRIGHT RED REFLECTIVE COLOR, DESIGNED IN ACCORDANCE WITH  NFPA 101, 2009 EDITION.		<b>]</b>

2. THE APPROVED SYMBOL SHALL BE PLACED WITHIN 24" TO THE LEFT OF THE MAIN ENTRY DOOR AND:

=111-24-111-111-111-111-111-111-111--

TRAVEL DISTANCE: 60' - 0"

SCALE: 1/16" = 1'-0"

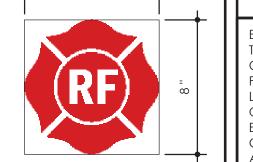
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TRAVEL DISTANCE: 66' - 3"----

THIRD FLOOR PLAN

BE PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE ON A CONTRASTING BACKGROUND OR, BE MOUNTED ON A CONTRASTING BASE MATERIAL WHICH IS THEN PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE. 3. THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR THE FINISHED FLOOR TO THE BOTTOM OF THE SYMBOL SHALL BE NOT LESS THAN 4

4. THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR FINISHED FLOOR TO THE TOP OF THE SYMBOL SHALL BE NOT MORE THAN 6 FEET (72



#### LIFE SAFETY LEGEND

INDICATES 2 HOUR RATED WALL INDICATES 1 HOUR RATED WALL •----- INDICATES PATH OF TRAVEL

(250 FEET MAXIMUM - PER FBC 1016.2) INDICATES COMMON PATH OF TRAVEL (125 FEET MAXIMUM - PER FBC 1014.3)

INDICATES EXIT SIGN INDICATES REQUIRED PANIC HARDWARE AT DOORS (PER FBC 1008.1.9)

INDICATES FIRE EXTINGUISHER - "TYPE-A" IN SEMI-RECESSED FIRE RATED CABINET. TRAVEL DISTANCE TO CABINET 75'-0" MAX. MOUNT TOP OF CABINET NOT MORE THAN 5'-0" A.F.F.; BOTTOM NOT LESS THAN 4" A.F.F.

NOTE: FIRE EXTINGUISHERS WILL ALSO BE PLACED IN EACH UNIT.

#### POSTING OF OCCUPANT LOAD PER FBC 1004.3

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. POSTED OCCUPANCY NUMBER SHALL NOT EXCEED ONE OCCUPANT PER SEVEN SQUARE FEET (FBC 1004.2) OR BE GREATER THAN THE NUMBER OF OCCUPANTS THAT CAN BE ACCOMMODATED BY THE SPACE'S NARROWEST EGRESS COMPONTENT

drawn by: Author reviewed by: Checker

date: 9/20/23 job no: **4301.20** 

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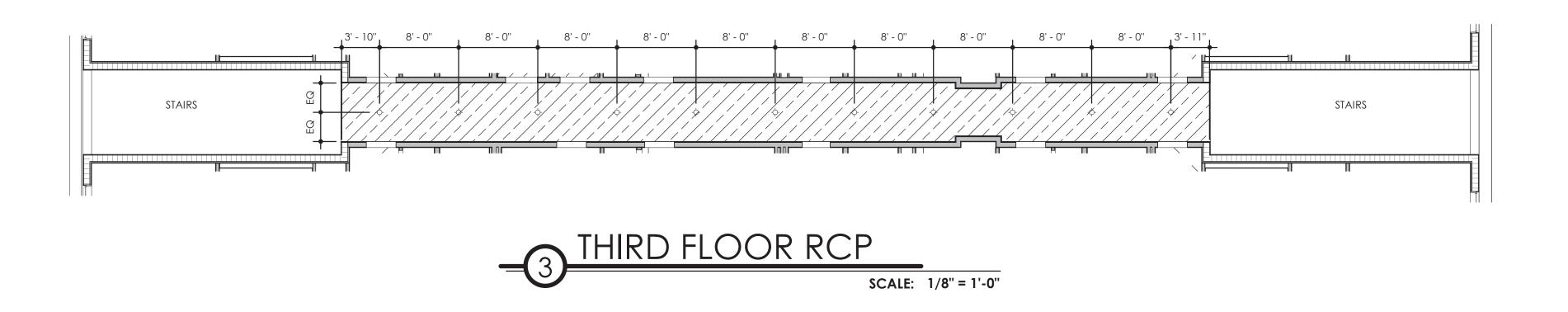
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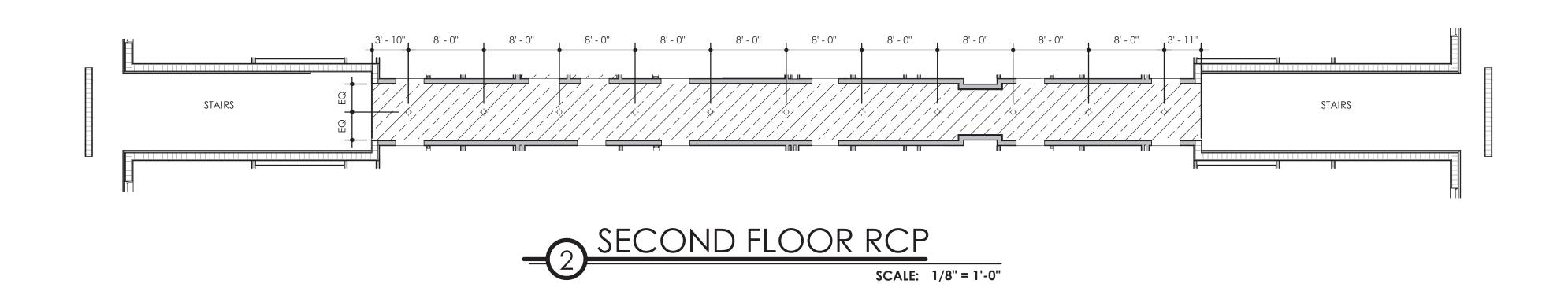
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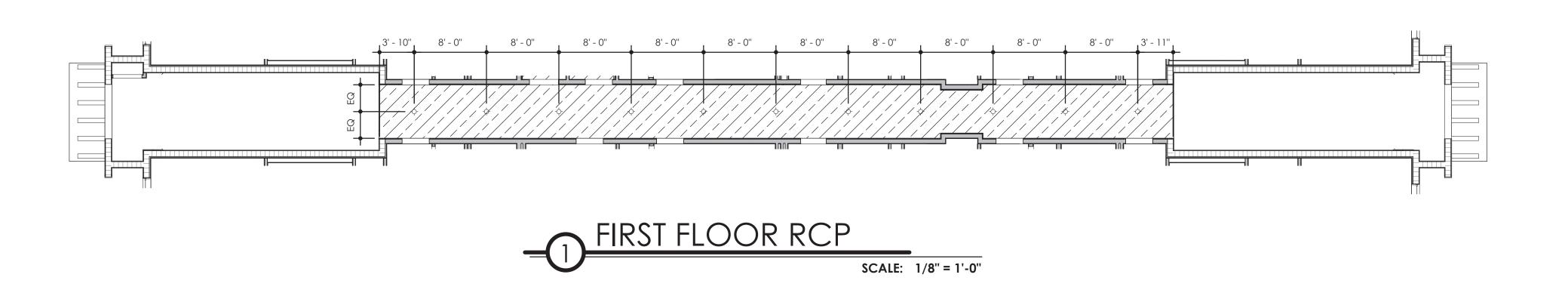
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Sheet Title

BLDG TYPE-15 MULTI-FAMILY LIFE SAFETY PLAN











RCP NOTES:

1. DROPPED CEILINGS AND SOFFITS ARE TO BE 1 1/2" METAL STUD FRAMING (PER ASTM STANDARDS) WITH 1/2" EXTERIOR GRADE GYPSUM BOARD + PAINT.

2. STAIRWELL LIGHTS NOT SHOWN - REFER TO ELECTRICAL DRAWINGS.

Sheet Title

BLDG TYPE-15

MULTIFAMILY CORRIDOR RCPS

A0.10CC

A1.15.5

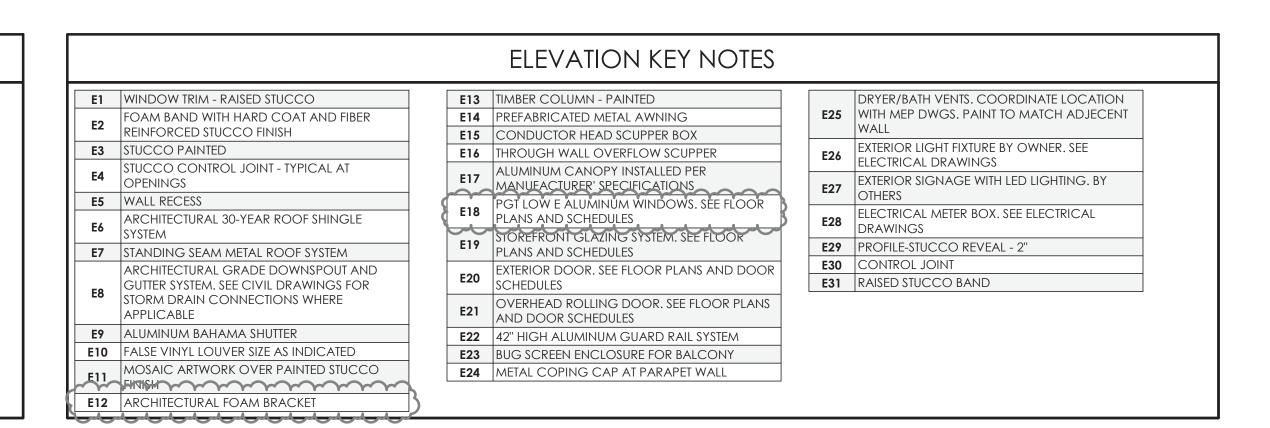




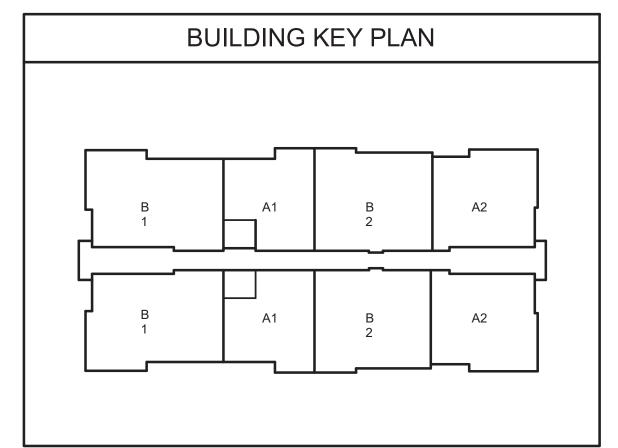
## BLDG TYPE 15 - FRONT ELEVATION SCALE: 1/8" = 1'-0"

### TYPICAL ELEVATION NOTES

- TYPICAL EXTERIOR CLADDING STUCCO, PAINTED.
- ALL EXTERIOR TRIM RAISED STUCCO.
- ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR
- APPROVAL ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
- ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
- ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
- PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO
- SOFFIT AND CEILING CONDITIONS.
- PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
- PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
- PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
- EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
- 17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.
- COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.

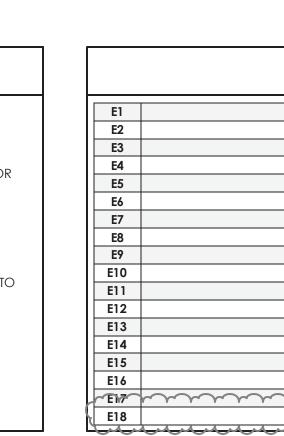


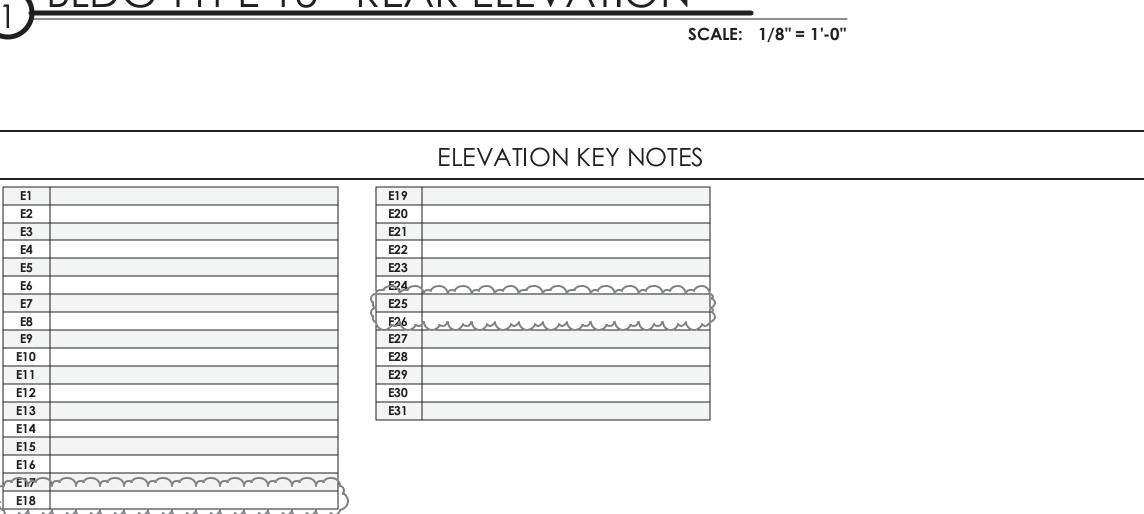
SCALE: 1/8" = 1'-0"



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BLDG TYPE-15 MULTIFAMILY EXTERIOR ELEVATIONS







BLDG TYPE 15 - LEFT ELEVATION SCALE: 1/8" = 1'-0"



# BLDG TYPE 15 - REAR ELEVATION

TYPICAL ELEVATION NOTES

ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR

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PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.

TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.

PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.

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COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR. 17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

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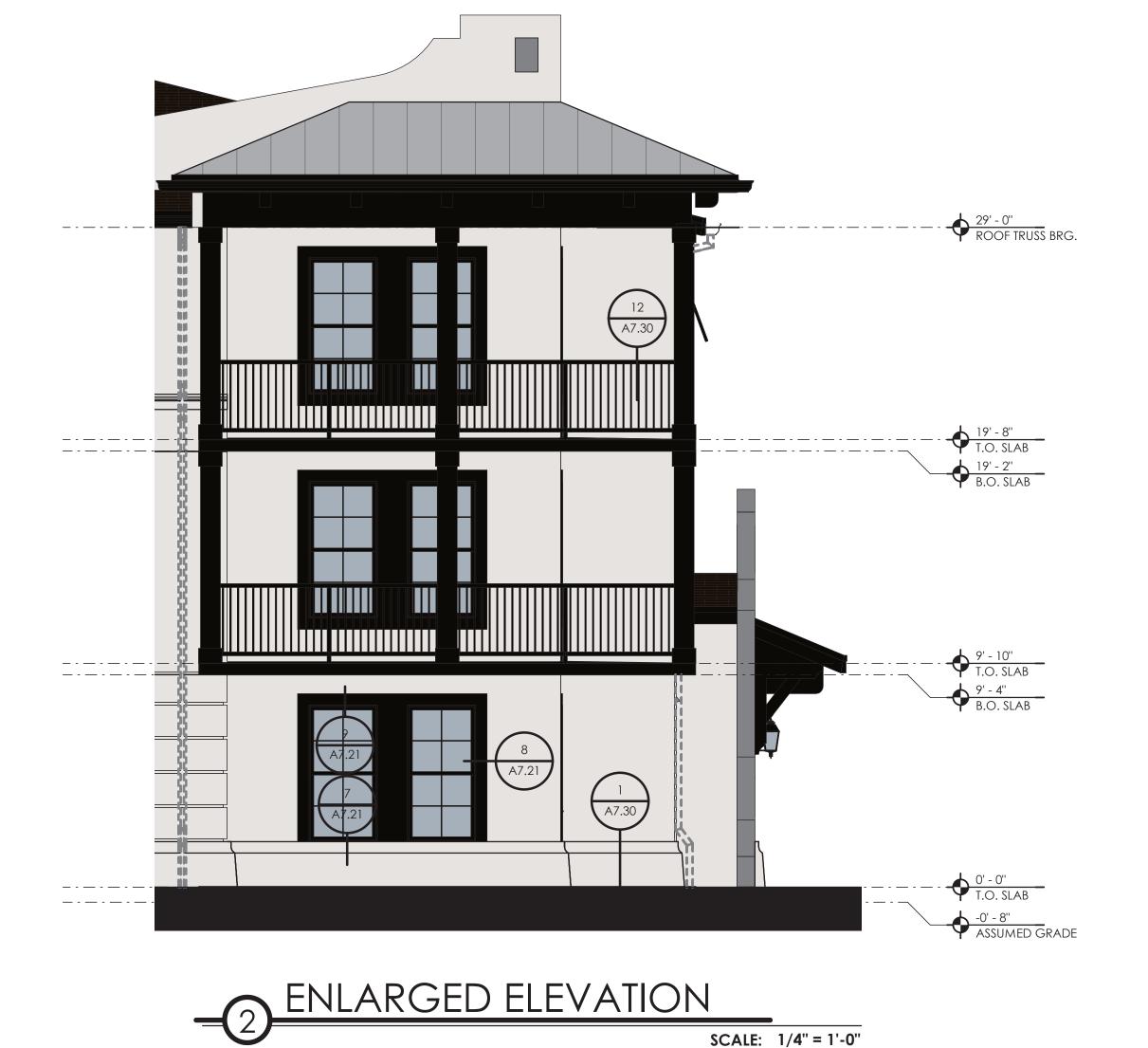
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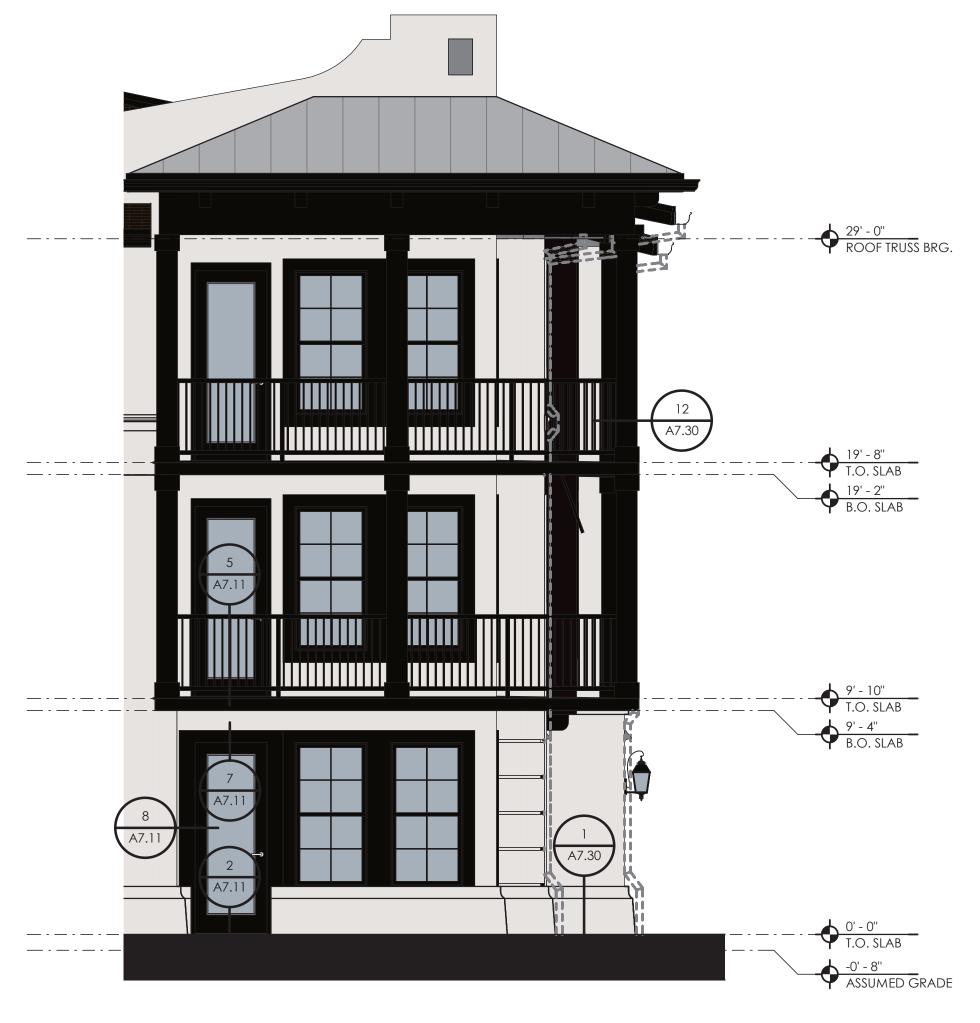
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Sheet Title

BLDG TYPE-15 MULTIFAMILY **EXTERIOR ELEVATIONS** 

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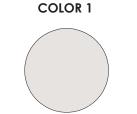






SCALE: 1/4" = 1'-0"

#### COLOR LEGEND TYPICAL ELEVATION NOTES



CLOUD NINE

SW 6546

COLOR 2

DEEP FOREST BROWN

SW 9175

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- FHISH------E12 | ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.

## ELEVATION KEY NOTES

### E13 TIMBER COLUMN - PAINTED E14 PREFABRICATED METAL AWNING

STOREFRONT GLAZING SYSTEM. SEE FLOOR

**E22** 42" HIGH ALUMINUM GUARD RAIL SYSTEM

**E23** BUG SCREEN ENCLOSURE FOR BALCONY

**E24** METAL COPING CAP AT PARAPET WALL

EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR

OVERHEAD ROLLING DOOR. SEE FLOOR PLANS

PLANS AND SCHEDULES

AND DOOR SCHEDULES

SCHEDULES

FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH E15 CONDUCTOR HEAD SCUPPER BOX E3 STUCCO PAINTED E16 THROUGH WALL OVERFLOW SCUPPER

E17 ALUMINUM CANOPY INSTALLED PER E4 STUCCO CONTROL JOINT - TYPICAL AT OPENINGS **E5** WALL RECESS E18 PLANS AND SCHEDULES

ARCHITECTURAL 30-YEAR ROOF SHINGLE E7 STANDING SEAM METAL ROOF SYSTEM ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR

**E1** WINDOW TRIM - RAISED STUCCO

STORM DRAIN CONNECTIONS WHERE APPLICABLE E9 ALUMINUM BAHAMA SHUTTER **E10** FALSE VINYL LOUVER SIZE AS INDICATED

MOSAIC ARTWORK OVER PAINTED STUCCO

DRYER/BATH VENTS. COORDINATE LOCATION **E25** WITH MEP DWGS. PAINT TO MATCH ADJECENT

EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS

EXTERIOR SIGNAGE WITH LED LIGHTING. BY E27 OTHERS

**E29** PROFILE-STUCCO REVEAL - 2" E30 | CONTROL JOINT

E31 RAISED STUCCO BAND

ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS

A0.10CC Sheet Number

BLDG TYPE-15

MULTIFAMILY

ENLARGED

**ELEVATIONS** 

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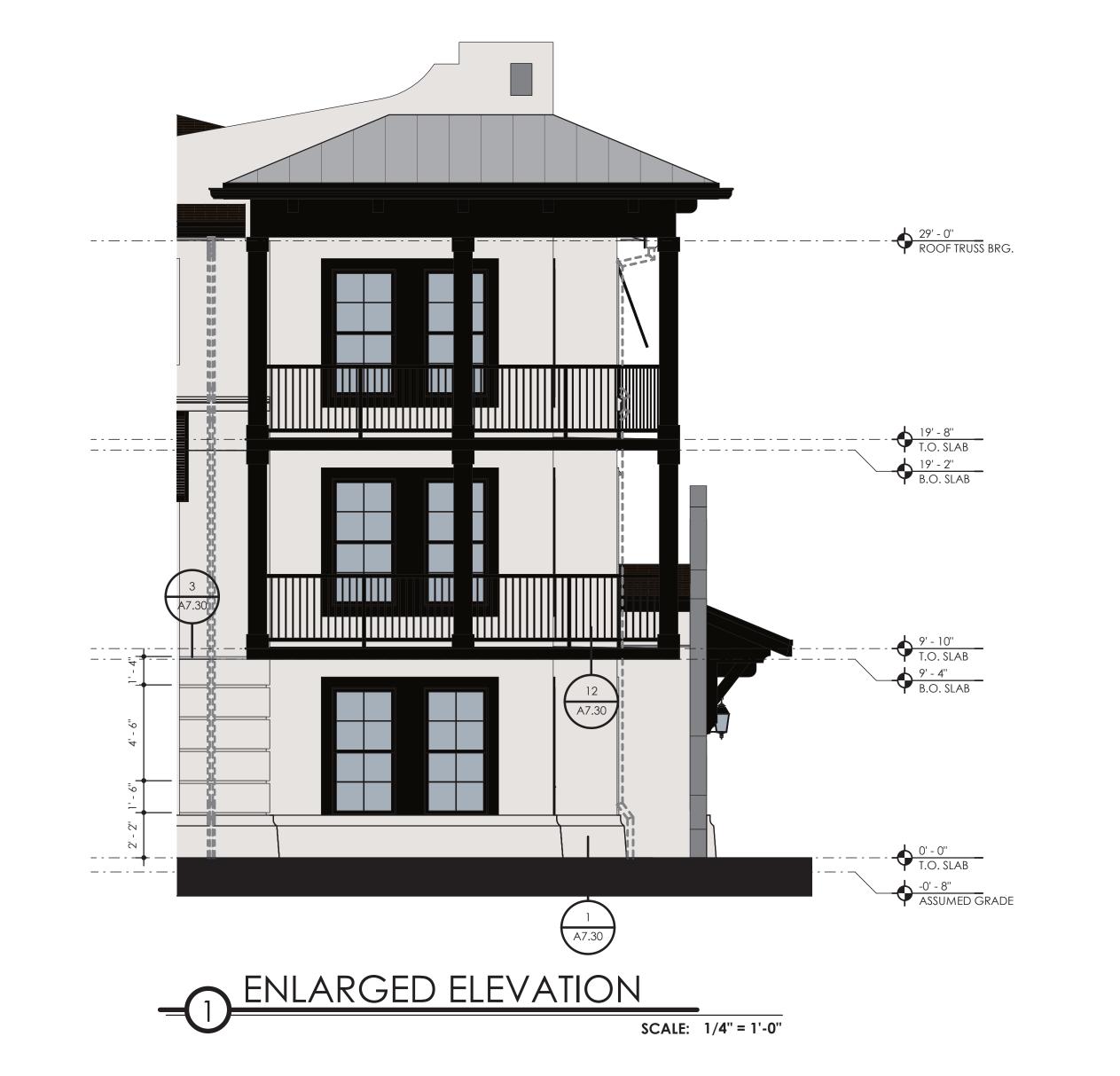
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1 CLIENT **UPDATES** 

job no: **4301.20** drawn by: **TK** reviewed by: OL







E12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C. 

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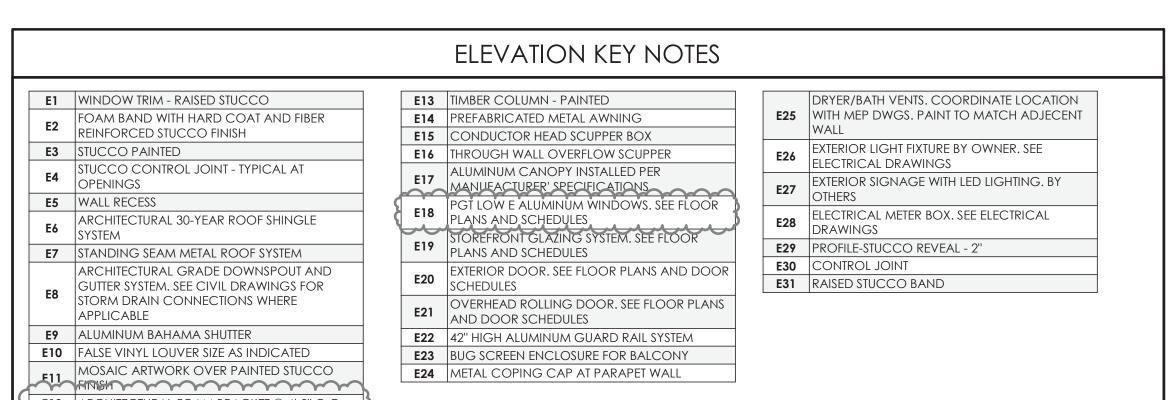
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Sheet Number

# RIO MARINE VILLAGE

## PHASE I EAST PERMIT SET 9.20.23

OWNER:

RIO SOUTH DIXIE, LLC BRIAN PAWLIK 601 HERITAGE DR., STE #227 JUPITER, FL 33458 P: 561.575.6454 E: bpawlik@prairieridgedev.com

**ARCHITECT** 

CHARLAN BROCK ARCHITECTS AARON PINEDA, PM 1770 FENNELL STREET MAITLAND, FL 32751 P: 407.660.8900 E: AARON@CBAARCHITECTS.COM

STRUCTUR **ENGINEER**:

ONMJ PATRICK JACKSON 1655 PALM BEACH LAKES BLVD. SUITE 204 WEST PALM BEACH 33401 P: 561.835.8255

**MECHANICAL ELECTRICAL PLUMBING ENGINEER**:

JLC SIMON ROJAS 1880 HARWOOD AVE **SUITE 3000** ALTAMONT SPRINGS, FL 32714 P: 321.972.4466

**OWNER'S** CIVIL **ENGINEER**:

SIMMONS & WHITE, INC JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698 E: PARRISH@SIMMONSANDWHITE.COM

**OWNER'S** LANDSCAPE ARCHITECT:

COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

**OWNER'S INTERIOR DESIGNER**:

OFF CENTER DESIGN GROUP AMANDA PRIZZI 1109 OKEECHOBEE ROAD SUITE 22 WEST PALM BEACH FL 33401 585.315.9777 REBECCA@OFFCENTEREDDESIGNGROUP.COM

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history: Date

Sheet Title

BLDG TYPE-17 MAIL KIOSK PROJECT **COVER SHEET** 

A0.10CC

A0.01.1



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history: Date

Sheet Title

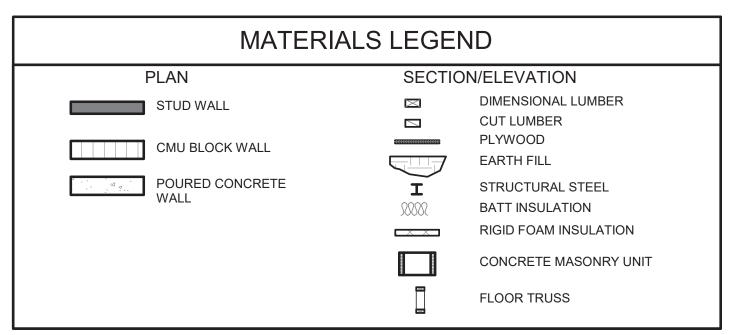
BLDG TYPE-17 MAIL KIOSK INDEX OF DRAWINGS

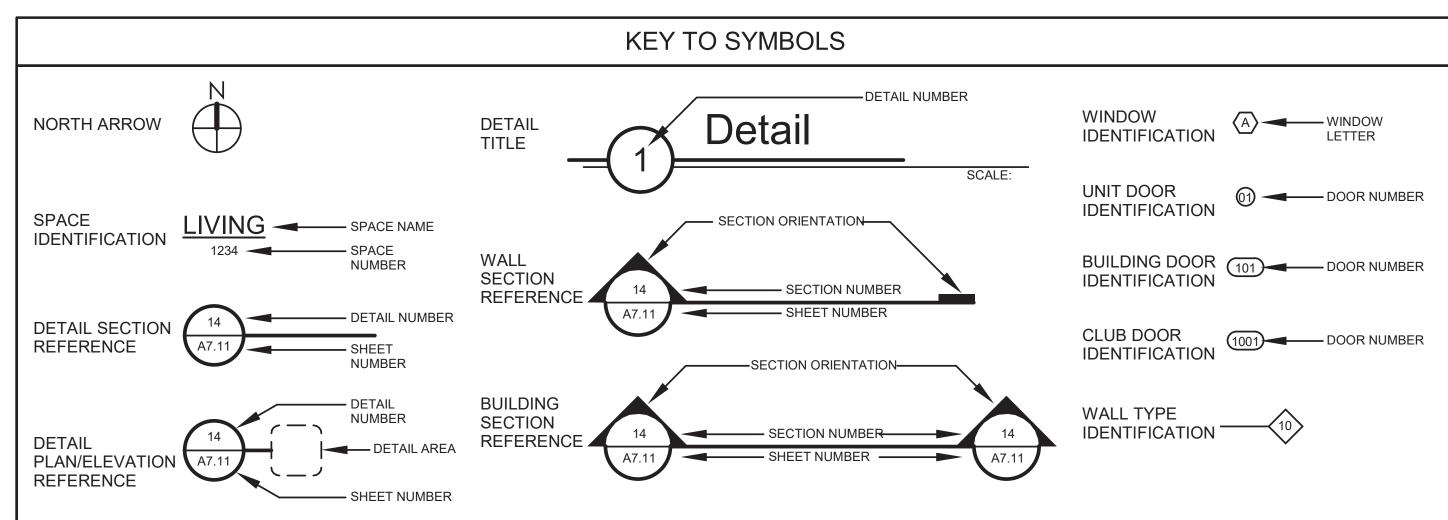
**BUILDING TYPE 17** 

BUILDING TYPE: OUTBUILDING

#### MAINTENANCE NOTE

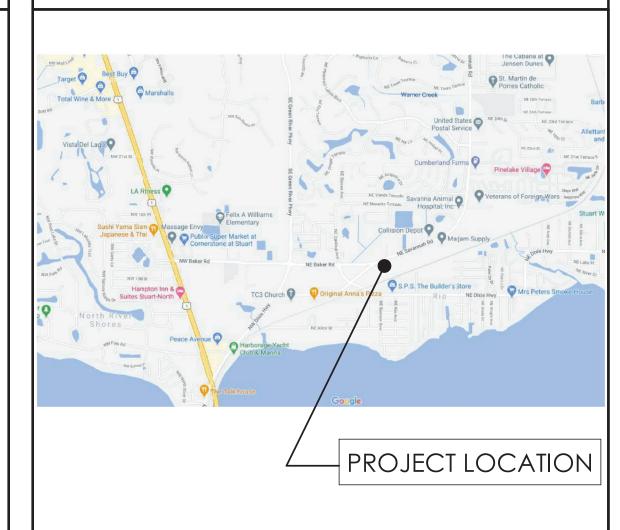
THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THI BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.



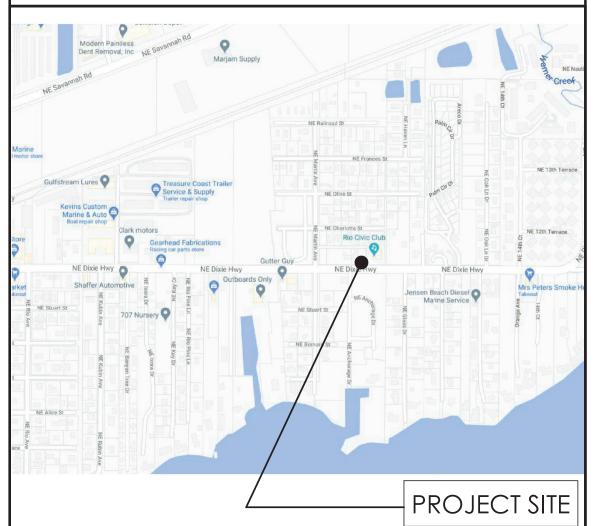


	STANDARD ABBREVIATIONS								
A.B. A/C A ADJ. A.H.U. ALUM. ALT. APPROX BRG. BLDG. BLK. B.M. BTM. COL. CCR. CJ. CONC. CONST. CONT. CTR	ANCHOR BOLT  IR CONDITIONER  ADJACENT  AIR HANDLER UNIT  ALUMINUM  ALTERNATE  APPROXIMATE  BEARING  BOARD  BUILDING  BLOCK  BEAM  BOTTOM  COLUMN  CERAMIC  CONSTRUCTION JOINT  CEILING  CONCRETE  CONCRETE  CONSTRUCTION  CONTINUOUS  CENTER  DRYER  DOUBLE	D.L. DN. DRYW. D.W. DWG. E.A. E.I.F.S.  E.J. ELEV. E.P.S.  EQ. EST. EXIST. EXT. FN.FL. FIN. F.G. F.P. FTG. GA. GALV.	DEAD LOAD DOWN DRYWALL DISHWASHER DRAWING EACH EXTERIOR INSULATION FINISH SYSTEM EXPANSION JOINT ELEVATION EXPANDED POLYSTYRENE SYSTEM EQUAL ESTIMATE EXISTING EXTERIOR FINISH FLOOR FINISH FIXED GLASS FIREPLACE FEET FOOTING GAGE GALVANIZED	HDWR. H.M. HORTZ. HGT. HTG. HTR IN. INSUL. INT. JST. JT. LB. LAM. LAV. LTG. MATL. MAX. M.C. MECH. MIN. MISC. M.O. M.T. MTL.	HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HEATER INCHES INSULATION INTERIOR JOIST JOINT POUND LAMINATED LAVATORY LIGHTING MATERIALS MAXIMUM MEDICAL CABINET MECHANICAL MINIMUM MISCELLANEOUS MASONRY OPENING METAL	OPT. P. P.C. PED. PERP. PL. PLYWD. PROP. P.S.F. P.S.I. P.T. PTN. QUAL. QUAN. R.A.G. RAD. R.D. REF. REINF. REQD. REV. RM. ROS.	OPTIONAL PANTRY PULL CHAIN PEDESTAL PERPENDICULAR PLATE PLYWOOD PROPERTY POUND PER SQUARE FEET POUND PER SQUARE INCH PRESSURE TREATED PARTITION PAPER HOLDER QUALITY QUANTITY RETURN AIR GRILL RADIUS ROOF DRAIN REFRIGERATOR REINFORCE REQUIRED REVISION/REVERSE ROOM ROUGH SAWN	SH. SHT. SIM. S.G.D. SQ. S.S. STD. STO. STR. SUB. SUP. T.C. TEMP. THK. TYP. U.L. LABORAT VENT. VERT. VOL. V.T.R. W. W.C. W.D.	SHELF SHEET SIMILAR SLIDING GLASS DOOR SQUARE STAINLESS STEEL STANDARD STORAGE STRUCTURAL SUBSTITUTE SUPPORT TRASH COMPACTOR TEMPERATURE THICK/THICKNESS TYPICAL UNDERWRITERS TORY VENTILATION VERTICAL VOLUME VENT THROUGH ROOF WIDTH/WIDE/WASHER WATER CLOSET
DET. DIAM. DIM. DISP.	DETAIL DIAMETER DIMENSION DISPOSAL	GL. GYP. H.B. H.C.	GLASS GYPSUM HOSE BIB HOLLOW CORE	O.A. O.C. O.D. OPP.	OVERALL ON CENTER OUTSIDE DIAMETER OPPOSITE	S.C. SCHED. SDNG SEC.	SOLID CORE SCHEDULE SIDING SECTION	WDW W.H. W.I.C. W.P.	WINDOW WATER HEATER WALK IN CLOSET WATERPROOF

#### VICINITY MAP



#### LOCATION MAP



#### APPLIED CODES

FLORIDA BUILDING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

FLORIDA STATUES

FLORIDA ADMINISTRATIVE CODE

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

#### PROJECT NARRATIVE

#### PROJECT NARRATIVE:

HE PROPOSED PROJECT IS LOCATED IN UNICORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY, RESTAURANT AND COMMERCIAL BUILDINGS AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL AND POOL DECK, BUT PROVIDED BY DTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

HE COMMERCIAL BUILDINGS WILL BE A 'COLD-DARK SHELL' CONSTRUCTION WITH ELEVATOR AND STAIRS, BUILD-OUT PROPOSED BY 'FUTURE TENANTS'. VARIOUS BUILDINGS WILL BE SHARED FOR BOTH RIO NORTH AND RIO SOUTH.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20 BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 10, 16, 17, 18, 19, 21

#### **BUILDING IDENTIFICATION**

BUILDING TYPE 1	= CLUBHOUSE
BUILDING TYPE 2	= APARTMENT
BUILDING TYPE 3	= APARTMENT
BUILDING TYPE 4	= TOWNHOME
BUILDING TYPE 5	= TOWNHOME
BUILDING TYPE 6	= TOWNHOME
BUILDING TYPE 7	= LIVE-WORK
BUILDING TYPE 8	= LIVE-WORK
BUILDING TYPE 10	= MARINE SERVICES
BUILDING TYPE 14	= RECREATIONAL
BUILDING TYPE 15	= APARTMENT
BUILDING TYPE 16	= APARTMENT
BUILDING TYPE 17	= MAIL KIOSK
BUILIDNG TYPE 18	= TRASH ENCLOSURE
BUILDING TYPE 19	= RECYCLING ENCLOSURE #1
BUILDING TYPE 20	= RECYLCING ENCLOSURE #2
BUILDING TYPE 21	= ENTRY FEATURE

#### CODE INFORMATION

#### MAIL KIOSK

.1 BUILDING USE / OCCUPANCY / TYPE CONSTRUCTION TYPE: TYPE V-B SPRINKLED: NON-SPRINKLERED

1.2 BUILDING HEIGHT (FBC TABLE 503) ALLOWED:

35'-0" 2 STORIES, 12'-6" PROPOSED:

.3 BUILDING AREA (FBC TABLE 503) ALLOWED: 25,500 SQ. FT. / PER FLOOR

PROPOSED: REFER TO BUILDING AREA TABLES

## BUILDING TYPE 17 AREA -...

BUILDING TYPE 17 AREA - A/C

OTAL BUILDING AREA:

OTAL BUILDING AREA:

1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601) STRUCTURAL FRAME:

INTERIOR BEARING WALLS: EXTERIOR BEARING WALLS: **EXTERIOR NON-BEARING WALLS:** 

INTERIOR NON-BEARING WALLS: FLOOR CONSTRUCTION:

ROOF CONSTRUCTION:

N/A

1.5 FIRE SEPARATION

### 1.6 EXIT ACCESS

0 HOUR

0 HOURS

0 HOUR

0 HOURS

0 HOUR

0 HOUR

1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURE IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA

MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 250' (FBC 1016.2) MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' (FBC 1014.3)

MAXIMUM DEAD END: 20' (FBC 1018.4)

7 MINIMUM INTERIOR FINISH CLASSIFICATION

NFPA 101 TABLE A.10.2.2

S-1 B B

GROUP	NON		
	VERTICAL EXITS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES

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 $\overline{\phantom{a}}$ 

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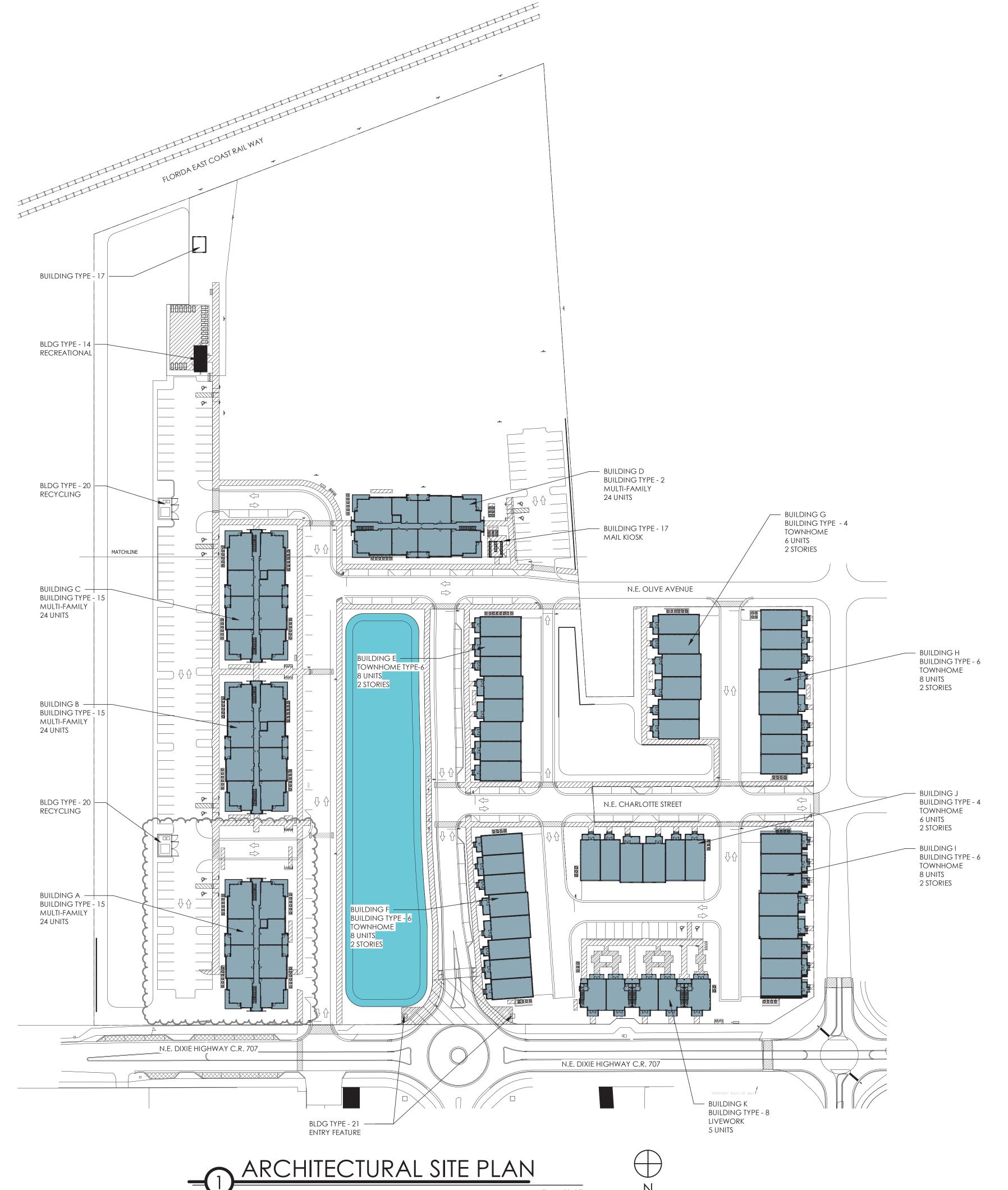
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Sheet Title

BLDG TYPE-17 MAIL KIOSK PROJECT DATA

SCALE: 1" = 60'-0"



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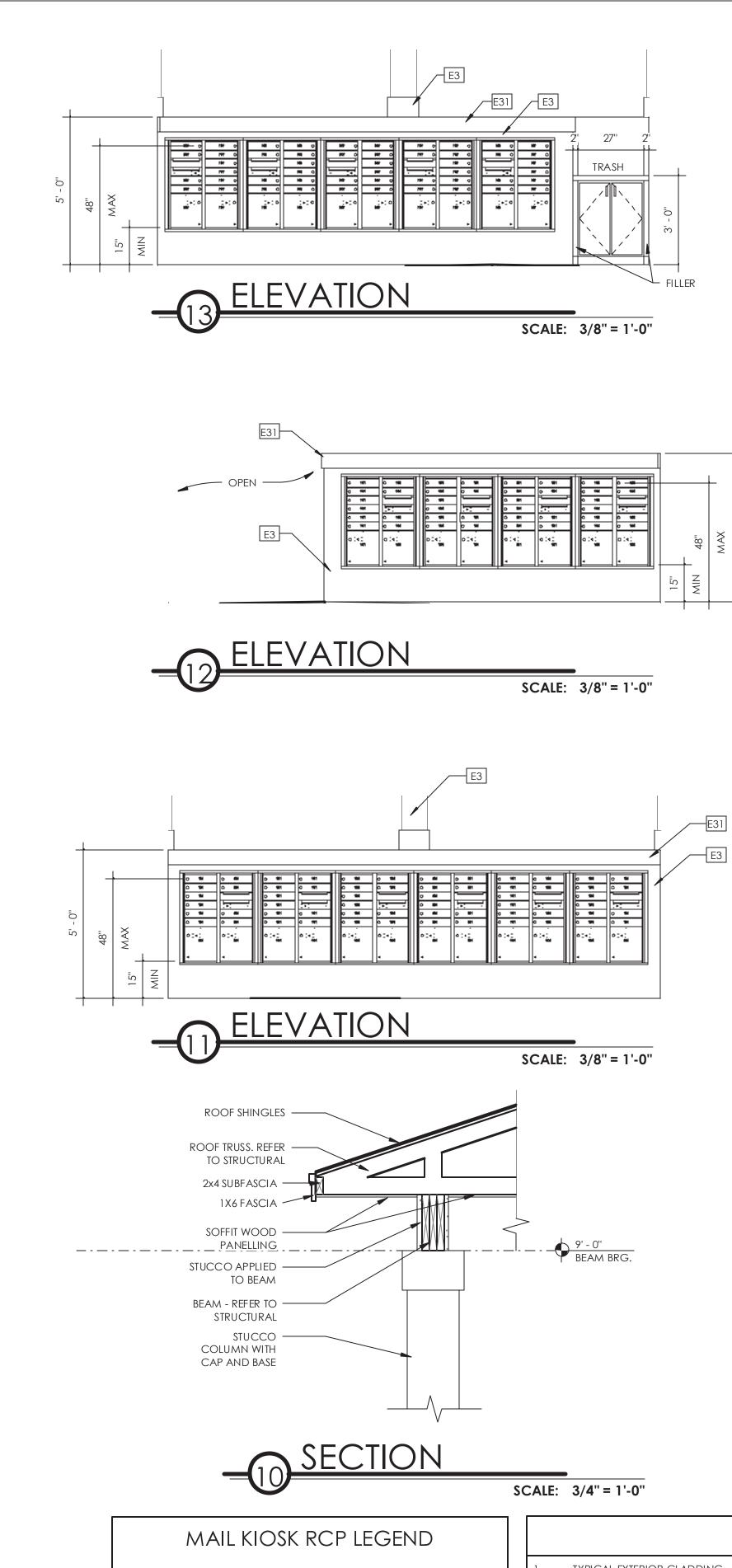
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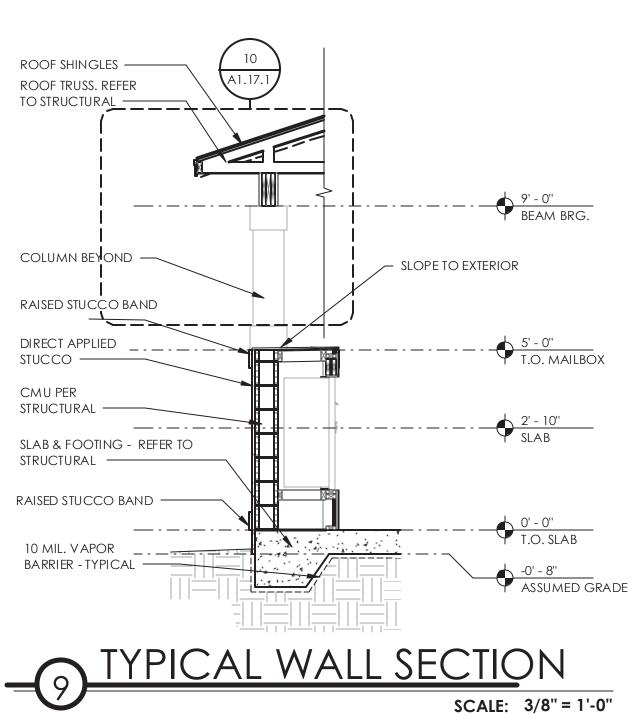
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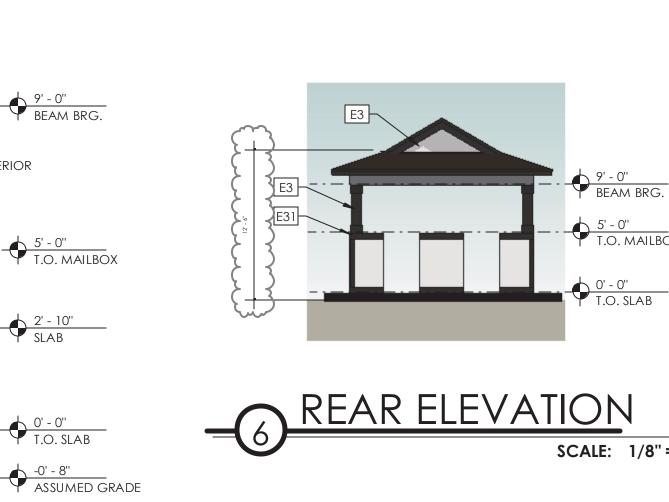
ARCHITECTURAL SITE PLAN - PRESERVE

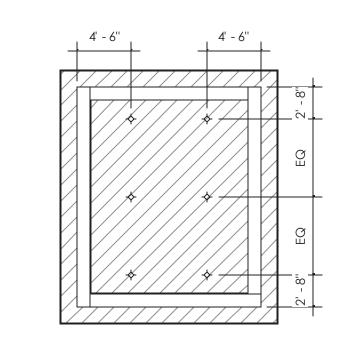


10'-0" WOOD PANEL

PRECESSED LIGHT FIXTURE

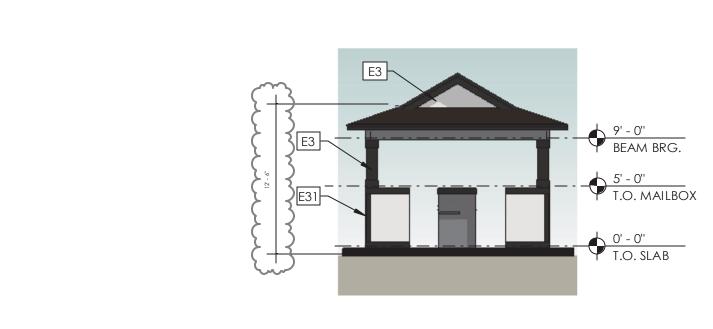


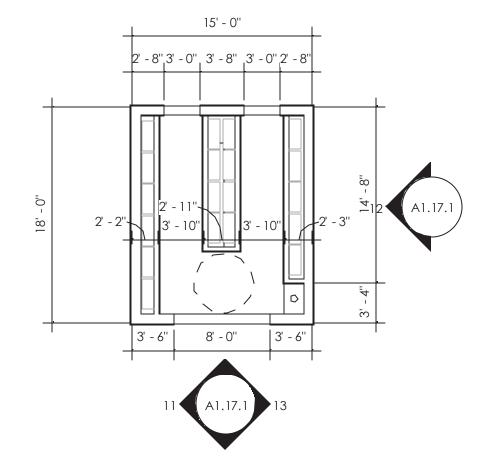




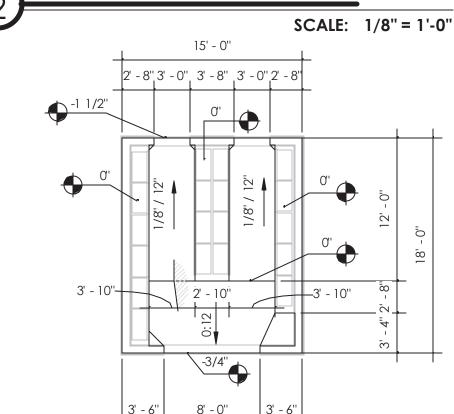


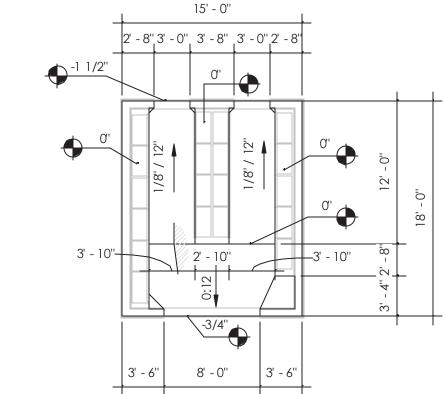




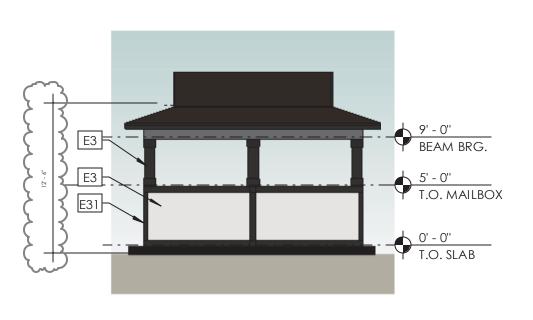










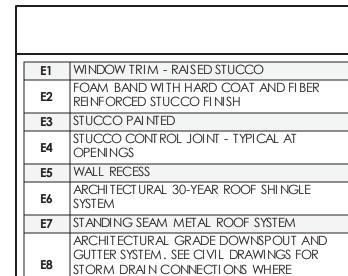






TYPICAL ELEVATION NOTES

- TYPICAL EXTERIOR CLADDING STUCCO, PAINTED. ALL EXTERIOR TRIM RAISED STUCCO. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTA CHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL
- ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
- ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO
- SOFFIT AND CEILING CONDITIONS. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
- SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
- PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
- COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.



E12 ARCHITECTURAL FOAM BRACKET

E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE		E
	SYSTEM		_
E7	STANDING SEAM METAL ROOF SYSTEM		E
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR		Е
LO	STORM DRAIN CONNECTIONS WHERE APPLICABLE		E
E9	ALUMINUM BAHAMA SHUTTER	•	Е
10	FALSE VINYL LOUVER SIZE AS INDICATED	•	Е
:11	MOSALC ARTWORK OVER PAINTED STUCCO	-	Е

	ELEVATION KEY NOTES
E13	TIMBER COLUMN - PAINTED
E14	PREFABRI CATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER' SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
	OVERHEAD ROLLING DOOR, SEE FLOOR PLANS

18	PLANS AND SCHEDULES
19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
21	OVERHEAD ROLLING DOOR, SEE FLOOR PLANS AND DOOR SCHEDULES
22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
23	BUG SCREEN ENCLOSURE FOR BALCONY
24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJECEN WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER, SEE ELECTRICAL DRAWINGS

EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS **E29** PROFILE-STUCCO REVEAL - 2" E30 CONTROL JOINT

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drawn by: **OL** 

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reviewed by: AP

ISOMETRIC VIEW

SCALE: 1/8" = 1'-0"

E31 RAISED STUCCO BAND

Sheet Title BLDG TYPE-17 MAIL

MARINE

PRESERVE

A0.10CC