



RIO MARINE VILLAGE

PHASE I EAST PERMIT SET 9.20.23

OWNER: RIO SOUTH DIXIE, LLC
BRIAN PAWLIK
601 HERITAGE DR., STE #227
JUPITER, FL 33458
P: 561.575.6454
E: bpawlik@prairieridgedev.com

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STRUCTURAL ENGINEER: ONMJ
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1655 PALM BEACH LAKES BLVD.
SUITE 204
WEST PALM BEACH 33401
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MECHANICAL ELECTRICAL PLUMBING ENGINEER: JLC
SIMON ROJAS
1880 HARWOOD AVE
SUITE 3000
ALTAMONT SPRINGS, FL 32714
P: 321.972.4466

OWNER'S CIVIL ENGINEER: SIMMONS & WHITE, INC
JESSE "JAMIE" PARRISH, P.E.
2581 METROCENTRE BLVD, SUITE 3
WEST PALM BEACH, FL 33407
P: 321.212.9698
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OWNER'S LANDSCAPE ARCHITECT: COTLEUR & HEARING
GEORGE MISSIMER
1934 COMMERCE LANE, SUITE 1
JUPITER, FL 33458
P: 561.747.6336 x108
E: GMISSIMER@COTLEUR-HEARING.COM

OWNER'S INTERIOR DESIGNER: OFF CENTER DESIGN GROUP
AMANDA PRIZZI
1109 OKEECHOBEE ROAD SUITE 22
WEST PALM BEACH FL 33401
585.315.9777
REBECCA@OFFCENTERDESIGNGROUP.COM

STUART, FLORIDA

SEAL DATE

CRISTIAN OQUENDO
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In accordance with FBC Section 1108.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

THE PRESERVE AT RIO MARINE VILLAGE
PHASE I EAST

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www.cbaarchitects.com

date: 9/20/23
job no: 4301.20
drawn by: AP
reviewed by: CBA
issue history:
Δ Date

Sheet Title

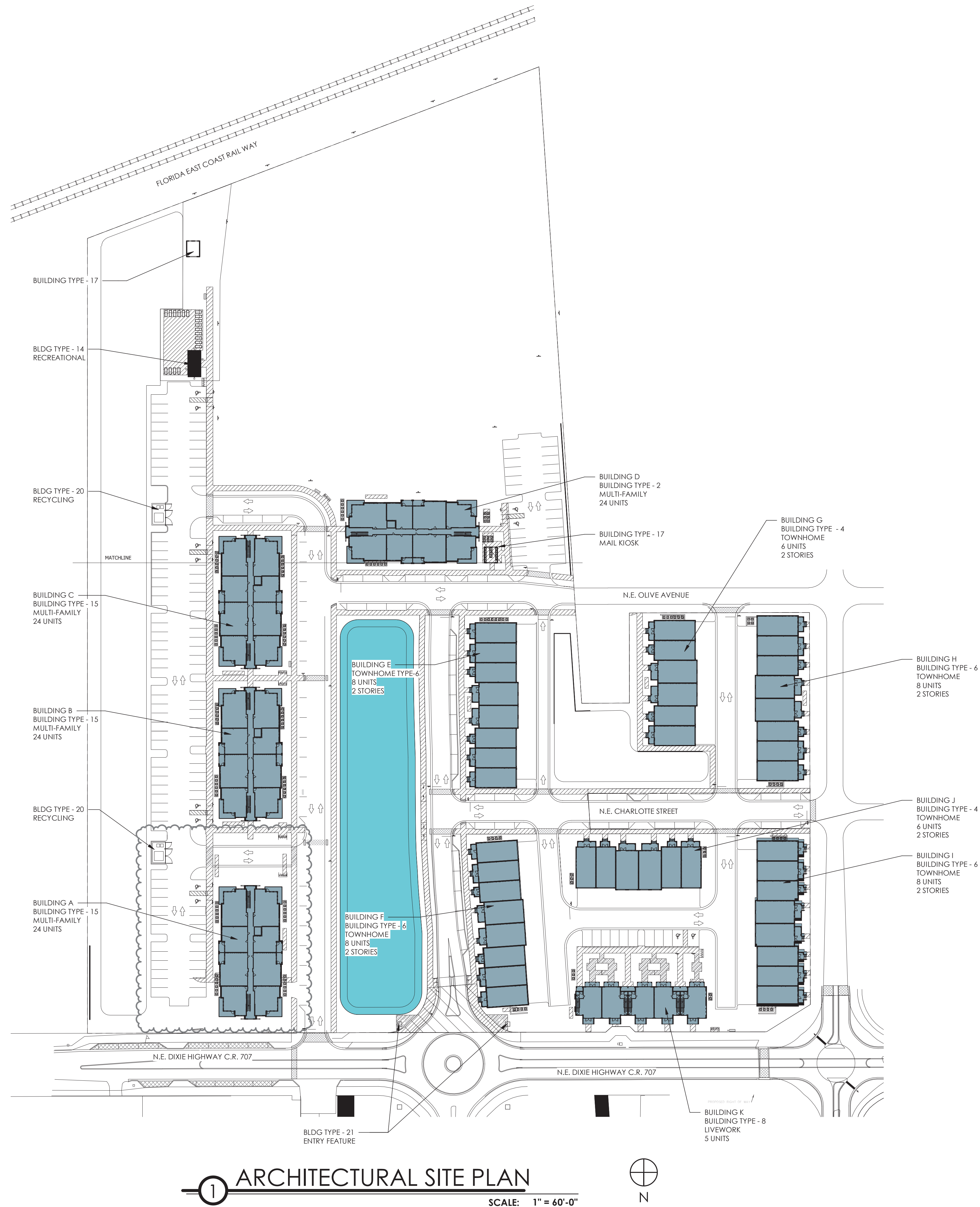
BLDG TYPE-2
MULTIFAMILY
PROJECT COVER
SHEET

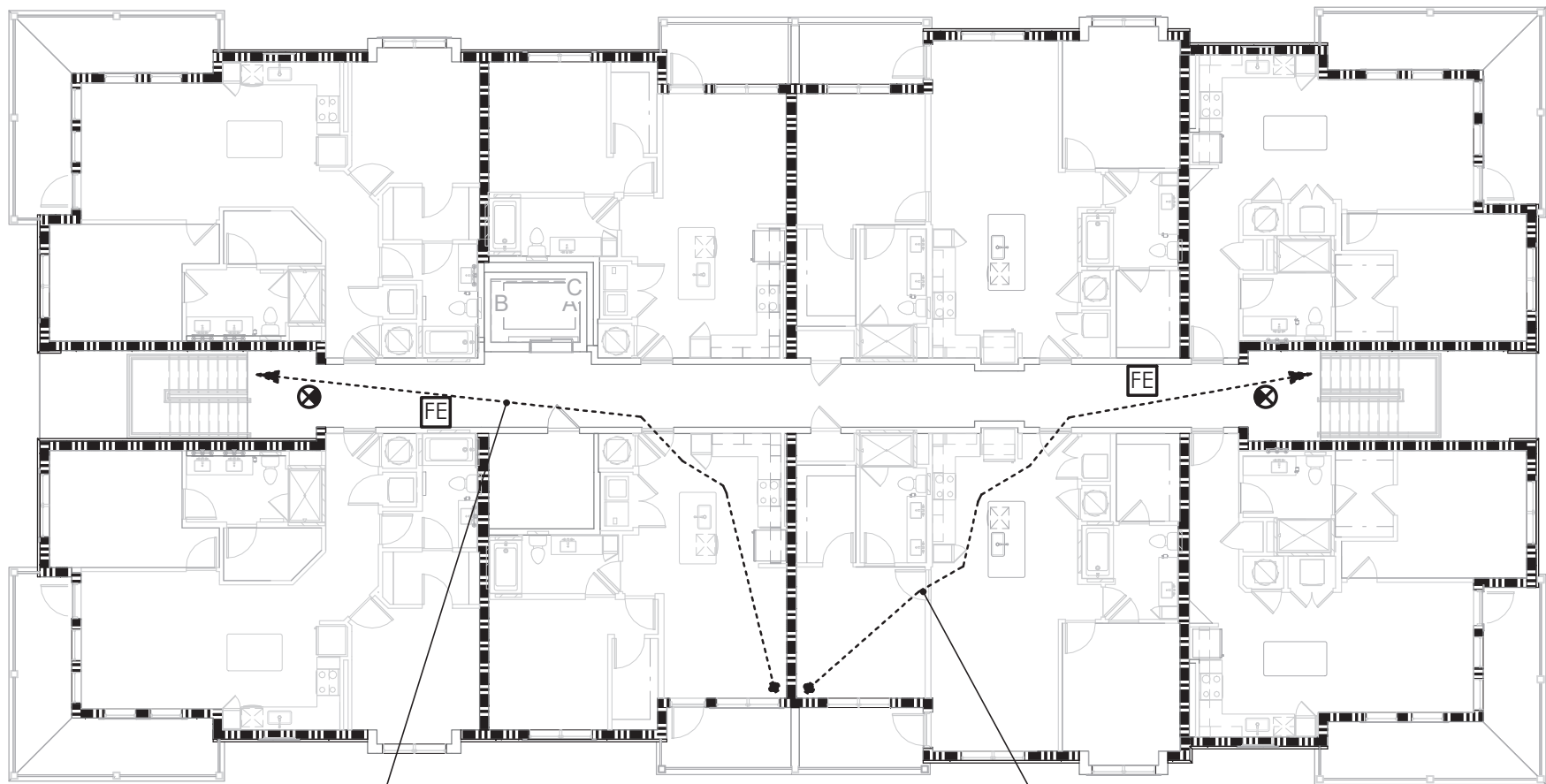
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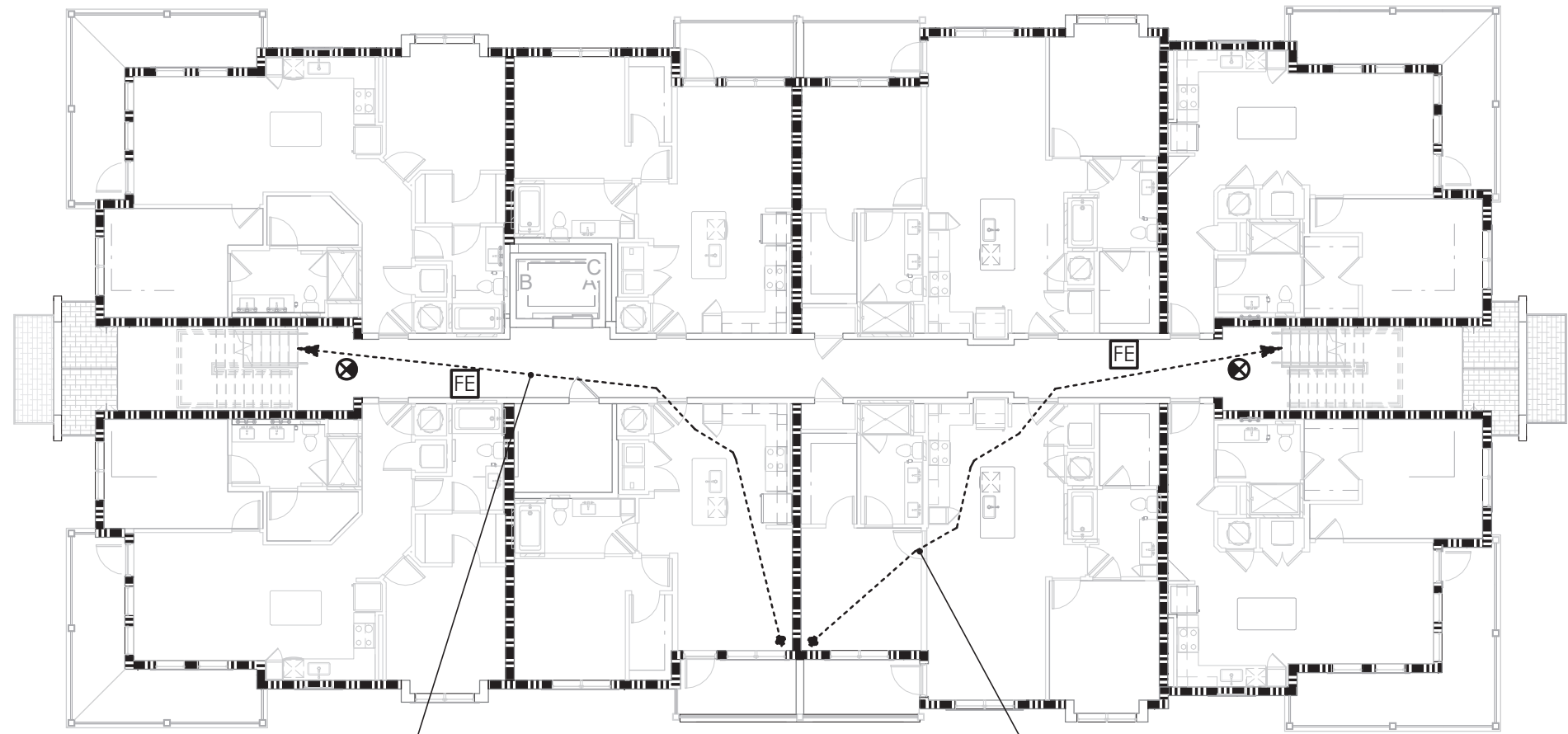
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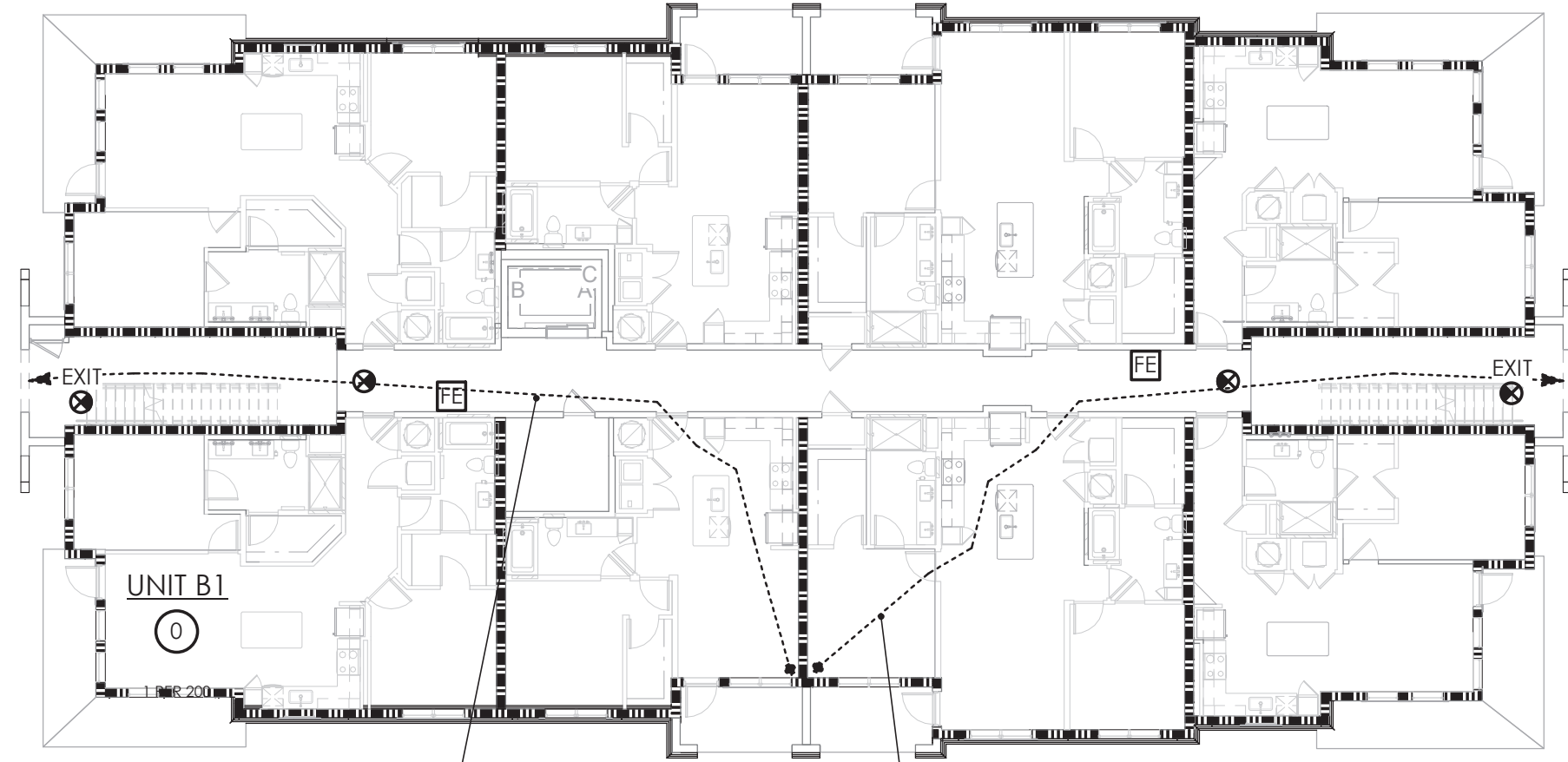
3 THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"



2 SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"



1 FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

TRUSS SIGNAGE REQUIREMENTS

7' X 7' REFLECTIVE ALUM. SIGN NOTES PURSUANT TO FLORIDA STATE STATUTE 655.027:

- MALTESE CROSS MEASURING 8" HORIZONTALLY AND 8" VERTICALLY, OF A BRIGHT RED REFLECTIVE COLOR, DESIGNED IN ACCORDANCE WITH NFPA 101, 2009 EDITION.
- THE APPROVED SYMBOL SHALL BE PLACED WITHIN 24" TO THE LEFT OF THE MAIN ENTRY DOOR AND:
 - BE PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE ON A CONTRASTING BACKGROUND OR,
 - BE MOUNTED ON A CONTRASTING BASE MATERIAL WHICH IS THEN PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE.
- THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR THE FINISHED FLOOR TO THE BOTTOM OF THE SYMBOL SHALL BE NOT LESS THAN 4 FEET (48 INCHES).
- THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR FINISHED FLOOR TO THE TOP OF THE SYMBOL SHALL BE NOT MORE THAN 6 FEET (72 INCHES).

LIFE SAFETY LEGEND

- INDICATES 2 HOUR RATED WALL
- INDICATES 1 HOUR RATED WALL
- INDICATES PATH OF TRAVEL (250 FEET MAXIMUM - PER FBC 1016.2)
INDICATES COMMON PATH OF TRAVEL (125 FEET MAXIMUM - PER FBC 1014.3)
- INDICATES EXIT SIGN
- INDICATES REQUIRED PANIC HARDWARE AT DOORS (PER FBC 1008.1.9)
- INDICATES FIRE EXTINGUISHER - "TYPE-A" IN SEMI-RECESSED FIRE RATED CABINET. TRAVEL DISTANCE TO CABINET 75'-0" MAX. MOUNT TOP OF CABINET NOT MORE THAN 5'-0" A.F.F.; BOTTOM NOT LESS THAN 4" A.F.F.

NOTE: FIRE EXTINGUISHERS WILL ALSO BE PLACED IN EACH UNIT.

POSTING OF OCCUPANT LOAD

PER FBC 1004.3

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. POSTED OCCUPANCY NUMBER SHALL NOT EXCEED ONE OCCUPANT PER SEVEN SQUARE FEET (FBC 1004.2) OR BE GREATER THAN THE NUMBER OF OCCUPANTS THAT CAN BE ACCOMMODATED BY THE SPACE'S NARROWEST EGRESS COMPONENT (FBC 1005)

FLORIDA

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CRISTIAN OCQUENDO
CRISTIAN OCQUENDO & ASSOCIATES, A.C.000798
CRISTIAN OCQUENDO shall have precedence over scale dimension.

date: 9/20/23
job no: 4301.20
drawn by: OL
reviewed by: AP
issue history: Date

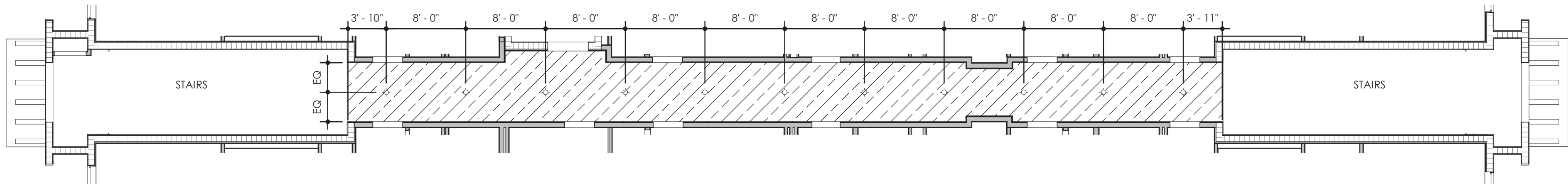
Sheet Title

BLDG TYPE-2
MULTIFAMILY LIFE
SAFETY PLANS

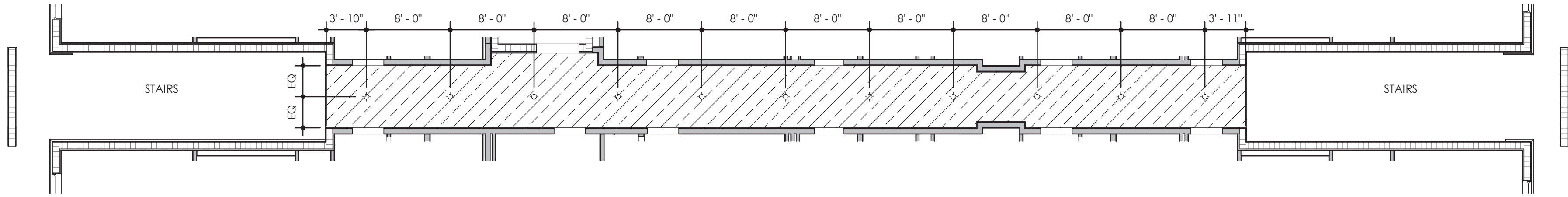
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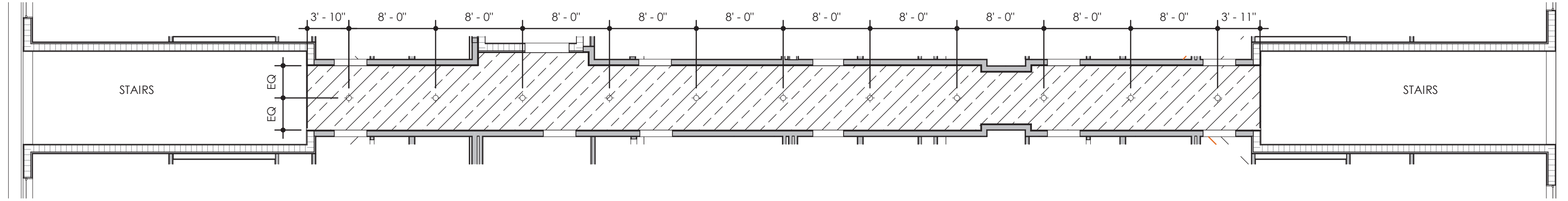
PERMIT SET



1 FIRST FLOOR RCP
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR RCP
SCALE: 1/8" = 1'-0"



3 THIRD FLOOR RCP
SCALE: 1/8" = 1'-0"

CORRIDOR RCP LEGEND	
 8'-4" CEILING HEIGHT	 SURFACE MOUNTED LIGHT
RCP NOTES: 1. DROPPED CEILINGS AND SOFFITS ARE TO BE 1 1/2" METAL STUD FRAMING (PER ASTM STANDARDS) WITH 1/2" EXTERIOR GRADE GYPSUM BOARD + PAINT. 2. STAIRWELL LIGHTS NOT SHOWN - REFER TO ELECTRICAL DRAWINGS.	

PERMIT SET

Sheet Title

BLDG TYPE-2
MULTIFAMILY
CORRIDOR RCPs

A0.10CC

Sheet Number

A1.02.5

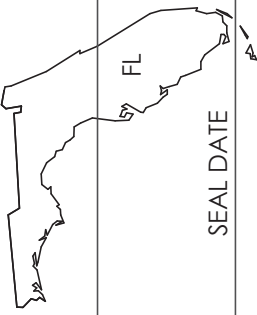
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STATE OF FLORIDA

CRISTIAN OSQUEANDO
CRISTIAN OSQUEANDO & ASSOCIATES, A.C.



CRISTIAN OSQUEANDO
CRISTIAN OSQUEANDO & ASSOCIATES, A.C.
CRISTIAN OSQUEANDO & ASSOCIATES, A.C. shall have precedence over scale dimensions.



2 BLDG TYPE 2 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 2 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

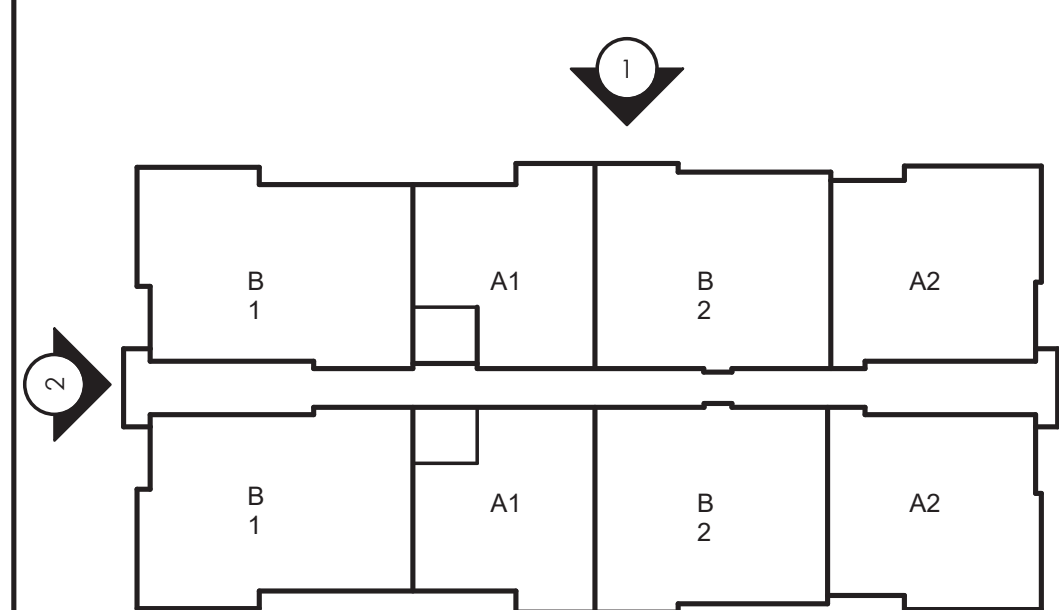
TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1 WINDOW TRIM - RAISED STUCCO	E13 TIMBER COLUMN - PAINTED	E25 DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL.
E2 FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14 PREFABRICATED METAL AWNING	E26 EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3 STUCCO PAINTED	E15 CONDUCTOR HEAD SCUPPER BOX	E27 EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E4 STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16 THROUGH WALL OVERFLOW SCUPPER	E28 ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5 WALL RECESS	E17 ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29 PROFILE-STUCCO REVEAL - 2"
E6 ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18 PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30 CONTROL JOINT
E7 STANDING SEAM METAL ROOF SYSTEM	E19 STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31 RAISED STUCCO BAND
E8 ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20 EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	
E9 ALUMINUM BAHAMA SHUTTER	E21 OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	
E10 FALSE VINYL LOUVER SIZE AS INDICATED	E22 42" HIGH ALUMINUM GUARD RAIL SYSTEM	
E11 MOSAIC ARTWORK OVER PAINTED STUCCO	E23 BUG SCREEN ENCLOSURE FOR BALCONY	
E12 ARCHITECTURAL FOAM BRACKET	E24 METAL COPING CAP AT PARAPET WALL	

BUILDING KEY PLAN



Sheet Title

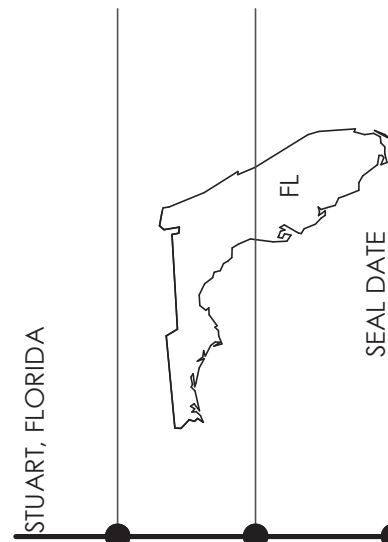
BLDG TYPE-2
MULTIFAMILY
EXTERIOR ELEVATIONS

A0.10CC

Sheet Number

A2.02.2

PERMIT SET



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PHASE I EAST

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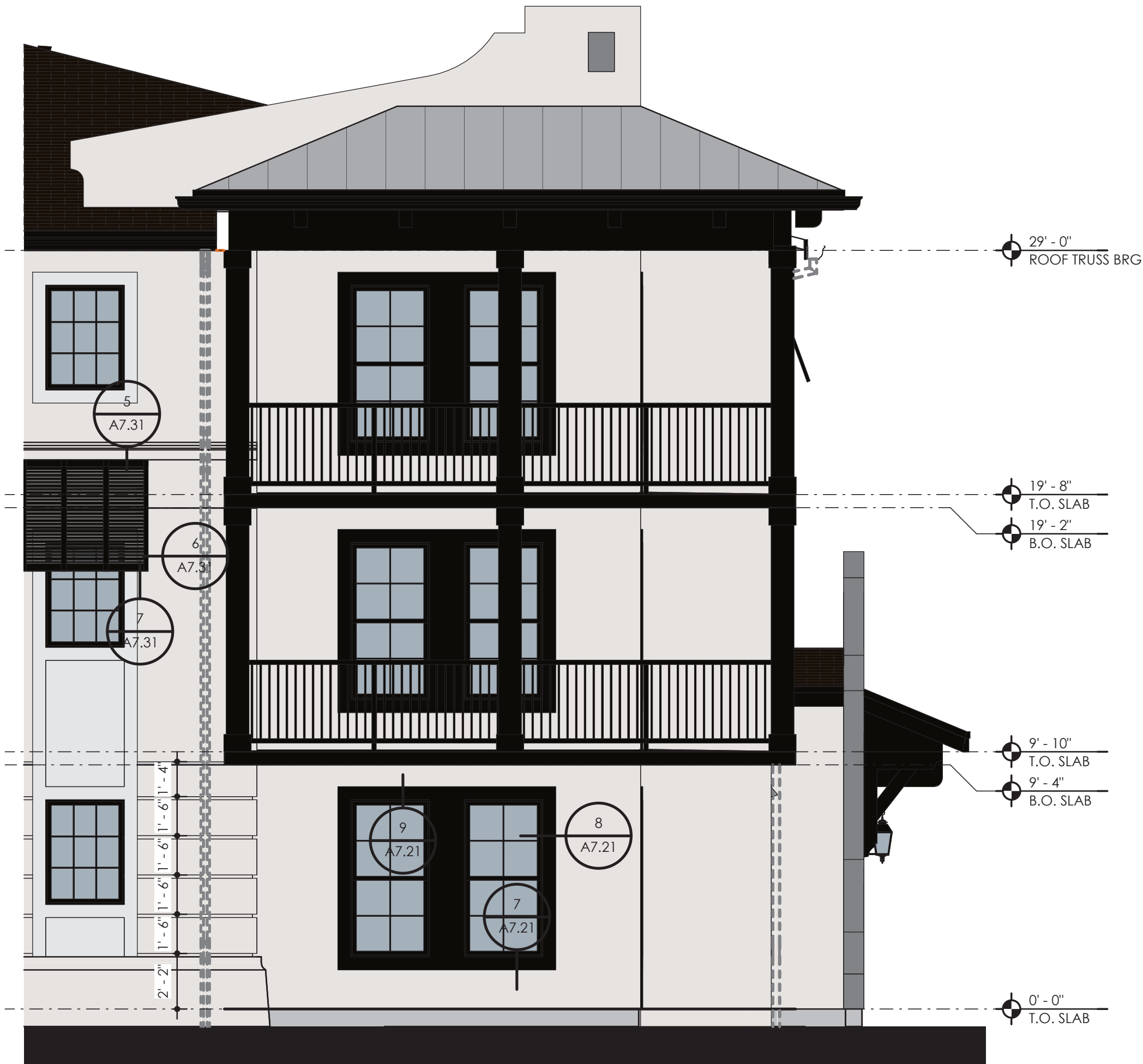
drawn by: TK

reviewed by: OL

issue

history: Date

1 11.6.23



3 ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



2 ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



1 ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"

COLOR LEGEND	
COLOR 1	COLOR 2
CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

TYPICAL ELEVATION NOTES	
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11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
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E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER SPECIFICATIONS	E29	PROFILE-STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
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E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.	E24	METAL COPING CAP AT PARAPET WALL		

FL

SEAL DATE

FLORIDA

CRISTIAN OSQUENDO

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ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

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1 CLIENT UPDATES

Sheet Title

BLDG TYPE-2 MULTIFAMILY ENLARGED ELEVATIONS

Sheet Number

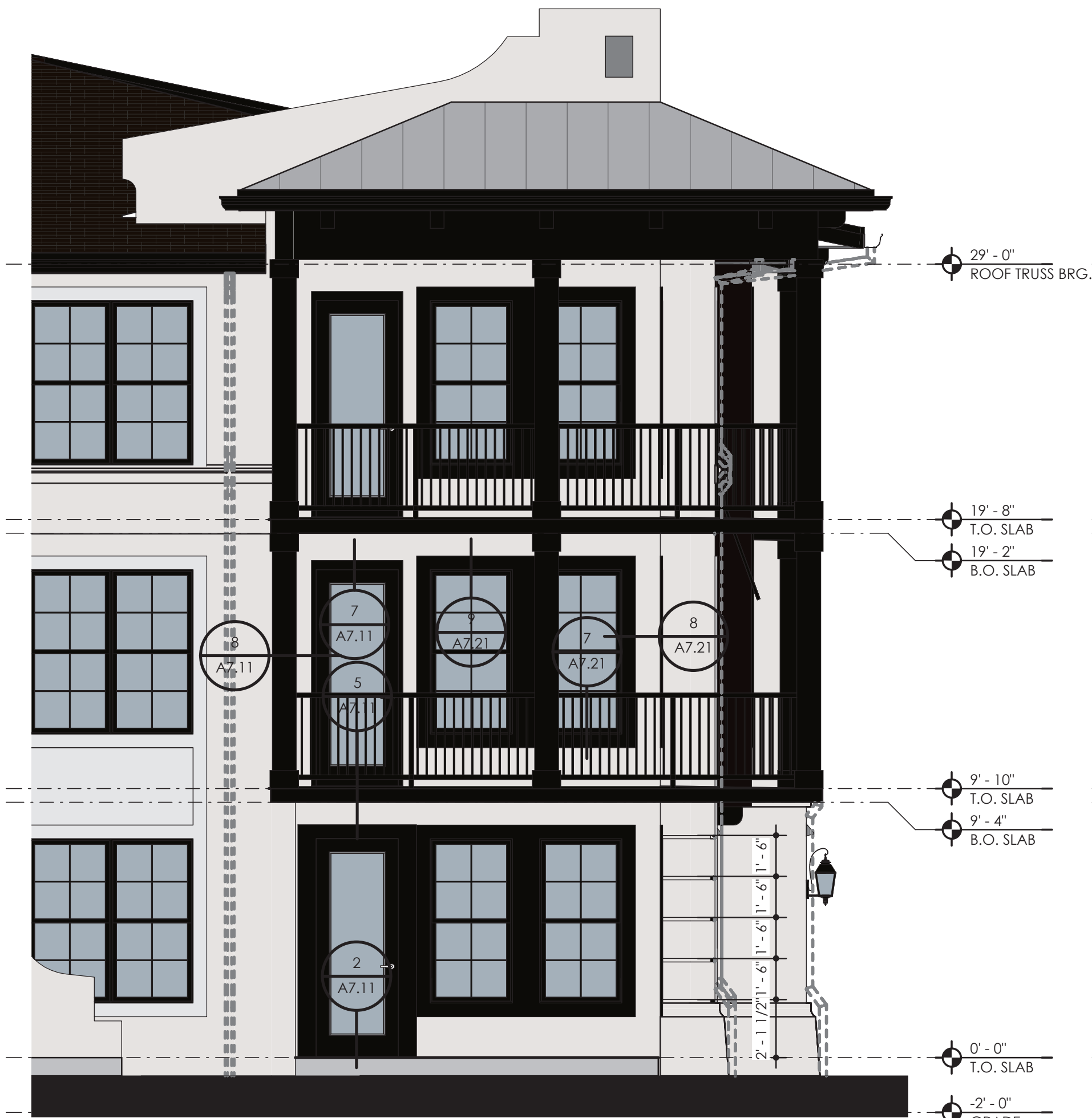
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3 ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



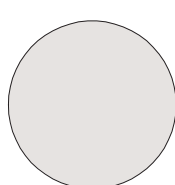
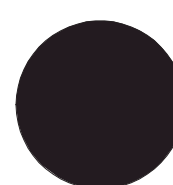
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COLOR LEGEND	
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CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

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ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



RIO MARINE VILLAGE

PHASE I EAST PERMIT SET 9.20.23

OWNER: RIO SOUTH DIXIE, LLC
BRIAN PAWLIK
601 HERITAGE DR., STE #227
JUPITER, FL 33458
P: 561.575.6454
E: bpawlik@prairieridgedev.com

ARCHITECT : CHARLAN BROCK ARCHITECTS
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STRUCTURAL ENGINEER: ONMJ
PATRICK JACKSON
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SUITE 204
WEST PALM BEACH 33401
P: 561.835.8255

MECHANICAL ELECTRICAL PLUMBING ENGINEER: JLC
SIMON ROJAS
1880 HARWOOD AVE
SUITE 3000
ALTAMONT SPRINGS, FL 32714
P: 321.972.4466

OWNER'S CIVIL ENGINEER: SIMMONS & WHITE, INC
JESSE "JAMIE" PARRISH, P.E.
2581 METROCENTRE BLVD, SUITE 3
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OWNER'S LANDSCAPE ARCHITECT: COTLEUR & HEARING
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1934 COMMERCE LANE, SUITE 1
JUPITER, FL 33458
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E: GMISSIMER@COTLEUR-HEARING.COM

OWNER'S INTERIOR DESIGNER: OFF CENTER DESIGN GROUP
AMANDA PRIZZI
1109 OKEECHOBEE ROAD SUITE 22
WEST PALM BEACH FL 33401
585.315.9777
REBECCA@OFFCENTERDESIGNGROUP.COM

FL

SEAL DATE

CRISTIAN OSQUEENDO
CHARLAN BROCK & ASSOCIATES, A.C.

STATE OF FLORIDA

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLIK
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date: 9/20/23

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-4
TOWNHOME PROJECT
COVER SHEET

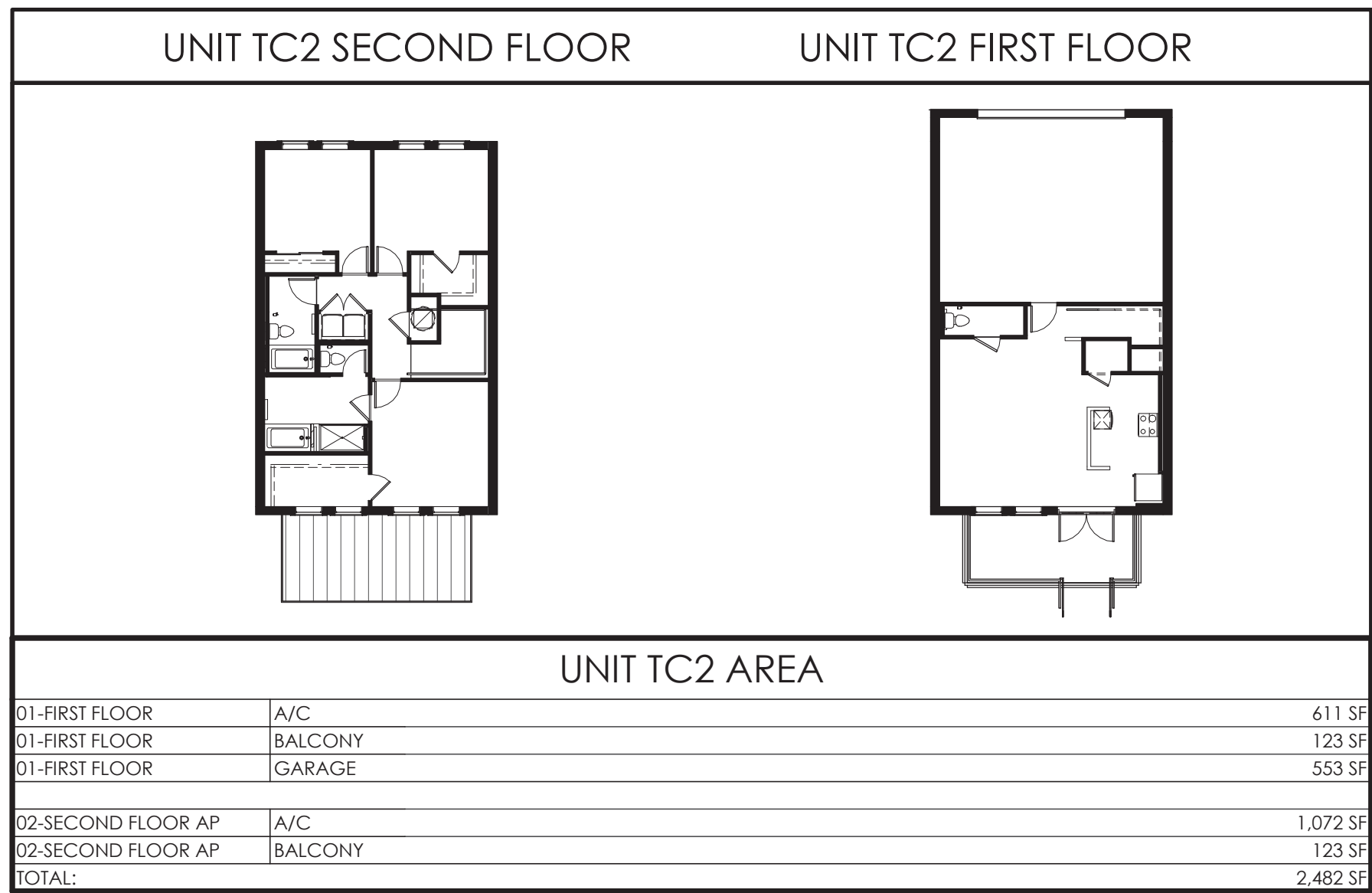
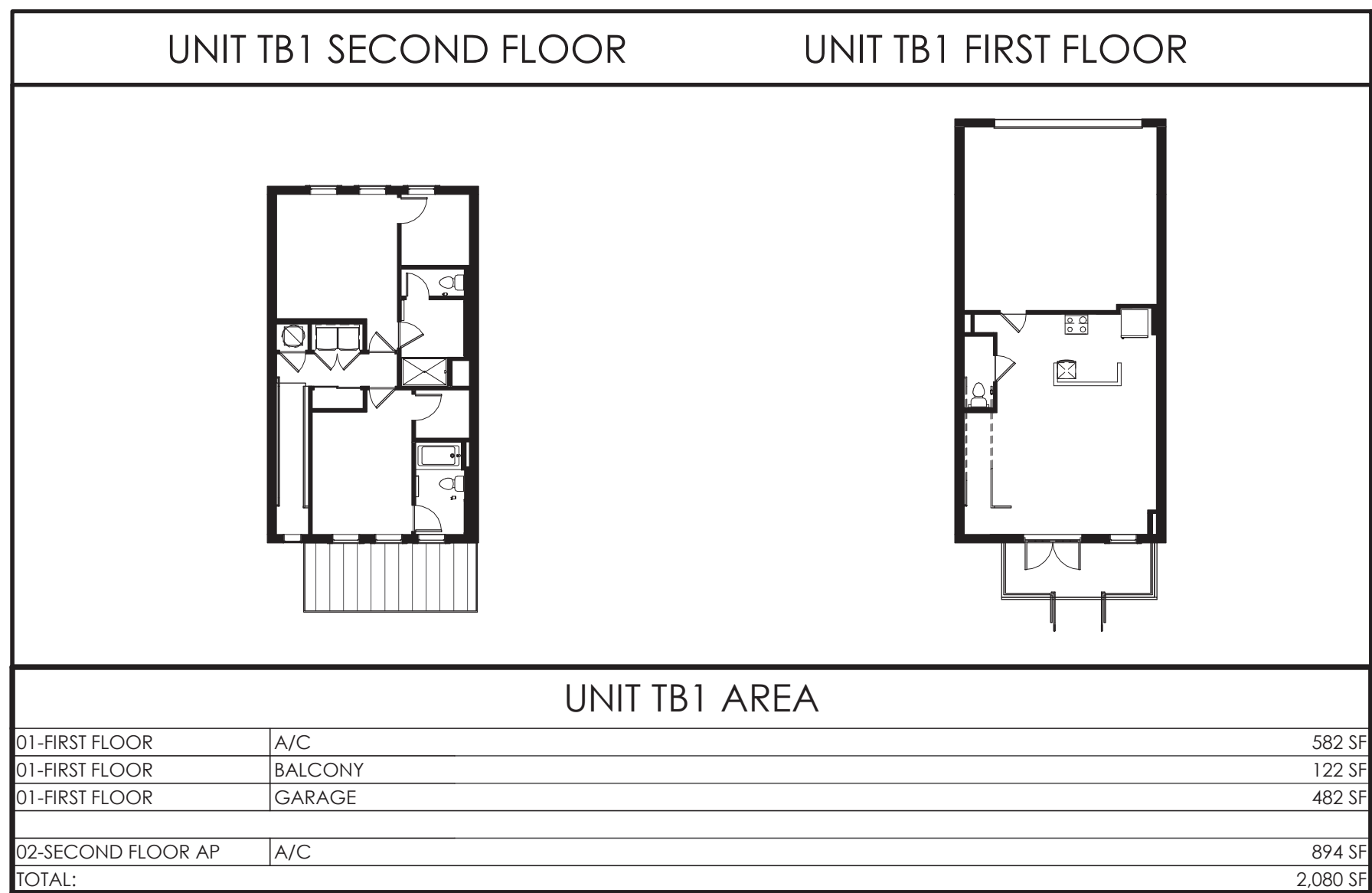
Sheet Number

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A0.01.4

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in accordance with FRC Section 1108.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

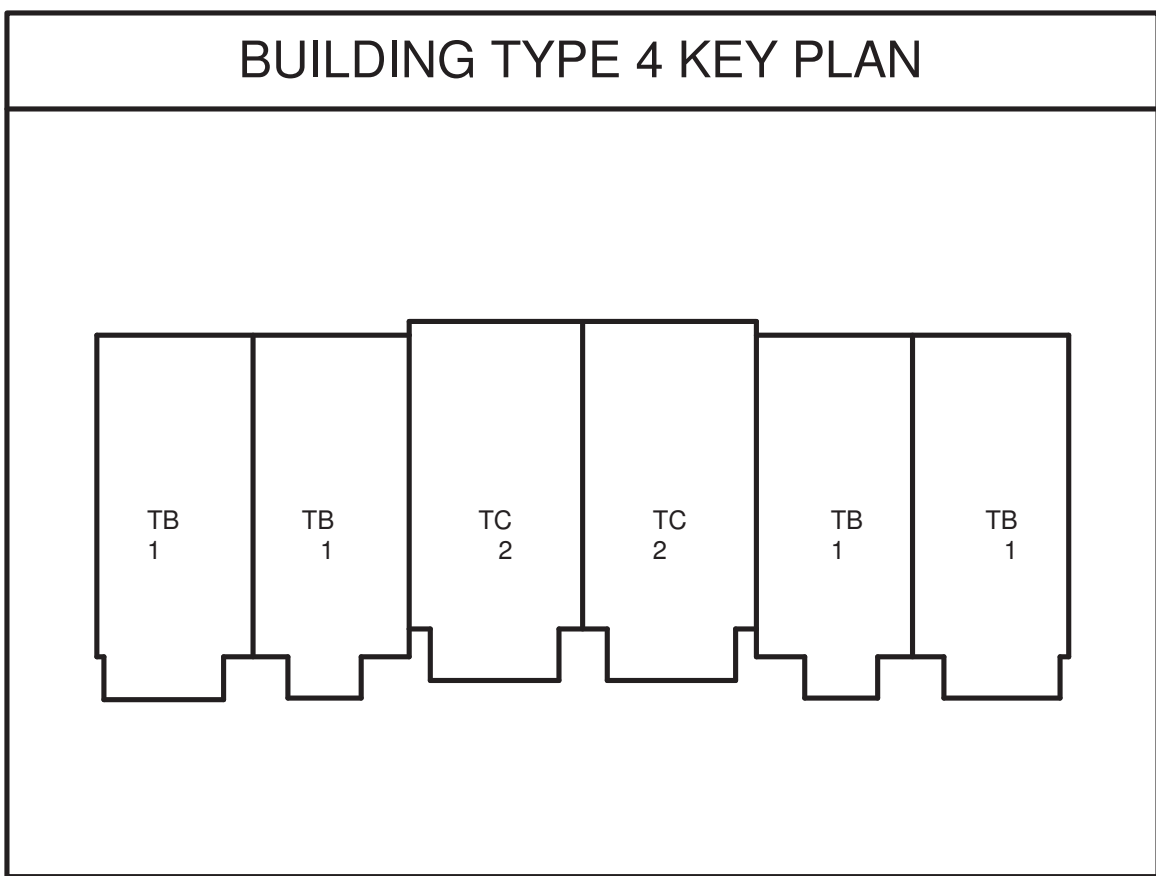


BUILDING TYPE 4 AREA - A/C	
01-FIRST FLOOR	3,437 SF
02-SECOND FLOOR AP	5,488 SF
TOTAL BUILDING AREA:	8,925 SF

BUILDING TYPE 4 AREA - GROSS	
01-FIRST FLOOR	6,916 SF
02-SECOND FLOOR AP	5,487 SF
TOTAL BUILDING AREA:	12,403 SF

BUILDING TYPE 4 AREA - GROSS	
01-FIRST FLOOR	6,916 SF
02-SECOND FLOOR AP	5,487 SF
TOTAL BUILDING AREA:	12,403 SF

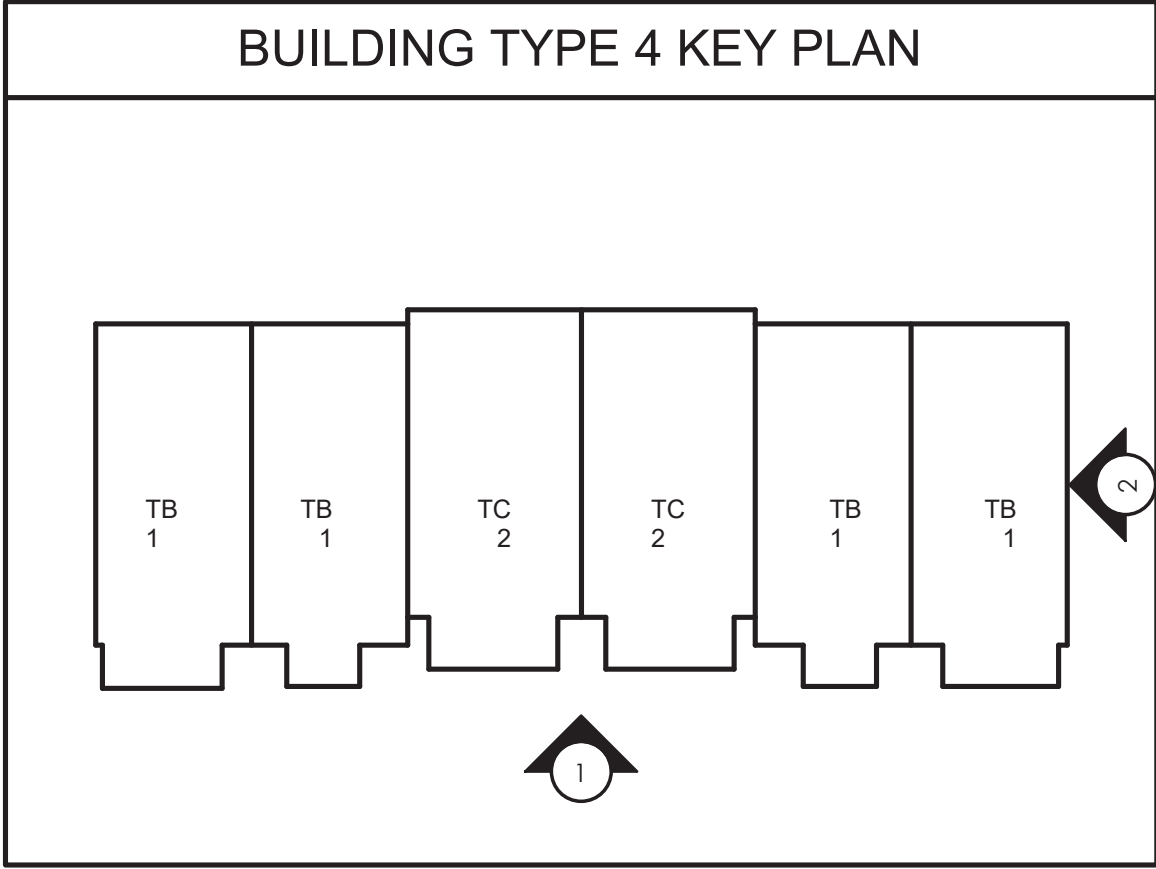
UNIT MIX - BUILDING TYPE 4				
PRESERVE				
UNIT TYPE	1ST FLOOR & 2ND FLOOR	TOTAL PER BUILDING	BLOGS ON SITE	TOTAL # OF UNITS ON SITE
TC2	2	2	2	4
TB1	4	4		8
TOTAL	7	6	(2x)	12





TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES	
E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET
E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
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E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



Sheet Title

BLDG TYPE-4
TOWNHOME EXTERIOR
ELEVATIONS

Sheet Number

A0.10CC

A2.04.1

PERMIT SET



THE PRESERVE AT RIO MARINE VILLAGE
PHASE I EAST

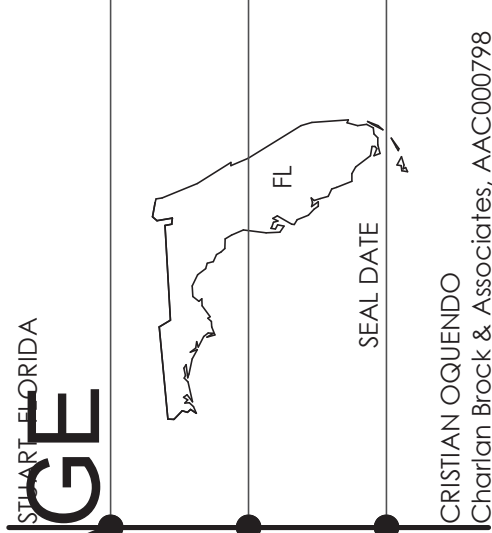
BRIAN PAWLK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

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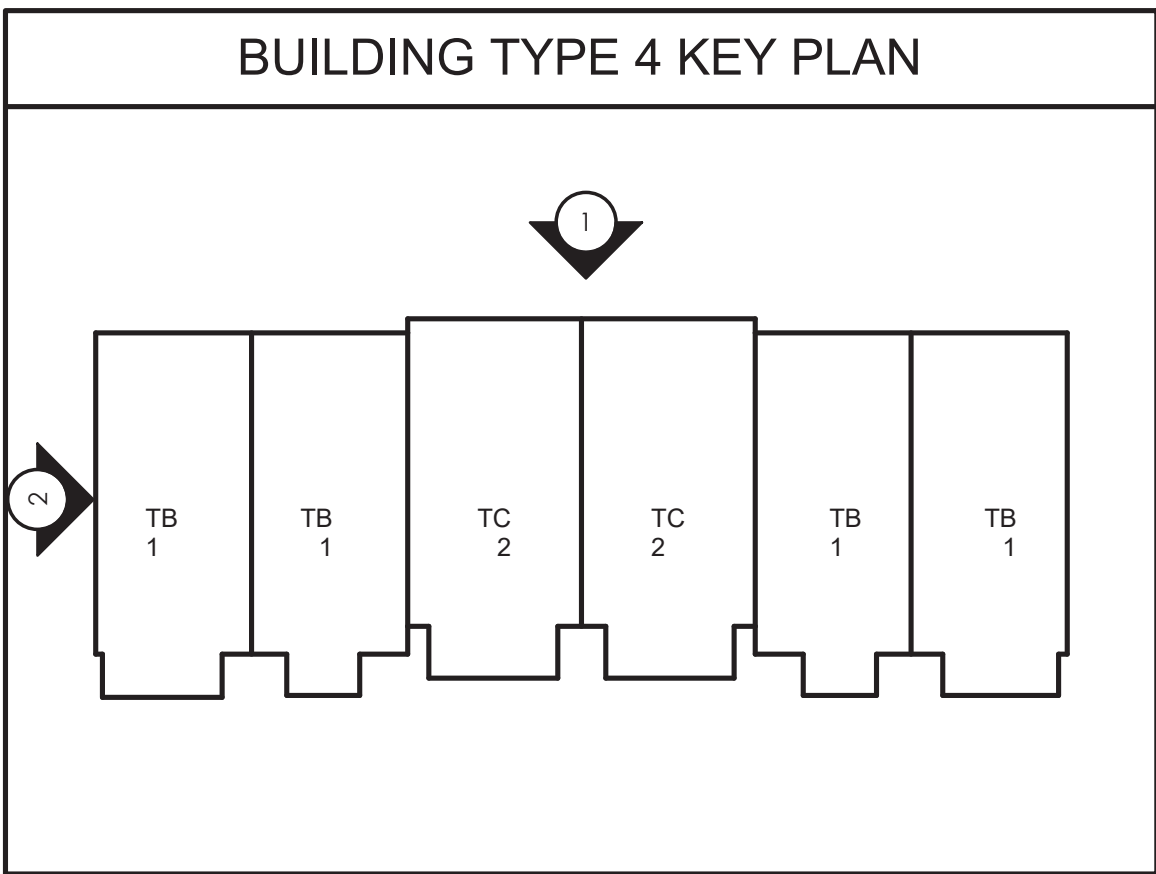
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mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 9/20/23
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history:
1 11.6.23



TYPICAL ELEVATION NOTES	
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2.	ALL EXTERIOR TRIM RAISED STUCCO.
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ELEVATION KEY NOTES			
E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
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E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
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E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL COPING CAP AT PARAPET WALL
E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL		
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E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS		
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS		
E29	PROFILE-STUCCO REVEAL - 2"		
E30	CONTROL JOINT		
E31	RAISED STUCCO BAND		



Sheet Title

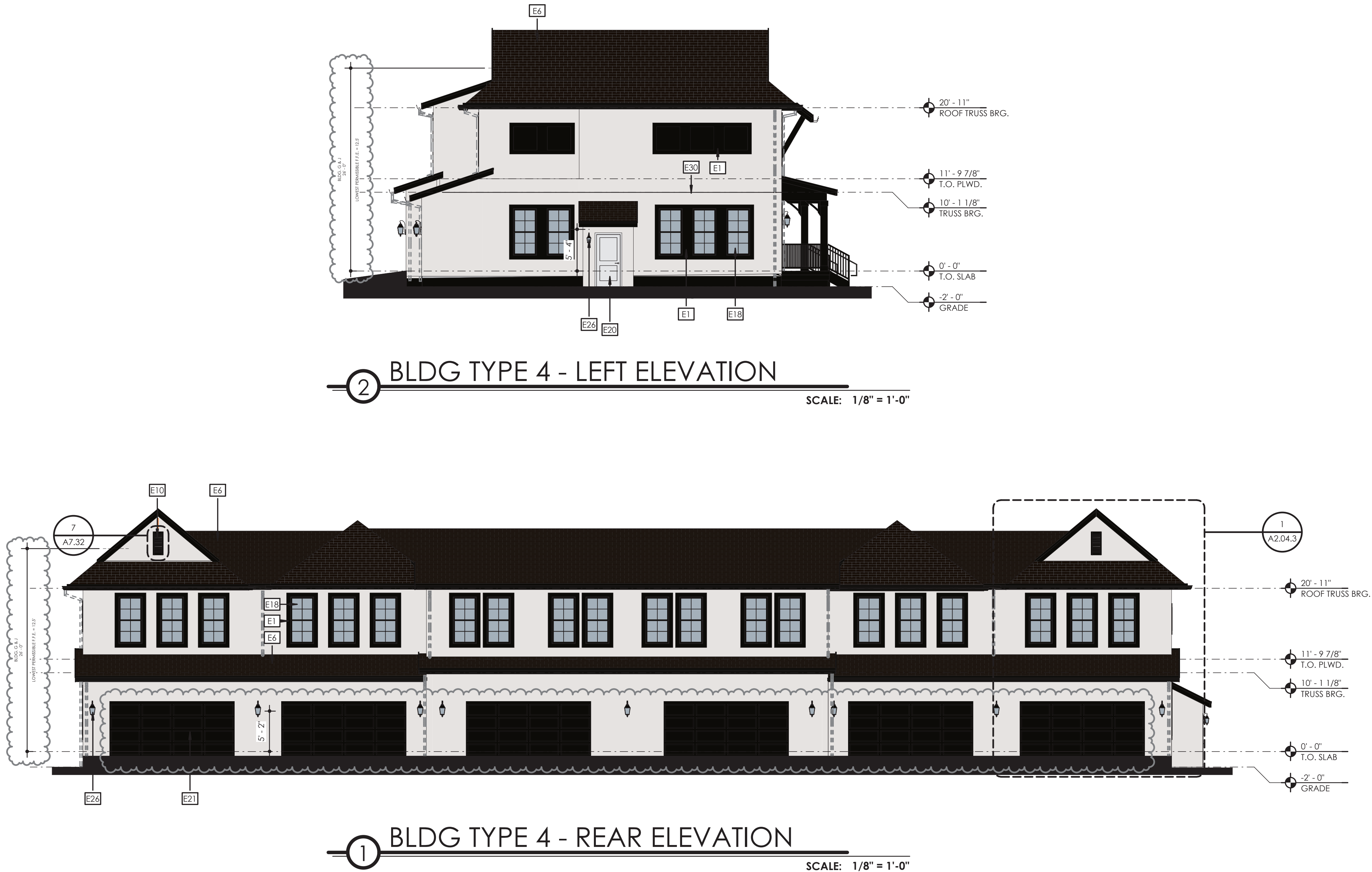
**BLDG TYPE-4
TOWNHOME EXTERIOR
ELEVATIONS**

Sheet Number

A0.10CC

A2.04.2

PERMIT SET



2 BLDG TYPE 4 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"

1 BLDG TYPE 4 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

FL

SEAL DATE

FLORIDA

CRISTIAN OSQUEENDO

CRISTIAN OSQUEENDO & ASSOCIATES, A.A.C.

CRISTIAN OSQUEENDO & ASSOCIATES, A.A.C.

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK

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associates

architects • planners

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407 660 8900 f:407 875 9948

www . cbaarchitects . com

date: 9/20/23

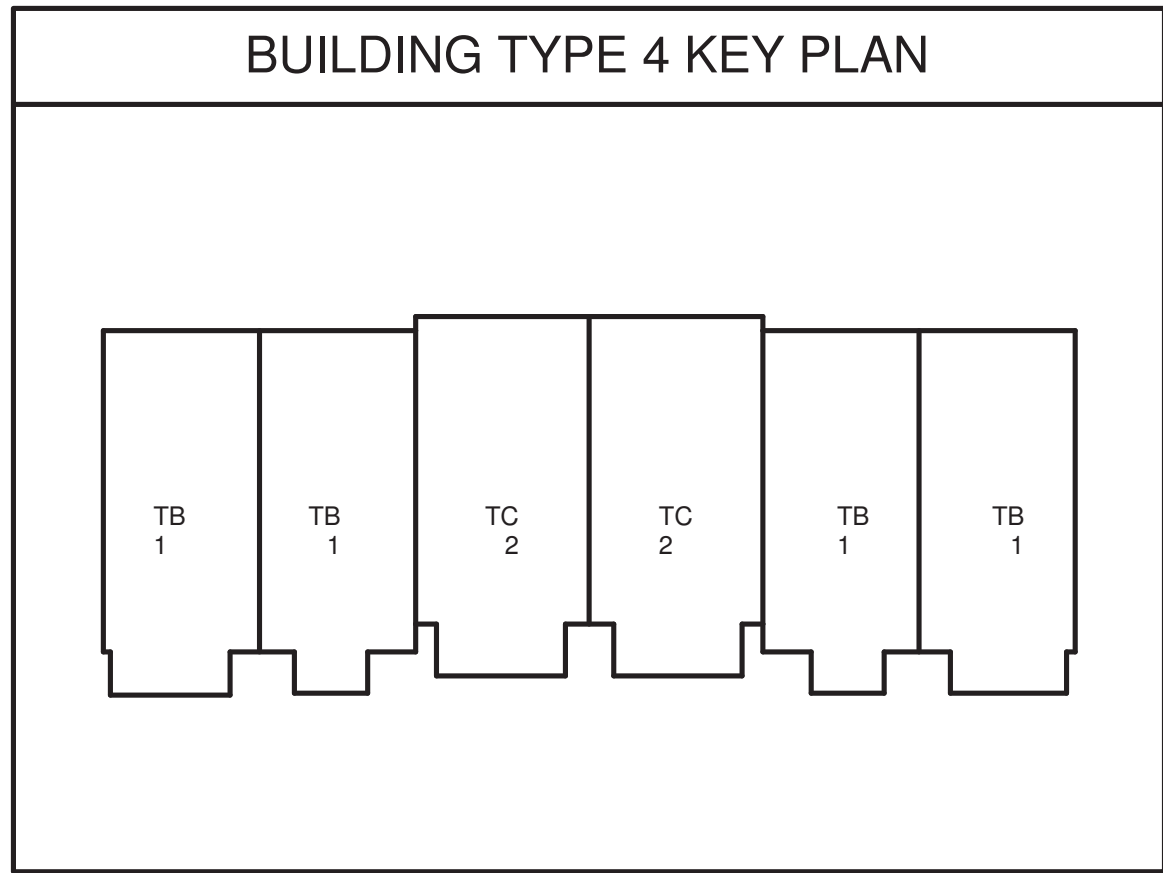
job no: 4301.20

drawn by: TK

reviewed by: OL

issue history:

1 11.6.23

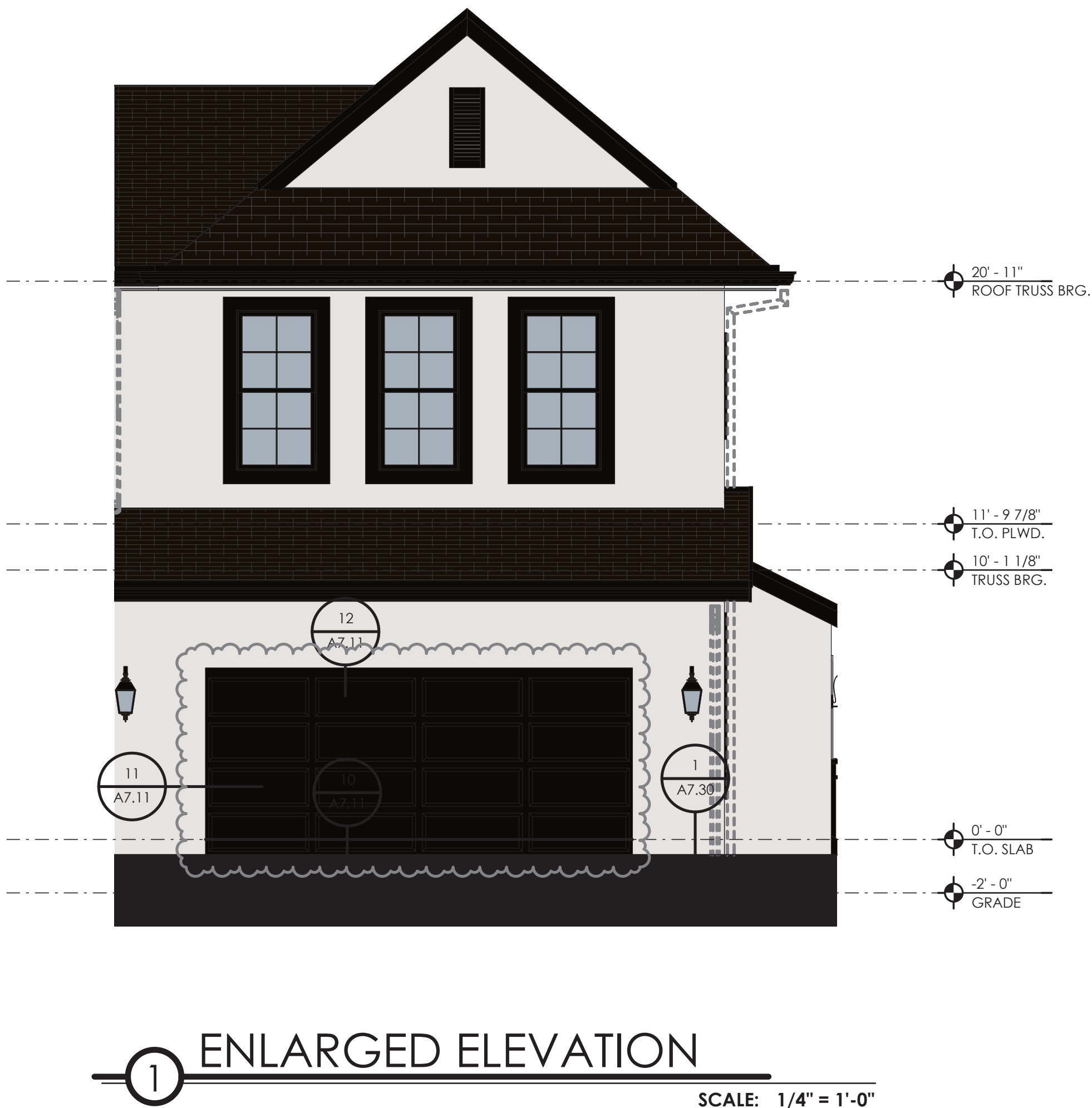
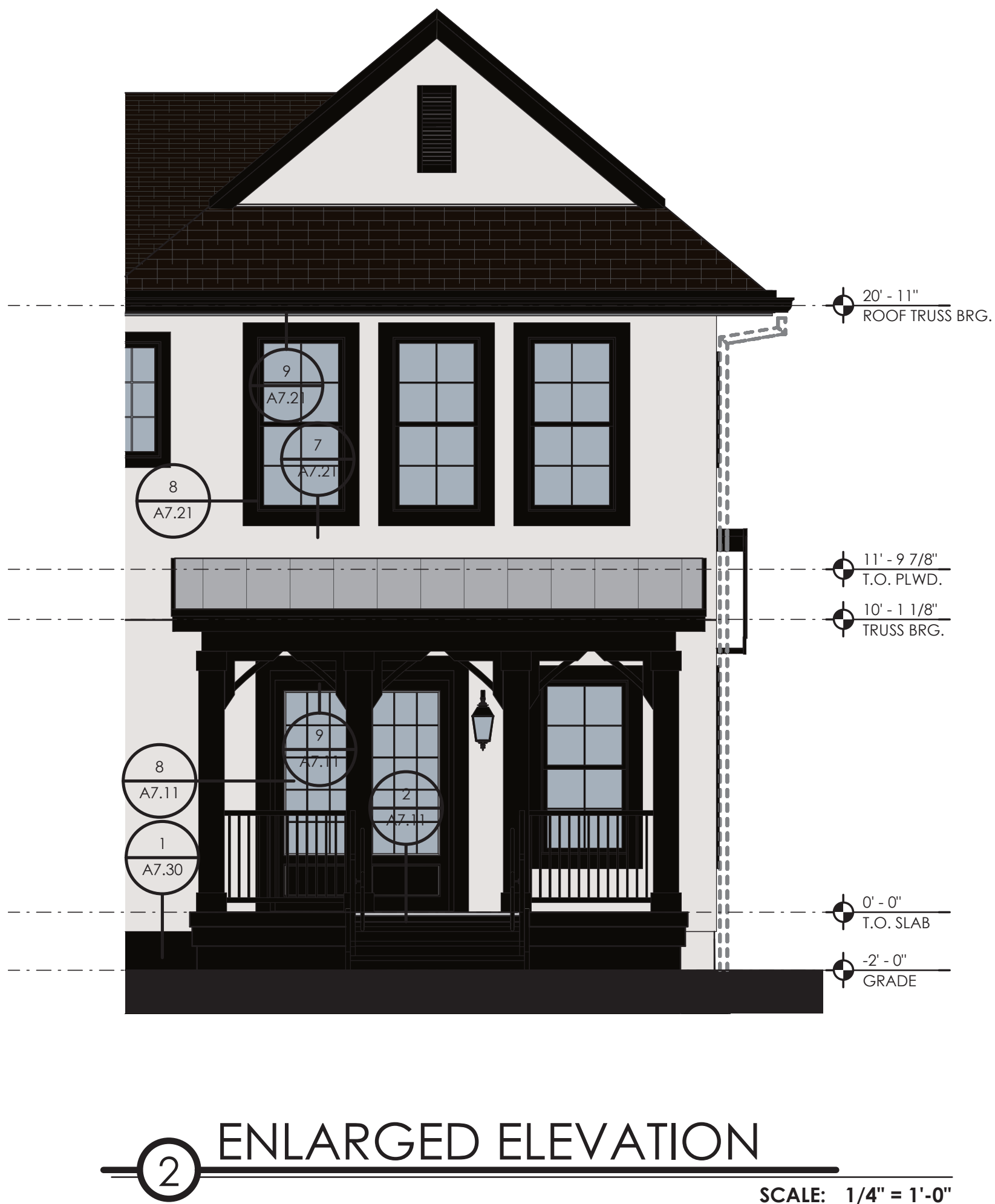


COLOR LEGEND	
COLOR 1	COLOR 2
CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

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ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJECENT WALL
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
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E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29	PROFILE-STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.	E24	METAL COPING CAP AT PARAPET WALL		



FL

SEAL DATE

CRISTIAN OSQUEDO

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THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK

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date: 9/20/23

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history:

1 CLIENT UPDATES

Sheet Title

BLDG TYPE-4 TOWNHOME ENLARGED ELEVATIONS

Sheet Number

A0.10CC

A2.04.3

PERMIT SET



RIO MARINE VILLAGE

PHASE I EAST PERMIT SET 9.20.23

OWNER: RIO SOUTH DIXIE, LLC
BRIAN PAWLIK
601 HERITAGE DR., STE #227
JUPITER, FL 33458
P: 561.575.6454
E: bpawlik@prairieridgedev.com

ARCHITECT : CHARLAN BROCK ARCHITECTS
AARON PINEDA, PM
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STRUCTURAL ENGINEER: ONMJ
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WEST PALM BEACH 33401
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ALTAMONT SPRINGS, FL 32714
P: 321.972.4466

OWNER'S CIVIL ENGINEER: SIMMONS & WHITE, INC
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GEORGE MISSIMER
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WEST PALM BEACH FL 33401
585.315.9777
REBECCA@OFFCENTERDESIGNGROUP.COM

FL

SEAL DATE

CRISTIAN OSQUEENDO
CHARLAN BROCK & ASSOCIATES, A.C.0000798
In accordance with FRC Section 1108.4.4 and Chapter 633, Florida Statutes, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

STATE OF FLORIDA

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLIK
601 HERITAGE DRIVE, STE #227
JUPITER, FL 33458

cba

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date: 9/20/23

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-6
TOWNHOME PROJECT
COVER SHEET

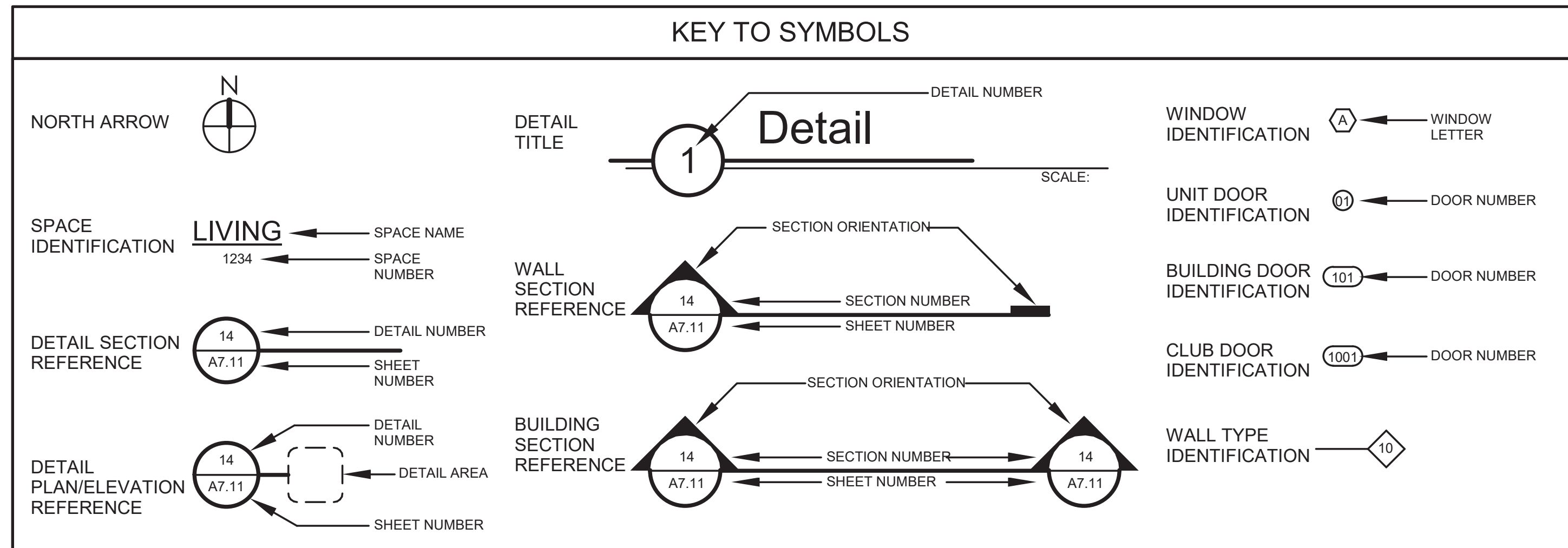
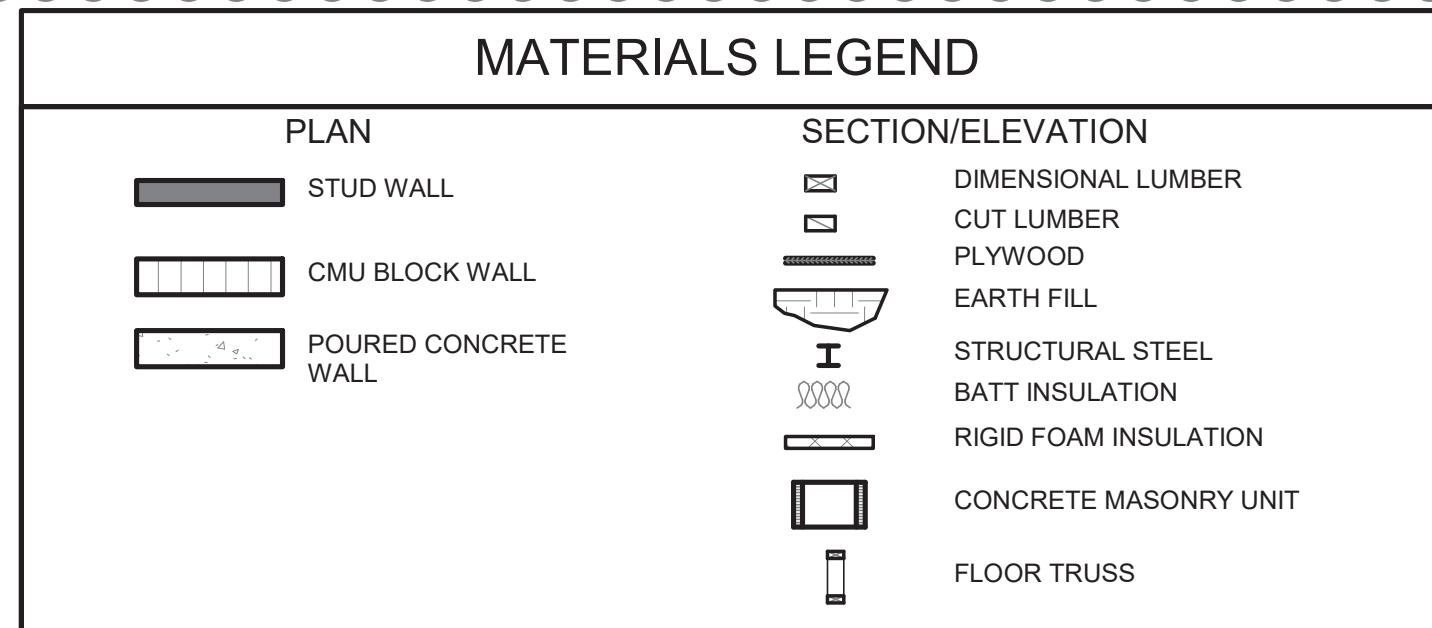
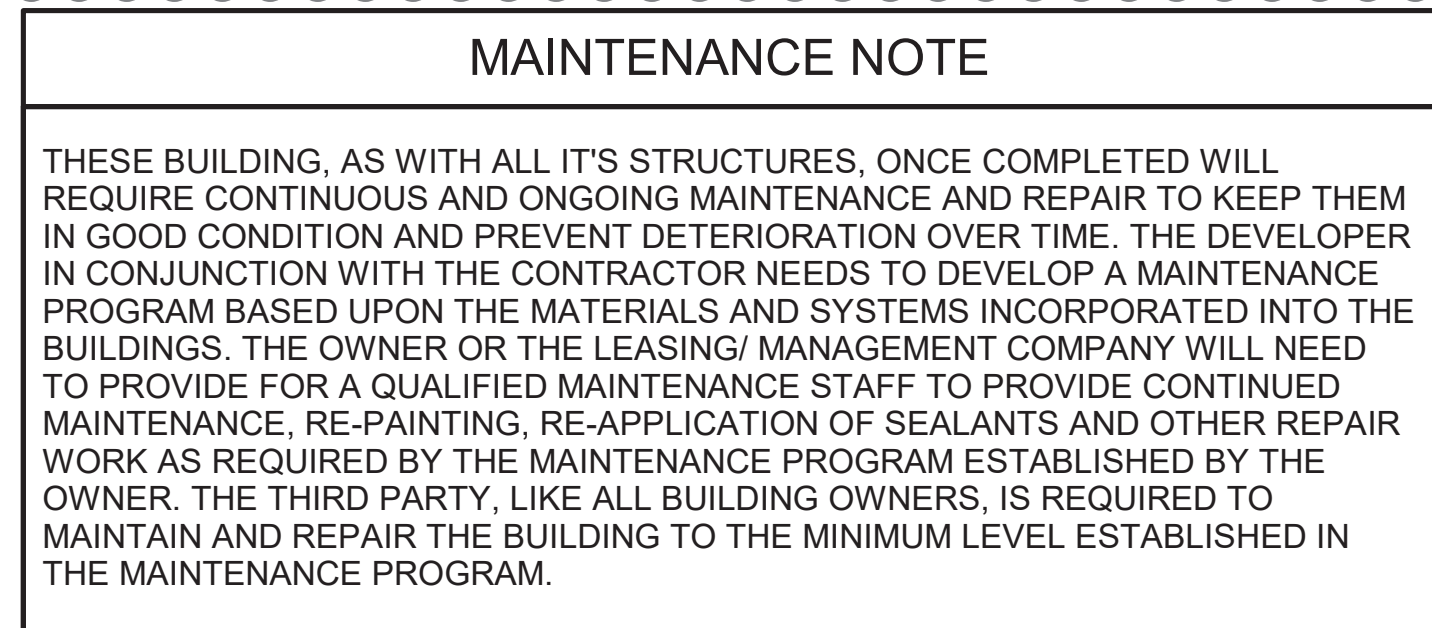
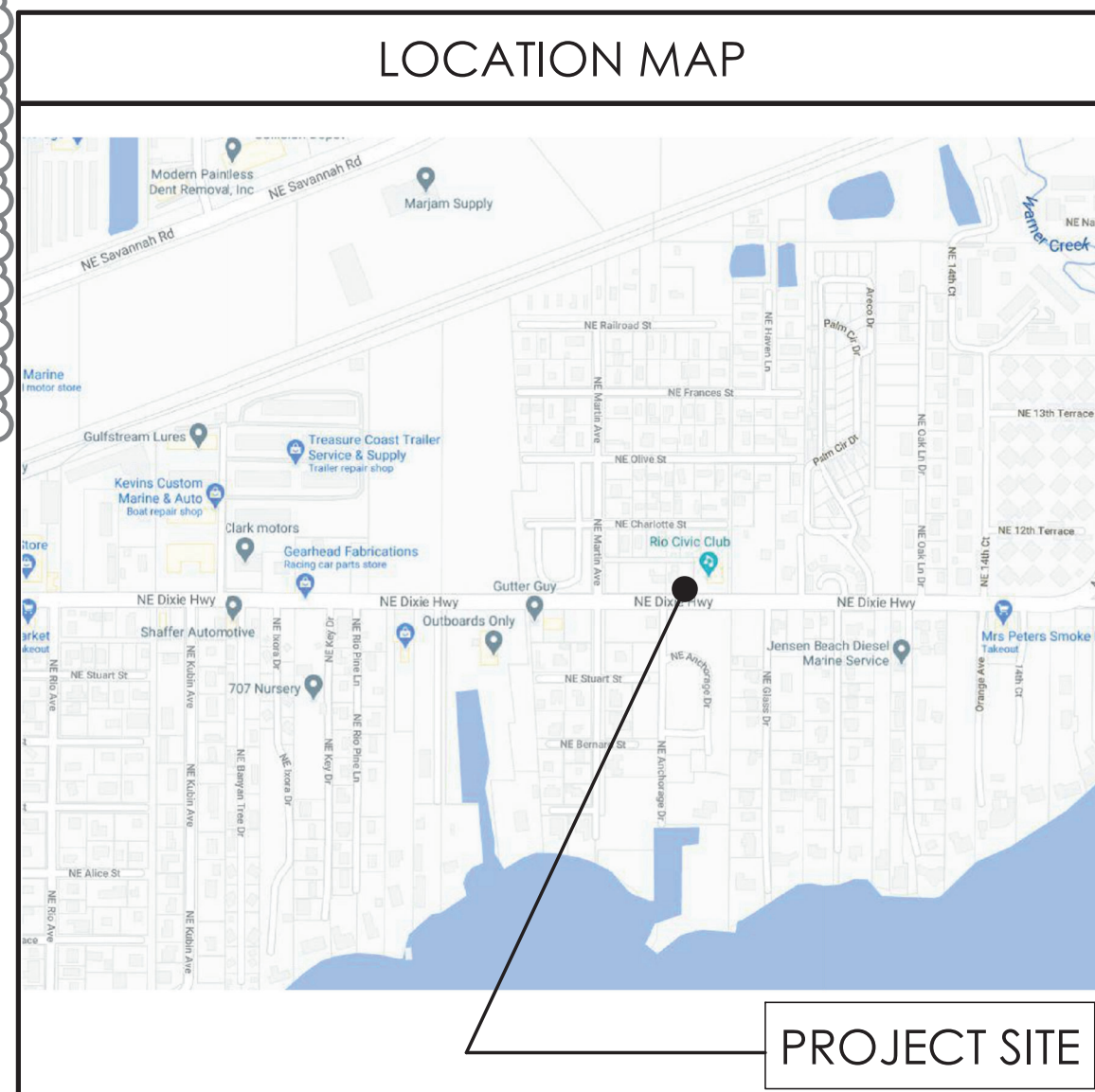
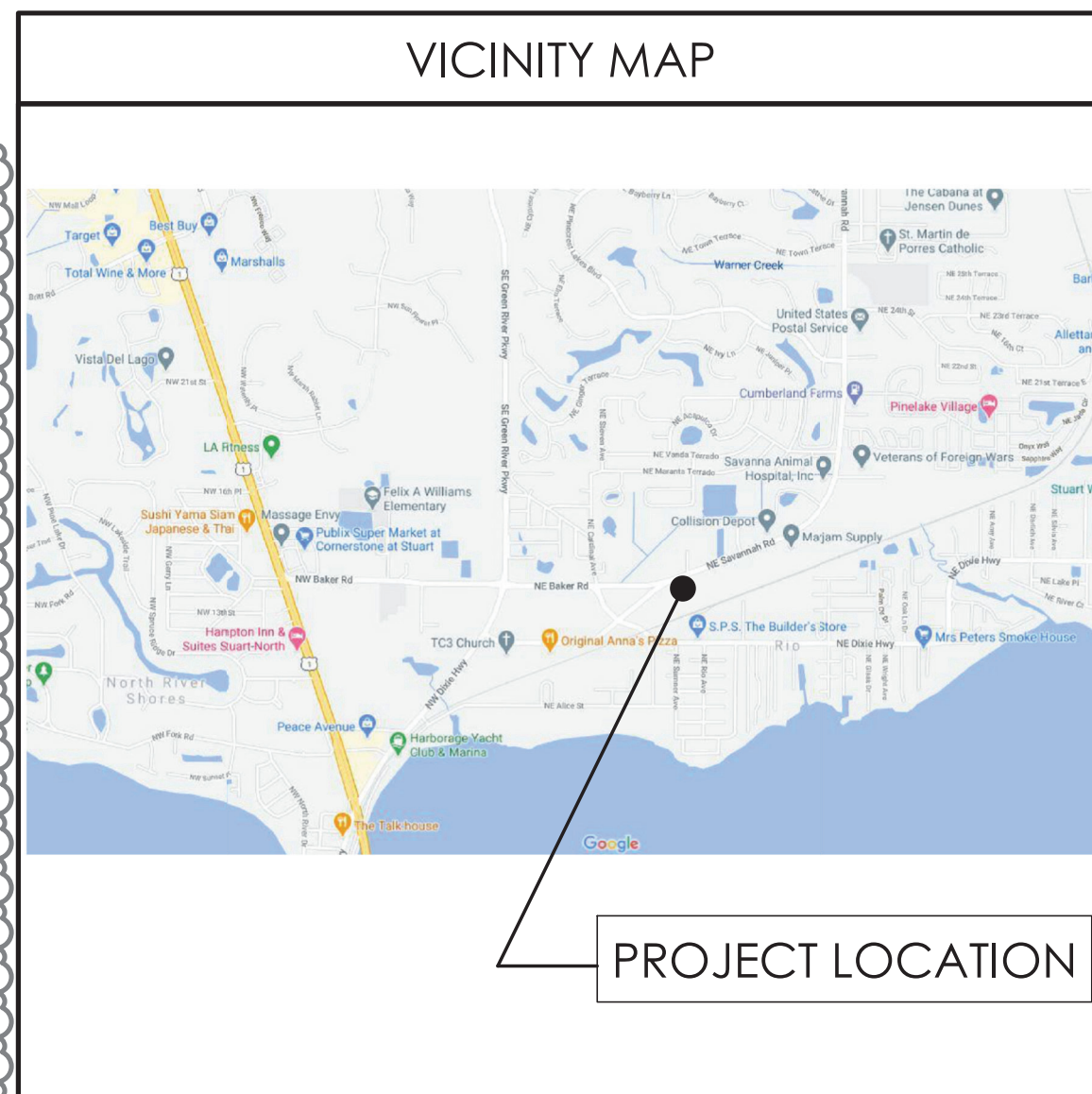
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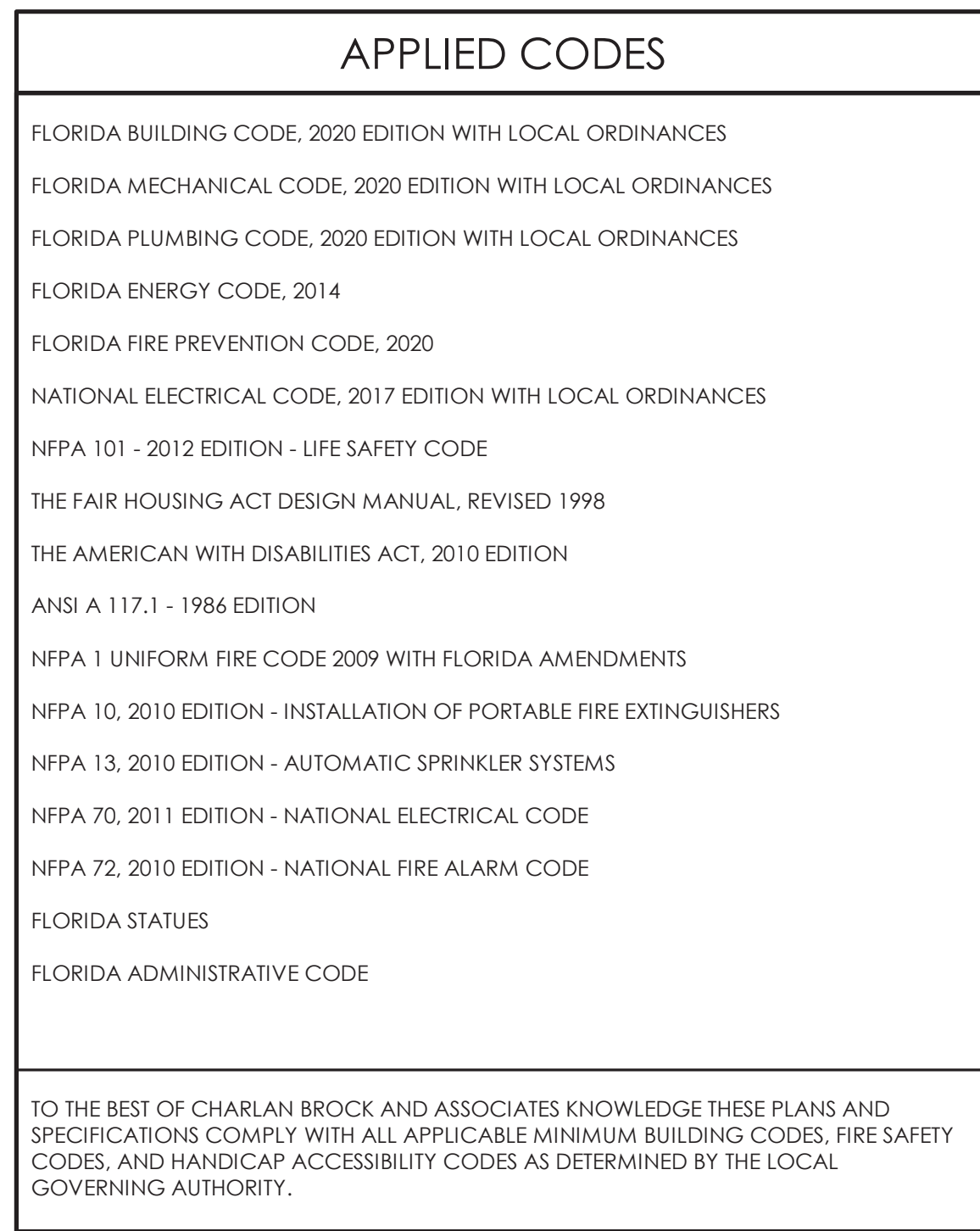
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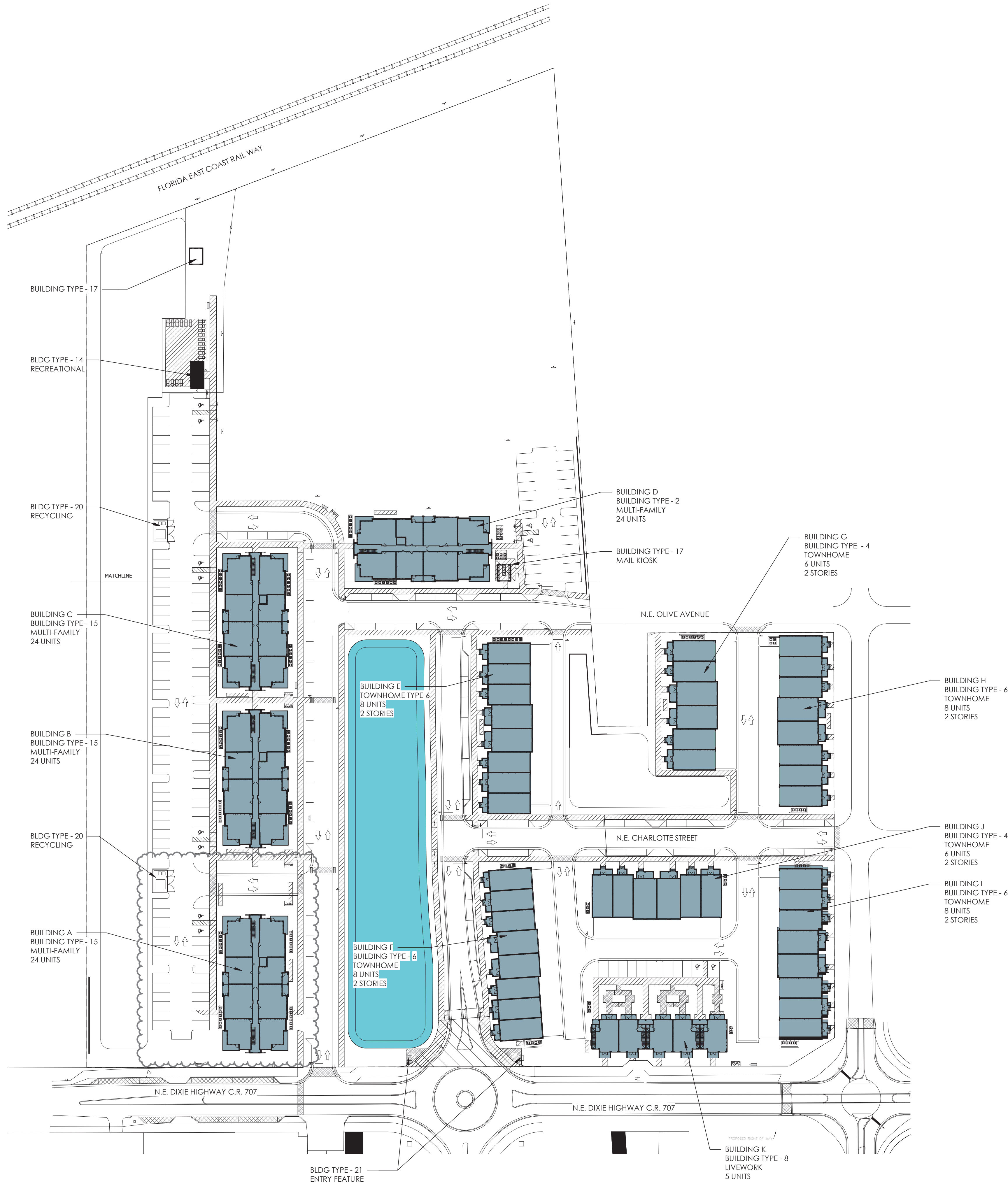
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STANDARD ABBREVIATIONS											
A.B.	ANCHOR BOLT	D.L.	DEAD LOAD	HDWR.	HARDWARE	OPT.	OPTIONAL	SH.	SHELF		
A/C	AIR CONDITIONER	DN.	DOWN	H.M.	HOLLOW METAL	P.	PANTRY	SHT.	SHEET		
ADJ.	ADJACENT	DRYW.	DRYWALL	HORTZ.	HORIZONTAL	P.C.	PULL CHAIN	SIM.	SIMILAR		
A.H.U.	AIR HANDLER UNIT	D.W.	DISHWASHER	HGT.	HEIGHT	PED.	PEDESTAL	S.G.D.	SLIDING GLASS DOOR		
ALUM.	ALUMINUM	DWG.	DRAWING	HTG.	HEATING	PERP.	PERPENDICULAR	SQ.	SQUARE		
ALT.	ALTERNATE	E.A.	EACH	HTR	HEATER	PL.	PLATE	S.S.	STAINLESS STEEL		
APPROX.	APPROXIMATE	E.I.F.S.	EXTERIOR INSULATION	IN.	INCHES	PLYWD.	PLYWOOD	STD.	STANDARD		
BRG.	BEARING		FINISH SYSTEM	INSUL.	INSULATION	PROP.	PROPERTY	STO.	STORAGE		
BD	BOARD	E.J.	EXPANDED JOINT	INT.	INTERIOR	P.S.F.	POUND PER SQUARE FEET	STR.	STRUCTURAL		
BLDG.	BUILDING	ELEV.	ELEVATION	JST.	JOIST	P.S.I.	POUND PER SQUARE INCH	SUB.	SUBSTITUTE		
BLK.	BLOCK	E.P.S.	EXPANDED POLYSTYRENE	JT.	JOINT	P.T.	PRESSURE TREATED	SUP.	SUPPORT		
B.M.	B.EAM		SYSTEM	LB.	POUND	PTN.	PARTITION	T.C.	TRASH COMPACTOR		
BTM.	BOTTOM	EQ.	EQUAL	LAM.	LAMINATED	P.H.	PAPER HOLDER	TEMP.	TEMPERATURE		
COL.	COLUMN	EST.	ESTIMATE	LAV.	LAVATORY	QUAL.	QUALITY	THK.	THICK/THICKNESS		
CER.	CERAMIC	EXIST.	EXISTING	L							



PROJECT NARRATIVE:																																			
THE PROPOSED PROJECT IS LOCATED IN UNINCORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY, RESTAURANT AND COMMERCIAL BUILDINGS AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL AND POOL DECK, BUT PROVIDED BY OTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.																																			
THE COMMERCIAL BUILDINGS WILL BE A 'COLD-DARK SHELL' CONSTRUCTION WITH ELEVATOR AND STAIRS, BUILD-OUT PROPOSED BY 'FUTURE TENANTS'. VARIOUS BUILDINGS WILL BE SHARED FOR BOTH RIO NORTH AND RIO SOUTH.																																			
BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20 BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 10, 16, 17, 18, 19, 21																																			
BUILDING IDENTIFICATION																																			
<table><tr><td>BUILDING TYPE 1</td><td>= CLUBHOUSE</td></tr><tr><td>BUILDING TYPE 2</td><td>= APARTMENT</td></tr><tr><td>BUILDING TYPE 3</td><td>= APARTMENT</td></tr><tr><td>BUILDING TYPE 4</td><td>= TOWNHOME</td></tr><tr><td>BUILDING TYPE 5</td><td>= TOWNHOME</td></tr><tr><td>BUILDING TYPE 6</td><td>= TOWNHOME</td></tr><tr><td>BUILDING TYPE 7</td><td>= LIVE-WORK</td></tr><tr><td>BUILDING TYPE 8</td><td>= LIVE-WORK</td></tr><tr><td>BUILDING TYPE 10</td><td>= MARINE SERVICES</td></tr><tr><td>BUILDING TYPE 14</td><td>= RECREATIONAL</td></tr><tr><td>BUILDING TYPE 15</td><td>= APARTMENT</td></tr><tr><td>BUILDING TYPE 16</td><td>= APARTMENT</td></tr><tr><td>BUILDING TYPE 17</td><td>= MAIL KIOSK</td></tr><tr><td>BUILDING TYPE 18</td><td>= TRASH ENCLOSURE</td></tr><tr><td>BUILDING TYPE 19</td><td>= RECYCLING ENCLOSURE #1</td></tr><tr><td>BUILDING TYPE 20</td><td>= RECYCLING ENCLOSURE #2</td></tr><tr><td>BUILDING TYPE 21</td><td>= ENTRY FEATURE</td></tr></table>		BUILDING TYPE 1	= CLUBHOUSE	BUILDING TYPE 2	= APARTMENT	BUILDING TYPE 3	= APARTMENT	BUILDING TYPE 4	= TOWNHOME	BUILDING TYPE 5	= TOWNHOME	BUILDING TYPE 6	= TOWNHOME	BUILDING TYPE 7	= LIVE-WORK	BUILDING TYPE 8	= LIVE-WORK	BUILDING TYPE 10	= MARINE SERVICES	BUILDING TYPE 14	= RECREATIONAL	BUILDING TYPE 15	= APARTMENT	BUILDING TYPE 16	= APARTMENT	BUILDING TYPE 17	= MAIL KIOSK	BUILDING TYPE 18	= TRASH ENCLOSURE	BUILDING TYPE 19	= RECYCLING ENCLOSURE #1	BUILDING TYPE 20	= RECYCLING ENCLOSURE #2	BUILDING TYPE 21	= ENTRY FEATURE
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BUILDING TYPE 20	= RECYCLING ENCLOSURE #2																																		
BUILDING TYPE 21	= ENTRY FEATURE																																		
CODE INFORMATION																																			
TOWNHOME 1.1 BUILDING USE / OCCUPANCY / TYPE GROUP R-2, S-2 CONSTRUCTION TYPE: TYPE V-B SPRINKLED: NFPA - 13R 1.2 BUILDING HEIGHT [FBC TABLE 503] ALLOWED: 3 STORIES CORE DISTRICT: 40'-0" GENERAL DISTRICT: 35'-0" PROPOSED: 2 STORIES, 25'-9" 1.3 BUILDING AREA [FBC TABLE 503] ALLOWED: 7,000 SQ. FT. / PER FLOOR 12,250 SQ. FT. (INCREASE PER FBC 506.2) PROPOSED: REFER TO BUILDING AREA TABLES ALLOWABLE AREA PER IBC 506.2.3: $I_1 = [F/P - 0.25] W/30$<																																			



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"



THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners

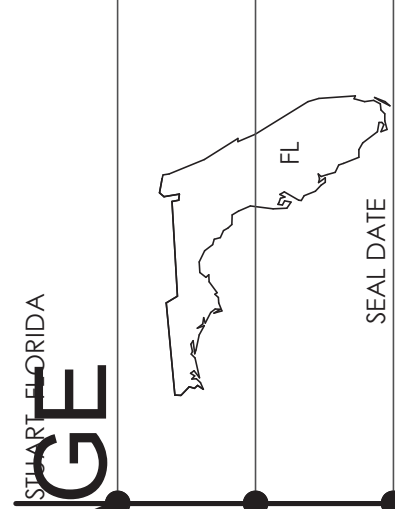
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date: 9/20/23
job no: 4301.20
drawn by: OL, TYA
reviewed by: CBA
issue history:
1 CLIENT
UPDATES

Sheet Title
ARCHITECTURAL SITE
PLAN - PRESERVE

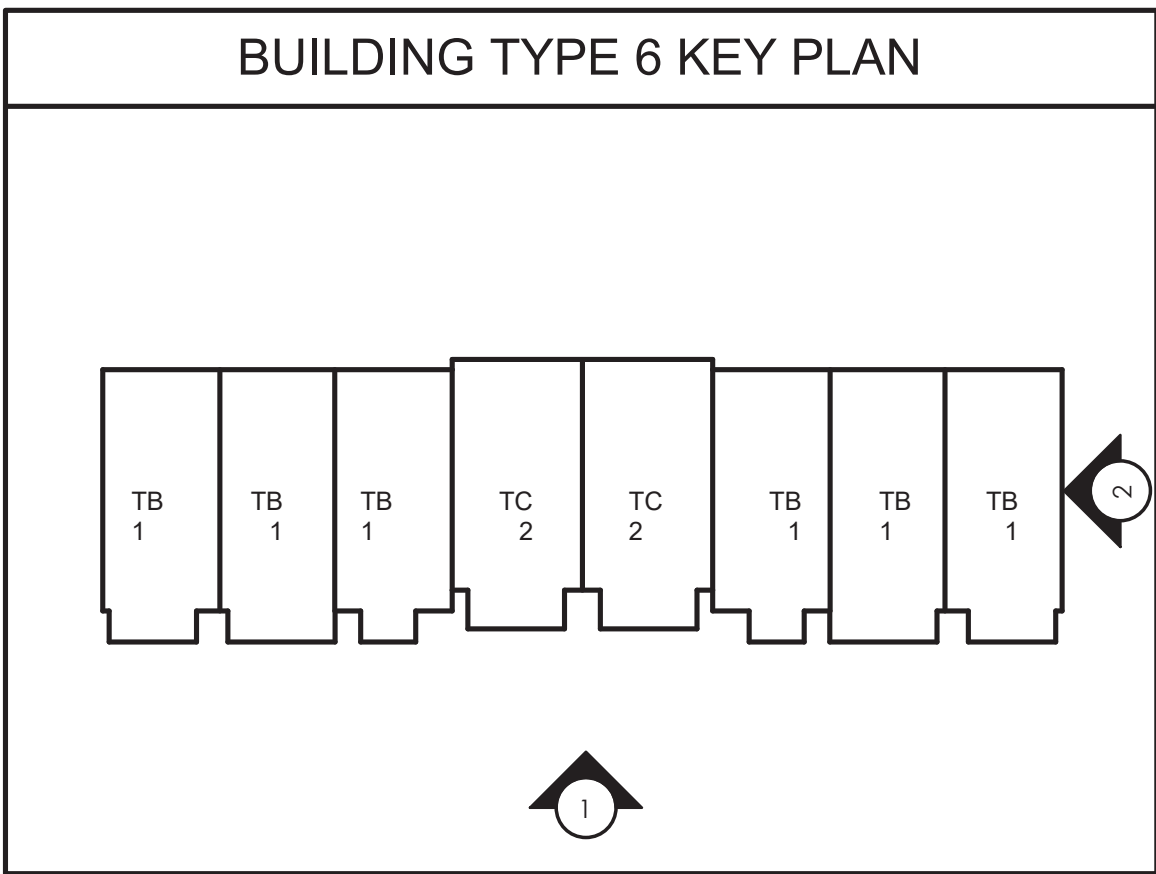
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A0.10C

PERMIT SET



TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS, SOFFIT AND CEILING CONDITIONS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES	
E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET
E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL
E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



Sheet Title

**BLDG TYPE-6
TOWNHOME EXTERIOR
ELEVATIONS**

Sheet Number

A0.10CC

A2.06.1

PERMIT SET



2 BLDG TYPE 6 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

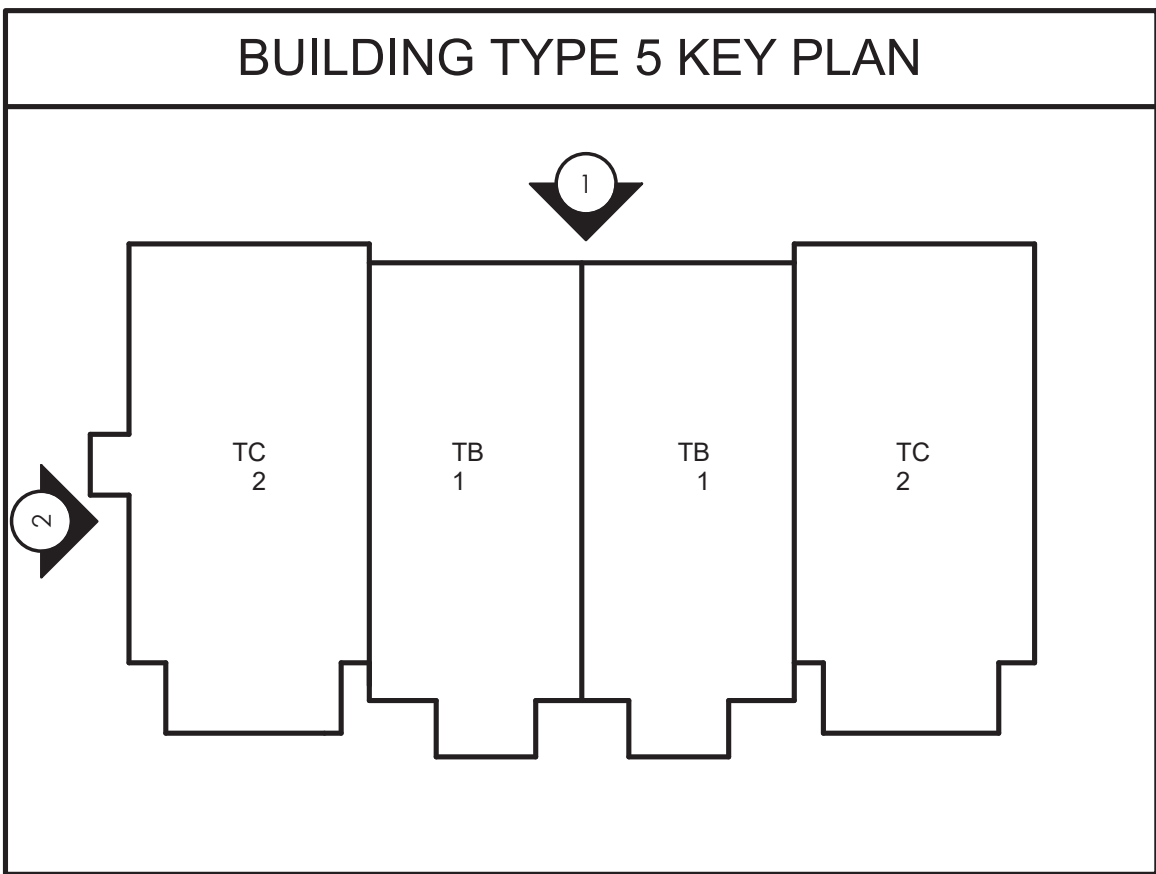


1 BLDG TYPE 6 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES			
E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL COPING CAP AT PARAPET WALL
E25		E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26		E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27		E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28		E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29		E29	PROFILE:STUCCO REVEAL - 2"
E30		E30	CONTROL JOINT
E31		E31	RAISED STUCCO BAND



Sheet Title

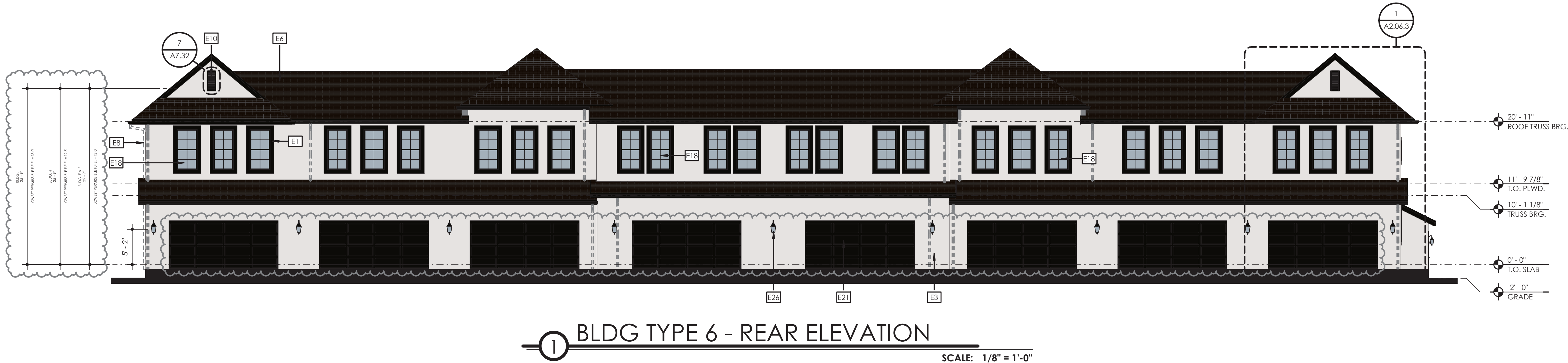
**BLDG TYPE-6
TOWNHOME EXTERIOR
ELEVATIONS**

Sheet Number

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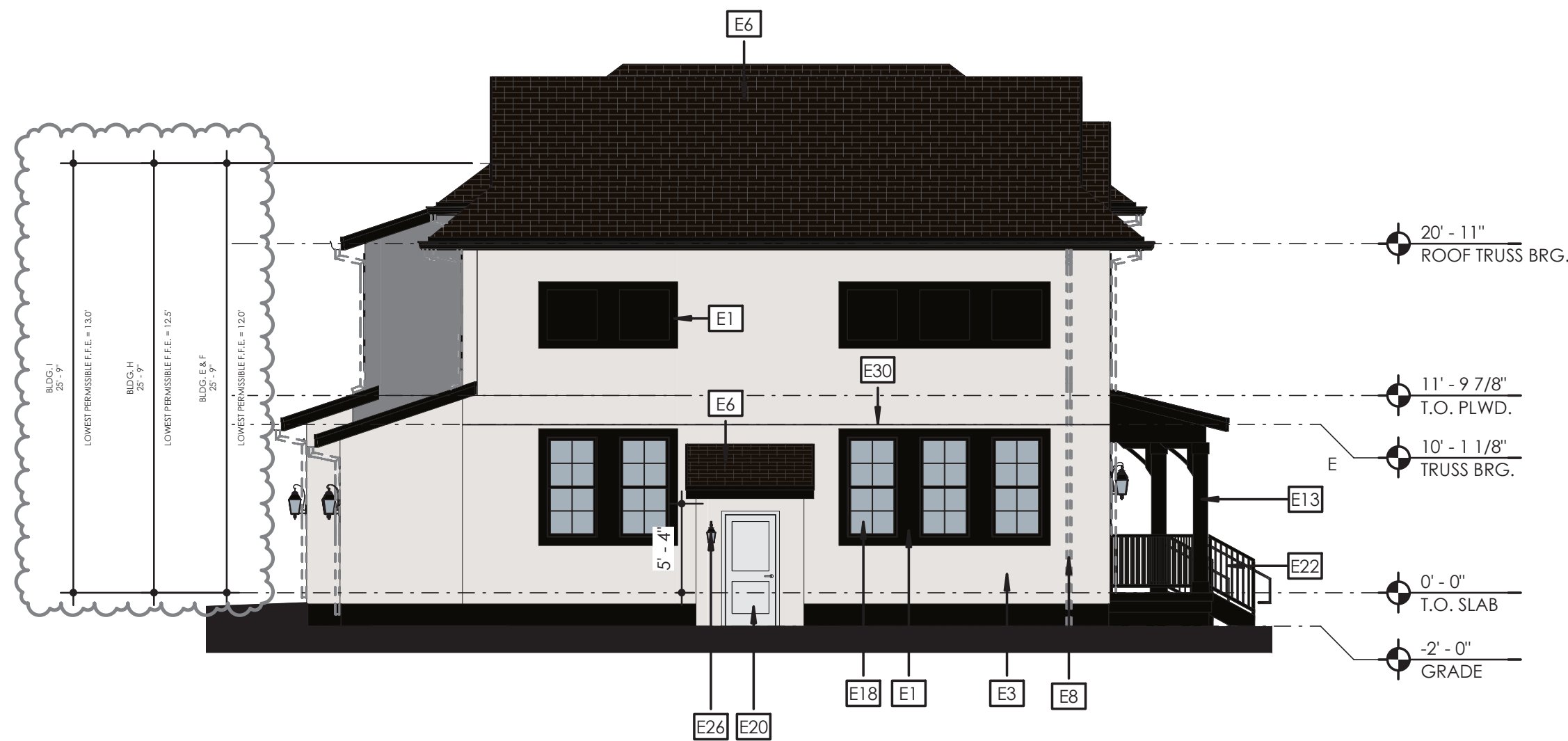
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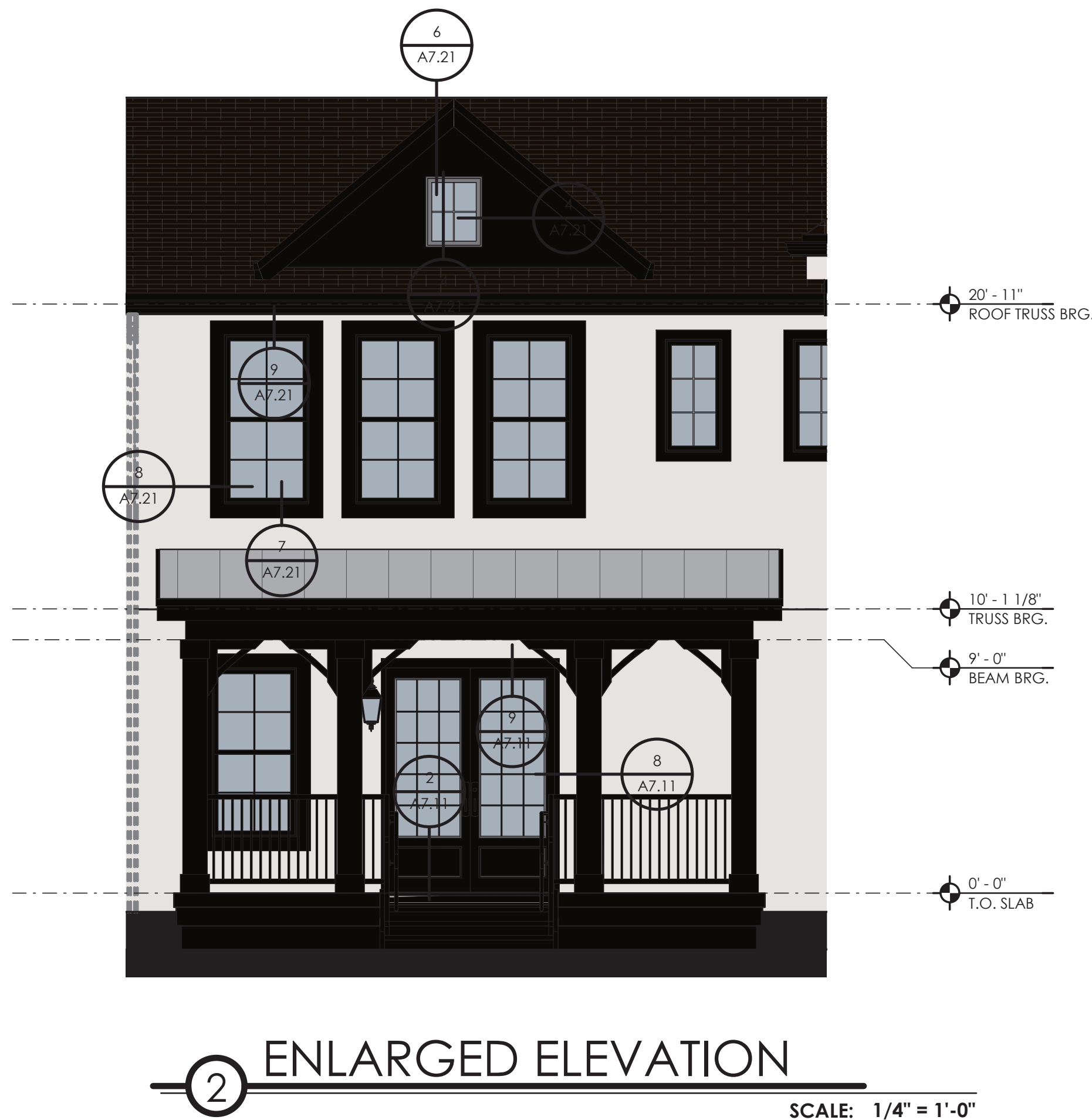
1 BLDG TYPE 6 - REAR ELEVATION

SCALE: 1/8" = 1'-0"



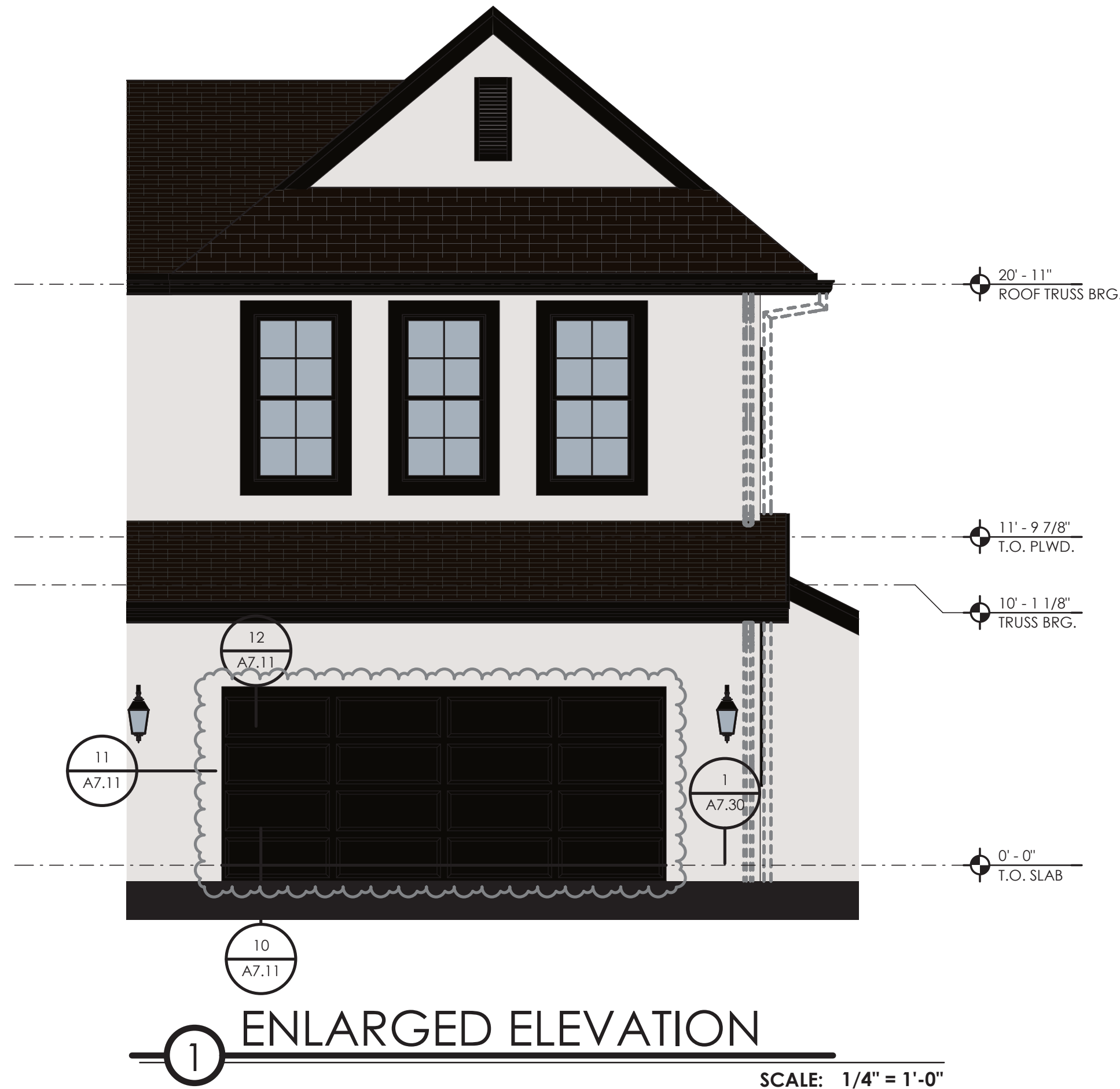
2 BLDG TYPE 6 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



COLOR LEGEND	
COLOR 1	COLOR 2
CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.



ELEVATION KEY NOTES		
E1 WINDOW TRIM - RAISED STUCCO	E13 TIMBER COLUMN - PAINTED	E25 DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJECENT WALL
E2 FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14 PREFABRICATED METAL AWNING	E26 EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3 STUCCO PAINTED	E15 CONDUCTOR HEAD SCUPPER BOX	E27 EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E4 STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16 THROUGH WALL OVERFLOW SCUPPER	E28 ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5 WALL RECESS	E17 ALUMINUM CANOPY INSTALLED PER MANUFACTURER SPECIFICATIONS	E29 PROFILE-STUCCO REVEAL - 2"
E6 ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18 PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30 CONTROL JOINT
E7 STANDING SEAM METAL ROOF SYSTEM	E19 STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31 RAISED STUCCO BAND
E8 ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20 EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	
E9 ALUMINUM BAHAMA SHUTTER	E21 OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	
E10 FALSE VINYL LOUVER SIZE AS INDICATED	E22 42" HIGH ALUMINUM GUARD RAIL SYSTEM	
E11 MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23 BUG SCREEN ENCLOSURE FOR BALCONY	
E12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.	E24 METAL COPING CAP AT PARAPET WALL	

PERMIT SET

Sheet Title

BLDG TYPE-6
TOWNHOME
ENLARGED
ELEVATIONS

Sheet Number

A2.06.3

THE PRESERVE AT RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
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JUNIPER, FL 33458

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associates

architects • planners

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date: 9/20/23
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history:
1 CLIENT
2 UPDATES

9/20/23
4301.20
TK
OL
Date
CLIENT
UPDATES

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RIO MARINE VILLAGE

PHASE I EAST PERMIT SET 9.20.23

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BRIAN PAWLIK
601 HERITAGE DR., STE #227
JUPITER, FL 33458
P: 561.575.6454
E: bpawlik@prairieridgedev.com

ARCHITECT : CHARLAN BROCK ARCHITECTS
AARON PINEDA, PM
1770 FENNEL STREET
MAITLAND, FL 32751
P: 407.660.8900
E: AARON@CBAARCHITECTS.COM

STRUCTURAL ENGINEER: ONMJ
PATRICK JACKSON
1655 PALM BEACH LAKES BLVD.
SUITE 204
WEST PALM BEACH 33401
P: 561.835.8255

MECHANICAL ELECTRICAL PLUMBING ENGINEER: JLC
SIMON ROJAS
1880 HARWOOD AVE
SUITE 3000
ALTAMONT SPRINGS, FL 32714
P: 321.972.4466

OWNER'S CIVIL ENGINEER: SIMMONS & WHITE, INC
JESSE "JAMIE" PARRISH, P.E.
2581 METROCENTRE BLVD, SUITE 3
WEST PALM BEACH, FL 33407
P: 321.212.9698
E: PARRISH@SIMMONSANDWHITE.COM

OWNER'S LANDSCAPE ARCHITECT: COTLEUR & HEARING
GEORGE MISSIMER
1934 COMMERCE LANE, SUITE 1
JUPITER, FL 33458
P: 561.747.6336 x108
E: GMISSIMER@COTLEUR-HEARING.COM

OWNER'S INTERIOR DESIGNER: OFF CENTER DESIGN GROUP
AMANDA PRIZZI
1109 OKEECHOBEE ROAD SUITE 22
WEST PALM BEACH FL 33401
585.315.9777
REBECCA@OFFCENTERDESIGNGROUP.COM

FL

SEAL DATE

CRISTIAN OSQUEENDO
Cristian Osqueendo & Associates, AAC000798
In accordance with FRC Section 1108.4.4 and Chapter 633, Florida Statutes, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

STATE OF FLORIDA

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLIK
601 HERITAGE DRIVE, STE #227
JUPITER, FL 33458

cba

charlan • brock
associates

architects • planners

1770 fennell street
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407.660.8900 f:407.875.9948
www.cbaarchitects.com

date: 9/20/23

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-8
LIVEWORK PROJECT
COVER SHEET

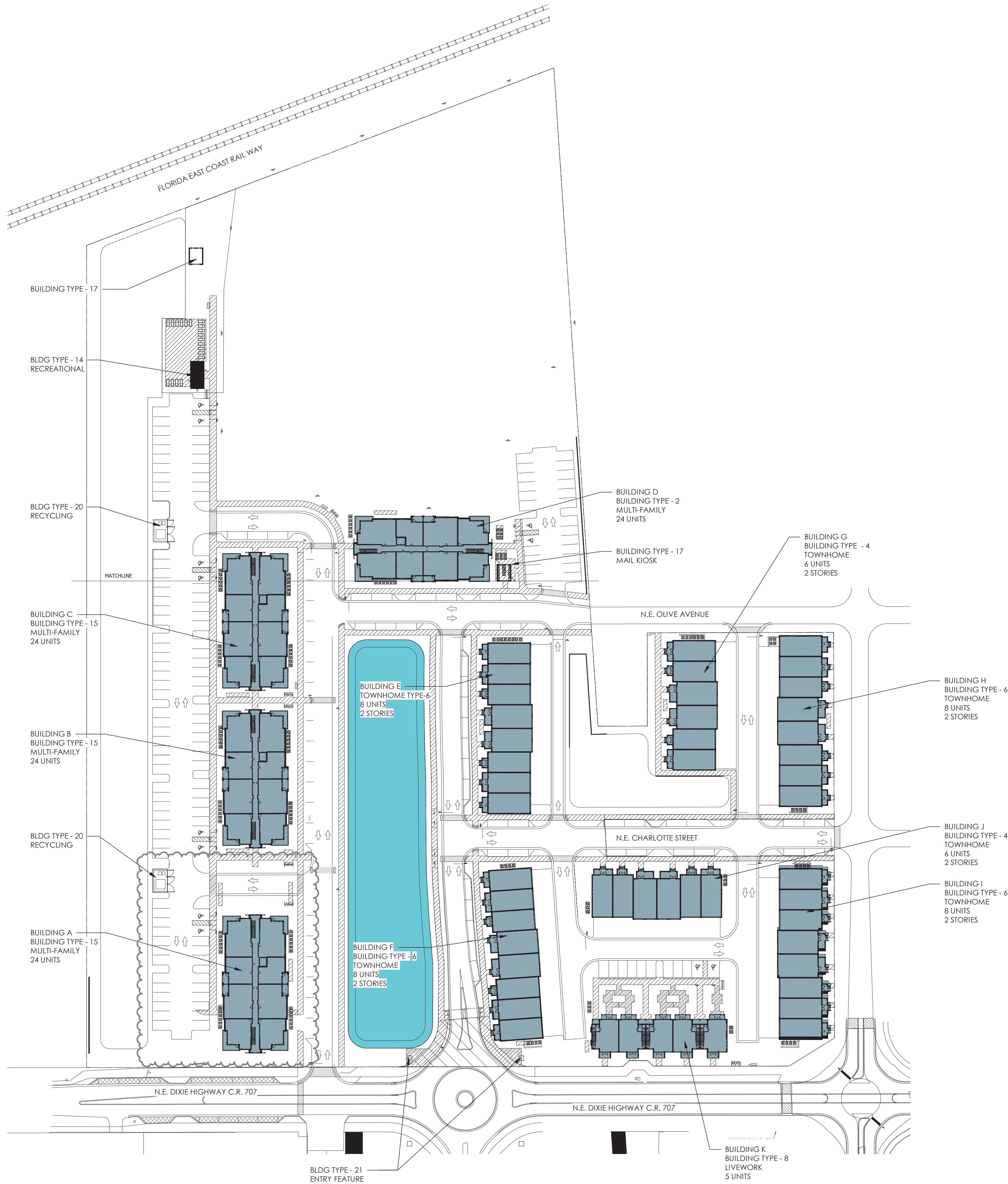
Sheet Number

A0.10CC

A0.01.8

PERMIT SET

A0.10CC



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"



THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

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601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



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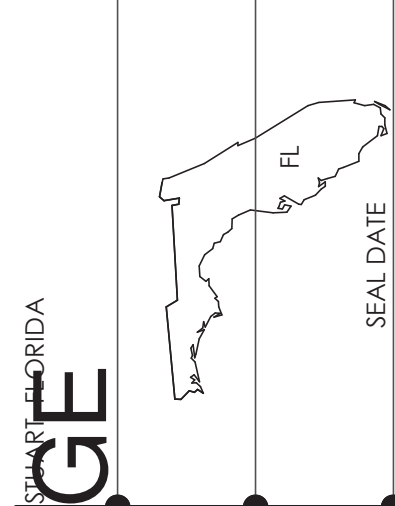
1770 fennell street
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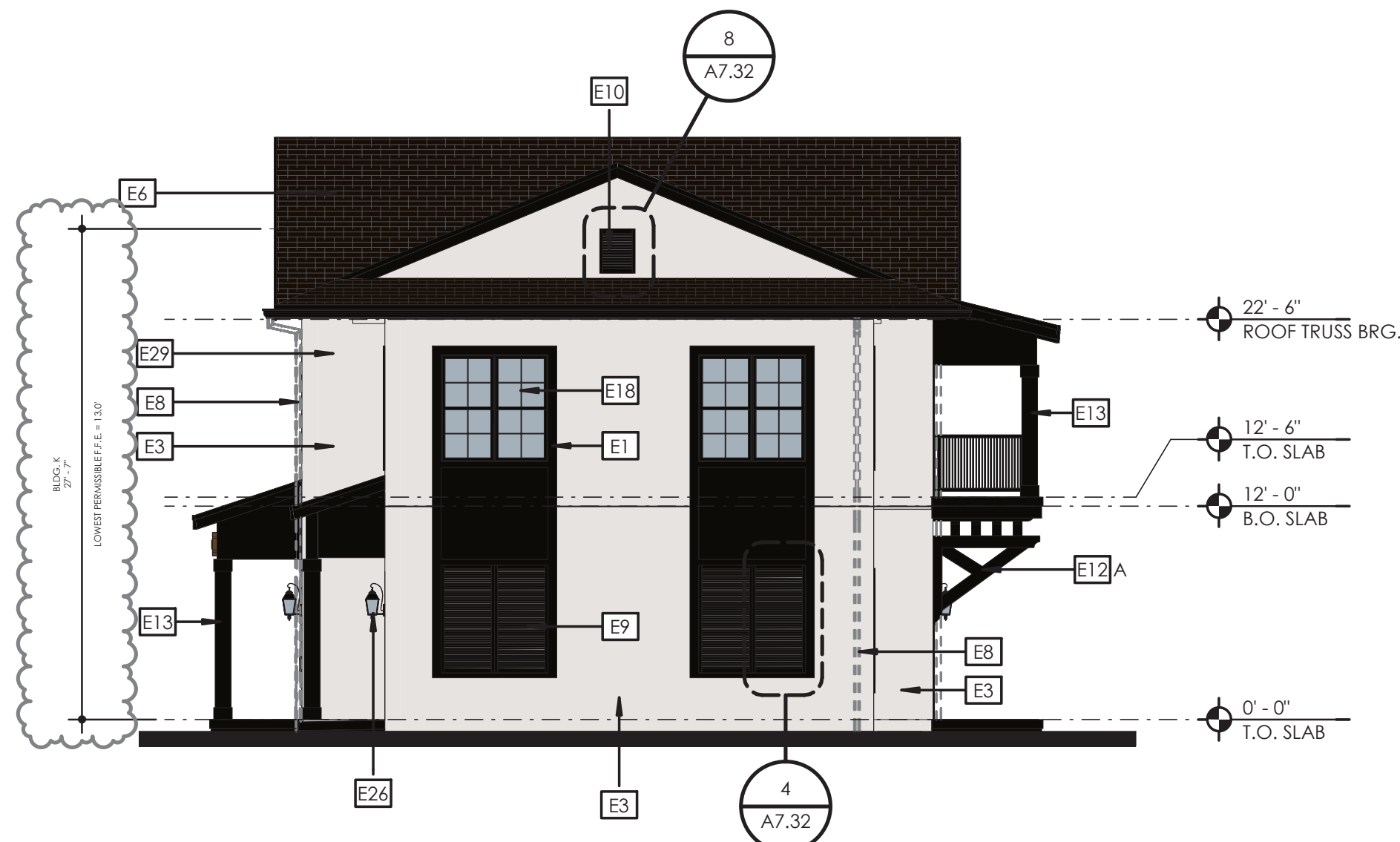
date: 9/20/23
job no: 4301.20
drawn by: OL, TYA
reviewed by: CBA
issue history: Date
1 CLIENT UPDATES

Sheet Title
ARCHITECTURAL SITE
PLAN - PRESERVE

Sheet Number
A0.10CC
A0.10C

PERMIT SET





2 BLDG TYPE 8 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 8 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

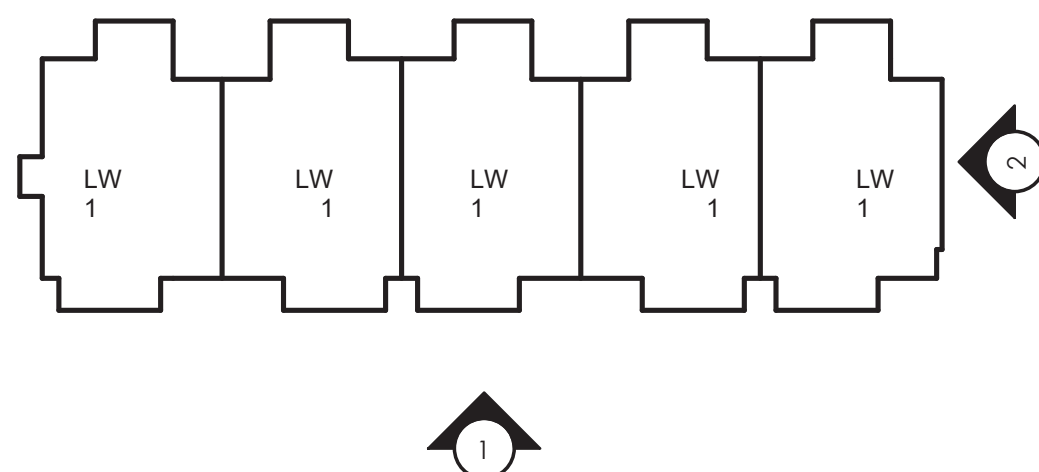
ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND

BUILDING TYPE 8 KEY PLAN



Sheet Title

BLDG TYPE-8
LIVEWORK EXTERIOR
ELEVATIONS

A0.10CC

Sheet Number

A2.08.1

PERMIT SET

STATE OF FLORIDA

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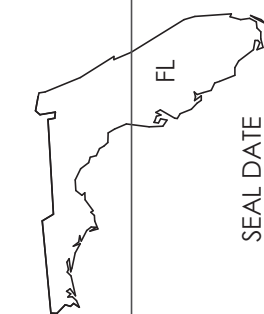
job no: 4301.20

drawn by: TK

reviewed by: OL

issue

history: Date
1 11.6.23



SEAL DATE

CRISTIAN OSQUEDO

CRISTIAN OSQUEDO & ASSOCIATES, A.A.C.O.00798

In accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

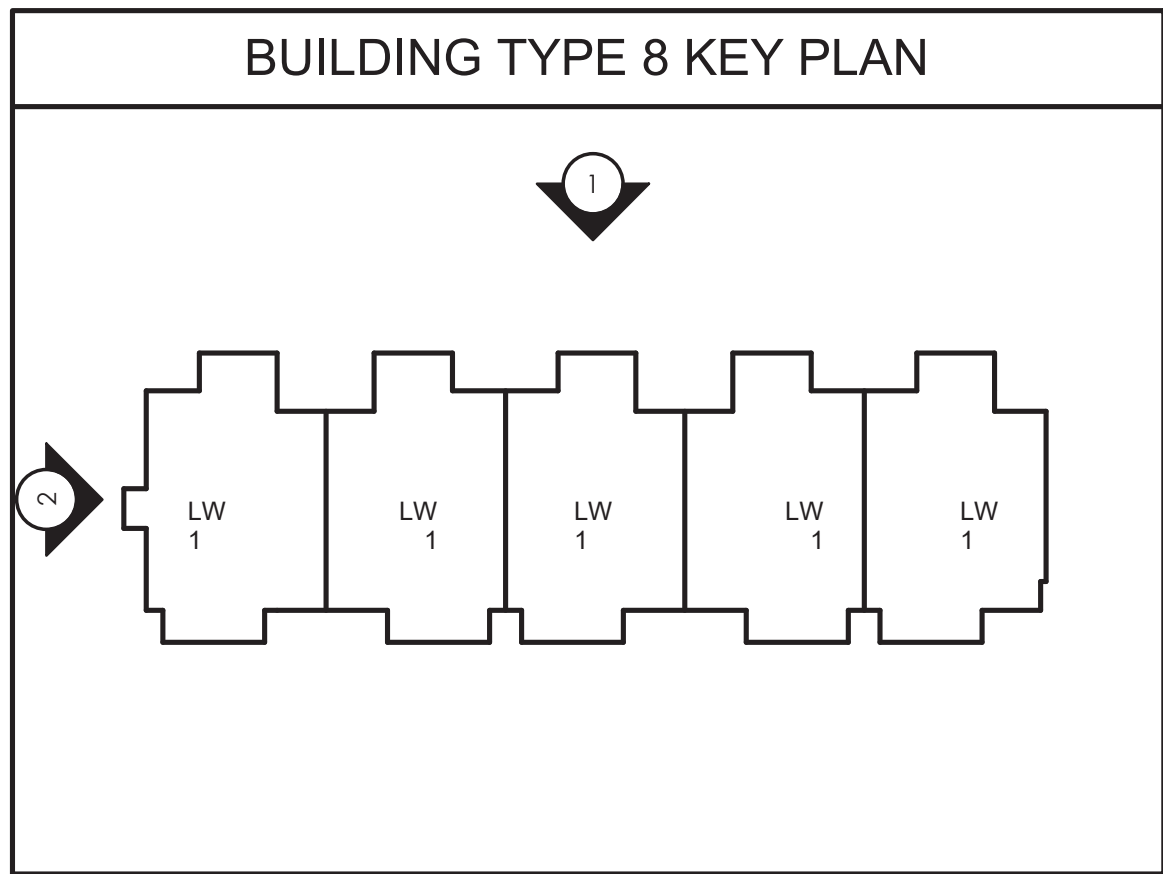
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E30	CONTROL JOINT
E31	RAISED STUCCO BAND



Sheet Title

BLDG TYPE-8
LIVEWORK EXTERIOR
ELEVATIONS

Sheet Number

A0.10CC

A0.10CC

A2.08.2

PERMIT SET



FLORIDA

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

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www . cbaarchitects . com

date: 9/20/23
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history:
1 11.6.23

CRISTIAN OSQUEENDO
CRISTIAN OSQUEENDO & ASSOCIATES, A.C.000798
CRISTIAN OSQUEENDO & ASSOCIATES shall have precedence over scale dimension.



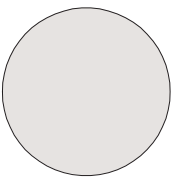
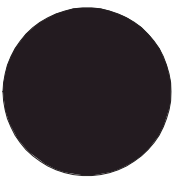
2 ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



1 ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"

COLOR LEGEND	
COLOR 1	COLOR 2
	
CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

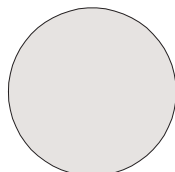
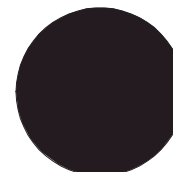
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E3	STUCCO PAINTED
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E12	ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.

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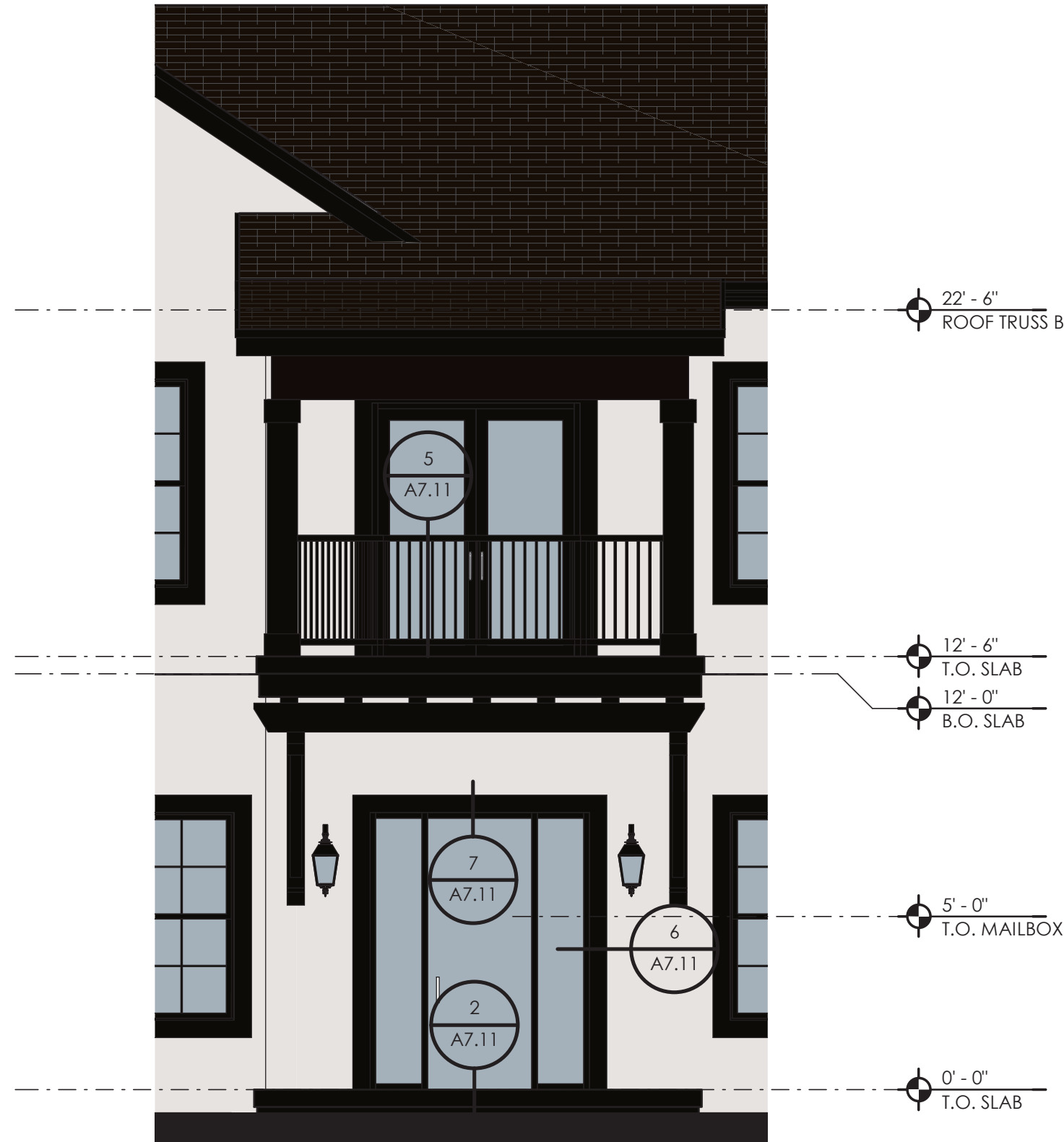
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COLOR 1	COLOR 2
	
CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

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E	



2 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"



1 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

Sheet Title

BLDG TYPE-8
LIVEWORK ENLARGED
ELEVATIONS

Sheet Number

A0.10CC

PERMIT SET

A2.08.4

THE PRESERVE AT RIO MARINE VILLAGE
PHASE I EAST

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c b a

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issue history:
1 CLIENT
DATE
UPDATES

CRISTIAN OSQUEENDO
CRISTIAN OSQUEENDO & ASSOCIATES, A.C. 0000798
CRISTIAN OSQUEENDO & ASSOCIATES shall have precedence over scale dimension.

FL

SEAL DATE

 FL
 SEAL DATE

CRISTIAN QUIENDO
 Charlton Brock & Associates, AAC000798
 scale dimensions



9/25/2023 5:45:19 PM

THE PRESERVE AT RIO MARINE VILLAGE

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BRIAN PAWLAK
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ate: 9/20/23

Job no: 4301.20

Drawn by: TK

Reviewed by: OL

sue

story: Date

Sheet Title

BLDG TYPE-14
RECREATIONAL
PROJECT COVER
SHEET

0.10CC

Sheet Number

A0.01.14

PERMIT SET

INDEX OF DRAWINGS											
ARCHITECTURAL BLDG TYPE 14				STRUCTURAL BLDG TYPE 14				MECHANICAL BLDG TYPE 14			
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION	SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION	SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION
A0.01.14	BLDG TYPE-14 RECREATIONAL PROJECT COVER SHEET	09/20/23		S1.14.1	BLDG TYPE 14 RECREATIONAL BUILDING PLANS, SECTIONS & STRUCTURAL NOTES	09/20/23		M0.00	MECHANICAL SYMBOLS LEGEND	9/20/23	
A0.02.14	BLDG TYPE-14 RECREATIONAL INDEX OF DRAWINGS	09/20/23		S2.14.1	BLDG TYPE 14 WIND LOADS, TYPICAL DETAILS & SCHEDULES	09/20/23		M1.14.1	BLDG TYPE 14 - RECREATIONAL - MECHANICAL	9/20/23	
A0.03.14	BLDG TYPE-14 RECREATIONAL PROJECT DATA	09/20/23	1	2							
A0.09	ACCESSIBILITY REQUIREMENTS PUBLIC UNITS	09/20/23									
A0.10C	ARCHITECTURAL SITE PLAN - PRESERVE	09/20/23	1								
A1.14.1	BLDG TYPE-14 RECREATIONAL PLANS	09/20/23									
A2.14.1	BLDG TYPE-14 RECREATIONAL ELEVATIONS	09/20/23									
A5.00a	TYPICAL 0HRS FIRE RATED WALL TYPES	09/20/23	1								
A5.00c	TYPICAL 2HR FIRE RATED WALL TYPES	09/20/23	1								
A7.10	DOOR / WINDOW TYPICAL DETAIL	09/20/23									
A7.11	TYPICAL EXTERIOR DOOR DETAILS	09/20/23									
A7.20	WINDOW TAPING DETAILS	09/20/23									
A7.21	WINDOW DETAILS	09/20/23									
A7.30	TYPICAL ARCHITECTURAL TERMINATION DETAILS	09/20/23									
A7.31	TYPICAL ARCHITECTURAL DETAILS	09/20/23									
A7.32	TYPICAL ARCHITECTURAL DETAILS	09/20/23	1								
A7.40	TYPICAL WATERPROOFING AND PENETRATION DETAILS	09/20/23									
A7.50	TYPICAL ROOF DETAILS	09/20/23	1								
A7.51	TYPICAL ROOF DETAILS	09/20/23	1								
A7.52	TYPICAL ELEVATION DETAILS	09/20/23									
A7.70	TYPICAL SOUND CONTROL NOTES AND DETAILS	09/20/23									
21											

MECHANICAL BLDG TYPE 14						
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION			
M0.00	MECHANICAL SYMBOLS LEGEND	9/20/23				
M1.14.1	BLDG TYPE 14 - RECREATIONAL - MECHANICAL	9/20/23				
ELECTRICAL BLDG TYPE 14						
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION			
E0.00	ELECTRICAL SYMBOLS LEGEND	9/20/23				
E0.11	SITE PLAN - ELECTRICAL - RIO PRESERVE	9/20/23				
E1.14.1	BLDG TYPE 14 - RECREATIONAL - ELECTRICAL	9/20/23				
E7.01	ELECTRICAL DETAILS	9/20/23				
4						
PLUMBING BLDG TYPE 14						
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION			
P0.00	PLUMBING SYMBOLS LEGEND	9/20/23				
P0.11	SITE PLAN - PLUMBING - RIO PRESERVE	9/20/23				
P1.14.1	BLDG TYPE 14 - RECREATIONAL - PLUMBING	9/20/23				
P5.02	COMMON AREA SCHEDULES - PLUMBING	9/20/23				
4						

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THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

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JUNIPER, FL 33458

date: 9/20/23
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title

BLDG TYPE-14
RECREATIONAL INDEX
OF DRAWINGS

Sheet Number

A0.10CC

PERMIT SET

A0.02.14

FL

SEAL DATE

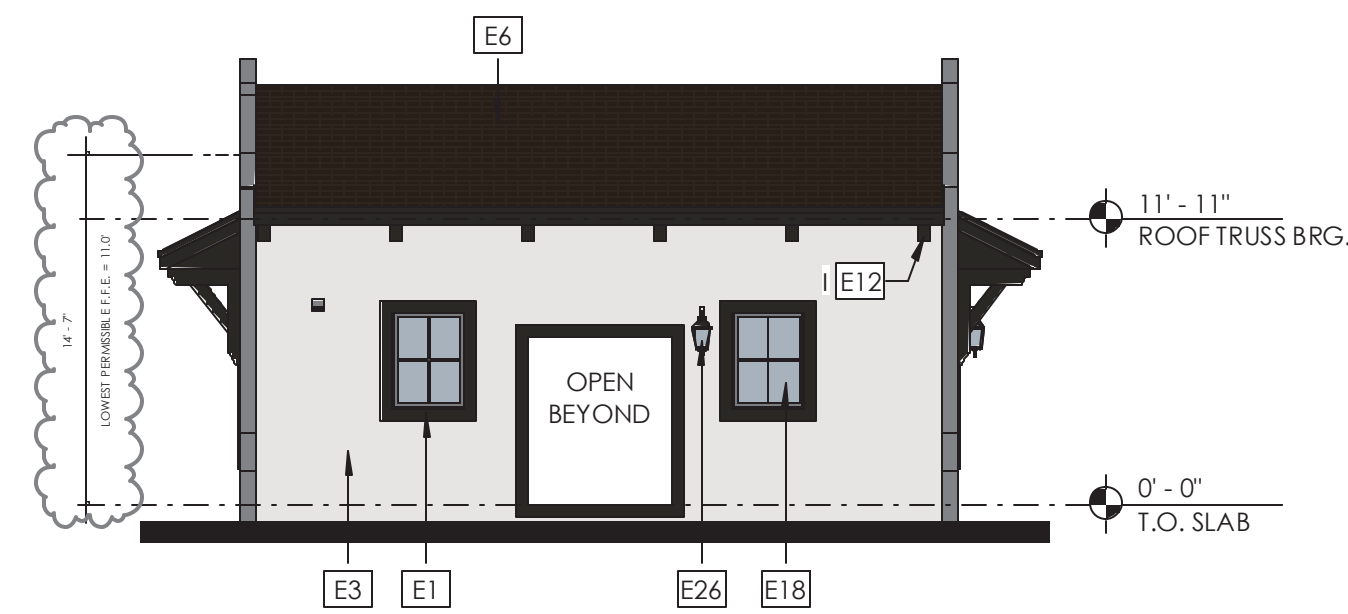
CRISTIAN OCQUENDO
Cristian Brock & Associates, A.A0000798

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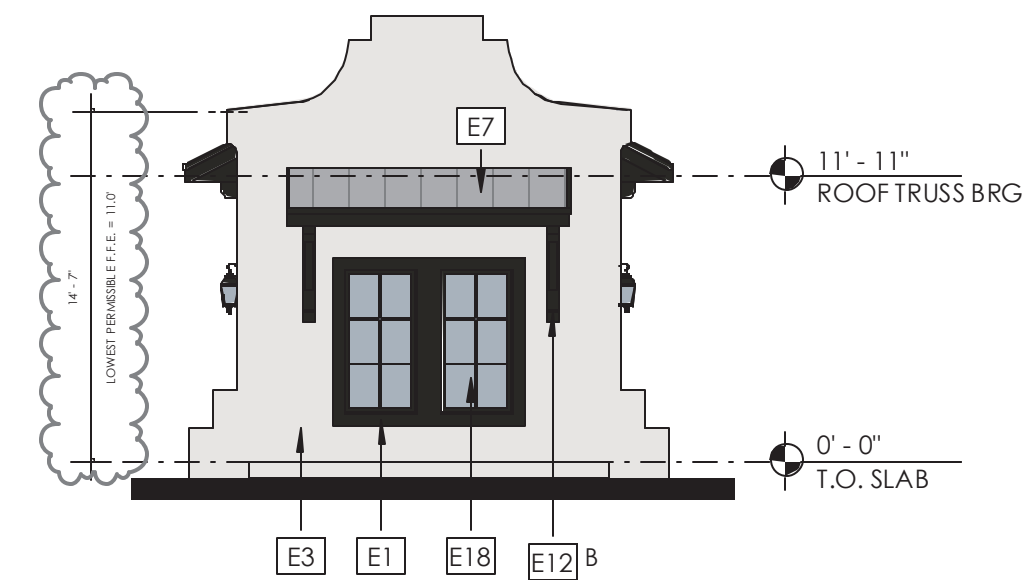
5 ISOMETRIC VIEW

SCALE:



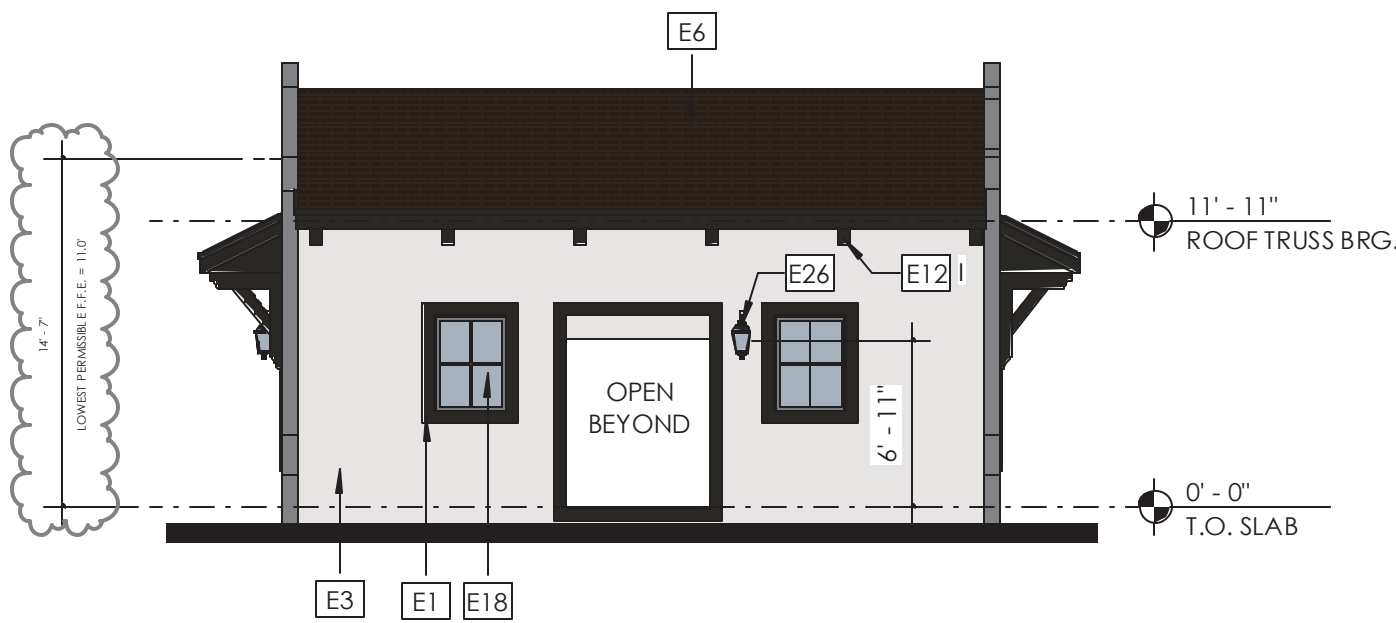
4 BLDG TYPE 14 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



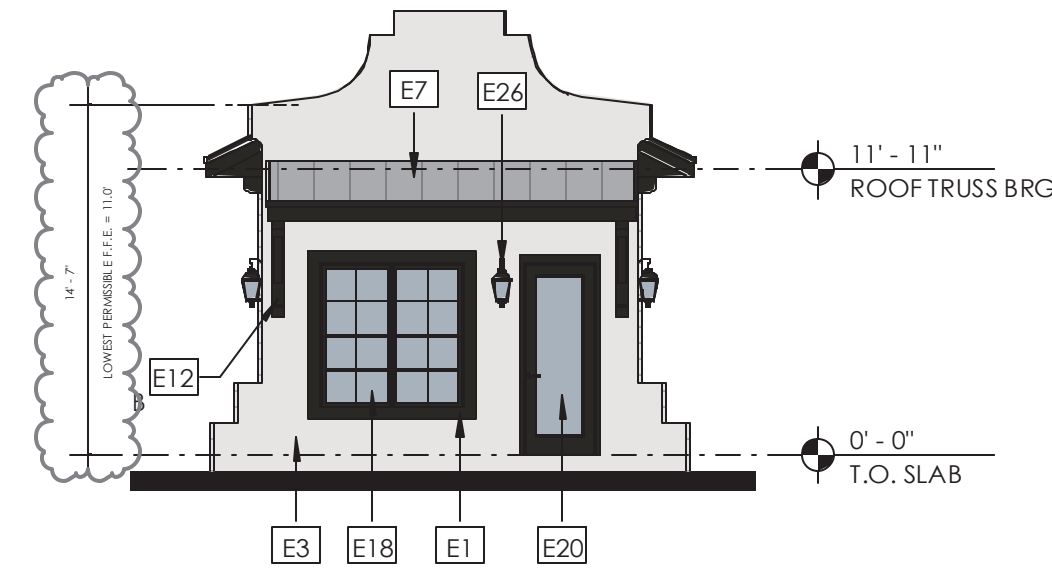
2 BLDG TYPE 14 - REAR ELEVATION

SCALE: 1/8" = 1'-0"



3 BLDG TYPE 14 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 14 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER; LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND

Sheet Title

BLDG TYPE-14
RECREATIONAL
ELEVATIONS

A0.10CC

Sheet Number

A2.14.1

PERMIT SET

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

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date: 9/20/23

job no: 4301.20

drawn by: TK

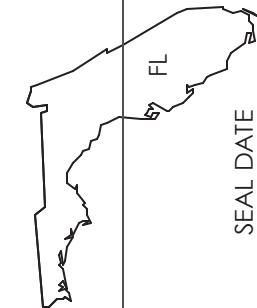
reviewed by: OL

issue

history: Date

1 11.6.23

STATE OF FLORIDA



CRISTIAN OQUENDO
CRISTIAN OQUENDO & ASSOCIATES, A.C.000798
CRISTIAN OQUENDO & ASSOCIATES, A.C.000798
CRISTIAN OQUENDO & ASSOCIATES, A.C.000798

 FL
 SEAL DATE

CRISTIAN QUIENDO
 Charlton Brock & Associates, AAC000798
 scale dimensions



9/25/2023 5:45:26 PM

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST
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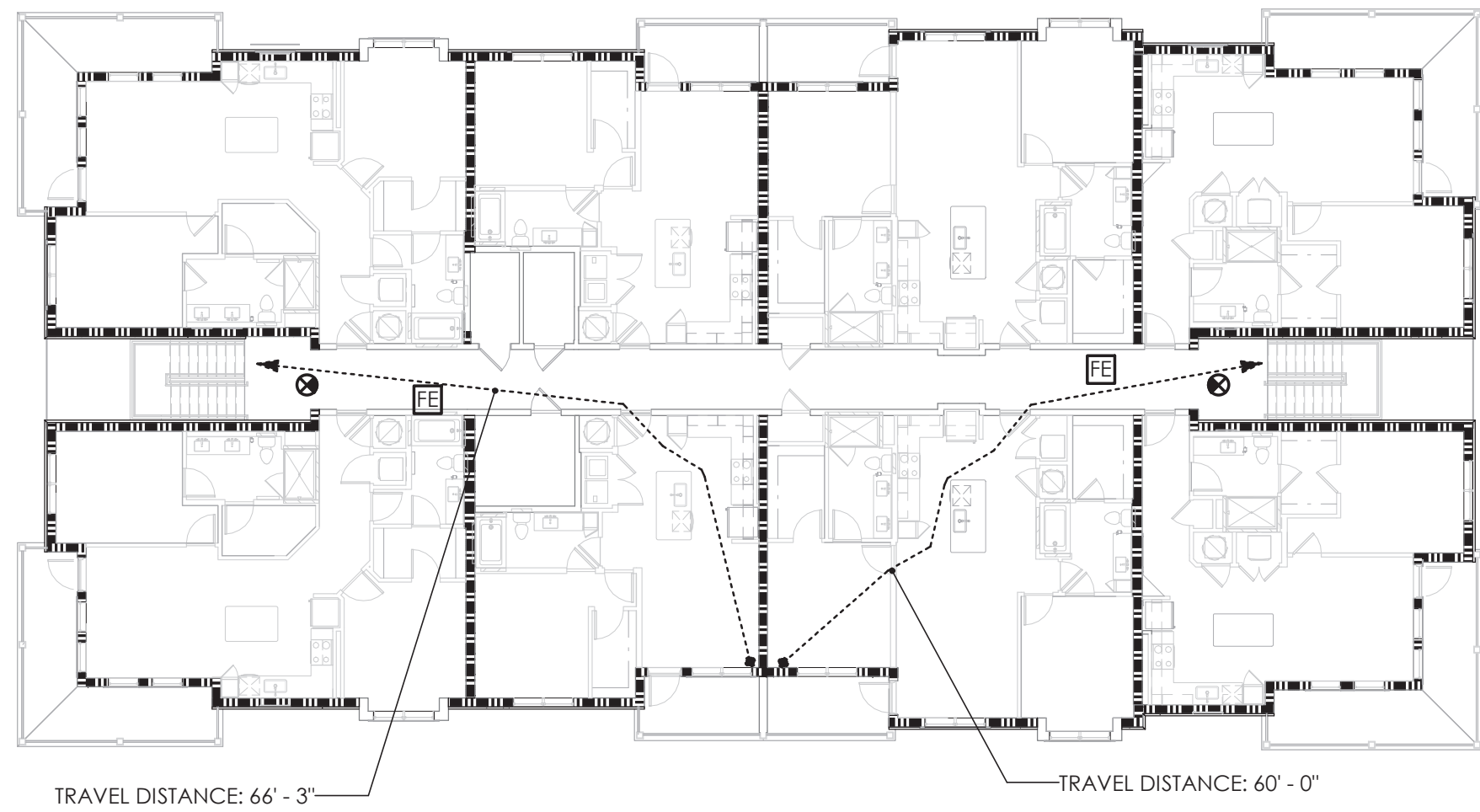
date: **9/20/23**
job no: **4301.20**
drawn by: **OL**
reviewed by: **CBA**
issue
history: **A** Date

BLDG TYPE-15
MULTI-FAMILY
PROJECT COVER
SHEET

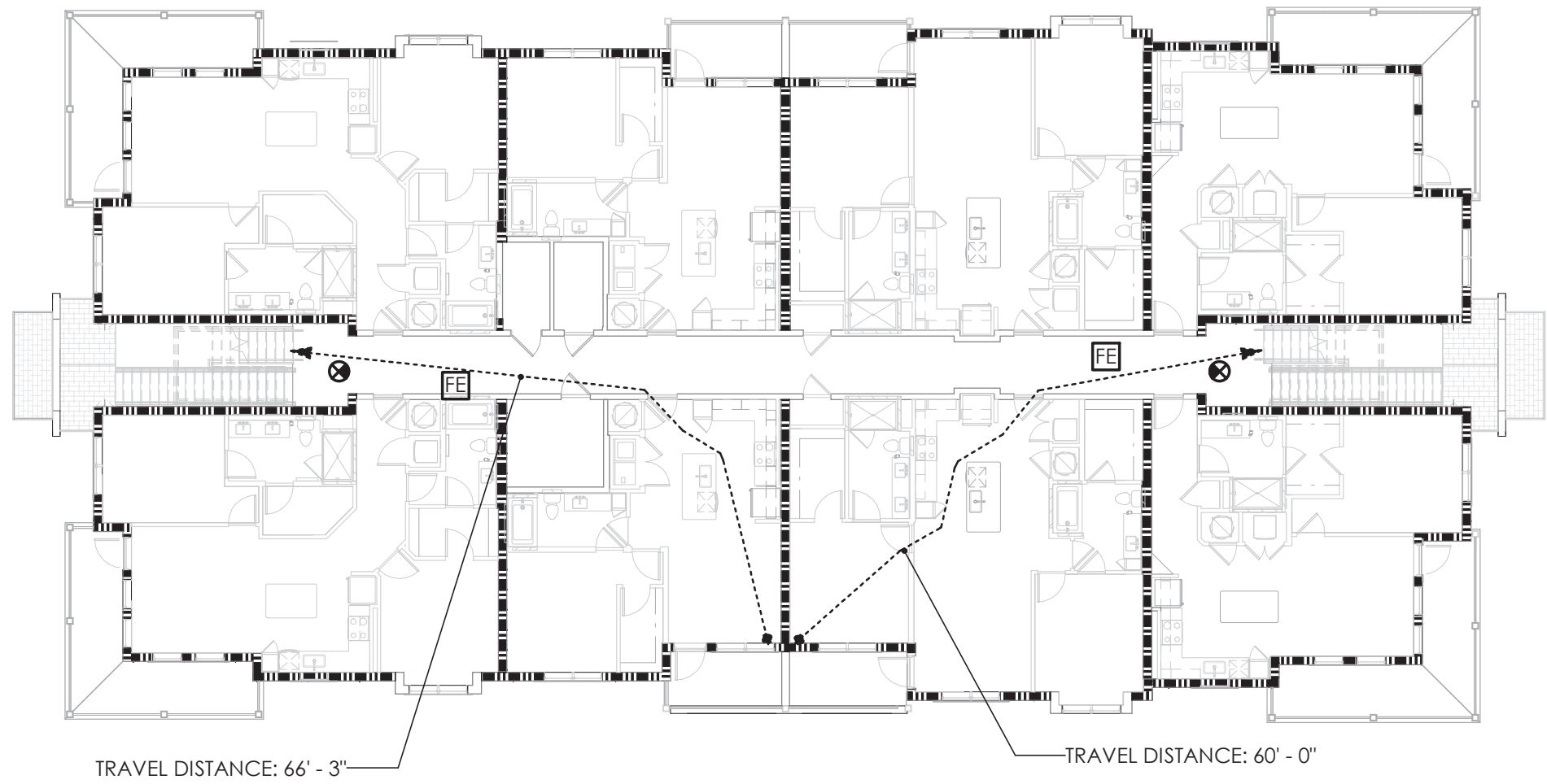
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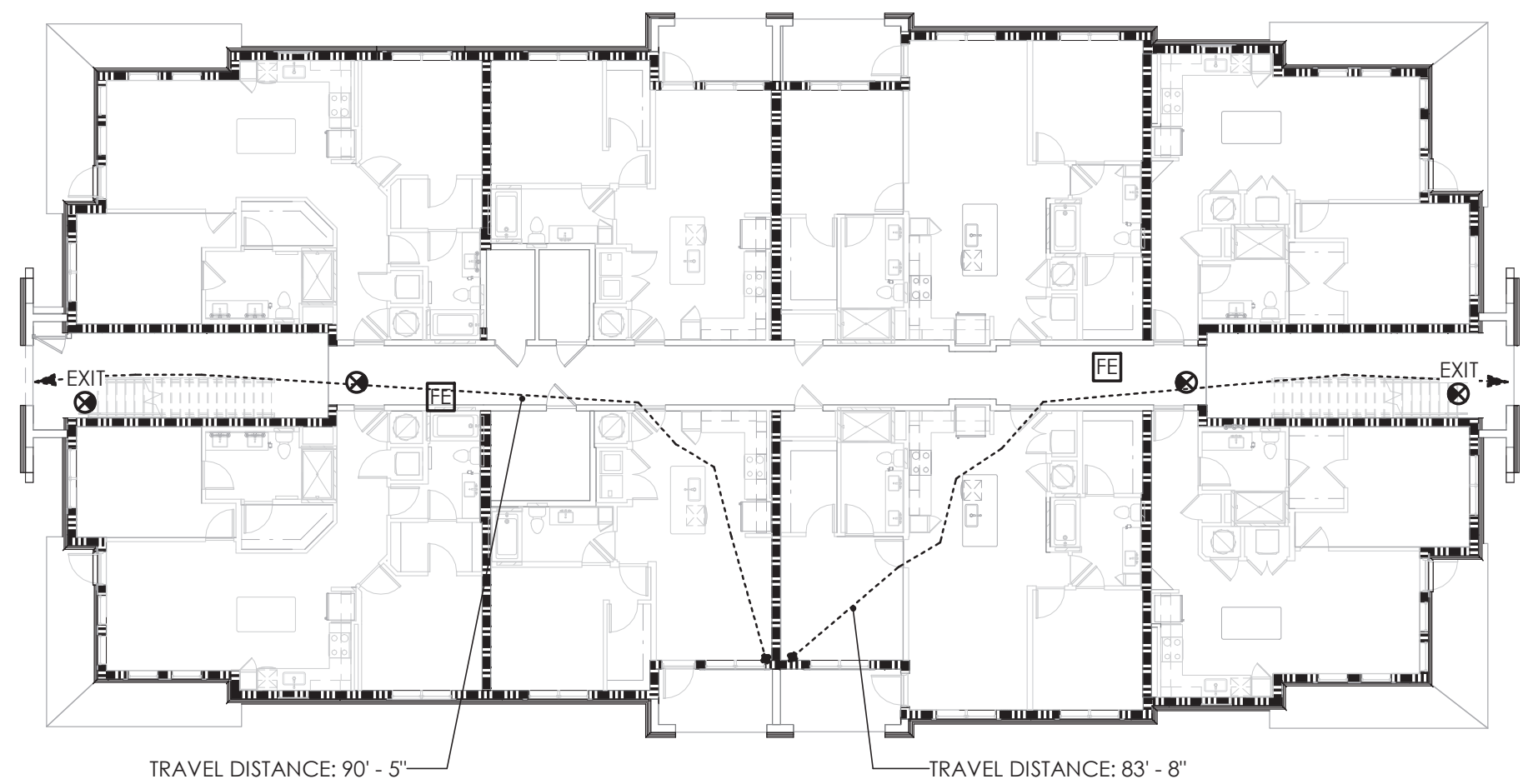
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3 THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

FLORIDA PLUMBING CODE									
MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (PER TABLES 403.1 & 403.6)									
OCCUPANCY TYPE		TOTAL OCCUPANTS	REQUIRED W.C. MALE	REQUIRED W.C. FEMALE	TOTAL W.C. REQUIRED	REQUIRED LAV. MALE	REQUIRED LAV. FEMALE	TOTAL LAV. REQUIRED	SERVICE SINKS
M	RETAIL	13 M 13 F	1 PER 500	1 PER 500	1 M 1 F	1 PER 750		1 M 1 F	1 PER 1000
F	BOAT SHOP	SINGLE USER BATHROOM FOR OCCUPANT LOAD 15 OR LESS PER TENANT SPACE			1 PER TENANT SPACE	1 PER TENANT SPACE		1 PER	1 PER 400

TRUSS SIGNAGE REQUIREMENTS

7' X 7' REFLECTIVE ALUM. SIGN NOTES PURSUANT TO FLORIDA STATE STATUTE 655.027:

- MALTESE CROSS MEASURING 8" HORIZONTALLY AND 8" VERTICALLY, OF A BRIGHT RED REFLECTIVE COLOR, DESIGNED IN ACCORDANCE WITH NFPA 101, 2009 EDITION.
- THE APPROVED SYMBOL SHALL BE PLACED WITHIN 24" TO THE LEFT OF THE MAIN ENTRY DOOR AND:
 - BE PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE ON A CONTRASTING BACKGROUND OR,
 - BE MOUNTED ON A CONTRASTING BASE MATERIAL WHICH IS THEN PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE.
- THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR THE FINISHED FLOOR TO THE BOTTOM OF THE SYMBOL SHALL BE NOT LESS THAN 4 FEET (48 INCHES).
- THE DISTANCE ABOVE THE GRADE, WALKING SURFACE, OR FINISHED FLOOR TO THE TOP OF THE SYMBOL SHALL BE NOT MORE THAN 6 FEET (72 INCHES).

LIFE SAFETY LEGEND

■■■■■ INDICATES 2 HOUR RATED WALL

■■■■■ INDICATES 1 HOUR RATED WALL

-----> INDICATES PATH OF TRAVEL (250 FEET MAXIMUM - PER FBC 1016.2)
-----> INDICATES COMMON PATH OF TRAVEL (125 FEET MAXIMUM - PER FBC 1014.3)

⊗ INDICATES EXIT SIGN

PF INDICATES REQUIRED PANIC HARDWARE AT DOORS (PER FBC 1008.1.9)

FE INDICATES FIRE EXTINGUISHER - "TYPE-A" IN SEMI-RECESSED FIRE RATED CABINET. TRAVEL DISTANCE TO CABINET 75'-0" MAX. MOUNT TOP OF CABINET NOT MORE THAN 5'-0" A.F.F.; BOTTOM NOT LESS THAN 4" A.F.F.

NOTE: FIRE EXTINGUISHERS WILL ALSO BE PLACED IN EACH UNIT.

POSTING OF OCCUPANT LOAD

PER FBC 1004.3

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. POSTED OCCUPANCY NUMBER SHALL NOT EXCEED ONE OCCUPANT PER SEVEN SQUARE FEET (FBC 1004.2) OR BE GREATER THAN THE NUMBER OF OCCUPANTS THAT CAN BE ACCOMMODATED BY THE SPACE'S NARROWEST EGRESS COMPONENT (FBC 1005)

FLORIDA

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

SEAL DATE

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Cristian Oquendo & Associates, A.C.000798

BRIAN PAWLK
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date: 9/20/23
job no: 4301.20
drawn by: Author
reviewed by: Checker
issue history: Date

Sheet Title

BLDG TYPE-15
MULTI-FAMILY LIFE
SAFETY PLAN

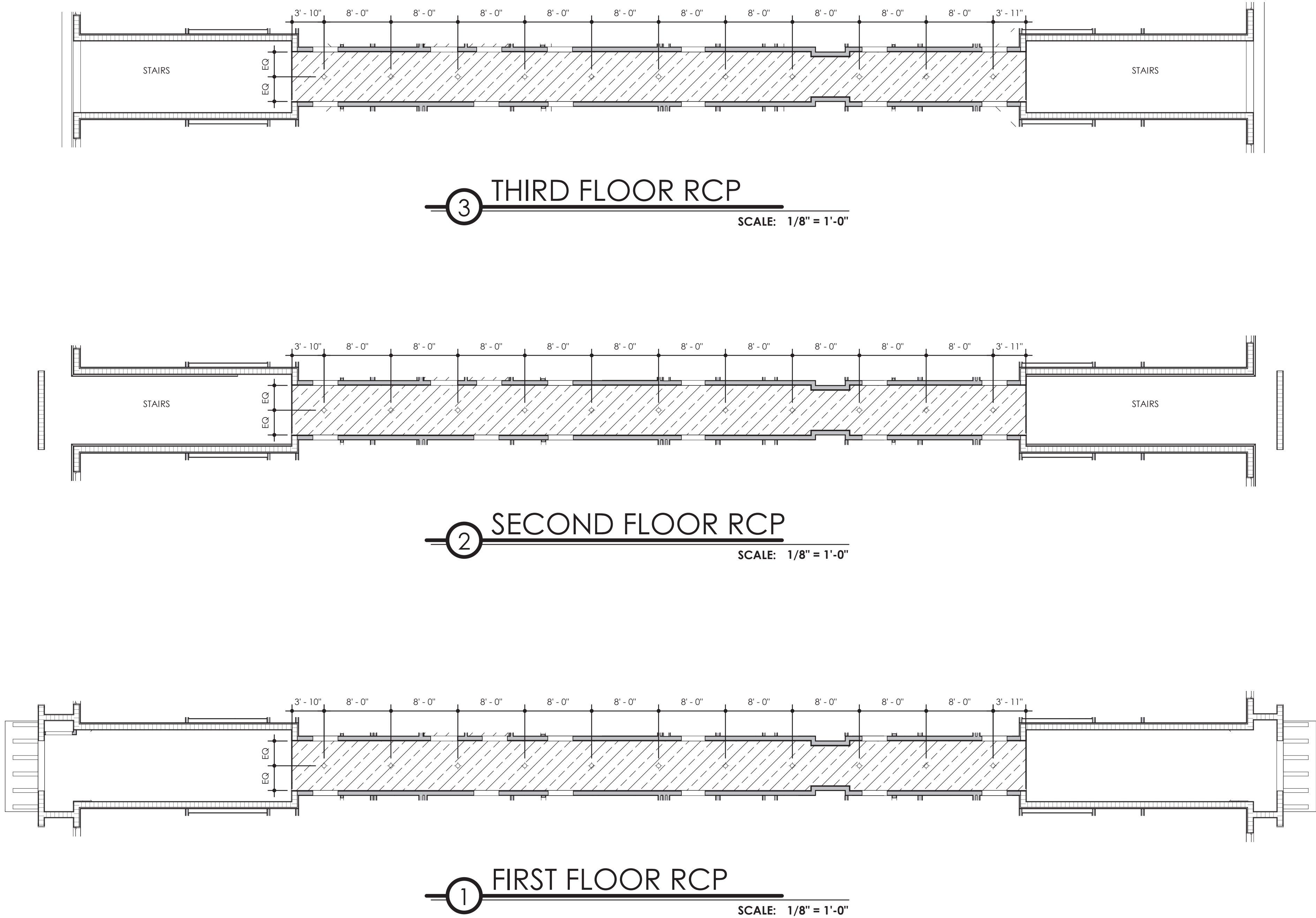
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CORRIDOR RCP LEGEND	
 8'-4" CEILING HEIGHT	 SURFACE MOUNTED LIGHT
RCP NOTES: 1. DROPPED CEILINGS AND SOFFITS ARE TO BE 1 1/2" METAL STUD FRAMING (PER ASTM STANDARDS) WITH 1/2" EXTERIOR GRADE GYPSUM BOARD + PAINT. 2. STAIRWELL LIGHTS NOT SHOWN - REFER TO ELECTRICAL DRAWINGS.	

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FL

SEAL DATE

CRISTIAN OSQUEDO

CHARLAN & ASSOCIATES, A.C.

AAC000798

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
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Sheet Title

BLDG TYPE-15
MULTIFAMILY
CORRIDOR RCPs

Sheet Number

A0.10CC

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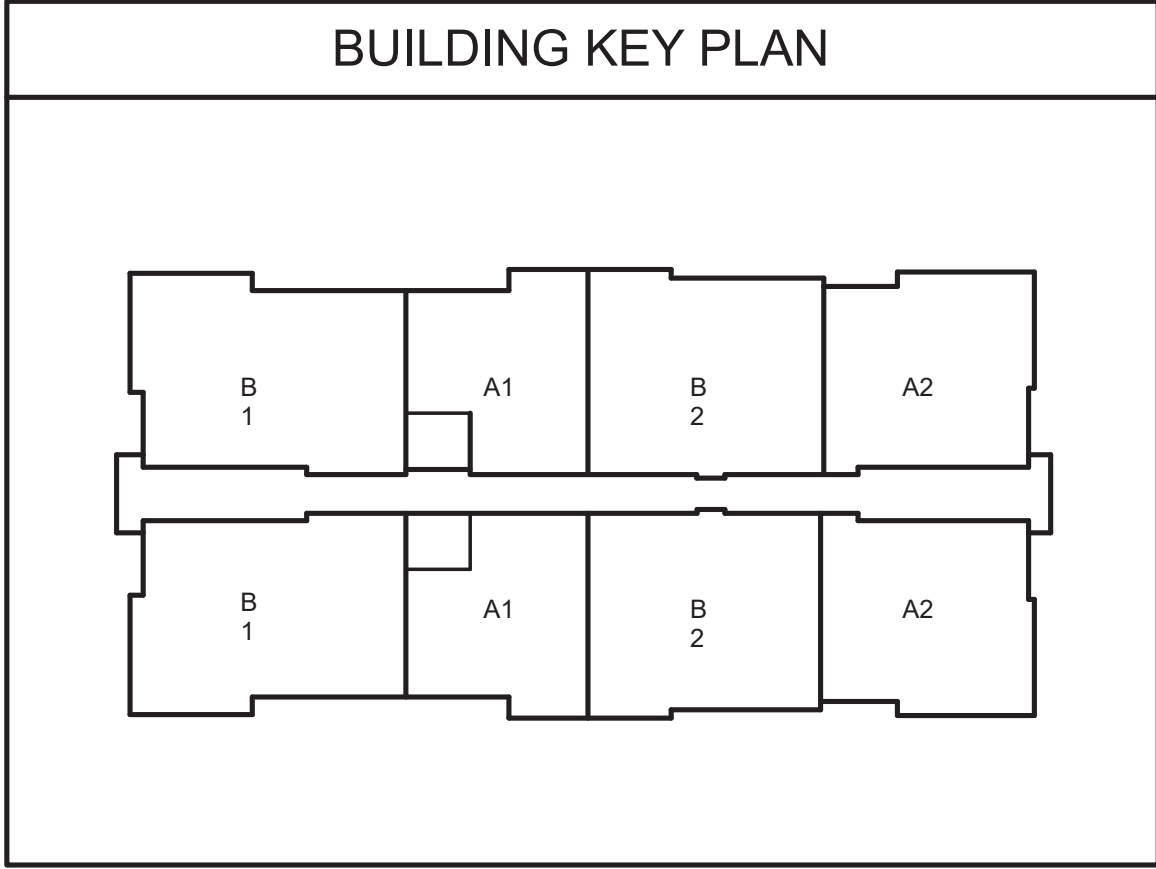
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TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES	
E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
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E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
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E10	FALSE VINYL LOUVER SIZE AS INDICATED
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E12	ARCHITECTURAL FOAM BRACKET
E13	TIMBER COLUMN - PAINTED
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E24	METAL COPING CAP AT PARAPET WALL
E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND





2 BLDG TYPE 15 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 15 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
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5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
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8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
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13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1		E19	
E2		E20	
E3		E21	
E4		E22	
E5		E23	
E6		E24	
E7		E25	
E8		E26	
E9		E27	
E10		E28	
E11		E29	
E12		E30	
E13		E31	
E14			
E15			
E16			
E17			
E18			

THE PRESERVE AT RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLUK
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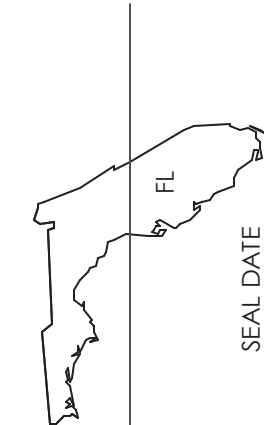
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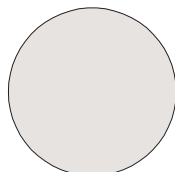
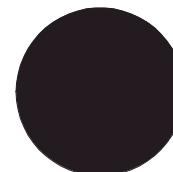
date: 9/20/23
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date
1 11.6.23

Sheet Title
BLDG TYPE-15
MULTIFAMILY
EXTERIOR ELEVATIONS

Sheet Number
A0.10CC
A2.15.2

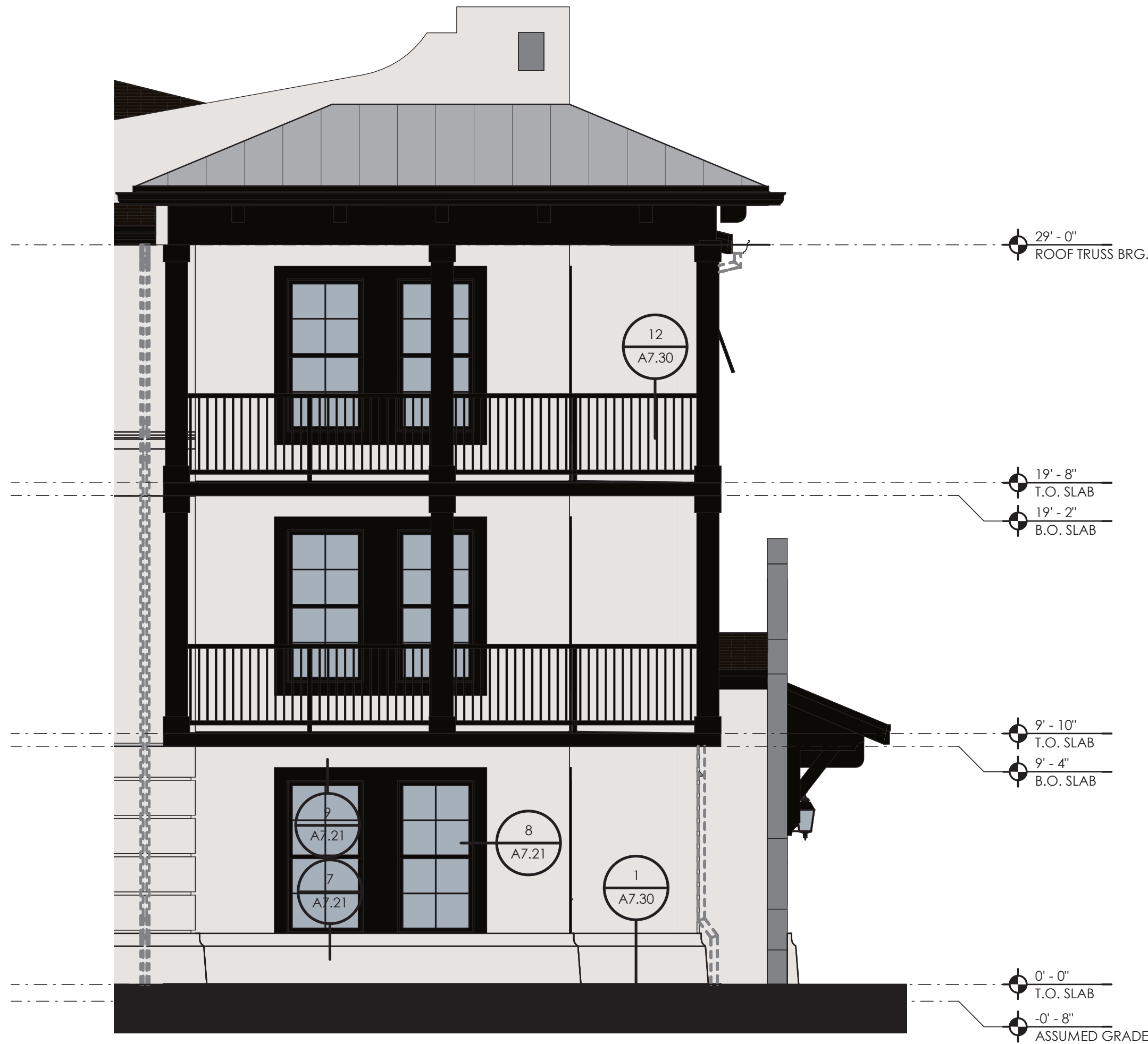
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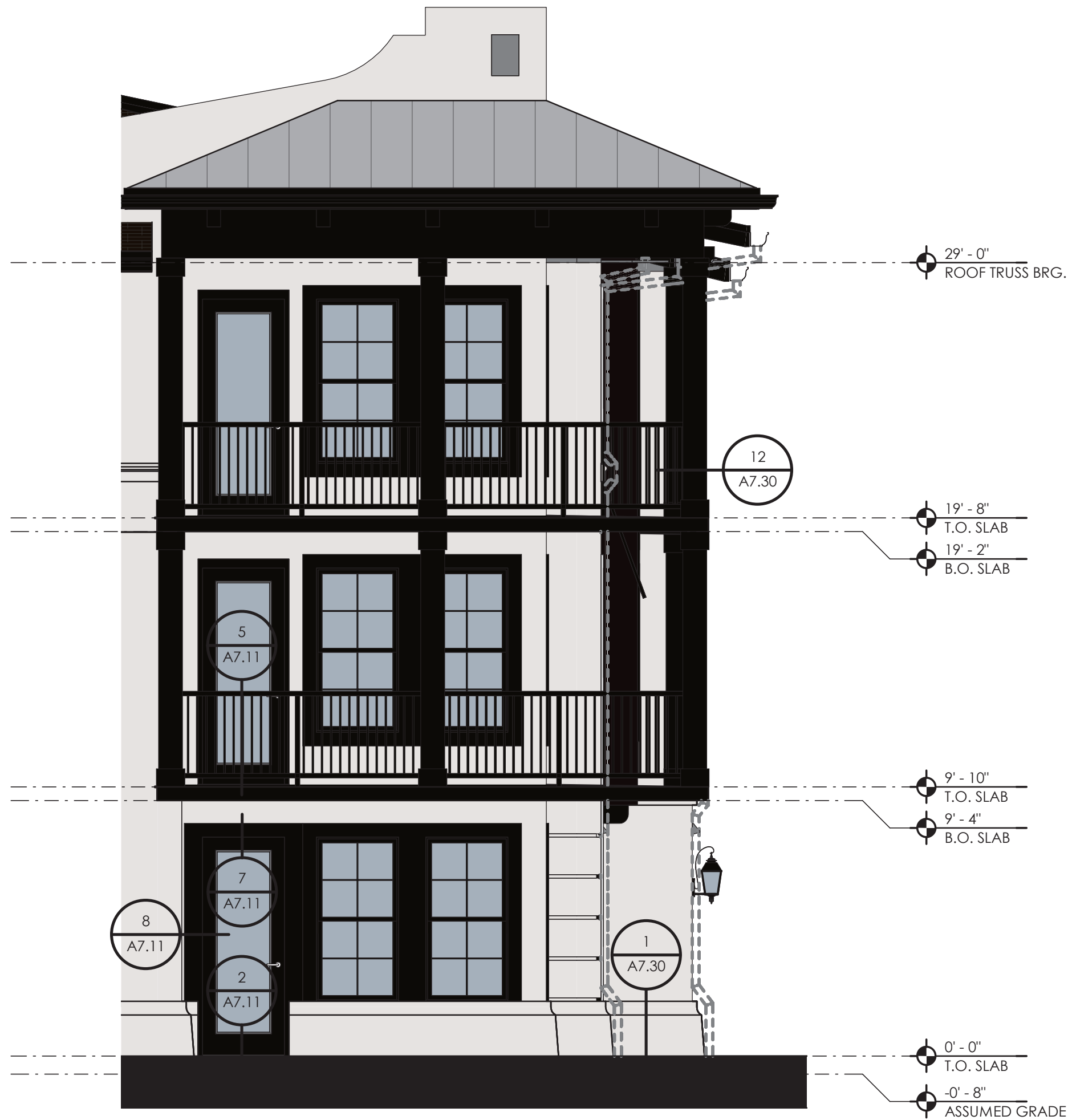
COLOR LEGEND	
COLOR 1	COLOR 2
	
CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
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ELEVATION KEY NOTES		
E1 WINDOW TRIM - RAISED STUCCO	E13 TIMBER COLUMN - PAINTED	E25 DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2 FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14 PREFABRICATED METAL AWNING	
E3 STUCCO PAINTED	E15 CONDUCTOR HEAD SCUPPER BOX	
E4 STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16 THROUGH WALL OVERFLOW SCUPPER	
E5 WALL RECESS	E17 ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	
E6 ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18 PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E26 EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E7 STANDING SEAM METAL ROOF SYSTEM	E19 STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E27 EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E8 ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20 EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	E28 ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E9 ALUMINUM BAHAMA SHUTTER	E21 OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	E29 PROFILE-STUCCO REVEAL - 2"
E10 FALSE VINYL LOUVER SIZE AS INDICATED	E22 42" HIGH ALUMINUM GUARD RAIL SYSTEM	E30 CONTROL JOINT
E11 MOSAIC ARTWORK OVER PAINTED STUCCO	E23 BUG SCREEN ENCLOSURE FOR BALCONY	E31 RAISED STUCCO BAND
E12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.	E24 METAL COPING CAP AT PARAPET WALL	



2 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"



1 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

FL

SEAL DATE

CRISTIAN OSQUEDO

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FLORIDA

THE PRESERVE AT RIO MARINE VILLAGE

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date: 9/20/23

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history:

1 CLIENT UPDATES

Sheet Title

BLDG TYPE-15
MULTIFAMILY
ENLARGED
ELEVATIONS

Sheet Number

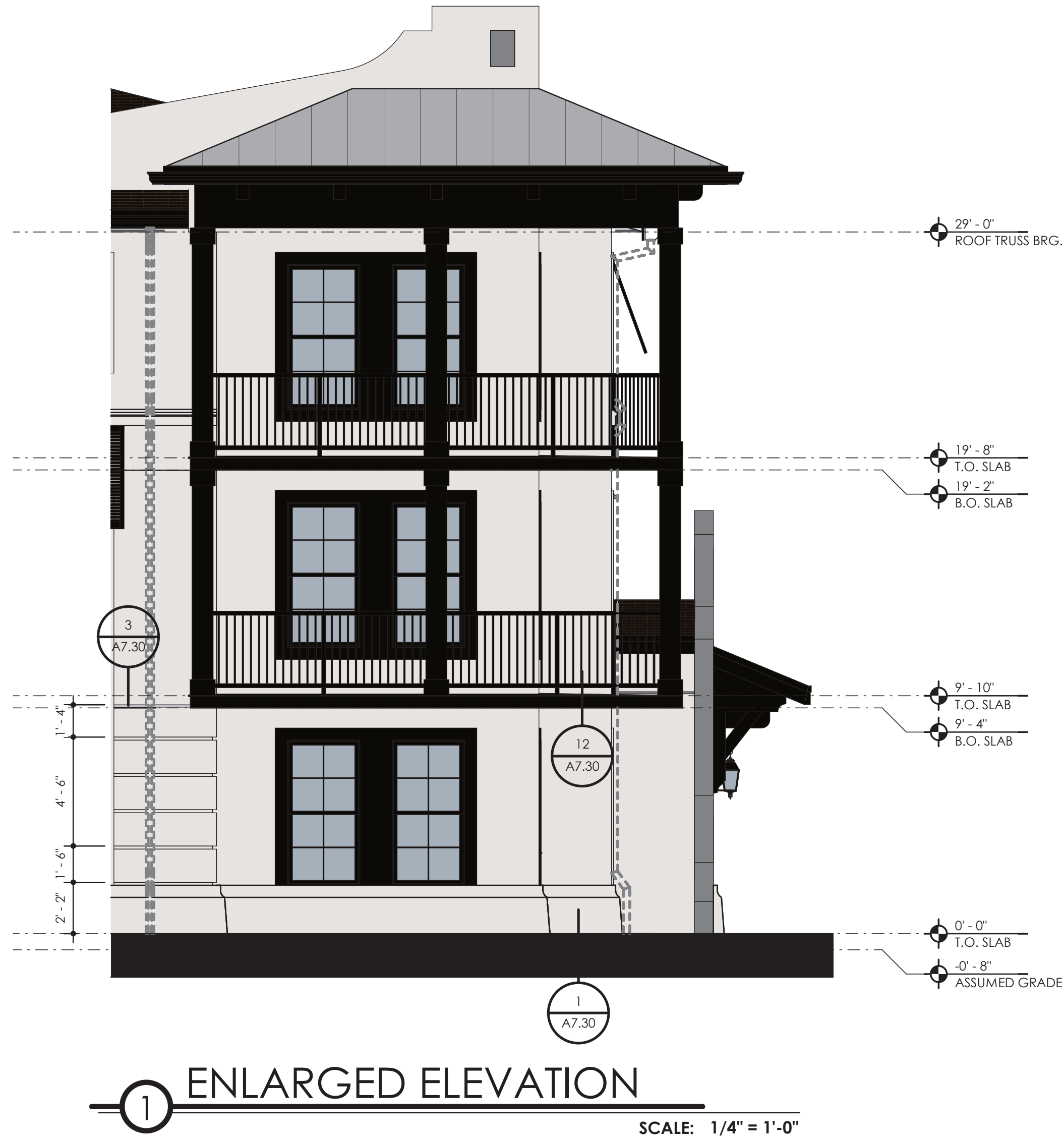
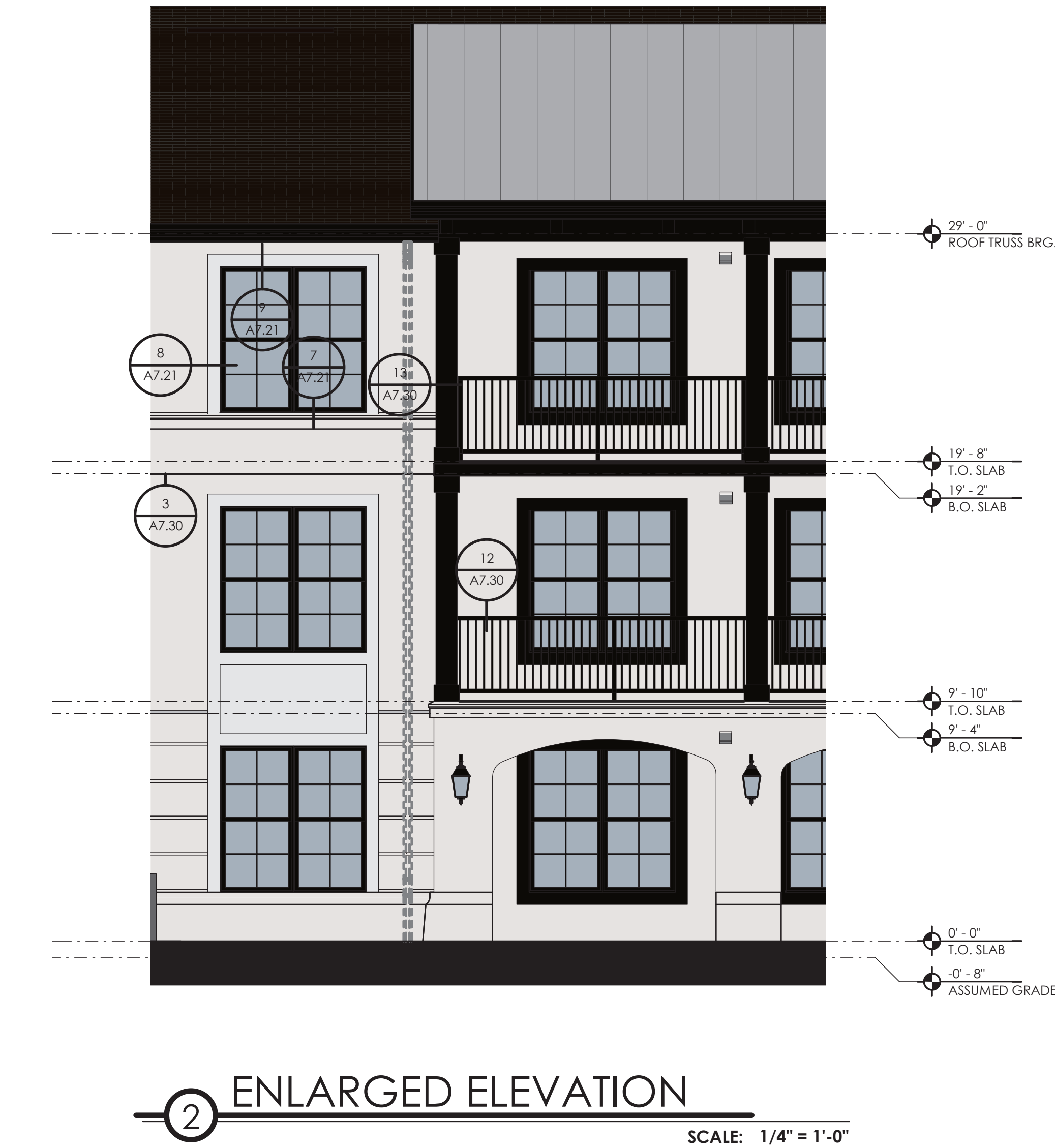
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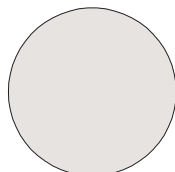
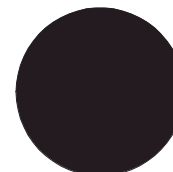
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COLOR LEGEND	
COLOR 1	COLOR 2
	
CLOUD NINE SW 6546	DEEP FOREST BROWN SW 9175

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E11 MOSAIC ARTWORK OVER PAINTED STUCCO	E23 METAL COPING CAP AT PARAPET WALL	
E12 ARCHITECTURAL FOAM BRACKET @ 4'-0" O.C.		



RIO MARINE VILLAGE

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WEST PALM BEACH 33401
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MECHANICAL ELECTRICAL PLUMBING ENGINEER: JLC
SIMON ROJAS
1880 HARWOOD AVE
SUITE 3000
ALTAMONT SPRINGS, FL 32714
P: 321.972.4466

OWNER'S CIVIL ENGINEER: SIMMONS & WHITE, INC
JESSE "JAMIE" PARRISH, P.E.
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WEST PALM BEACH, FL 33407
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JUPITER, FL 33458
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STATE OF FLORIDA

THE PRESERVE AT RIO MARINE VILLAGE

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job no: 4301.20

drawn by: Author

reviewed by: Checker

issue history: Date

Sheet Title

BLDG TYPE-17 MAIL
KIOSK PROJECT
COVER SHEET

Sheet Number

A0.10CC

A0.01.17

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A0.10CC

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4			

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Sheet Title

BLDG TYPE-17 MAIL KIOSK INDEX OF DRAWINGS

Sheet Number

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A0.02.17

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CRISTIAN COQUINDO
CRISTIAN COQUINDO & ASSOCIATES, A.A.C.000798

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