



# TRANSMITTAL

HAND DELIVERY

<b>Date:</b>	August 24, 2021		
<b>To:</b>	Matthew Stahley Martin County Growth Management Department		
<b>From:</b>	Morris Crady <i>Mac</i>		
<b>Subject:</b>	Edgewater Pointe Plat	<b>Project No.</b>	20-626/19445
	<b>M.C. Project No. W096-003</b>		

In response to the attached completeness letter, please find the following responses to the comments contained therein:

**Item #1: PLAT CHECKLIST CERTIFICATION**

RESPONSE: See enclosed signed and sealed document.

**Item #2: PLAT**

RESPONSE: See enclosed plat with revised scale.

**Item #3: SURVEY**

RESPONSE: See enclosed survey with the legal consistent with the plat legal description.

The application fee check in the amount of \$16,600 is enclosed along with the original application package, an additional set of the 24" x 36" plans and a CD with PDF copies of the application.

Please feel free to contact me if you have any questions or comments.



**MARTIN COUNTY**  
**BOARD OF COUNTY COMMISSIONERS**  
2401 S.E. MONTEREY ROAD • STUART, FL 34996

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August 18, 2021

Mr. Morris Crady  
Lucido & Associates  
701 SE Ocean Blvd.  
Stuart, FL 34994

Record No: DEV2021080005  
Project Number: W096-003

RE: Completeness Review  
Edgewater Pointe (fka Willoughby Townhomes) Plat

Dear Mr. Crady:

The above referenced application has been determined to be complete for review by the County. Matthew Stahley, Principal Planner, will be the County's project coordinator for this request. As such, please direct all future questions and correspondence to his attention.

Although the review was determined complete, the following items need additional attention.

**Item #1:** PLAT CHECKLIST: Martin County Plat Checklist Certification signed and sealed by a licensed Florida professional land surveyor.

**Comments:** Please provide sealed plat checklist certification.

**Item #2:** Plat prepared in accordance with the criteria found in the Plat Review Checklist and exhibits.

**Comments:** Please revise scale to reduce the number of sheets.

**Item #3:** A boundary survey of the entire site including the legal description, parcel control number(s) and acreage, certified within 180 days of the date of this application, signed and sealed by a licensed Florida professional surveyor and mapper.

**Comments:** Please provide a legal description on survey consistent with the plat or provide an affidavit confirming they are the same.

You may review the application on-line at <https://aca3.accela.com/martinco>. Select Search Development Review and enter the Record Number above.

At this time, please submit the full application with a bookmarked disc and an extra set of plans, along with an application fee in the amount of **\$16,600.00** (check payable to Martin County Board of County Commissioners) to the Growth Management Department, Development Review Division. Each set must duplicate the application submitted for completeness review. Each set must contain original signed and sealed documents.

The review of the application will commence the date after the project coordinator distributes the copies to the various agencies and individuals who participate in the review process for this application. At the end of the review period, you will be provided with a completed staff report for this application.

In the meantime, it is required that a sign be erected on the subject property. The project number **W096-003** must be included on the sign(s). Prior to preparing your sign, please read Section 10.6, Land Development Regulations, Martin County, Fla., which contains the required information that must be on the sign. Please provide documentation (i.e., photograph and certification to the project coordinator) that the property has been posted in accordance to the notification requirements.

Sincerely,



Paul Schilling  
Growth Management Director

PS:MS:kk

cc: Visiting Nurse Association of Florida, Inc., 701 SE Ocean Blvd., Stuart, FL 34994





August 10, 2021

HAND DELIVERY

Paul Schilling, Director  
Martin County Growth Management Department  
2401 SE Monterey Road  
Stuart, FL 34996

**Re: Edgewater Pointe (aka Willoughby Townhomes PUD – Plat Application with Certificate of Public Facilities Exemption (Our ref. #20-626))**

Dear Paul:

On behalf of the applicant and contract purchaser, Meritage Homes, we are pleased to submit this application for approval of the proposed plat.

As more particularly described in the enclosed project narrative, the 17.90-acre property is located at the northeast corner of SE Willoughby Boulevard and SE Salerno Road. The applicant is proposing to develop 117 townhome units to be conveyed fee simple by way of a townhome plat.

The pending PUD final site plan application has completed one round of reviews and the first resubmittal was submitted to the County on July 1, 2021. The proposed plat application is consistent with the final site plan and construction plans provided with the first resubmittal.

With this understanding, please find enclosed the sufficiency review fee check in the amount of \$290.00, the CD with PDF copies of the application materials, and the original application package containing the following materials (the additional copy of the 24x36 plans will be submitted upon a completeness determination):

- The completed application form;
- Digital submittal affidavit;
- The project narrative;
- Notarized power of attorney by the owners for representation by Lucido & Associates;
- The Disclosure of Interest Affidavit forms;
- The recorded deeds reflecting ownership;
- The no property transfer statements;
- Draft version of Declaration of Covenants and Restrictions;
- Draft Contract for Construction of Required Improvements & Infrastructure;
- Draft version of engineer's cost estimate;
- Draft performance surety bond;
- The utility service letters;
- Signed & sealed plat checklist certification;
- The proposed plat;
- The signed & sealed boundary survey, and electronic copy of same; and
- The pending Willoughby Townhome final site plan.



Paul Schilling  
August 10, 2020  
Page 2 of 2

Upon your determination of completeness, we will submit the required application fee of \$16,600.00 and the additional set of 24 x 36 plans.

If you have any questions or comments, please do not hesitate to contact me or Shirley Lyders.

Sincerely,

Morris A. Crady, AICP  
Senior Vice President  
Encl.

Copy to: Client  
Development Team



Martin County, Florida  
 Growth Management Department  
 DEVELOPMENT REVIEW DIVISION  
 2401 SE Monterey Road, Stuart, FL 34996 772-288-5495 [www.martin.fl.us](http://www.martin.fl.us)

**DEVELOPMENT REVIEW APPLICATION**

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**A. GENERAL INFORMATION**

Type of Application: Plat

Name or Title of Proposed Project: Edgewater Pointe fka Willoughby Townhomes

**Brief Project Description:**

See project narrative

Was a Pre-Application Held?  YES/NO  Pre-Application Meeting Date: 9-24-20

Is there Previous Project Information?  YES/NO

Previous Project Number if applicable: W096

Previous Project Name if applicable: Willoughby Townhomes

**Parcel Control Number(s)**

<u>55-38-41-000-064-00084-3</u>	<u>55-38-41-000-064-00010-2</u>
<u>55-38-41-000-064-00083-4</u>	_____
<u>55-38-41-000-064-00082-5</u>	_____
<u>55-38-41-000-064-00081-6</u>	_____
<u>55-38-41-000-064-00011-1</u>	_____

**B. PROPERTY OWNER INFORMATION**

Owner (Name or Company): Visiting Nurse Association of Florida, Inc.

Company Representative: 1700 SE Darling St., LLC and 1750 SE Darling St., LLC

Address: c/o 701 SE Ocean Boulevard

City: Stuart, State: FL Zip: 34994

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**C. PROJECT PROFESSIONALS**

**Applicant (Name or Company):** Meritage Homes of Florida, Inc.  
Company Representative: Dante Fraiegari  
Address: 1400 Centrepark Blvd., Suite 1000  
City: West Palm Beach, State: FL Zip: 33401  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Agent (Name or Company):** Lucido & Associates  
Company Representative: Morris Crady  
Address: 701 SE Ocean Boulevard  
City: Stuart, State: FL Zip: 34994  
Phone: 772-220-2100 Email: Mcrady@lucidodesign.com

**Contract Purchaser (Name or Company):** Same as applicant  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Land Planner (Name or Company):** Same as agent  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Landscape Architect (Name or Company):** Same as agent  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Surveyor (Name or Company):** Caulfield & Wheeler  
Company Representative: Ronnie Furniss  
Address: 7900 Glades Road, Suite 100  
City: Boca Raton, State: FL Zip: 33434  
Phone: 561-392-1991 Email: ronnie@cwiasoc.com

**Civil Engineer (Name or Company):** The MilCor Group  
Company Representative: Kenneth Rau  
Address: 10975 SE Federal Highway  
City: Hobe Sound, State: FL Zip: 33455  
Phone: 772-223-8850 Email: kennethr@themilcorgroup.com



**PROJECT PROFESSIONALS CONTINUED**

**Traffic Engineer (Name or Company):** Same as civil engineer  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Architect (Name or Company):** \_\_\_\_\_  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Attorney (Name or Company):** \_\_\_\_\_  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Environmental Planner (Name or Company):** \_\_\_\_\_  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Other Professional (Name or Company):** \_\_\_\_\_  
Company Representative: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_, State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**D. Certification by Professionals**

Section 10.2.D.7., Article 10, Development Review Procedures, Land Development Regulations (LDR), Martin County Code (MCC) provides the following:

When reviewing an application for a development permit that is certified by a professional listed in s. 403.0877. F.S., the County shall not request additional information from the application more than three times, unless the applicant waives the limitation in writing. If the applicant believes the request for additional information is not authorized by ordinance, rules, statute, or other legal authority, the County, at the applicant's request, shall proceed to process the application for approval or denial. **(125.022(1), Fla. Stat.)**

This box must be check if the applicant waives the limitations.

**E. APPLICANT or AGENT CERTIFICATION**

I have read this application, and to the extent that I participated in the application, I have answered each item fully and accurately.

*Morris A. Crady*  
Applicant Signature

8-10-2021  
Date

Morris A. Crady  
Printed Name

**NOTARY ACKNOWLEDGMENT**

STATE OF: FLORIDA COUNTY OF: MARTIN I

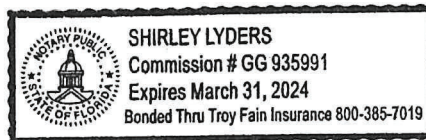
hereby certify that the foregoing instrument was acknowledged before me by means of [ X ] physical presence or [ ] online notarization this 10<sup>th</sup> day of August, 2021, by MORRIS A. CRADY.

He or She X is personally known to me or \_\_\_ has produced \_\_\_\_\_ as identification.

*Shirley Lyders*  
Notary Public Signature

\_\_\_\_\_  
Printed name

STATE OF: FLORIDA at-large





Martin County Florida Growth Management Department  
 DEVELOPMENT REVIEW DIVISION  
 2401 SE Monterey Road, Stuart, FL 34996  
 772-288-5495 [www.martin.fl.us](http://www.martin.fl.us)

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**Digital Submittal Affidavit**

I, Morris A. Crady, attest that the electronic version included for the project Edgewater Pointe (fka Willoughby Townhomes) Plat Application is an exact copy of the documents that were submitted for sufficiency, excluding any requested modifications made by the sufficiency review team. All requested modifications, if any, have been completed and are included with the packet.

*M. Crady*  
 Applicant Signature

8-10-2021  
 Date

**NOTARY ACKNOWLEDGMENT**

STATE OF: FLORIDA

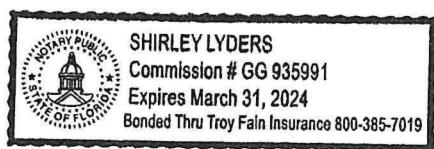
COUNTY OF: MARTIN

I hereby certify that the foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 10<sup>th</sup> day of August, 2021, by Morris A. Crady.

He  is personally known to me or \_\_\_ has produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
 Notary Public Signature

\_\_\_\_\_  
 Printed name



STATE OF: Florida at-large





## **Edgewater Pointe Plat Application (aka Willoughby Townhomes PUD)**

### **Project Narrative August 10, 2021**

The subject property consists of an assemblage of properties at the northeast corner of SE Willoughby Boulevard and SE Salerno Road. The assemblage is comprised of six parcels, which total approximately 17.85 acres. The applicant is proposing 117 townhome units in accordance with the existing Commercial Office Residential (COR) future land use and the existing COR-1 and COR-2 zoning district.

The COR-1 and COR-2 zoning district would allow the same number of units and site design if the units were to be rented or sold by way of condominium documents, wherein the front and rear setbacks are measured from the parent tract. However, based on market demand preference, the developer intends to convey the units “fee simple” by way of a townhome plat.

The townhome plat process allows the unit to be sold within a created “townhome lot” that includes the unit and a front and rear yard. The land development code explicitly grants relief to the side setbacks that would normally apply to a single family lot but is silent with respect to the front or rear yard setbacks required on a platted townhome lot. Therefore, the applicant is requesting a PUD zoning change to reduce the front and rear building setbacks within the platted townhome lot as follows:

Setback	COR-2 Zoning (Two-Story)	Proposed PUD (Two-Story)
Front	35'	20'
Rear	30'	10'
Side	None for Townhome	None for Townhome

The PUD final site plan application has completed one round of reviews and the first resubmittal was submitted to the County on July 1, 2021. The proposed plat application is consistent with the final site plan and construction plans provided with the first resubmittal.

**Visiting Nurse Association of Florida, Inc.**  
**2400 SE Monterey Road, Suite 300**  
**Stuart, Florida 34996**

December 8, 2020

Paul Schilling, Director  
Martin County Growth Management Department  
2401 S.E. Monterey Road  
Stuart, FL 34996

Re: PCN: 55-38-41-000-064-00084-3  
55-38-41-000-064-00083-4  
55-38-41-000-064-00082-5  
55-38-41-000-064-00081-6

Dear Mr. Schilling:

As owner of the property referenced above, please consider this correspondence formal authorization for Lucido & Associates to represent **Visiting Nurse Association of Florida, Inc.** during the governmental review process of the Willoughby Townhomes final site plan application.

Sincerely,

VISITING NURSE ASSOCIATION OF FLORIDA, INC.,  
a Florida not-for-profit corporation

By: Jennifer Crow  
Print Name: Jennifer Crow  
Print Title: CEO

STATE OF Florida  
COUNTY OF Martin

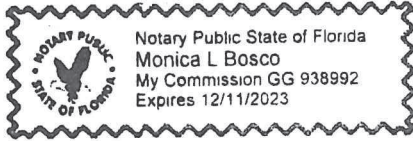
The foregoing was acknowledged before me by means of  physical presence or  online notarization, this 21<sup>st</sup> day of December, 2020, by Jennifer Crow, CEO of VISITING NURSE ASSOCIATION OF FLORIDA, INC., a Florida not-for-profit corporation. He/she  is personally known to me or  has produced \_\_\_\_\_ as identification.

*Monica L Bosco*

NOTARY PUBLIC

My Commission Expires:

(Notarial Seal)





**1700 SE Darling St., LLC & 1750 SE Darling St., LLC**  
**20 William Street, Suite 130**  
**Wellesley, Massachusetts 02481**

January 4, 2021

Paul Schilling, Director  
Martin County Growth Management Department  
2401 S.E. Monterey Road  
Stuart, FL 34996

Re: PCN: 55-38-41-000-064-00011-1 (1700 SE Darling St., LLC)  
55-38-41-000-064-00010-2 (1750 SE Darling St., LLC)

Dear Mr. Schilling:

As owner of the properties referenced above, please consider this correspondence formal authorization for Lucido & Associates to represent **1700 SE Darling St., LLC & 1750 SE Darling St., LLC** during the governmental review process of the Willoughby Townhomes final site plan application.

Sincerely,

1700 SE DARLING ST., LLC,  
a Florida limited liability company  
1750 SE DARLING ST., LLC,  
a Florida limited liability company

By:   
Stephen N. Wilchins, Manager

STATE OF Massachusetts  
COUNTY OF Norfolk

The foregoing was acknowledged before me by means of [  ] physical presence or [ ] online notarization, this 5 day of January, 2020, by Stephen N. Wilchins, Manager of 1700 SE DARLING ST., LLC, a Florida limited liability company & 1750 SE DARLING ST., LLC, a Florida limited liability company. He [  ] is personally known to me or [ ] has produced \_\_\_\_\_ as identification.

(Notarial Seal)

NOTARY PUBLIC  
My Commission Expires:

