

# **PRESERVE AREA MANAGEMENT PLAN**

## **MARTIN COUNTY GROWTH MANAGEMENT DEPARTMENT ENVIRONMENTAL DIVISION**



Bridge Road Car Club

MCFL Properties LLC

34-38-42-000-185-00010-8

Approved by/Record number: \_\_\_\_\_

# PART I ENVIRONMENTAL ASSESSMENT

## 1. Introduction - Property Description and History

An environmental assessment was performed by Advanced Restoration Ecology and site assessment work was conducted on multiple occasions as part of the development planning process with field visits conducted in June 2021 and November 2022. The subject property parcel ID is 34-38-42-000-185-00010-8 and is a total of 32.27 acres. The subject property is located on the south side of Bridge Road, east of SE Powerline Avenue and west of SE Suzanne Drive in Hobe Sound, Martin County, Florida. The subject property is further located within Section 34, Township 38 South, and Range 42 East. The property vicinity is characterized primarily by undeveloped pine flatwoods, herbaceous wetlands and manmade lake (excavation/borrow pit). The property is surrounded by vacant parcels and industrial parcels to the east, south and west. Bridge Road borders the property to the north. The property has the following legal description: Beginning on the southwesterly corner of Gomez Grant, northeast along southerly line of Gomez Grant 1692.17' for POB, continue northeast 1263.64', northwest parallel to westerly line Gomez Grant 1194.76' to South R/W S.R. 708, southwest along R/W 1279.92' south 1030.95' to POB.

## 2. Environmental/Ecological Description and Summary

### a. Soils

Waveland and Immokalee Fine Sands – 26.2 acres

Waveland and Lawnwood Fine Sands Depressional – 3.9 acres

### b. Wetland habitat(s)

2111 Herbaceous wetlands – 14.9 acres

Native plant species include St John's Wort, sundews, Eleocharis, wax myrtle and pines. Exotic species consist mainly of Downy Rose Myrtle and Melaleuca covering about 30% of the wetland areas. Seasonal ponding occurs in the wetlands with a sheet flow going from N/NW to SE from what we've observed during the site visits and the delineation with the State.

### c. Native Upland habitat(s)-

1311 Pine Flatwoods 15.37 acres

Dense saw palmetto understory, gallberry and fetterbush under a Slash Pine canopy.

Global and State Rank: G4/S4 (30% exotic vegetation consisting of Brazilian Pepper, Acacia, and Downy Rose Myrtle)

### d. Other Land Uses

3200 Manmade lake ~2.02 acres

A mix of exotic (40% Brazilian Pepper, OWCF, Acacia) and native vegetation (Cocoplum, Wax Myrtle) encompass the lake on site.

### e. Observed Listed/Protected Species

On June 10<sup>th</sup> 2021 and November 6, 2022, July 10, 2024 ARE conducted pedestrian transects across 100% of the property looking for local, state and federally listed or endangered species present on the site. This survey primarily focused on the presence of gopher tortoise burrows or recent activity. During the pedestrian transects of the property, no gopher tortoise activity

was observed on site. No other listed plant or animal species were observed on site during the site visit. See species survey map. Survey methodologies used during the site visit included recommended survey techniques from USFWS, and FWC. No federally protected or state listed species found on the IPAC, FNAI, or Audubon Society sites were found on this parcel during the multiple site visits. The species listed below are some, but not all of the above referenced species surveyed for during site visits.

**IPAC/FNAI Species for site:**

*Florida Bonneted Bat - No Viable Habitat*

*Florida Panther- Possible Habitat Use*

*Puma- Possible Habitat Use*

*Southeastern Beach Mouse- No Viable Habitat*

*West Indian Manatee- No viable habitat*

*Audubon's Crested Caracara- No Viable Habitat*

*Eastern Black Rail- No Viable Habitat*

*Florida Scrub-jay- No Viable Habitat*

*Red-cockaded Woodpecker- No Viable Habitat*

*Wood Stork- Possible Habitat Use, Never Observed on Site*

*American Alligator- Likely on site, never observed*

*American Crocodile- No Viable Habitat*

*Eastern Indigo Snake- Possible Habitat Use*

*Green Sea Turtle- No Viable Habitat*

*Hawksbill Sea Turtle- No Viable Habitat*

*Leatherback Sea Turtle- No Viable Habitat*

*Loggerhead Sea Turtle- No Viable Habitat*

*Florida Leafwing Butterfly- No Viable Habitat*

*Miami Blue Butterfly- No Viable Habitat*

*Beach Jacquemontia- No Viable Habitat*

*Four-petal Pawpaw- No Viable Habitat*

*Lakela's Mint- No Viable Habitat*

*Tiny Polygala- No Viable Habitat*

*Florida Perforate Cladonia- None Observed during site survey*

*Gopher Tortoise- None Observed during site survey*

*Possible site usage for wading birds post exotic removal in the wetlands on site, various species have yet to be observed on site..*

3. **Property and Habitat Site Data Table**

**a. Site Acreage, Total.**

32.27 acres

**b. Preserve Area Calculations.**

15.37 acres of pine flatwoods. 25% of 15.37 = 3.84 acres that must be preserved.

8.99 acres of wetland buffer in the form of pine flatwoods will be provided, meeting the preserve requirements.

0.36 acres of buffer and 0.16 acres of wetland will be impacted by this project under the

environmental waiver documents attached to this PAMP.

c. Wetland Preserve.

Total Wetland Area = 14.90 acres of herbaceous wetlands (2111).

14.74 acres of wetlands preserved.

0.16 acres of wetlands will be impacted by this project under the environmental waiver mentioned in Section 5.

0.16 acres of wetlands will be created and preserved to mitigate these impacts.

d. Wetland Buffer.

50' wetland buffer = 9.35 acres.

Buffer impact 0.36 acres.

e. Upland Preserve, Common.

N/A

f. Upland Preserve, Rare

N/A.

g. Total Preserve Acreage.

Description	Total area (acres)	Preserved (acres)
Wetlands	14.90	14.90 (after addition of wetland creation area)
Wetland buffer	9.35	8.99
Upland	15.37	8.99
Other (Non-Native) Lake	2.02	0.00
Total:	32.27	23.89

4. **Additional Activities allowed in Preserve Areas**

There are no additional activities allowed in the preserve areas other than those that would be provided for in the waiver documents attached to this PAMP.

5. **Authorized Impacts through Environmental Waivers (if applicable)**

A waiver will be required and will be applied for to procure access to the useable uplands along the back of the site (south side). The placement of the wetlands on the parcel creates upland "islands". In order to access the uplands, fill for an access roadway is necessary.

Without a wetland waiver, there is no reasonable use of the land for any use. There will be a wetland creation area (See Maps) that will be used to offset the impacts.



6. **Proposed Exotics Removal and Maintenance Plan**

Prior to CO request and final preserve inspection all exotic materials will be treated and removed if necessary. Maintenance of the preserve area shall be done in compliance with the, MAINTENANCE ACTIVITIES Section as found in Part II (L) of this PAMP. The preserve area will continue to be monitored to determine the extent of the restoration efforts needed. A restoration plan will be submitted under separate cover.

7. **Concluding Statement/Summary**

The property is a total of 32.27 acres. The intent of this PAMP is to establish a preserve on site that will include 14.90 acres of wetland and 8.99 acres of wetland buffer and includes the creation of the 0.16-acre wetland expansion area to offset the proposed driveway impacts. These areas will be managed in their natural state as required by this PAMP. A restoration plan is attached to this PAMP detailing the earthwork and replanting requirements.

**ARE, Inc.**



**Drew Gatewood, MS, PWS Project Manager/ Sr. Biologist**

# **PART II**

## **CONDITIONS**

### **A. PURPOSE**

This Preserve Area Management Plan (PAMP) has been established for the protection and long-term management and maintenance of native upland and wetland habitats on this property, in accordance with Martin County's Comprehensive Growth Management Plan and Land Development Regulations.

### **B. RECORDING**

This PAMP shall be recorded by the Martin County Clerk of Courts and labeled with the appropriate O.R. Book and Page Number within 30 days of final approval. This PAMP may be altered or amended only with the agreement of the Martin County Environmental Planning Administrator and the owner/developer and with the approval of the Martin County Board of County Commissioners. If the PAMP is altered or amended, the revised document shall be recorded by the Martin County Clerk of Courts within 30 days of final approval.

### **C. TRANSFER OF OWNERSHIP**

The Martin County Environmental Planning Administrator shall be notified in writing within thirty (30) days of transfer of ownership of any lands preserved by this PAMP. Failure to notify will be considered as non-compliance with the terms of this PAMP.

### **D. COMPLIANCE**

The owner(s) of the lands to be preserved/maintained by this Preserve Area Management Plan and the developer(s) of the property described in this PAMP, their successors and assigns, and their environmental consultants and contractors shall implement and comply with all portions of this PAMP.

### **E. INSPECTION OF PRESERVE AREA**

Compliance with the terms of this PAMP includes inspections by county staff to ensure PAMP compliance. For any required restoration, the preserve area will be inspected after replanting to verify compliance with the Restoration Plan included as part of this PAMP.

The Preserve Area may be subject to further inspections to ensure environmental integrity and consistency with the provisions of the PAMP.

### **F. PRESERVE AREA SIGNAGE REQUIREMENTS**

All Preserve Areas shall be surveyed and marked with permanent monuments at each corner and at other sites necessary for locating the boundary of the Preserve Area. These permanent monuments shall be constructed under the supervision of a Registered Land Surveyor and shall be shown on the Site Plan. The surveyed locations of Preserve Areas shall be provided to the Martin County Environmental Planning Administrator in a form compatible for use in the County's GIS mapping system.

## **G. PRESERVE AREA SIGNAGE REQUIREMENTS**

Preserve Area Signs. Preserve areas shall be posted with permanent signs. These signs shall be at least 11 x 14 inches in size, be posted in conspicuous locations precisely along the Preserve Area boundary, at a frequency of no less than one (1) sign per 500 feet. Designs for preserve signs shall be approved by the Martin County Environmental Planning Administrator prior to installation and must be in place prior to the issuance of a building permit for construction on the site.

## **H. SITE PLAN**

The Site Plan included as an appendix to this PAMP illustrates all preserve areas, right-of-ways and easements and the locations of permanent preserve area signs. Any proposed structures and fill/grade elevations with distances to on and off-site upland preserves, wetlands and wetland buffers shall be shown, as applicable. Site Plan shall be submitted in form of PDF drawing and a corresponding shape file with site coordinates projected in the State Plane Coordinate System.

The following areas and summaries shall be included in the Site Plan (as applicable):

1. Boundaries, dimensions, and acreage of wetland habitats under preservation
2. Boundaries, dimensions, and acreage of wetland buffers to wetlands on and off-site
3. Boundaries, dimensions, and acreage of on-site wetland mitigation areas
4. Boundaries, dimensions, and acreage of common upland habitats under preservation
5. Boundaries, dimensions, and acreage of rare upland habitats under preservation
6. Boundaries, dimensions, and acreage of existing impacts
7. Boundaries, dimensions, and acreage of proposed impact(s) through environmental waiver(s)
8. Total acreage under preservation
9. Total acreage of the site

The following notation shall be provided on the Site Plan: **"PRESERVE AREAS ARE NOT TO BE ALTERED WITHOUT WRITTEN PERMISSION OF THE MARTIN COUNTY BOARD OF COUNTY COMMISSIONERS."**

## **I. SITE CLEARING**

Where clearing of vegetation may be permitted (i.e., building envelope, utilities, drainage, road right of-way, etc.), the developer shall ensure that all Preserve Areas are protected with construction barricades and erosion control devices in accordance with the following guidelines.

Construction barricades shall be placed at least 5 feet outside of all upland Preserve Areas, or at the dripline of the canopy trees, whichever is greater. Barricades shall be inspected by County Environmental Division staff prior to work approval. Barricades shall consist of high-visibility orange safety fence extending from the ground to a height of at least 4 feet and shall not be attached to vegetation. Removal of the barricades shall be approved only after the completion of construction and prior to the issuance of a Certificate of Occupancy.

Preserve areas shall be protected from possible surface water and sediment runoff by the placement of erosion control devices (e.g., silt screens, hay bales or other turbidity control measures) at least 5 feet outside the perimeter of the wetland buffer.

All barricades, silt screens and other erosion control devices shall be upright and maintained intact for the duration of construction.

The owner/developer is required to inform all contractors of site clearing requirements. Failure to comply with these requirements shall be considered a violation of the Site Plan approval. Work on the project may be stopped until compliance is achieved.

#### **J. ACTIVITIES ALLOWED IN PRESERVE AREAS**

Property owners are encouraged to enjoy the natural beauty of their Preserve Areas. Although development of Preserve Areas is not allowed, passive recreational uses, such as bird-watching and other non-destructive uses of natural areas are encouraged, as long as they do not negatively affect the hydrology, soils, or vegetative cover of a Preserve Area. See Part I (4), Activities Allowed in Preserve Areas, for additional prescribed allowances in preservation areas.

#### **K. ACTIVITIES PROHIBITED IN PRESERVE AREAS**

Activities prohibited in Preserve Areas or easements within Preserve Areas include, but are not limited to: construction; dumping or placing building materials, soil, garbage, trash, or dead vegetation on or above the ground; removal or destruction of native trees, shrubs or other native vegetation; excavation or dredging of soil; diking or fencing; vehicular traffic including use by nonmotorized vehicles, recreational vehicles and off-road vehicles; permanent irrigation; trimming, pruning, or fertilization; and any other activities detrimental to drainage, flood control, water conservation, erosion control or fish and wildlife conservation and preservation.

No hazardous material other than fuel for refueling on-site equipment may be stored during construction. On-site fuel tanks may not be located within twenty-five (25) feet of any Preserve Areas and shall be removed upon completion of construction work.

Buildings proposed to be located adjacent to Preserve Areas shall be set back a minimum of ten (10) feet to allow for construction and maintenance without encroaching into the Preserve Area. All other accessory structures (e.g., pools, sheds, decks, etc.) and excavations and fill material shall be set back a minimum of five (5) feet from the Preserve Area boundary.

#### **L. MAINTENANCE ACTIVITIES**

Except for approved restoration, exotic removal, and maintenance activities, Preserve Areas shall be left undisturbed. All maintenance of Preserve Areas shall be in accordance with this PAMP. Maintenance and management activities shall be routinely performed by or under the supervision of a qualified environmental professional and must be conducted in accordance with this PAMP or as approved by the Martin County Environmental Planning Administrator. A description of all proposed restoration and maintenance activities to be conducted on the site shall be included in the Restoration/Mitigation Plan prepared as part of this PAMP. The following maintenance activities may be allowed within Preserve Areas with prior written approval from

the Environmental Planning Administrator: mechanical exotic plant removal; revegetation with native plants and other activities required for habitat restoration; removal of plant material that is dead or diseased, or considered to be a safety hazard; and prescribed burns.

### **Exotic Plant Removal**

Exotic vegetation shall be removed from Preserve Areas by the least ecologically damaging method available. Such methods include hand pulling, hand spading, cutting with hand or chain saws and in-situ treatment with appropriate herbicides. Mechanical removal shall be allowed only if specifically approved as part of a Restoration/Mitigation Plan. No debris, including dead plants, plant clippings or wood scraps, shall be allowed in Preserve Areas, unless specified in the Restoration/Mitigation Plan. In addition, all dead plant material and exotic plant debris removed from Preserve Areas shall be disposed of in a County-approved recycling facility.

### **Revegetation**

Any revegetation which might be necessary as a result of exotic vegetation removal or site construction activities shall consist of native plant species representative of the existing native plant community. This will ensure that the Preserve Areas maintain indigenous plant associations. Revegetation plans is included in the Restoration/Mitigation Plan prepared as part of this PAMP.

### **Native Vegetation Removal**

Dead trees generally shall be retained in preserve areas as a natural function of habitat succession. Diseased and dead trees and vegetation considered to be a safety hazard may be altered or removed upon approval by the Martin County Environmental Planning Administrator. Other dead or diseased plant material may be removed from Preserve Areas upon approval by the Martin County Environmental Planning Administrator. Plant removal shall be conducted so that no debris, including dead plants, plant clippings or wood scraps, shall be retained in Preserve Areas. All dead plant material and debris removed from Preserve Areas shall be disposed of in a County-approved recycling facility. Revegetation may be required for any removed plant material.

### **Planting Plan**

The preserve area shall be replanted in accordance with the standards established with a planting plan included with this PAMP. Planting plans may be provided to the Martin County Environmental Planning Administrator for approval to address any current or future required habitat management requirements.

### **Prescribed Burns**

Martin County considers prescribed burns an acceptable habitat management tool. When approved by the Martin County Environmental Planning Administrator, prescribed burns may be conducted by a certified burn manager who shall be responsible for obtaining all appropriate permits from State and local agencies.

#### **M. SITE HYDROLOGY**

Previous or potential drainage impacts shall be corrected to the extent technically feasible. Water quality and the rate, timing, and volume of run-off shall recreate natural conditions for the benefit of onsite wetlands and other waterbodies.

#### **N. PROTECTED SPECIES**

If a protected species survey conducted as part of the Environmental Assessment of the project site indicates the presence of protected plant or animal species, the Environmental Assessment shall include a Protected Species Management Plan. This Plan shall include the results of the protected species survey; a listing and description of protected species occurring on, or utilizing, the site; documentation of the protection status of each species; a map of active and inactive burrows, nests, cavity trees, etc. found as part of the survey; a description of the protective measures being provided for each listed species found on the site; and copies of all correspondence with applicable state and federal agencies regarding the protection of listed species.

#### **O. INSPECTIONS AND ENFORCEMENT**

Martin County is authorized to inspect any County regulated site or appurtenance. Duly authorized representatives of Martin County may, at any time, upon presenting proper identification, enter upon and shall be given access to any premises for the purpose of such inspection. Martin County shall have the right to enforce the provisions of this PAMP through any available administrative or civil proceeding, which may result in penalties. Restoration of habitat and other remedies, such as fines and fees covering staff time, may be required of any person, corporation or other entity found in violation of any of the provisions of this PAMP or as may be found in the Martin County Code of Ordinances and Land Development Regulations.





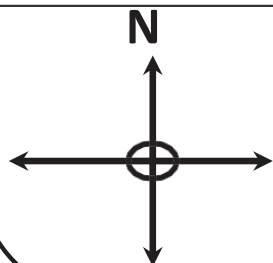




7/10/2024

Species Survey Map

Map Source: Martin County

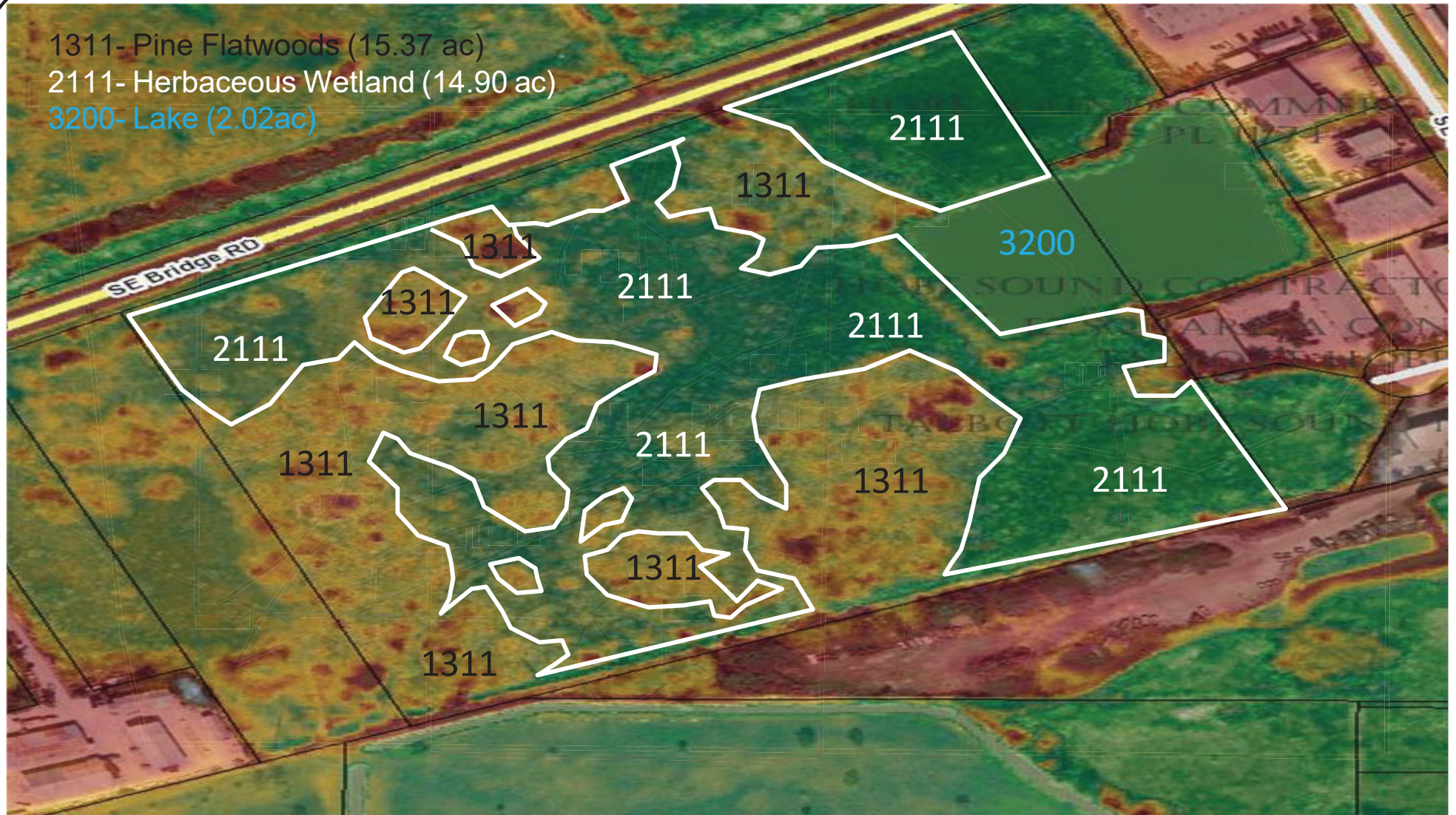


**7550 SE Bridge Road**  
**Hobe Sound, FL**





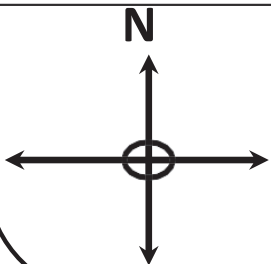
1311- Pine Flatwoods (15.37 ac)  
2111- Herbaceous Wetland (14.90 ac)  
3200- Lake (2.02ac)



7/10/2024

FLUCCS Map

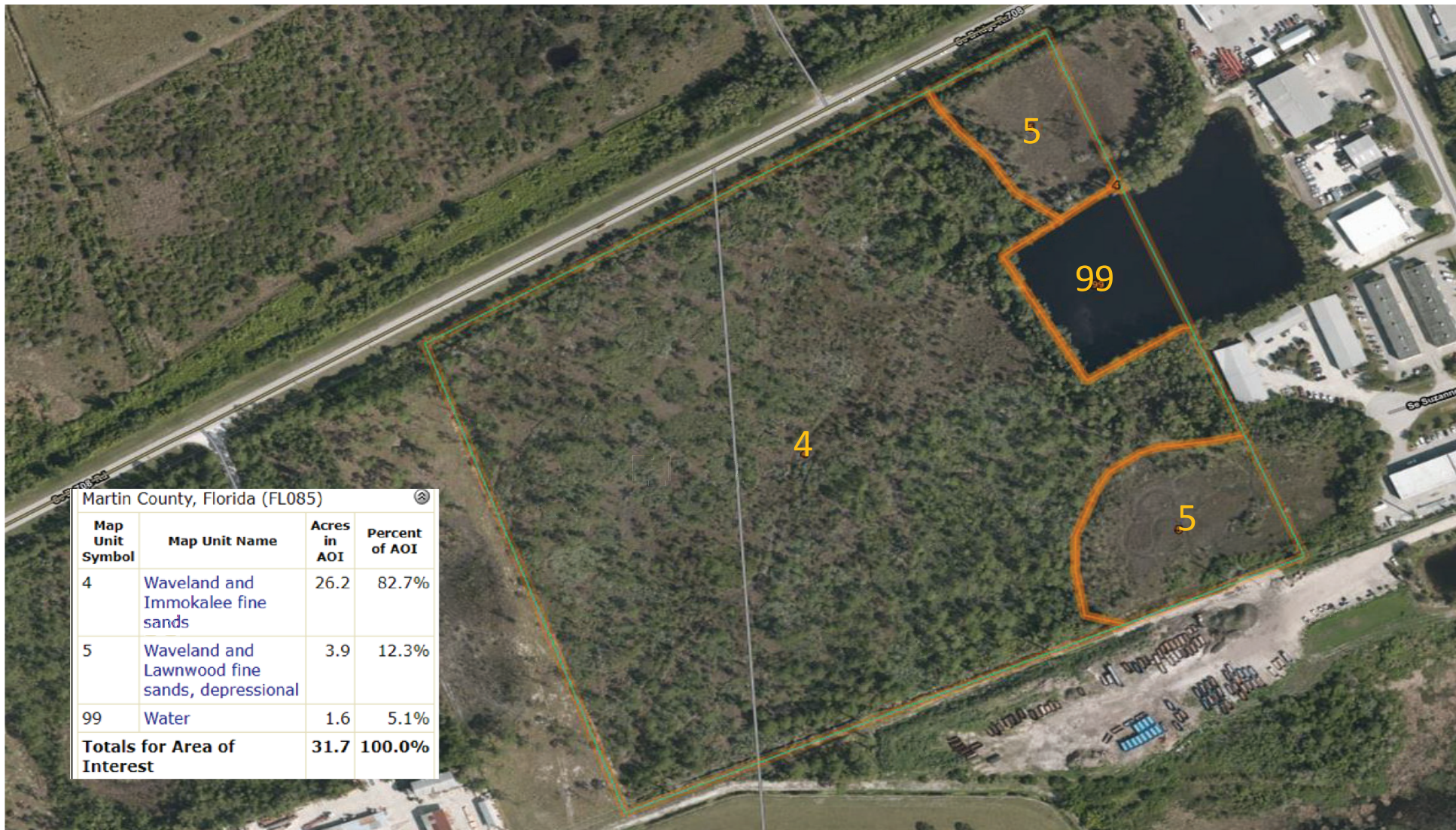
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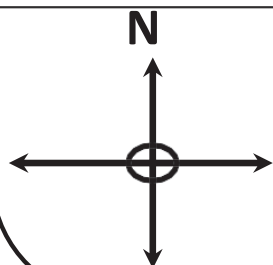




7/10/2024

Soil Map

Map Source: Web Soil



**7550 SE Bridge Road**  
**Hobe Sound, FL**



**7550 SE Bridge Rd**  
**Hobe Sound, FL**  
Restoration Plan

Prepared for:  
**Bridge Road Car**  
**Club Project**



**Advanced Restoration Ecology**

## **Introduction**

The Car Club restoration plan will enhance the wetlands and associated wetland buffer on site. This plan will also include maintenance and monitoring. The project is located at 7550 SE Bridge Rd., Hobe Sound, FL.

## **Restoration Area**

The restoration activity proposed includes enhancing the preserve via exotic removal and creating a 0.16 acres wetland expansion to offset driveway impacts. Exotic removal maintenance will be performed on a quarterly (every 90 days) basis. The total preserve area on site includes 14.9 acres of wetlands and 8.99 acres of upland buffer. The wetland buffer impacts proposed for this project will be offset through the preservation of pine flatwoods on site in excess of the required 25% minimum. The wetland impact's functional loss will be offset by creating the wetland expansion area that allows connection between the NE wetland and the remaining wetlands on site increasing the sites overall hydrology.

Mitigation Table

	Acres	Functional Gain/Loss
Direct Wetland Impacts -	.16	-.14
Secondary Impacts -	.36	-.064
Wetland Creation/Mitigation -	.16	+.1546
Secondary Expansion	.05	+.077
Total Functional Gain -		+0.0276

## **Restoration Planting**

The restoration areas will be kept free of exotic vegetation. Planting efforts will reflect native species found on the approved landscape plans, any variation due to lack of availability will be approved prior to planting. The vegetative success criteria for the restoration areas include the goal for 80 percent coverage of desirable vegetation in the designated planting areas and within twelve (12) months, aerial coverage of exotic vegetation at zero percent, and nuisance vegetation limited to 5 percent or less within the restoration areas. Replanting of the area will be evaluated after one year (12 months). The quantities listed below are for the approximate restoration planting area. The actual planting quantities may vary depending on the size and nature of the area to be planted. Final planting quantities will be submitted to the District and County, please note species selection will be based on availability.

The proposed planting is as follows if needed on a **.50-acre** basis:

**Restoration Planting List**

<b>Common Name</b>	<b>Size</b>	<b>Spacing</b>	<b>Quantity</b>
Bald Cypress (11.80-12.00 NAVD)	3 gal	10' o.c.	50
Dahoon Holly (11.80-12.26 NAVD)	3gal	10' o.c.	50
Button Bush (11.56-11.80 NAVD)	3gal	5' o.c.	200
Sawgrass (11.56-11.80 NAVD)	1gal	3' o.c.	575
Sand Cordgrass (12.00-12.56 NAVD)	1gal	3' o.c.	575

Additionally, there will be a 0.16 acres wetland creation area (See Maps) that will be used to offset the impacts through the wetlands for the project's driveway access to uplands. This area will be scraped down to the existing grade of the wetland to the NE and will be planted and monitored.

**0.16ac Wetland Creation Area Planting List**

<b>Common Name</b>	<b>Size</b>	<b>Spacing</b>	<b>Quantity</b>
Bald Cypress (11.80-12.00 NAVD)	3 gal	10' o.c.	16
Dahoon Holly (11.80-12.26 NAVD)	3gal	10' o.c.	16
Button Bush (11.56-11.80 NAVD)	3gal	5' o.c.	65
Sawgrass (11.56-11.80 NAVD)	1gal	3' o.c.	185
Sand Cordgrass (12.00-12.56 NAVD)	1gal	3' o.c.	185



## **Success Criteria**

The vegetative success criteria for the restoration areas include the goal for 80 percent coverage of desirable vegetation within twelve (12) months, and aerial coverage of exotic vegetation at zero percent, and nuisance vegetation limited to 5 percent or less within the restoration areas only.

If, after twelve (12) months the parcel has not achieved desired coverage requirements, supplemental plantings will be completed. Supplemental plantings, (if any) will be noted in the monitoring report.

## **Maintenance**

In order to ensure continued viability of the resources, maintenance activities in the form of exotic and nuisance plant species removal and monitoring in order to measure success criteria shall occur in the restoration areas only.

Initial removal and maintenance of exotic/nuisance plant and animal species is a critical component of the restoration activities within the restoration area. Exotic/nuisance plant species will be controlled by physical and chemical means in addition to various land management practices. Maintenance activities will be perpetual.

## **Restoration Monitoring**

The restoration monitoring plan includes photo stations and data collection stations established in the preserve on site. A staff gauge will also be placed on site. At the stations vegetative data will be collected as outlined below.

Vegetative coverage will be documented at each of the data collection stations in the Monitoring Plan. The vegetative coverage will be measured as absolute coverage at each station. The vegetation will be measured in percent coverage of the restoration areas vegetation. The total percent cover will not exceed 100 percent, and each species documented will be reported in both common and Latin names. The coverage will be measured by visual observation in each of four quadrants from the fixed monitoring point. Observations will extend approximately twenty five (25) feet from the observer in each direction. The data from each quadrant observation will be combined to calculate the vegetative coverage. Station locations will be permanently marked with PVC pipe to ensure consistency in data collection. At least one (1) photo will be collected from compass points at each of the established photo stations to provide documentation of vegetative coverage.

In addition to vegetative coverage documentation, any observed wildlife utilization, or indicators of wildlife (i.e. tracks, scat, etc.) will be noted.

The monitoring will be conducted on an annual basis based on the schedule below. The data will be collected into one report that will be provided on an annual basis for five (5) years so

that maintenance activity can be closely tracked. The reports provided will include a discussion and conclusion regarding progress towards the achievement of the success criteria as per the permit. If restoration goals are not met extended monitoring may be needed.

### **Monitoring/Maintenance Work Schedule**

The schedule for conducting the proposed monitoring and maintenance is based on the date of notice to proceed from the appropriate agencies. The following schedule is proposed, with specific dates based upon receipt of notice to proceed.

Activity	Months after Notice to Proceed
Complete initial enhancement of proposed restoration area	1 month
Inspection of proposed restoration area	1 month
Conduct Time Zero Monitoring	1 month
Conduct exotic removal within restoration area	On-going maintenance
First Annual Monitoring Report and Coverage Evaluation	12 months
Second Annual Monitoring Report and Coverage Evaluation	24 months
Third Annual Monitoring Report and Coverage Evaluation	36 months
Fourth Annual Monitoring Report and Coverage Evaluation	48 months
Fifth Annual Monitoring Report and Coverage Evaluation	60 months

### **Project Costs:**

Plant Materials/Installation \$4950.00

Earth Moving \$3000.00

Maintenance and Monitoring (2 years) \$6000.00

Total: \$13950.00 x 1.10 =\$15345.00





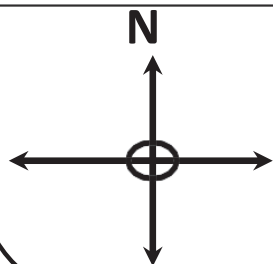




7/10/2025

Species Survey Map

Map Source: Martin County

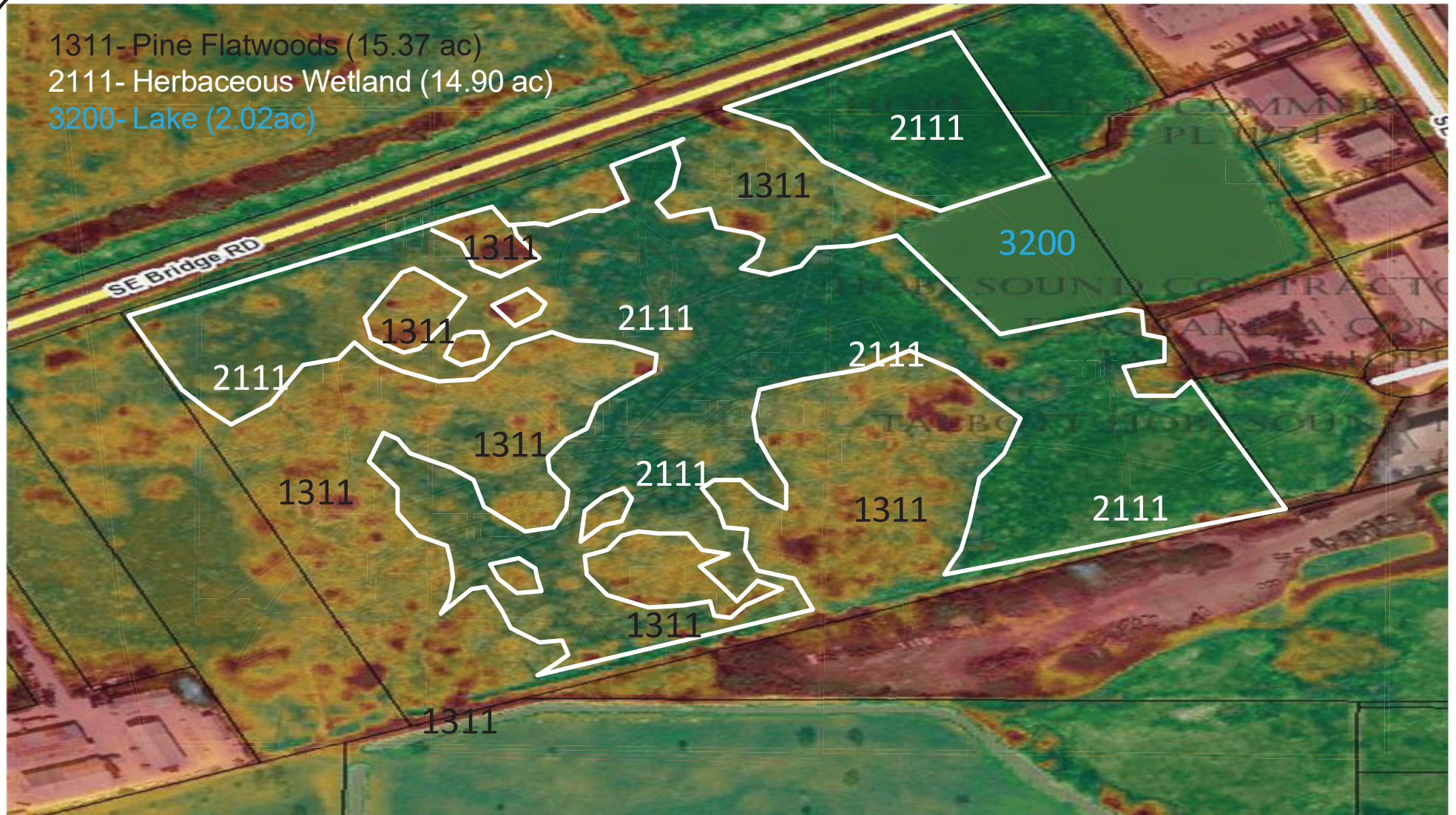


**7550 SE Bridge Road**  
**Hobe Sound, FL**





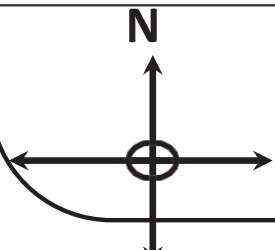
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7/10/2025

FLUCCS Map

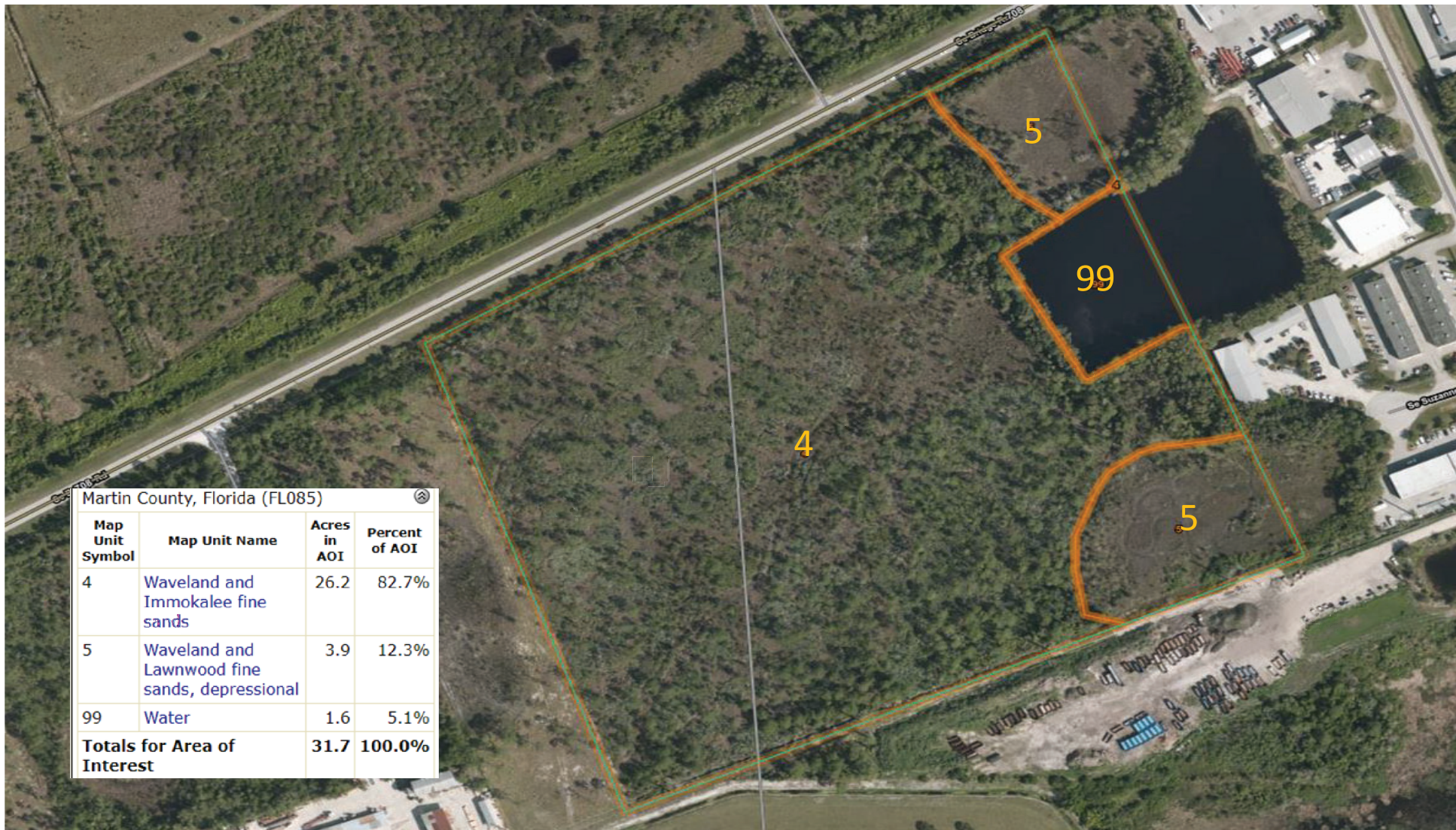
Map Source: Martin County



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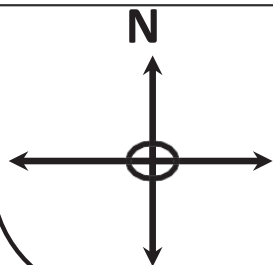




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Soil Map

Map Source: Web Soil

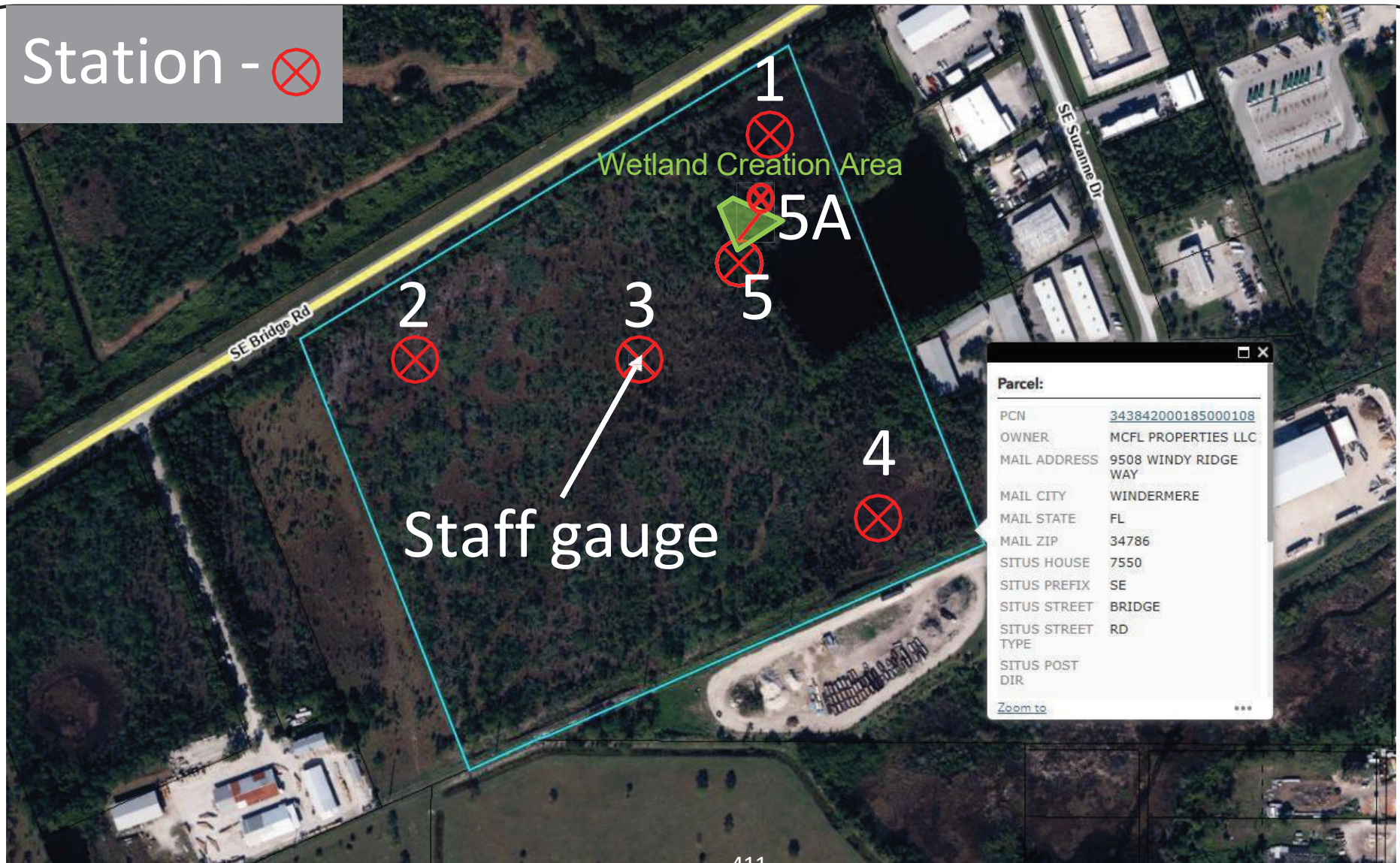


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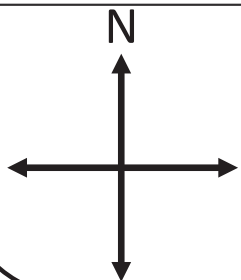
Station - 



7/24/2025

Monitoring Stations

Map Source: Martin County

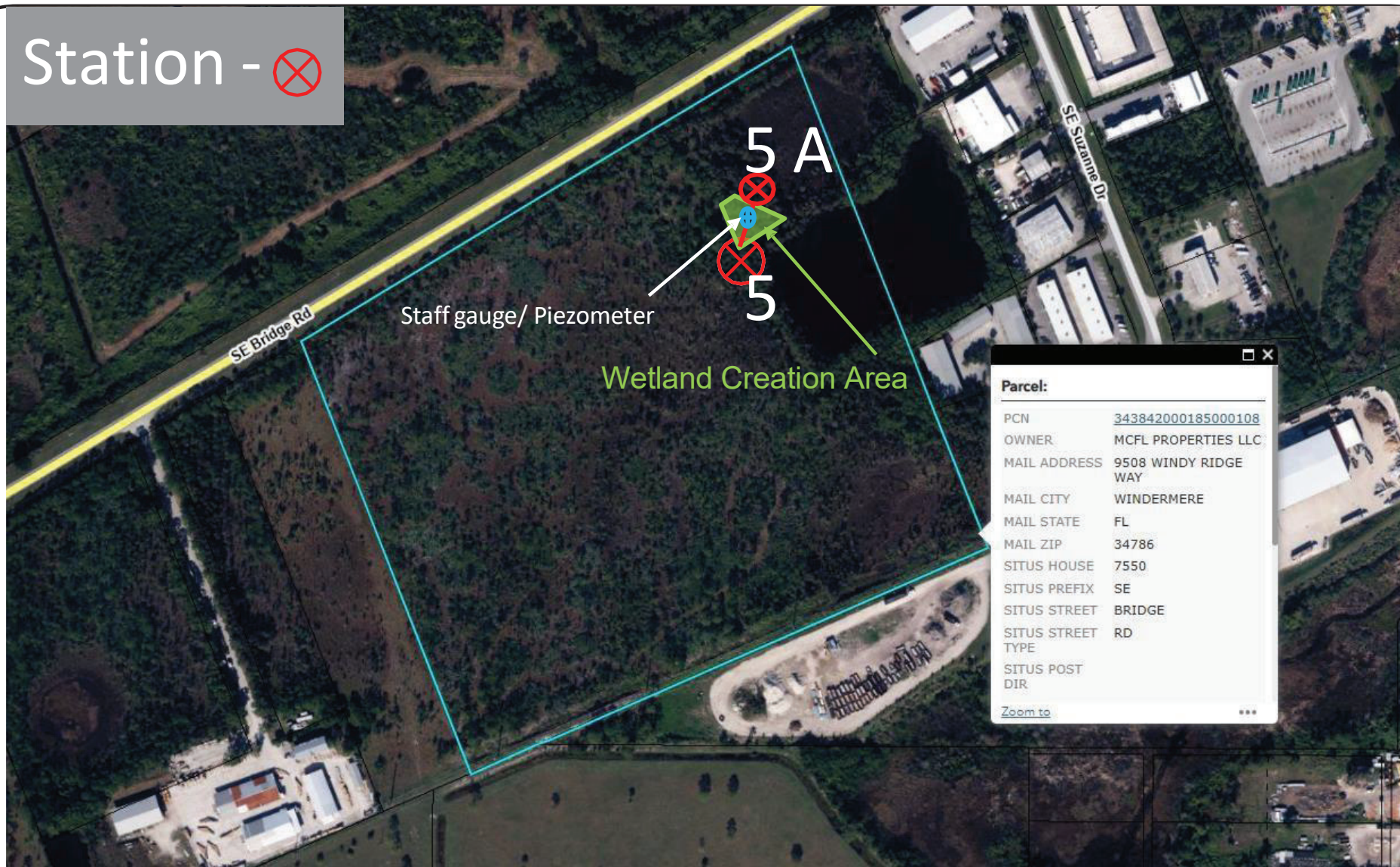


7550 SE Bridge Rd  
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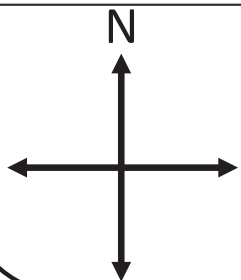
Station - 



7/24/2025

Monitoring Stations (Creation Area)

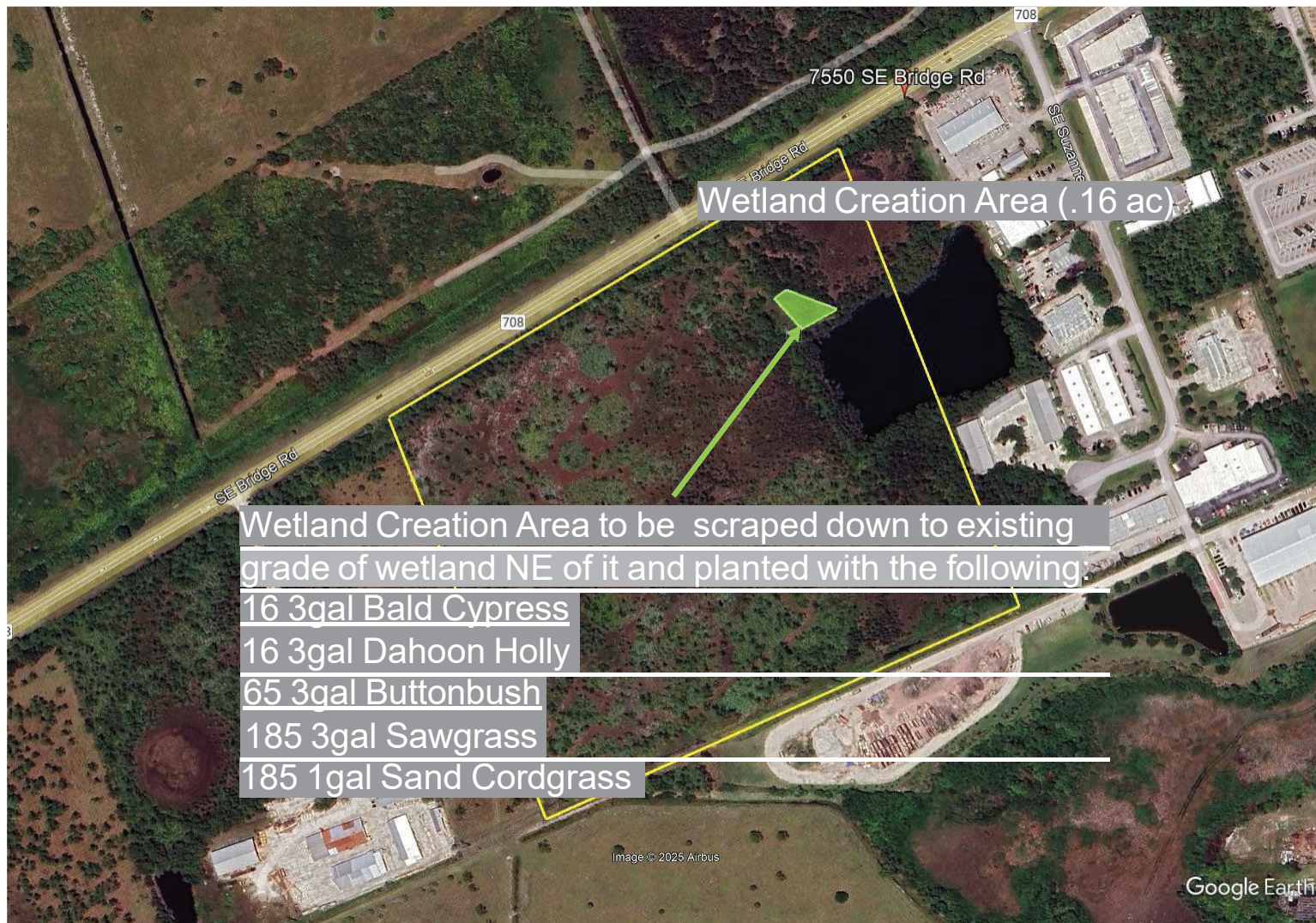
Map Source: Martin County



**7550 SE Bridge Rd  
Hobe Sound, FL**



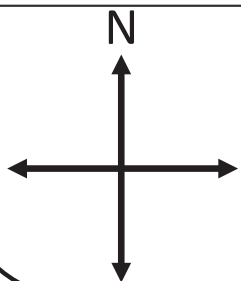




9/22/2025

Mitigation Area

Map Source: Google Earth



**7550 SE Bridge Rd**  
**Hobe Sound, FL**





Sand Cordgrass

12.56-12.00 NAVD

Dahoon Holly

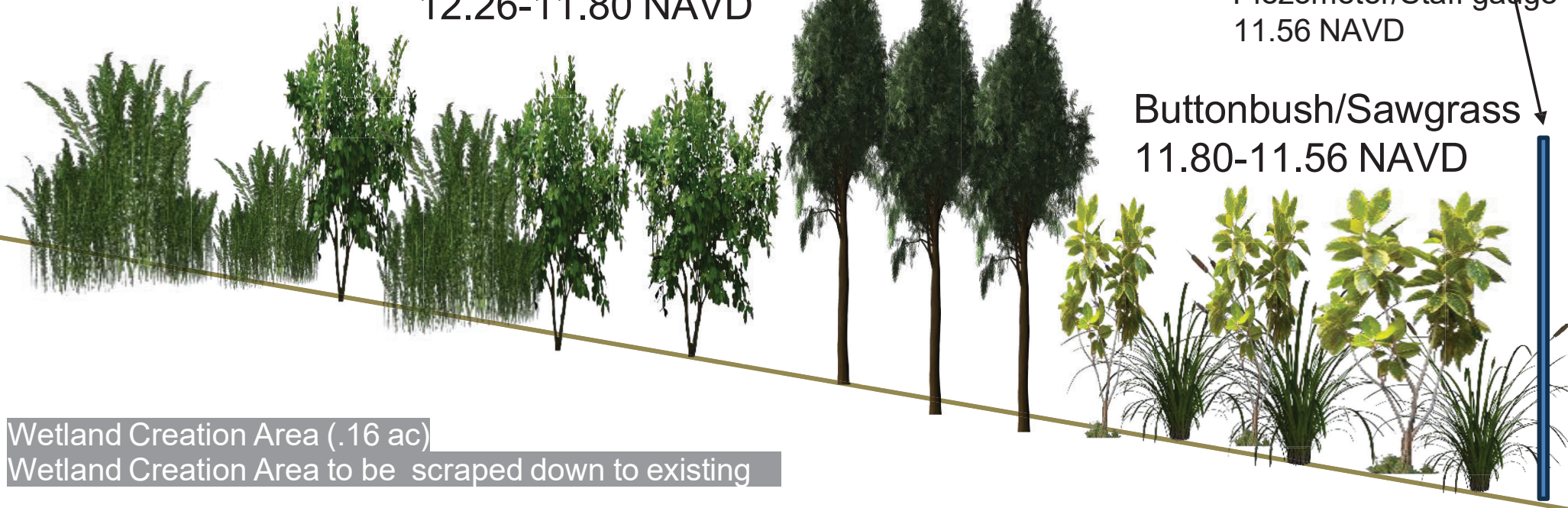
12.26-11.80 NAVD

Bald Cypress

12.00-11.80 NAVD

Piezometer/Staff gauge  
11.56 NAVD

Buttonbush/Sawgrass  
11.80-11.56 NAVD



Wetland Creation Area (.16 ac)

Wetland Creation Area to be scraped down to existing

16 3gal Bald Cypress

16 3gal Dahoon Holly

65 3gal Buttonbush

185 3gal Sawgrass

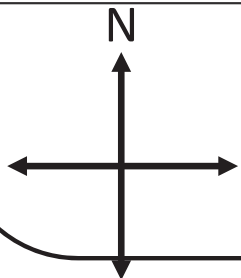
185 1gal Sand Cordgrass

12.56 NAVD Scraped to 11.56 NAVD  
11.56 NAVD (Depth to muck)

9/22/2025

Mitigation Area

Map Source: Google Earth



7550 SE Bridge Rd  
Hobe Sound, FL



# **Environmental Waiver for the Bridge Road Car Club**

## **DOCUMENTATION IN SUPPORT OF THE ENVIRONMENTAL WAIVER AND EXCEPTION APPLICATION**

**Prepared for:  
Bridge Road Car Club**

**Prepared by:**



Advanced Restoration Ecology

**January 2026**



## **1.0 PROJECT DESCRIPTION -**

### **1.1 Introduction and Project Description -**

The Bridge Road Car Club project consists of 32.27± acres, and is located in unincorporated Martin County, Florida. The subject property is located on the south side of Bridge Road, east of SE Powerline Avenue and west of SE Suzanne Drive in Hobe Sound, Martin County, Florida. The subject property is further located within Section 34, Township 38 South, and Range 42 East. The subject property parcel ID is 34-38-42-000-185-00010-8. Please see the attached location map

The purpose of the waiver is for wetland impacts related to the construction of a 36-unit garage storage facility for cars and an associated access roadway. The wetland waiver is being requested due to the inability to access the site without impacting wetlands. The road placement has been sited to reduce impacts to wetlands to the maximum extent possible. Impacts to wetlands are 0.16 acres or 7,080 sq. ft.

In order to access a buildable area of uplands, wetlands must be impacted. The wetlands are scattered throughout the site creating upland “islands”. Placement of the access roadway was micro-sited (using the upland “islands”) to avoid impacts to wetlands. A total of 0.16 acres of wetlands will need to be filled to create access (roadway) to the buildable upland area. All efforts have been made to minimize impacts to the onsite wetlands. Further reduction of impacts would create a hardship to the property owner by the complete loss of the use of their property. It is impossible to utilize the uplands without impacting the wetlands.

Therefore, the Access to Uplands provision in Martin County’s Land Development Regulations (Section 4.3.B.2., LDR), is being utilized as part of the associated Environmental Waiver application.

Discussions regarding the location and alternatives to the proposed impacts are detailed in subsequent sections of this report and alternative site plan layout provided.

### **1.2 General Environmental Conditions -**

The project site consists of undeveloped pine flatwoods, herbaceous wetlands and manmade lake (excavation/borrow pit). The property is surrounded by vacant parcels and industrial parcels to the east, south and west. The proposed preserves on-site, contain moderate stands of exotic vegetation throughout, mainly along the ecotonal edges. Such areas will be undergoing exotic vegetation eradication via use of a skid-steer mulcher and hand-treatment (in-situ).

The pine flatwoods within the proposed preserve areas are generally good ecological condition. However, as with the ecotonal areas of the flatwoods/wet prairies on-site, the ecological value of this habitat has been diminished by the presence of exotics such as downy rose myrtle, earleaf acacia and Brazilian pepper. These species will be eradicated from the designated upland preserves on-site in accordance with the approved PAMP for the project.

The landward extents of all wetlands on the site have been verified by the South Florida Water Management District in association with the Environmental Resource Permit. Such documentation is included in the Environmental Assessment (EA) provided in the Preserve Area Management Plan (PAMP).

### **1.3 Proposed Wetland Impact (Driveway/Access Road) -**

In order to provide access to the buildable upland area located on the site, a permanent, paved driveway is necessary. As stated above, the placement of the wetlands on the parcel creates upland “islands”. In order to access the uplands, fill (0.16 acres) for an access roadway is necessary. Without a wetland waiver, there is no reasonable use of the land for any use.

In addition, the access road has been designed to meet the National Fire Prevention Association (NFPA) code specifications, which include, but are not limited to:

- Access roads need to allow adequate access to the building and room to setup and perform manual suppression operations.
- Fire department access roads require 20 feet of unobstructed width, 13.5 feet of unobstructed vertical clearance and an appropriate radius for turns in the roads and dead-ends for the vehicles apparatus to turn around.
- The minimum 20-foot width allows for two-way vehicular traffic and for one fire apparatus vehicle to pass while another is working at a fire hydrant or conducting aerial operations while the 13.5-foot vertical clearance ensures that fire apparatus can safely pass under power lines, bridges, and other obstructions.
- Bridges need to be designed to be able to support a load sufficient enough to carry a fully loaded fire apparatus and the vehicle load limits need to be provided at both entrances to the bridge. The grade of the road also must not exceed 1 foot of elevation change every 20 feet or whatever the design limits of the local fire apparatus dictate.

Such NFPA codes that are relevant to the emergency access road for this project can be found in:

- 18.2.3.5 Specifications and 18.2.3.5.1 Dimensions (widths min. 20 feet, surfaces, and height clearances)
- 18.2.3.2 Access to Buildings (building access minimum distances)
- 18.2.3.5.5 Bridges (load design for the access)
- 18.2.3.5.6 Grade

(Roadway specifications described above provided by the consulting engineer.)

As a result of implementing the above roadway design specifications for the Preferred Alignment, the emergency access roadway will directly impact 0.16 acres of W-U (fill), and result in 0.064 acres of secondary wetland impact.

#### **1.4 Proposed Wetland Buffer Impacts -**

The proposed roadway will impact 0.16 acres of wetland with 0.064 acres of secondary impact.

#### **2.0 RODAWAY ACCESS ALIGNMENT ALTERNATIVES -**

The site plan shows the preferred alignment for the proposed driveway/access road. This location has been reviewed and “microsited” to minimize impacts to wetlands to the maximum extent possible. In particular, an alternative access road was examined on the east side of the proposed alignment which would have impacted more wetland area and equal amount of upland preserve area. This alignment would have gone through higher-quality wetland area and also severed the wildlife connectivity on site.

Each alignment alternative is described in more detail below, and shown in the attachments provided.

##### **2.1 The “Do-Nothing” Alternative –**

This alternative is typically the initial examination of determining the project need. Doing nothing, as it sounds, would involve not building the driveway/access road, thereby eliminating the proposed impacts described above. In this scenario, the property is not deemed buildable as there would not be access to the upland area.

##### **2.2 Alternative 1 –**

This alternative is located at the northeastern property line adjacent to Bridge Road. Alternative 1 is inefficient from a public safety standpoint as it brings emergency personnel and daily traffic entering and leaving the site too close to Suzanne Drive. Turn lanes would be too short and would not comply with County code. In addition, Alternative 1 results in the greatest wetland impact due to the width of the road needed. In addition, road placement in this scenario negatively impacts the wildlife corridor/ hydrological flow pattern on the site. Please see the Alternative 1 attachment.

##### **2.3 Alternative 2 –**

This alternative is the route discussed in Section 2.0 above. This route was the initial route selected by the project’s design team as it represented the shortest distance through W-U. Typically, the shortest span, or the “least damaging alternative,” is selected as a result of the alternatives analysis. In this case, and based upon fieldwork conducted by the project’s environmental consultant, the preferred alignment was shifted to target the upland “islands” in the central part of the northern wetland. This scenario results in less wetland impact and provides better ecological connectivity for both flow patterns and wildlife access. In addition, the driveway placement for this alternative allows for a safe ingress/egress from the site and is the best alternative for public safety. Please see the Alternative 2 attachment.

### **3.0 PROPOSED MITIGATION FOR WETLAND IMPACTS –**

The property owner is proposing to preserve 14.74 acres of wetland and 8.99 acres of wetland buffer area (totaling 23.89 acres) and create 0.16 acres of wetlands, to compensate for the 0.16 acre of wetland impact and 0.064 acres of secondary impact. A Conservation Easement will be placed over the preserved wetland areas.

In addition, the property owner will remove exotic vegetation from the preserve areas. Restoration of the preserve areas will be performed if deemed necessary.

The proposed project shares a drainage basin with the Loxa-Lucie Headwaters Initiative Project. The removal of exotics from the preserve areas will help to improve the overall health of the shared drainage basin. Exotic removal from the preserve areas and maintenance of these areas will be at no cost to the Loxa-Lucie Headwaters Initiative.

The intent of the Land Development Code is to provide protection over wetlands and their buffers. If granted, the variance would allow for minimal encroachment in the wetland and buffer area to provide the owner with access to suitable upland.

Martin County's requirement for replacing both the "spatial" and "functional" loss of wetlands on-site has been satisfied by the mitigation proposal discussed above. The spatial replacement of the direct wetland impact of 0.16 acres will be adequately offset by the conversion of 0.16 acres of non-native upland habitat on-site to expand the NE wetland, and provide a hydrological connection the remainder of the wetlands on site. This area currently is cut off from the other wetland by the dirt road that was put in place years ago. The selection of this particular area for the wetland creation provides a viable hydrological connection as well as an access corridor for wildlife.

Please see the Wetland Mitigation WRAP Sheets for mitigation scoring as agreed upon by District Staff.

A total of 0.16 acres of wetland habitat will be impacted (filled) by the driveway/access road. The property owner is proposing to preserve 14.74 acres of wetland and 8.99 acres of wetland buffer area (totaling 23.89 acres) and create 0.16 acres of wetlands, to compensate for the 0.16 acre of wetland impact. A Conservation Easement will be placed over the preserved wetland areas. Therefore, the 0.16 acres of wetland impact will be satisfactorily offset.

### **4.0 MONITORING OF THE WETLAND PRESERVE AREA -**

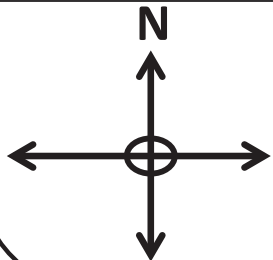
The vegetative success criteria for the wetland mitigation areas will be consistent with the standards set forth in the Preserve Area Management Plan (PAMP) for this project. In addition, the restoration plan shows the specific transect and photo/data collection stations for these areas. The Time-Zero Monitoring Report will document the planting activities, while the annual reports will document the success and/or remediation needs of the mitigation areas based on the vegetative success criteria in the PAMP.





1/9/2026

## Property Location



**Bridge Road Car Club**  
**34-38-42-000-185-00010-8**  
**Hobe Sound, FL**



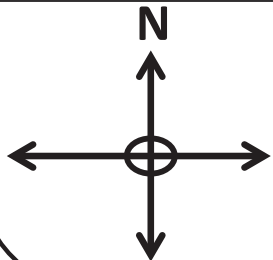
Advanced Restoration Ecology





1/9/2026

Property Location



**Bridge Road Car Club**  
**34-38-42-000-185-00010-8**  
**Hobe Sound, FL**







## Site Data

Total Site Area	(1,405,746 Sf.)	32.27 Ac.
42' R.O.W. Dedication Area	(53,760 Sf.)	1.23 Ac.
Total Site Area (Less R.O.W.)	(1,351,986 Sf.)	31.03 Ac.
Parcel Control #	34-38-42-000-185-00010-8	
Future Land Use	Industrial	
Existing Zoning	General Industrial	
Existing Use	Vacant	
Proposed Use	Vehicular Sales & Service (Car Storage)	
Maximum Building Height	40'	
Proposed Building Height	34.7' - 37.3'	
Maximum Building Coverage	50%	
Minimum Open Space	20%	

## Required Building Setbacks

	Required	Building 1	Building 2	Building 3
Front:	15 ft	705 ft	638 ft	703 ft
Rear:	10 ft	70 ft	74 ft	39 ft
Side:	10 ft	70 ft	404 ft	317 ft

## Impervious Area

Vehicular Use Area (Includes curbs)	67,518 sf	1.55 Ac.	5.0%
Buildings	55,823 sf	1.28 Ac.	4.1%
Wetland Preserve	642,162 sf	14.74 Ac.	47.6%
Mitigation Wetland Creation Area	6,970 sf	0.16 Ac.	0.5%
Lake Tract	87,493 sf	2.01 Ac.	6.4%
<b>Total:</b>	<b>859,966 sf</b>	<b>19.74 Ac.</b>	<b>63.6%</b>

## Pervious Area

Dry Retention Areas	28,749 sf	0.66 Ac.	2.3%
Landscape Areas	71,618 sf	1.64 Ac.	5.4%
50' Wetland Buffer	391,653 sf	8.99 Ac.	28.9%
<b>Total:</b>	<b>492,020 sf</b>	<b>11.29 Ac.</b>	<b>36.4%</b>

## Open Space Data

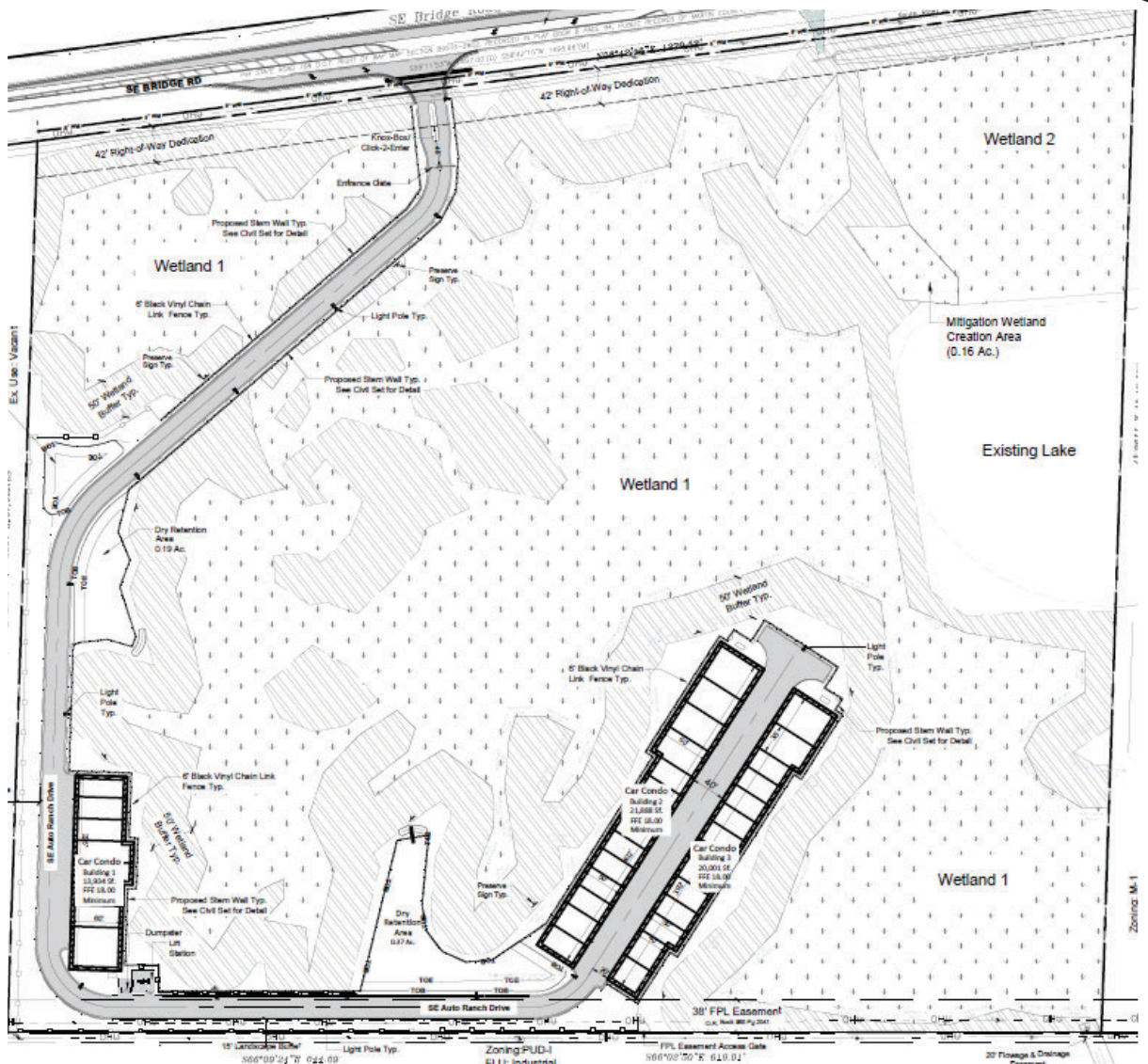
Open Space Required:	270,397 sf	6.20 Ac.	20%
Open Space Provided:	1,228,645 sf	28.20 Ac.	91.1%
Dry Retention Areas	28,749 sf	0.66 Ac.	2.3%
Landscape Areas	71,618 sf	1.64 Ac.	5.4%
50' Wetland Buffer	391,653 sf	8.99 Ac.	28.9%
Wetland Preserve	642,162 sf	14.74 Ac.	47.6%
Mitigation Wetland Creation Area	6,970 sf	0.16 Ac.	0.5%
Lake Tract	87,493 sf	2.01 Ac.	6.4%

## Preserve Area Data

<b>Total Site Area</b>		<b>32.28 Ac.</b>	
Existing Native Habitat:	1,318,253 sf	30.26 Ac.	
Wetlands:	649,132 sf	14.90 Ac.	
Native Uplands / Pine Flatwoods:	669,121 sf	15.37 Ac.	
Native Upland Preserve Required:	167,280 sf	3.84 Ac.	25%
Native Upland Preserve Provided:	391,653 sf	8.99 Ac.	58%
(50' Wetland Buffer)			

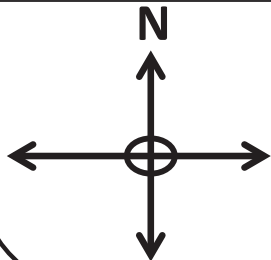
## Environmental Waiver Data

Total Ex. Wetlands:	649,132 sf	14.90 Ac.
Total Ex. Upland Buffer:	410,527 sf	9.43 Ac.
Wetland Impacts:	7,080 sf	0.16 Ac.
Upland Buffer Impacts:	15,533 sf	0.36 Ac.
Total Remaining Wetlands:	649,132 sf	14.90 Ac.
Wetland Preserve:	642,162 sf	14.74 Ac.
Mitigation Wetland Creation Area:	6,970 sf	0.16 Ac.
Total Remaining Upland Buffers:	391,653 sf	8.99 Ac.



1/9/2026

Alternative 2- The preferred alternative

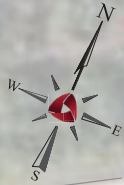


**Bridge Road Car Club**  
**34-38-42-000-185-00010-8**  
**Hobe Sound, FL**



Advanced Restoration Ecology





## SITE DATA

### SITE ADDRESS

7550 SE BRIDGE RD., HOBE SOUND, FL, 34997

### TAX PARCEL I.D. NO.

34-38-42-000-185-00010-8

### ZONING

G.I.

### FUTURE LAND USE

INDUSTRIAL

### OWNER

MCFL PROPERTIES LLC.

JEFFERY GELMAN

9508 WINDY RIDGE WAY

WINDERMERE, FL 34786

### SITE AREA

TOTAL SITE AREA:	1,401,437 SF = 32.17 AC
WETLAND 1:	570,542 SF = 13.10 AC
WETLAND 2:	78,590 SF = 1.80 AC
TOTAL WETLAND AREA:	649,132 SF = 14.90 AC
50' BUFFER EASEMENT AREA:	410,893 SF = 9.43 AC
LAKE TRACT AREA:	87,493 SF = 2.02 AC
TOTAL UPLAND AREA:	253,695 SF = 5.82 AC
STORMWATER POND AREA:	44,675 SF = 1.03 AC

### IMPERVIOUS AREA

PAVEMENT:	61,164 SF = 1.40 AC
BUILDINGS:	51,000 SF = 1.17 AC

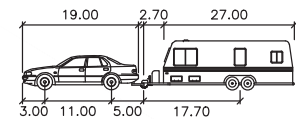
### WETLAND IMPACTS

WETLAND IMPACTS:	11,673 SF = 0.27 AC.
UPLAND BUFFER IMPACTS:	33,650 SF = 0.77 AC.

### UNIT COUNT

50' X 25':	36 UNITS
60' X 25':	4 UNITS
TOTAL:	40 UNITS

## DESIGN VEHICLE



P-T

	feet
Car Width	: 7.00
Trailer Width	: 8.00
Car Track	: 6.00
Trailer Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 21.5
Articulating Angle	: 70.0

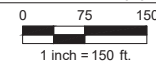


# HOBE SOUND - INDUSTRIAL FLEX SPACE

## MARTIN COUNTY, FL

## Alternative 1

PROJECT MANAGER: JRS  
DRAWN BY: KSM  
DATE: 2023-2-20



**ALLIANT**

Location Map



Site Data

Total Site Area	(1,405,746 Sf.)	32.27 Ac.
42' R.O.W. Dedication Area	(53,760 Sf.)	1.23 Ac.
Total Site Area (Less R.O.W.)	(1,351,986 Sf.)	31.03 Ac.
Parcel Control #	34-38-42-000-185-00010-8	
Future Land Use	Industrial	
Existing Zoning	General Industrial	
Existing Use	Vacant	
Proposed Use	Vehicular Sales & Service (Car Storage)	
Maximum Building Height	40'	
Proposed Building Height	34.7' - 37.3'	
Maximum Building Coverage	50%	
Minimum Open Space	20%	

Required Building Setbacks

	Required	Building 1	Building 2	Building 3
Front:	15 ft	705 ft	638 ft	703 ft
Rear:	10 ft	70 ft	74 ft	39 ft
Side:	10 ft	70 ft	404 ft	317 ft

Impervious Area

Vehicular Use Area (includes curbs)	67,518 sf	1.55 Ac.	5.0%
Buildings	55,823 sf	1.28 Ac.	4.1%
Wetland Preserve	642,162 sf	14.74 Ac.	47.6%
Mitigation Wetland Creation Area	6,970 sf	0.16 Ac.	0.5%
Lake Tract	87,493 sf	2.01 Ac.	6.4%
Total:	859,966 sf	19.74 Ac.	63.6%

Pervious Area

Dry Retention Areas	28,749 sf	0.66 Ac.	2.3%
Landscape Areas	71,618 sf	1.64 Ac.	5.4%
50' Wetland Buffer	391,653 sf	8.99 Ac.	28.9%
Total:	492,020 sf	11.29 Ac.	36.4%

Open Space Data

Open Space Required:	270,397 Sf	6.20 Ac.	20%
Open Space Provided:	1,228,645 Sf	28.20 Ac.	91.1%
Dry Retention Areas	28,749 sf	0.66 Ac.	2.3%
Landscape Areas	71,618 sf	1.64 Ac.	5.4%
50' Wetland Buffers	391,653 sf	8.99 Ac.	28.9%
Wetland Preserve	642,162 sf	14.74 Ac.	47.6%
Mitigation Wetland Creation Area	6,970 sf	0.16 Ac.	0.5%
Lake Tract	87,493 sf	2.01 Ac.	6.4%

Preserve Area Data

Total Site Area			32.28 Ac.	
Existing Native Habitat:	1,318,253 sf		30.26 Ac.	
Wetlands:	649,132 sf		14.90 Ac.	
Native Uplands / Pine Flatwoods:	669,121 sf		15.37 Ac.	
Native Upland Preserve Required:	167,280 sf		3.84 Ac.	25%
Native Upland Preserve Provided:	391,653 sf		8.99 Ac.	58%

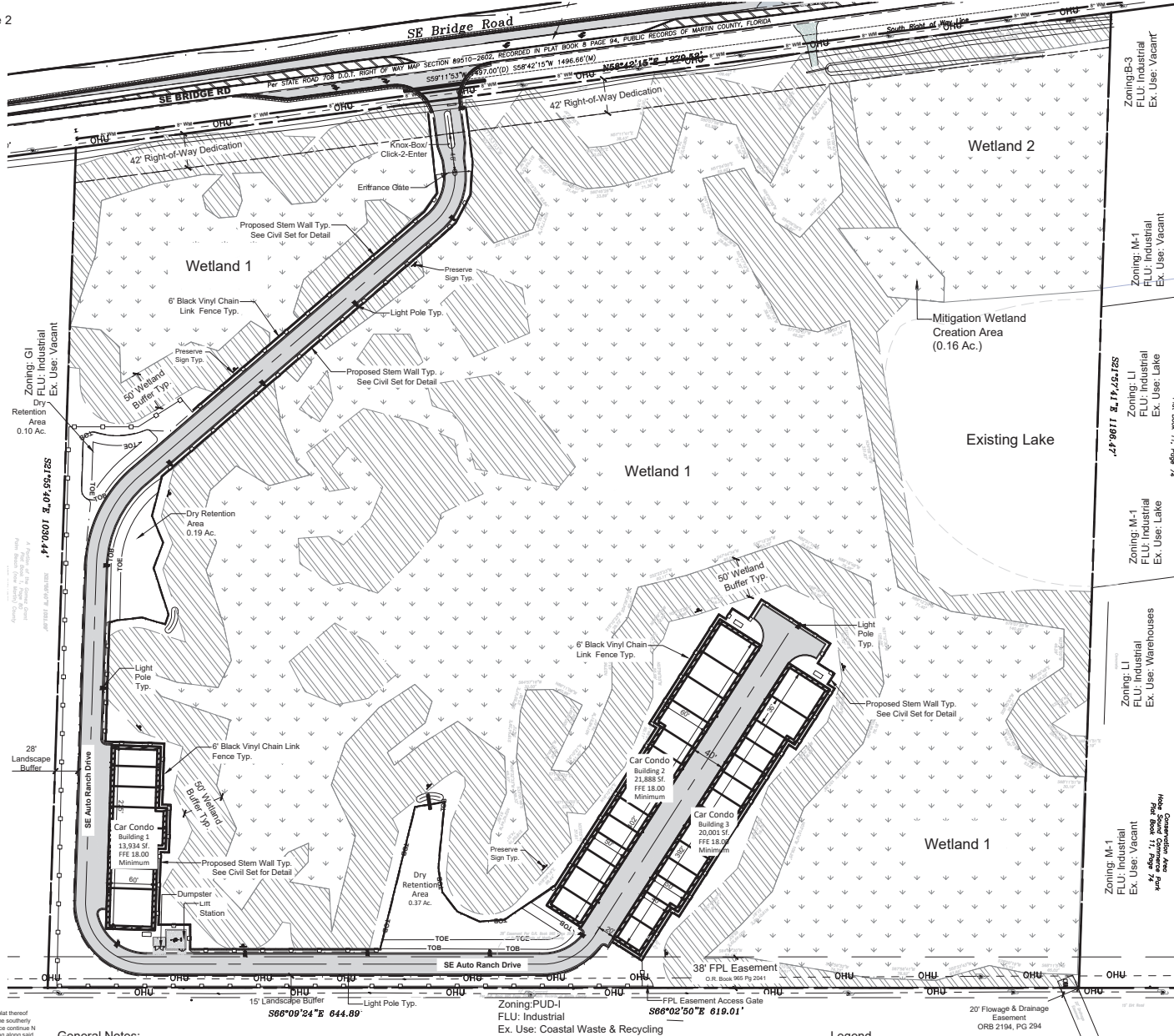
Environmental Waiver Data

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Total Ex. Upland Buffer:	410,527 sf.	9.43 Ac.
Wetland Impacts:	7,080 sf.	0.16 Ac.
Upland Buffer Impacts:	15,533 sf.	0.36 Ac.
Total Remaining Wetlands:	649,132 sf.	14.90 Ac.
Wetland Preserve	642,162 sf.	14.74 Ac.
Mitigation Wetland Creation Area	6,970 sf.	0.16 Ac.
Total Remaining Upland Buffers:	391,653 sf.	8.99 Ac.

Legal Description

PCN: 34-38-42-000-185-00010-8  
Starting at a triangular concrete marker, said marker being the southwesterly corner of the GOMEZ GRANT, according to the plat thereof recorded in Plat Book 1, page 80, Palm Beach (now Martin) County, Florida public records, and running N 67°30'33" E along the southerly line of said Grant for a distance of 1,477.86 feet to the point or place of beginning for the following described property: (1) thence continue N 67°30'33" E along said Grant line a distance of 858.84 feet to a 6" x 6" concrete marker; (2) thence run N 65°55'47" E continuing along said Grant line for a distance of 619.11 feet to a point; (3) thence run N 21° 26' 07" W parallel to the westerly line of said Grant for a distance of 1,594.78 feet to a point on the southerly right-of-way of State Road No. 708; (4) thence run S 51°28'07" E on line parallel to the westerly line of said Grant for a distance of 1,002.74 feet more or less to the point or place of beginning. The above described parcel being located in the Gomez Grant south of State Road 708, said land being situated in Martin County, Florida.  
LESS: Commencing at a triangular concrete marker, said marker being the Southwesterly corner of the GOMEZ GRANT, according to the plat thereof, as recorded in Plat Book 1, page 80, Palm Beach (now Martin) County, Florida public records, and running N 67°30'33" E along the southerly line of said Grant for a distance of 1,477.86 feet to the point or place of beginning for the following described property: (1) Thence continue N 67°30'33" East along said Grant line a distance of 214.31 feet to an iron rod; (2) Thence running N 21°26'07" West parallel to the Westerly line of said Grant a distance of 1,030.95 feet to an iron rod on the southerly right-of-way of State Road No. 708; (3) Thence running S 51°28'07" W along said right-of-way for a distance of 217.08 feet to a concrete marker; (4) Thence running S 21°26'07" E on a line parallel to the Westerly line of said Grant for a distance of 1,002.75 feet, more or less to the Point of Place of Beginning. Containing 32.28 Acres more or less.

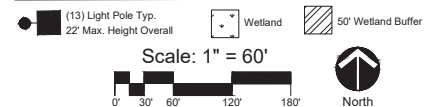
Alternative 2



General Notes:

- The HCA or PCA entity will own and maintain the proposed rights-of-way.
- All exotic plant species shall be removed and all required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- The applicant will request in writing, prior to any land clearing, that the Martin County Growth Management Dept. perform a field inspection to determine if hurricanes have been properly installed on the site.
- All signs will be reviewed for compliance with the applicable regulations at the time the sign permit is issued.
- All building, parking and access areas shall document compliance with the requirements of the American Disabilities Act prior to the issuance of a building permit.
- Stormwater management areas are to be maintained with planted native vegetation, in perpetuity.
- Preserve Area Setback:
  - New construction (including all proposed adjacent to wetland buffer zones and upland preserve areas) shall be set back a minimum of ten feet for primary structures.
  - Setbacks for accessory structures shall be five feet in accordance with the approved Preserve Area Management Plan (PAMP).
  - Boundary markers will be placed abutting Preserve Areas. Preserve signs will be at least 11 x 14 inches in size and will be posted in conspicuous locations along the Preserve Area boundary, at a frequency of no less than one (1) sign per 500 feet.
  - Grazed areas adjacent to preserve areas shall not exceed a slope of one foot vertical to four feet horizontal. All slopes shall be properly stabilized upon completion of construction to the satisfaction of the County Administrator.
  - All prohibited exotic plant species shall be removed from the site prior to issuance of a Certificate of Occupancy. Perpetual maintenance is required to prohibit the reestablishment of invasive exotic species within preservation areas and planted landscape or lake littoral areas and stormwater management areas as provided on the plans approved with the development order.
  - All Preserve Areas shall be maintained in accordance with the approved Preserve Area Management Plan (PAMP).
  - Stormwater management areas are to be maintained with planted native vegetation in perpetuity.

Legend



3500 SW Corporate Parkway, Suite 203  
Palm City, Florida 34990  
T 772.678.7200  
www.hjadesignstudio.com  
LA 0000905

Bridge Road Car Club  
Martin County  
Final Site Plan

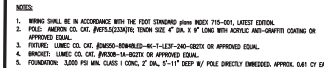
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Job No. 2022-32  
Drawn By EB  
Checked By MH  
Approved By MH  
Submitted Dates 07-17-2024

Revision Dates 1st Revision/01-16-2025  
2nd Revision/07-28-2025 3rd Revision/11-10-2025

SP-1







## Wetland Rapid Assessment Procedure Field Data Sheet

Wetland Area	Date	Wetland Type		Evaluators
Wetland Impact	5/29/2025	614	Herbaceous	DG
Wildlife Utilization	Wetland Overstory	Wetland Ground Cover		Adjacent Upland/Buffer
2	1.5	3		2
Wetland Hydrology	Land Use (LU)	Pre-Treatment (PT)	WQIT (LU + PT)/2	
3	3	3	3	

WRAP Score

2.6
0.86667

Comments

Wildlife Utilization:	2 Scat and evidence of foraging found, more commomplace farther from the road
Wetland Overstory:	2 Very little trees, some slash pine and cypress though mostly rot
Wetland Groundcover	3 Mostly desirable vegetation in and around project area
Upland Buffer:	2 Property is located on the south side of Bridge Road with a recycling facility to the south
Wetland Hydrology:	3 Typical hydrology found throughout wetland and impacts area
Land Use:	3 Natural undeveloped area
Pre-Treatment:	3 Natural undeveloped area
WRAP SCORE	.86666wrap x0.16= 0.14 credits needed (primary impact)

## Wetland Rapid Assessment Procedure Field Data Sheet

Wetland Area	Date	Wetland Type		Evaluators
Wetland Impact	5/29/2025	614	Herbaceous	DG
Wildlife Utilization	Wetland Overstory	Wetland Ground Cover		Adjacent Upland/Buffer
2	2	2.5		2
Wetland Hydrology	Land Use (LU)	Pre-Treatment (PT)		WQIT (LU + PT)/2
2.5	3	3		3

WRAP Score

2.4  
0.8

### Comments

Wildlife Utilization: 2 Scat and evidence of foraging found, more commomplace the farther from the road

Wetland Overstory: 2 Slash pine

Wetland Groundcover 3 Climbing Fern and Rose Myrtle

Upland Buffer: 2 Property is located on the south side of Bridge Road with a recycling facility to the south

Wetland Hydrology: 3 Ditch

Land Use: 3 Natural undeveloped area by Bridge Road

Pre-Treatment: 3 Natural undeveloped area

WRAP  
SCORE .8wrap x0.08= 0.064 credits needed (secondary impact)

## Wetland Rapid Assessment Procedure Field Data Sheet

Wetland Area	Date	Wetland Type		Evaluators
Wetland Expansion	5/29/2025	614	Herbaceous	DG
Wildlife Utilization	Wetland Overstory	Wetland Ground Cover		Adjacent Upland/Buffer
3	2	3		3
Wetland Hydrology	Land Use (LU)	Pre-Treatment (PT)		WQIT (LU + PT)/2
3	2	3		2.5

WRAP Score

2.9  
0.96667

Comments

Wildlife Utilization: 3 Wading bird habitat created including nesting areas, roosting habitat and forage

Wetland Overstory: 2 Slash Pines and Cypress

Wetland Groundcover 3 Mostly desirable vegetation in and around project area ( exotic removal and enhancement planting)

Upland Buffer: 3 Pine flatwoods which will be maintained exotic free

Wetland Hydrology: 3 wetland creation connects NW wetland to other wetland systems on site



Land Use: 2 Natural undeveloped area (Wetland Buffer) with Light Commercial on site

Pre-Treatment: 3 Natural undeveloped area (Wetland Buffer)

WRAP

SCORE .96666wrap x0.16= .1546 credits with 0.14 credits needed (primary impact) project has a net lift of 0.1465 credits

## Wetland Rapid Assessment Procedure Field Data Sheet

Wetland Area	Date	Wetland Type		Evaluators
Wetland EX Secondary	5/29/2025	614	Herbaceous	DG
Wildlife Utilization	Wetland Overstory	Wetland Ground Cover		Adjacent Upland/Buffer
3	2	3		3
Wetland Hydrology	Land Use (LU)	Pre-Treatment (PT)		WQIT (LU + PT)/2
3	2	3		2.5

WRAP Score

2.9  
0.96667

Comments

Wildlife Utilization: 3 Wading bird habitat created including nesting areas, roosting habitat and forage

Wetland Overstory: 2 Slash pine, Cypress

Wetland Groundcover 3 sawgrass, eleocharis, duck poato pickerel weed are anticapated to recruit the area

Upland Buffer: 3 Pine flatwoods which will be maintained exotic free

Wetland Hydrology: 3 wetland creation connects NW wetland to other wetland systems on site

Land Use: 2 Natural undeveloped area (Wetland Buffer) with Light Commercial on site

Pre-Treatment: 3 Natural undeveloped area (Wetland Buffer)

WRAP  
SCORE 0.064 credits needed (secondary impact) with 0.077 credits created with onsite mitigation (Net lift 0.01328 credits)





## SOUTH FLORIDA WATER MANAGEMENT DISTRICT

August 20, 2021

*\* Delivered via email*

Christian Demers \*  
2725 PGA Blvd  
Palm Beach Gardens, FL 33410

**Subject: 7550 SE Bridge Road  
Application No. 210517-6234  
Informal Wetland Determination No. 43-105199-P  
Martin County**

Dear Mr. Demers:

The District reviewed your request for an informal determination of the jurisdictional wetland and other surface water boundaries within the subject property, which is located as shown on the attached Exhibit No. 1.0. A joint site inspection was conducted on June 10, 2021.

Based on the information provided and the results of the site inspection, jurisdictional wetlands as defined in Chapter 62-340, Florida Administrative Code, exist on the property. Exhibit No. 2.0, attached, identifies the boundaries of the property inspected and the approximate landward limits of the wetlands.

This correspondence is an informal jurisdictional wetland determination pursuant to Section 373.421(6), Florida Statutes, and Section 7.3 of Environmental Resource Permit Applicant's Handbook Volume I. It does not bind the District, its agents or employees, nor does it convey any legal rights, expressed or implied. Persons obtaining this informal jurisdictional determination are not entitled to rely upon it for purposes of compliance with provision of law or District rules.

Sincerely,

A handwritten signature in black ink that reads "Barbara Conmy".

Barbara Conmy  
Section Leader

c: Andrew Gatewood, Advanced Restoration Ecology \*

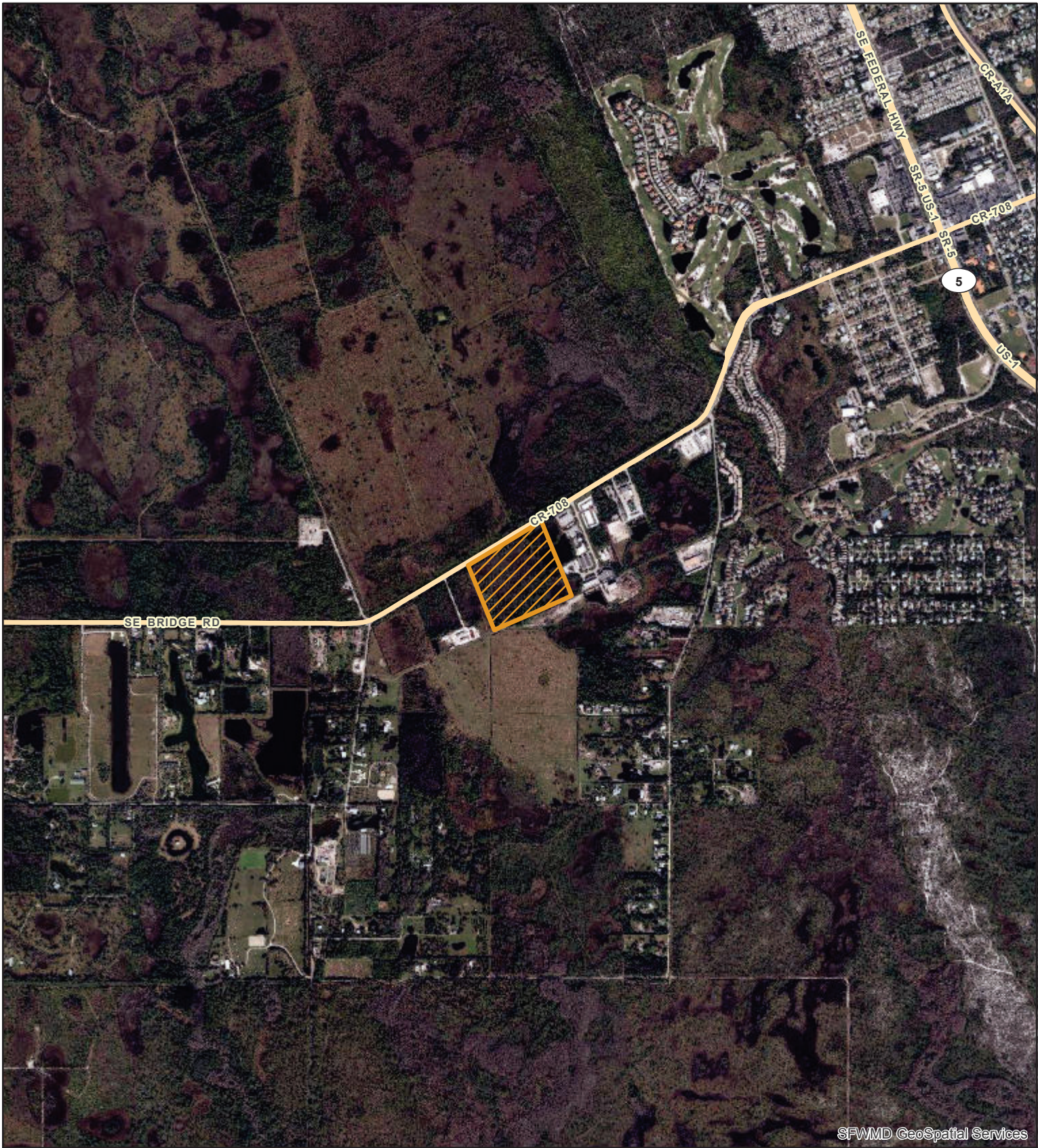
### **Exhibits**

The following exhibits to this permit are incorporated by reference. The exhibits can be viewed by clicking on the links below or by visiting the District's ePermitting website (<http://my.sfwmd.gov/ePermitting>) and searching under this application number 210517-6234 .






[Exhibit No. 1.0 Location Map](#)

[Exhibit No. 2.0 Wetland Map](#)





SFWMD GeoSpatial Services

Exhibit No:1.0	Exhibit Created On: 2021-05-19	MARTIN COUNTY, FL	<div> Application</div> <div></div>	
<div><div>REGULATION DIVISION Project Name: 7550 SE Bridge Road</div><div><div>01,8003,600</div><div></div>Feet</div><div>N</div></div>			Application Number: 210517-6234	
			<div><div>Created by IT GIS Section</div>South Florida Water Management District</div>	



LEGAL DESCRIPTION

Exhibit "A"  
Starting at a triangular concrete marker, said marker being the southwesterly corner of the GOMEZ GRANT, according to the plat thereof recorded in Plat Book 1, page 80, Palm Beach (now Martin) County, Florida public records, and running N 66°39'33" E along the southerly line of said Grant for a distance of 1,477.86 feet to the point or place of beginning for the following described property: (1) thence continue N 66°39'33" E along said Grant line a distance of 858.84 feet to a 6"x6" concrete marker; (2) thence run N 66°25'47" E continuing along said Grant line for a distance of 619.11 feet to a point; (3) thence run N 21°26'07" W parallel to the westerly line of said Grant for a distance of 1,194.76 feet to a point on the southerly right-of-way of State Road No. 708; (4) thence run S 59°11'53" W along said right-of-way for a distance of 1,497.00 feet to a point; (5) thence run S 21°26'07" E on line parallel to the westerly line of said Grant for a distance of 1002.74 feet more or less to the point or place of beginning. The above described parcel being located in the Gomez Grant south of State Road 708, said land being situate in Martin County, Florida.

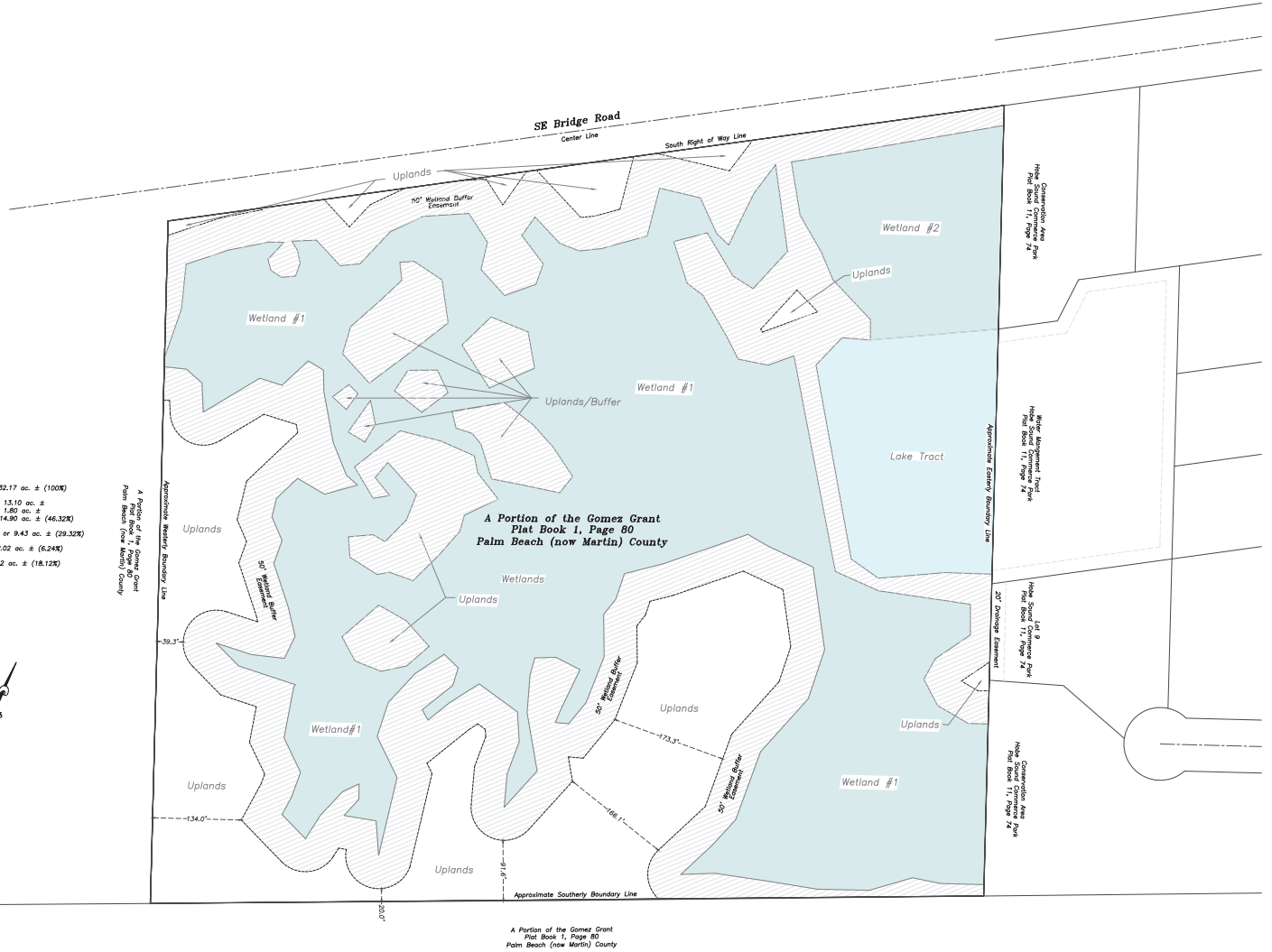
LESS commencing at a triangular concrete marker, said marker being the Southwesterly corner of the GOMEZ GRANT, according to the Plat thereof, as recorded in Plat Book 1, page 80, Palm Beach (now Martin) County, Florida public records, and running North 66°39'33" East, along the Southerly line of said Grant for a distance of 1,477.86 feet to a concrete monument being the Place of Beginning for the following described property: (1) Thence continue N 66°39'33" East along said Grant line a distance of 214.31 feet to an iron rod; (2) Thence running N 21°26'07" West parallel to the Westerly line of said Grant a distance of 1030.95 feet to an iron rod on the Southerly right-of-way of State Road No. 708; (3) Thence running S 59°11'53" W along said right-of-way for a distance of 217.08 feet to a concrete marker; (4) Thence running S 21°26'07" E on a line parallel to the Westerly line of said Grant for a distance of 1002.75 feet, more or less to the Point of Place of Beginning.

SURVEYOR'S REPORT

1. This is not a Boundary Survey.
2. The Specific Purpose for this Survey is to show the limits and acreage of existing Wetlands and the possible upland preservation buffer of 50 feet relative to the approximate parcel limit as delineated by the existing Tax Assessors Map.
3. Wetlands were delineated and flagged by others.
4. This Survey shall not be valid unless sealed with an embossed Surveyor's Seal.
5. No underground improvements have been located as part of this Survey.
6. The last field date of this Survey was: 6-10-21.
7. Approximate Parcel Limits were based on found survey control along the adjacent Hobe Sound Commerce Center and the provided Legal Description. An actual Boundary Survey may change the configuration and size of the Boundary limits as depicted hereon.
8. The Survey shown hereon was prepared in accordance to the standards of the practice of Surveying and Mapping as defined in Chapter 5J-17.050 FAC.
9. By acceptance of this survey all parties agree that the signing surveyor's liability is limited to the amount paid for said Survey.
10. The Legal Description shown hereon was provided by the client and/or his/her representatives.

Site Calculations:  
Total Site Area: 1401437.68 sq.ft. or 32.17 ac. ± (100%)  
Wetland #1: 570542.03 sq.ft. or 13.10 ac. ±  
Wetland #2: 78596.29 sq.ft. or 1.80 ac. ±  
Total Wetland Area: 649138.32 sq.ft. or 14.90 ac. ± (46.32%)  
50' Buffer Easement Area: 410893.90 sq.ft. or 9.43 ac. ± (29.32%)  
Lake Tract Area: 87493.85 sq.ft. or 2.02 ac. ± (6.24%)  
Upland Area: 253695.45 sq.ft. or 5.82 ac. ± (18.12%)

A Portion of the Gomez Grant  
Plat Book 1, Page 80  
Palm Beach (now Martin) County



PREPARED FOR:  
CHRISTIAN DEMERS

Prepared By: Regina C. Karner, PSM#4363  
Karner Surveying, Inc. LG#7357

Prepared For:

Christian Demers

KARNER SURVEYING, INC.  
Residential & Commercial Surveying Services

2740 SW Marlin Downs Blvd.#333, Palm City, FL 34990  
Phone: (772)288 7206 Fax:(772)225 8181  
www.KARNERSURVEYING.COM karner@karnersurvey.net



Scale		North Arrow		Survey Title	
1" = 100'				Specific Purpose Survey	
1" = 200'					
1" = 400'					
1" = 800'					
1" = 1600'					

Exhibit No. 2.0

Permit No. 43-105199-P

Page 1 of 1