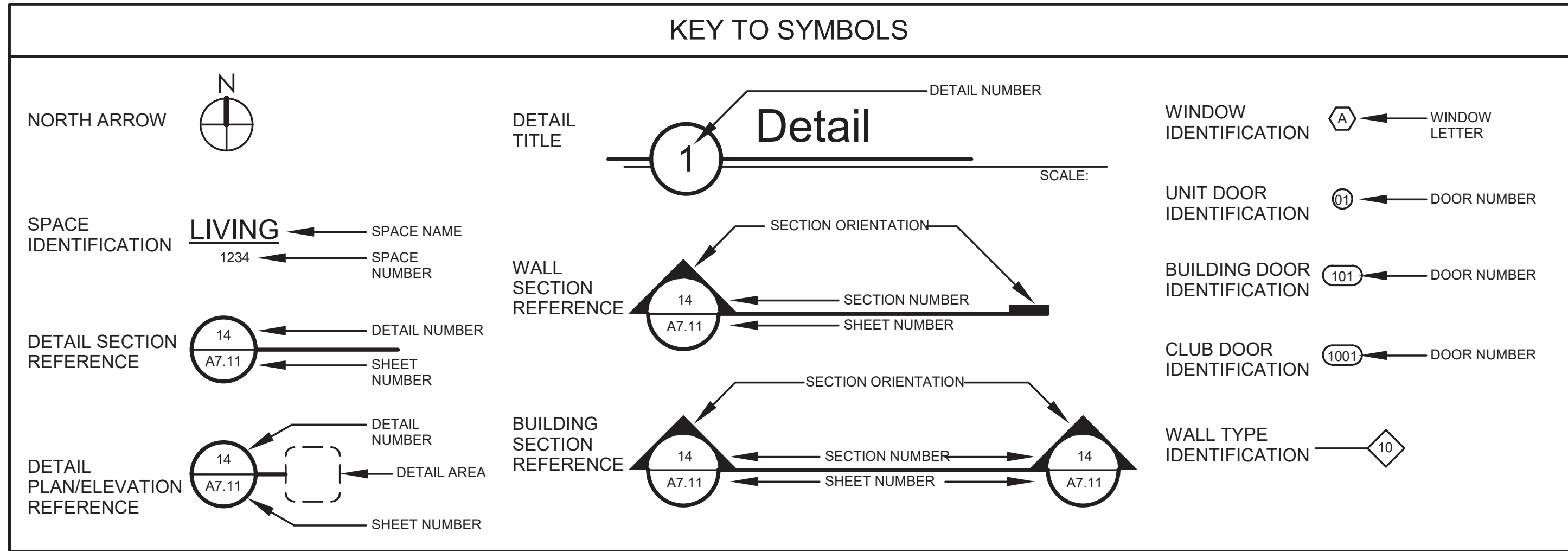
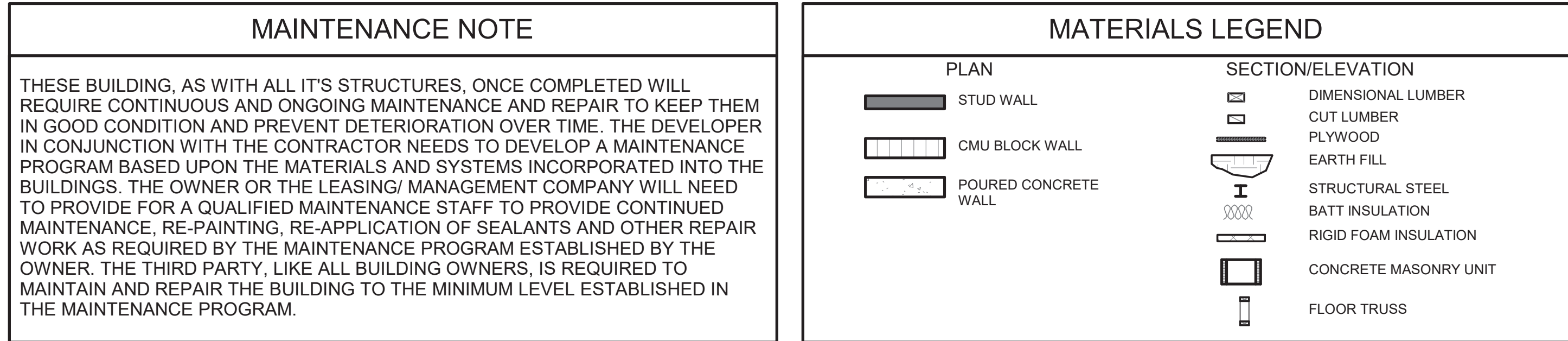
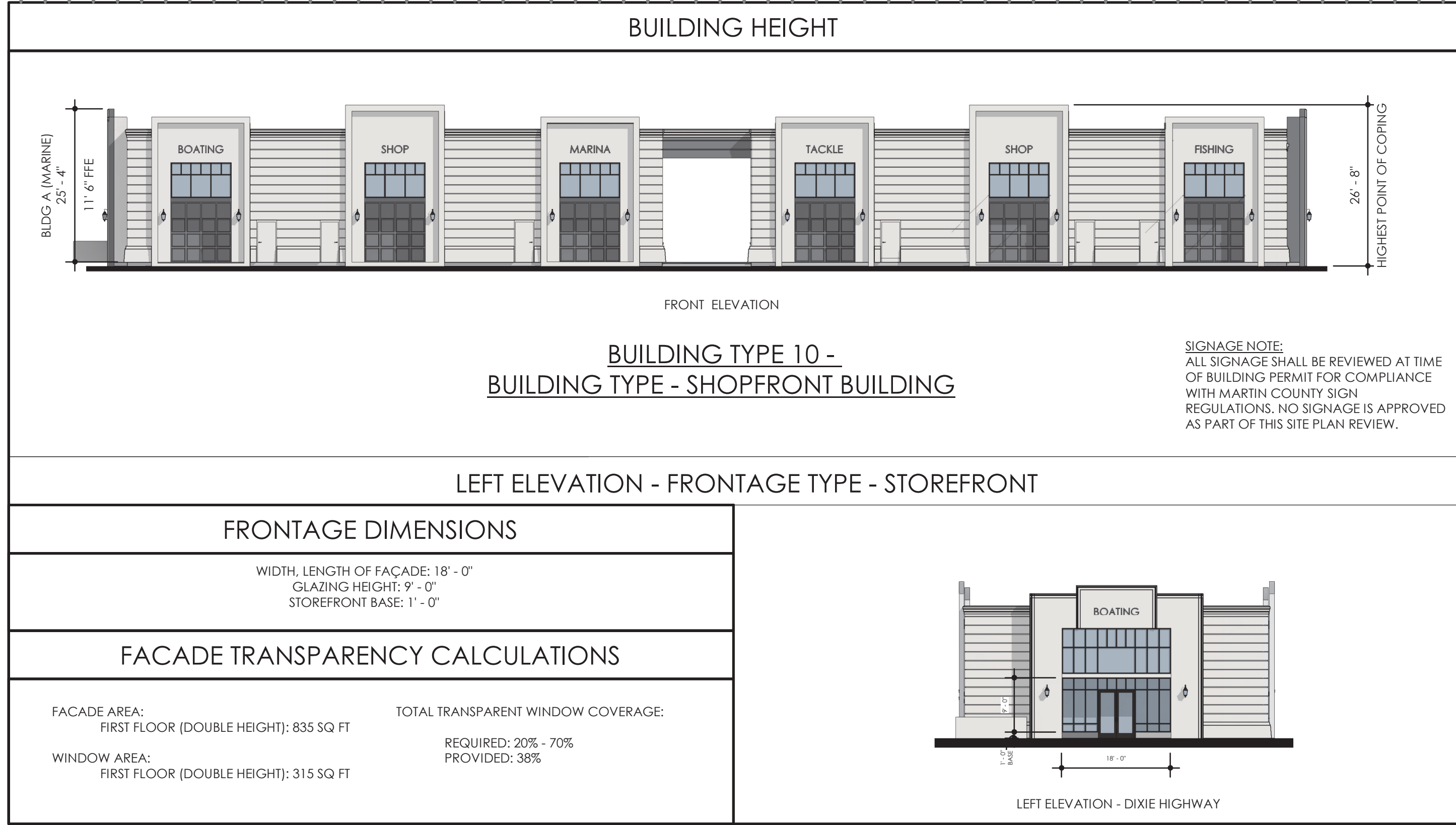
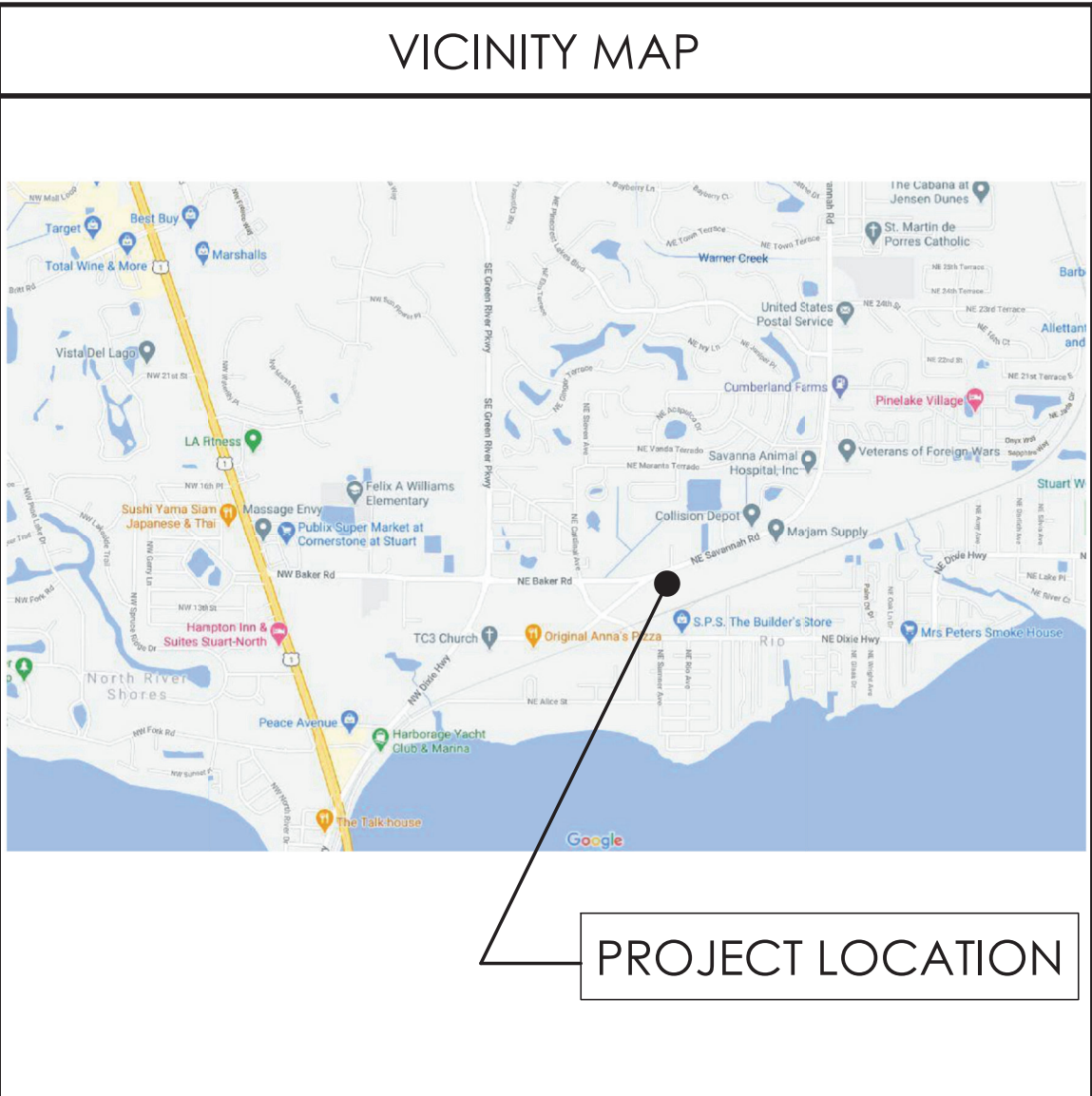


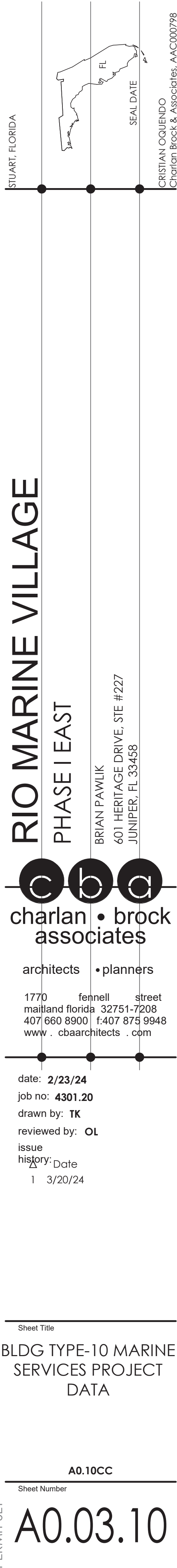


STANDARD ABBREVIATIONS											
A.B	ANCHOR BOLT	D.L	DEAD LOAD	HDWR	HARDWARE	OPT.	OPTIONAL	SH	SHELF		
A/C	AIR CONDITIONER	DN.	DOWN	H.M.	HOLLOW METAL	P.	PANTRY	SHT.	SHEET		
ADJ.	ADJACENT	DRYW.	DRYWALL	HORTZ.	HORIZONTAL	P.C.	PULL CHAIN	SIM.	SIMILAR		
A.H.U.	AIR HANDLER UNIT	D.W.	DISHWASHER	HGT.	HEIGHT	PED.	PEDESTAL	S.G.D.	SLIDING GLASS DOOR		
ALUM.	ALUMINUM	DWG.	DRAWING	HTR.	HEATING	PERP.	PERPENDICULAR	SQ.	SQUARE		
ALT.	ALTERNATE	E.A.	EACH	IN.	INCHES	PL	PLATE	S.S.	STAINLESS STEEL		
APPROX.	APPROXIMATE	E.I.F.S.	EXTERIOR INSULATION	IN.	INCHES	PLYWD.	PLYWOOD	STD.	STANDARD		
BRG.	BEARING		FINISH SYSTEM	INSUL.	INSULATION	PROP.	PROPERTY	STO.	STORAGE		
BD.	BOARD	E.J.	EXPANSION JOINT	INT.	INTERIOR	P.S.F.	POUND PER SQUARE FEET	STR.	STRUCTURAL		
BLDG.	BUILDING	ELEV.	ELEVATION	JST.	JOIST	P.S.I.	POUND PER SQUARE INCH	SUB.	SUBSTITUTE		
BLK.	BLOCK	E.P.S.	EXPANDED POLYSTYRENE	LT.	JOINT	P.T.	PRESSURE TREATED	SUP.	SUPPORT		
B.M.	BEAM		SYSTEM	PTN.	PARTITION	P.H.	PAPER HOLDER	T.C.	TRASH COMPACTOR		
BTM.	BOTTOM	EQ.	EQUAL	LAM.	LAMINATED	Q.	QUALITY	TEMP.	TEMPERATURE		
COL.	COLUMN	EST.	ESTIMATE	LAV.	LAVATORY	QUAN.	QUANTITY	THK.	THICK/THICKNESS		
CER.	CERAMIC	EXT.	EXISTING	LTG.	LIGHTING	R.A.G.	RADIUS	TYP.	TYPICAL		
C.J.	CONSTRUCTION JOINT	EXT.	EXTERIOR	MATL.	MATERIALS	R.A.G.	RETURN AIR GRILL	U.L.	UNDERWRITERS		
CLG.	CEILING	FN.FL.	FINISH FLOOR	MAX.	MAXIMUM	RAD.	RADIUS	LABORATORY			
C.M.U.	CONCRETE BLOCK	FIN.	FINISH	M.C.	MEDICAL CABINET	R.D.	ROOF DRAIN	VENT.	VENTILATION		
CONC.	CONCRETE	F.G.	FIXED GLASS	MECH.	MECHANICAL	REF.	REFRIGERATOR	VERT.	VERTICAL		
CONST.	CONSTRUCTION	F.P.	FIREPLACE	MIN.	MINIMUM	REINF.	REINFORCE	VOL.	VOLUME		
CONT.	CONTINUOUS	FT.	FEET	MISC.	MISCELLANEOUS	REQD.	REQUIRED	V.T.R.	VENT THROUGH ROOF		
CTR	CENTER	FTG.	FOOTING	M.O.	MASONRY OPENING	REV.	REVISION/REVERSE	W.	WIDTH/WIDE/WASHER		
D	DRYER	GA.	GAGE	M.T.	METAL THRESHOLD	RM.	ROOM	W.C.	WATER CLOSET		
DBL.	DOUBLE	GALV.	GALVANIZED	MTL.	METAL	ROS.	ROUGH SAWN	W.D.	WOOD		
DET.	DETAIL	GL.	GLASS	O.A.	OVERALL	S.C.	SOLID CORE	WDW	WINDOW		
DIAM.	DIAMETER	GYP.	GYPSUM	O.C.	ON CENTER	SCHED.	SCHEDULE	W.H.	WATER HEATER		
DIM.	DIMENSION	H.B.	HOSE BIB	O.D.	OUTSIDE DIAMETER	SDNG	SIDING	W.I.C.	WALK IN CLOSET		
DISP.	DISPOSAL	H.C.	HOLLOW CORE	OPP.	OPPOSITE	SEC.	SECTION	W.P.	WATERPROOF		



APPLIED CODES
FLORIDA BUILDING CODE 2023, 8TH EDITION WITH LOCAL ORDINANCES
FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES
FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES
FLORIDA ACCESSIBILITY CODE, 2023
FLORIDA ENERGY CODE, 2014
FLORIDA FIRE PREVENTION CODE, 2020
NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES
NFPA 101 - 2012 EDITION - LIFE SAFETY CODE
THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998
THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION
ANSI A 117.1 - 1986 EDITION
NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS
NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS
NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS
NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE
NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE
FLORIDA STATUTES
FLORIDA ADMINISTRATIVE CODE
TO THE BEST OF CHARLAN BROCK AND ASSOCIATES' KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

PROJECT NARRATIVE
THE PROPOSED PROJECT IS LOCATED IN UNINCORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL & POOL DECK, BUT PROVIDED BY OTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.
BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20, 21 BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 16, 17, 21 EAST: 1, 2, 3, 5, 7, 8, 16, 17, 21 WEST: 10, 18, 19
BUILDING IDENTIFICATION
BUILDING TYPE 1 = CLUBHOUSE BUILDING TYPE 2 = APARTMENT BUILDING TYPE 3 = APARTMENT BUILDING TYPE 4 = TOWNHOME BUILDING TYPE 5 = TOWNHOME BUILDING TYPE 6 = TOWNHOME BUILDING TYPE 7 = LIVE-WORK BUILDING TYPE 8 = LIVE-WORK BUILDING TYPE 10 = MARINE SERVICES BUILDING TYPE 14 = RECREATIONAL BUILDING TYPE 15 = APARTMENT BUILDING TYPE 16 = APARTMENT BUILDING TYPE 17 = MAIL KIOSK BUILDING TYPE 18 = TRASH ENCLOSURE BUILDING TYPE 19 = RECYCLING ENCLOSURE #1 BUILDING TYPE 20 = RECYCLING ENCLOSURE #2 BUILDING TYPE 21 = ENTRY FEATURE
CODE INFORMATION
MARINE SERVICES 1.1 BUILDING USE / OCCUPANCY / TYPE GROUP M, F-1 CONSTRUCTION TYPE: TYPE III-B SPRINKLED: NFPA - 13 1.2 BUILDING HEIGHT (FBC TABLE 503) ALLOWED: 3 STORIES / 40' PROPOSED: 1 STORIES, 25' 4" 1.3 BUILDING AREA (FBC TABLE 503) ALLOWED: 50,000 SQ. FT. / PER FLOOR PROPOSED: REFER TO BUILDING AREA TABLES
1.6 EXIT ACCESS 1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS, INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY. EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED. MAXIMUM EXIT ACCESS TRAVEL DISTANCE : 250' (FBC 1016.2) MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' (FBC 101.4.3) MAXIMUM DEAD END: 20' (FBC 1018.4)
BUILDING TYPE 10 AREA - GROSS 01-FIRST FLOOR 9,681 SF TOTAL BUILDING AREA: 9,681 SF
1.7 MINIMUM INTERIOR FINISH CLASSIFICATION NFPA 101 TABLE A.10.2.2 GROUP SPRINKLERED VERTICAL EXITS B C C C EXIT ACCESS CORRIDORS C C C C ROOMS AND ENCLOSED SPACES C C C C
BUILDING TYPE 10 AREA - A/C 01-FIRST FLOOR 8,457 SF TOTAL BUILDING AREA: 8,457 SF
1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601) STRUCTURAL FRAME: 0 HOUR INTERIOR BEARING WALLS: 0 HOUR EXTERIOR BEARING WALLS: 2 HOURS EXTERIOR NON-BEARING WALLS: 0 HOUR INTERIOR NON-BEARING WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOUR ROOF CONSTRUCTION: 0 HOUR
1.5 FIRE SEPARATION N/A





SITE PLAN SHOWN IS FOR REFERENCE PURPOSES ONLY. FOR COMPLETE DIMENSIONS, GRADING AND UTILITY INFORMATION REFER TO CIVIL ENGINEERING PLANS. REFER TO CIVIL DRAWINGS FOR COMPLETE SIDEWALK AND GRADING DESIGN. PROVIDE AND ACCESSIBLE ROUTE THROUGH THE SITE THAT CONNECTS ALL REQUIRED ACCESSIBLE FEATURES, ELEMENTS AND SPACES WITHIN THE SITE. SEE WEEDS FOR ACCESSIBLE ROUTE THROUGH THE SITE. ALL NEW ACCESSIBLE SPACE WITH FAIR HOUSING DESIGN ACT MANUAL - 1998 (FHDM PAGE 16). A MINIMUM OF 2% OF ALL PARKING, BOTH COVERED AND UNCOVERED, SHALL COMPLY WITH FAIR HOUSING DESIGN ACT MANUAL AND THE ADA ACCESSIBILITY GUIDELINES.

FOR LANDSCAPE AND HARDSCAPE INFORMATION AND DETAILING REFER TO LANDSCAPE ARCHITECT'S PLANS.

<u>CIVIL ENGINEER</u>	<u>LANDSCAPE ARCHITECT</u>
SIMMONS & WHITE, INC JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 531.212.9698	COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108
E: PARRISH@SIMMONSANDWHITE.COM	E: GMISSIMER@COTLEUR-HEARING.COM

ARCHITECTURAL SITE
PLAN - MARINE WEST

Sheet Number

A0.10B

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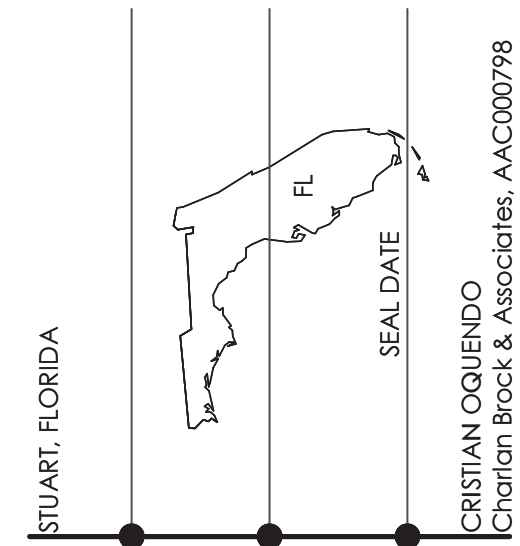
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job no: **4301.20**
drawn by: **OL**
reviewed by: **AP**
issue
history: Date

ARCHITECTURAL SITE
PLAN - MARINE WEST

A0.10CC

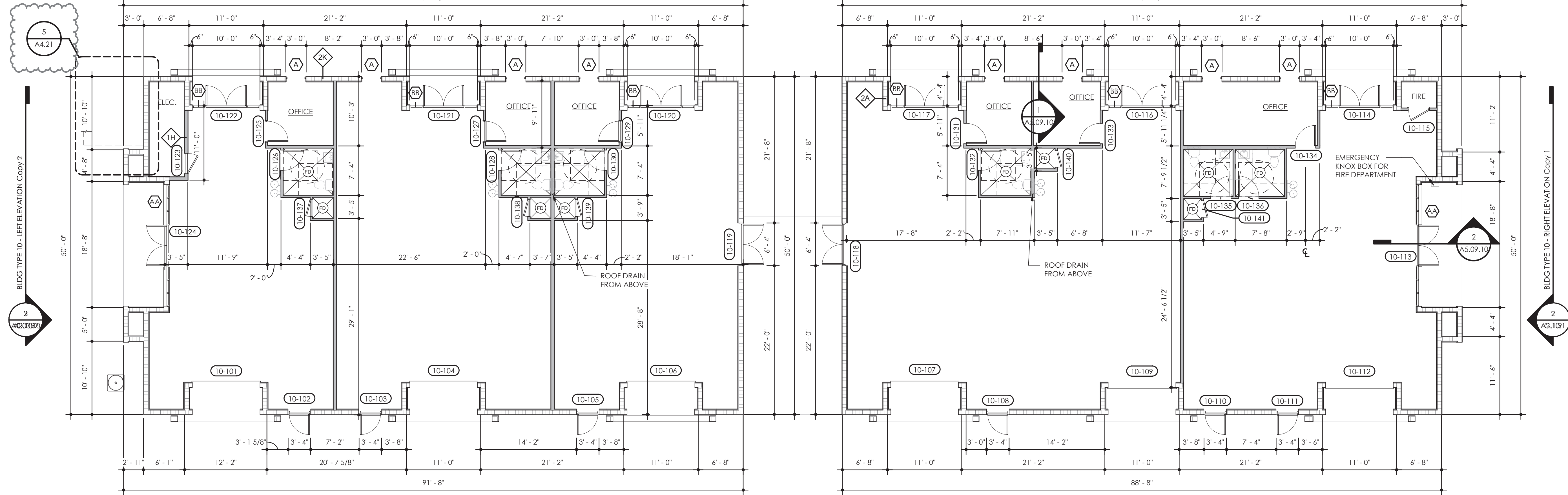
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CRISTIAN TORQUENADO
AAC000798



1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

OFFICE	
•	FLOOR - LVT WITH WOOD BASE
•	WALLS - PAINTED
•	CEILING - ACT @ 9'-0" A.F.F.
RESTROOM	
•	FLOOR - LVT WITH CT BASE
•	WALLS - PAINTED + CT WAINSCOT TO 4' - 0" AFF
•	CEILING - ACT @ 9'-0" A.F.F.
•	STANDARD PLUMBING FIXTURES AND TOILET ACCESSORIES
BALANCE OF SPACE	
•	FLOOR - CONCRETE
•	WALLS - PAINTED
•	CEILING - EXPOSED

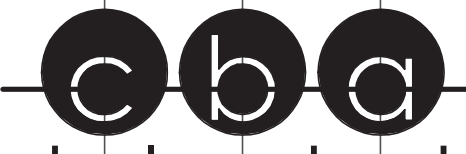
TYPICAL BUILDING PLAN NOTES

1. 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2. 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
3. COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4-61 FOR REQUIREMENTS
4. ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5. ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6. TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7. REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8. TENANT WALLS BETWEEN UNITS AND CLUBHOUSE AREAS ARE TO BE FIRE RESISTANT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9. REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10. REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11. REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12. BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13. REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14. REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15. BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTIONS AND DETAILS.
16. ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

RIO MARINE VILLAGE

PHASE I WEST

BRIAN PAWLIK

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date: **2/23/24**

job no: 4301.20

drawn by: TK

reviewed by: OL

issue

History: Date
2013.03.13

3/20/22

Sheet Title

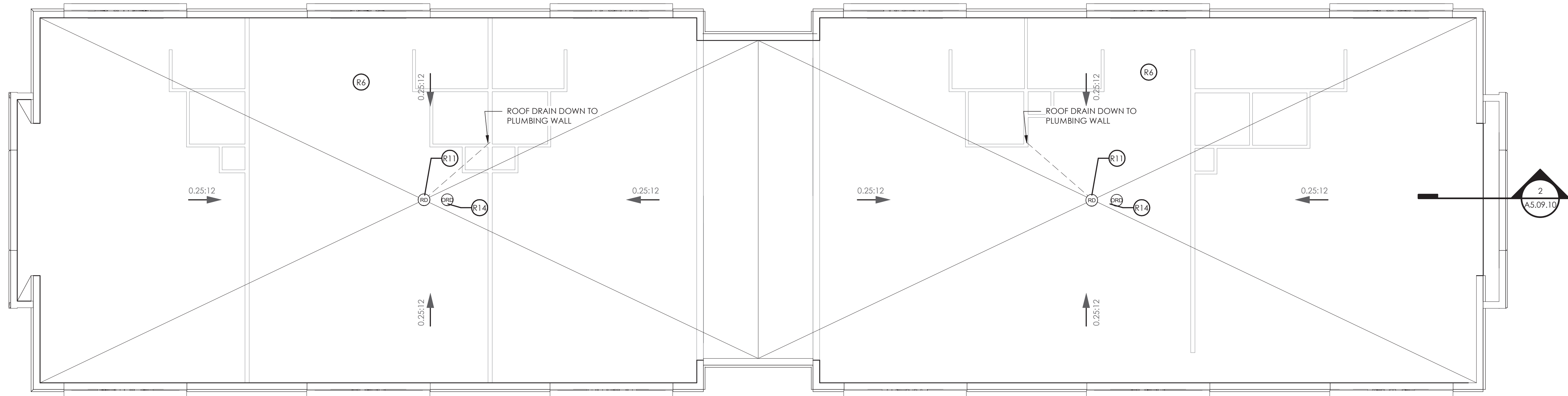
BLDG TYPE-10 MARINE
SERVICE FIRST FLOOR
PLAN

A0.10CC

Sheet Number

A1.10.1

PERMIT SET



1 BUILDING TYPE 10 - MARINE SERVICE - ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

- REFER TO ROOF PLAN FOR ROOF SLOPES.
- ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

ROOF KEYNOTES

- | | | | |
|------|--|------------|--|
| (R1) | 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT | (R8) | SELF-CLOSING DOOR WITH AUTOMATIC LATCH AT DRAFTSTOPPING |
| (R2) | STANDING SEAM METAL ROOF SYSTEM | (R9) | DENOTES DRAFTSTOPPING IN ATTIC AREA |
| (R3) | ⊕ DENOTES SUGGESTED 6" GUTTER LOCATIONS | (R10) | 22" x 36" ATTIC ACCESS DOOR. PROVIDE 1-HR RATED ACCESS DOOR IN APARTMENT BUILDINGS, GARAGES AND MAINTENANCE BUILDINGS. ALL ATTIC ACCESS TO BE LOCKABLE. SEE DETAIL X/A7.XX |
| (R4) | SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS. VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION | (R11) (RD) | PRIMARY ROOF DRAIN |
| (R5) | CRICKET WITH 3:12 SLOPE MINIMUM, U.N.O | (R12) | PROVIDE PLYWOOD WALK WITHIN SPACE FROM ATTIC ACCESS TO ROOF ACCESS DOOR |
| (R6) | TAPERED INSULATION + TPO ROOFING | (R13) | PARAPET KICKERS. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION, SIZE AND DETAILS |
| (R7) | DENOTES ROOF VENTS. REFER TO ROOF CALCULATIONS FOR OVERALL SQUARE FOOTAGE OF VENTING | (R14) (RO) | SECONDARY OVERFLOW ROOF DRAIN |

RIO MARINE VILLAGE

PHASE I WEST

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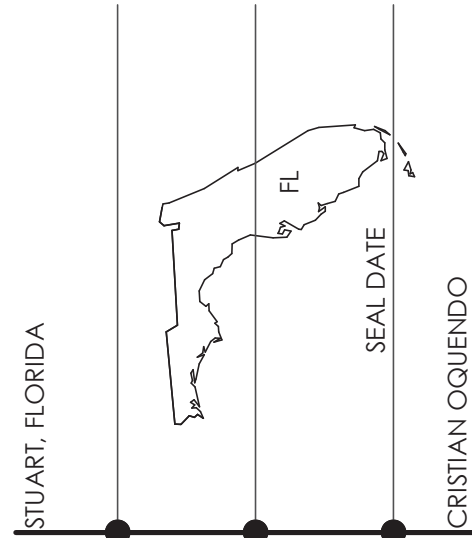
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Sheet Title
BLDG TYPE-10 MARINE
SERVICE ROOF PLAN

Sheet Number
A0.10CC
A1.10.2

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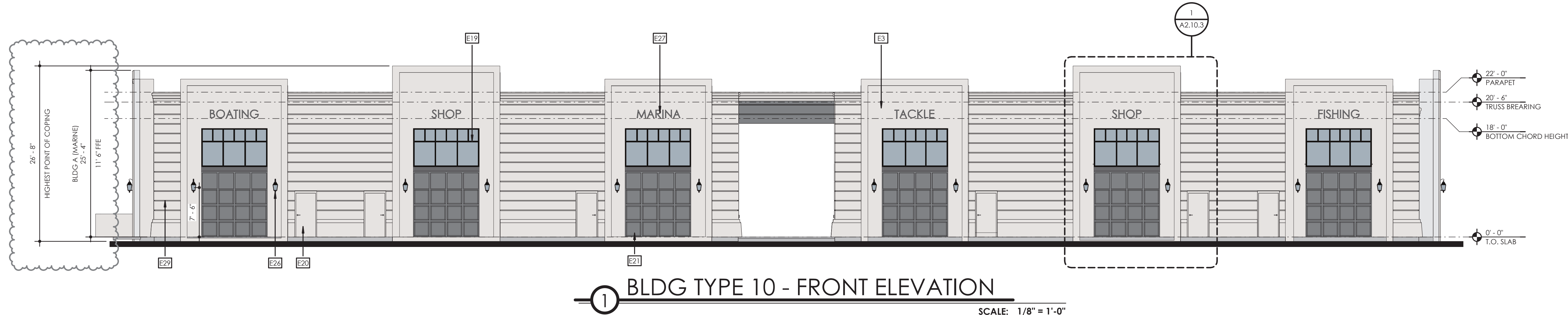
TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER' SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

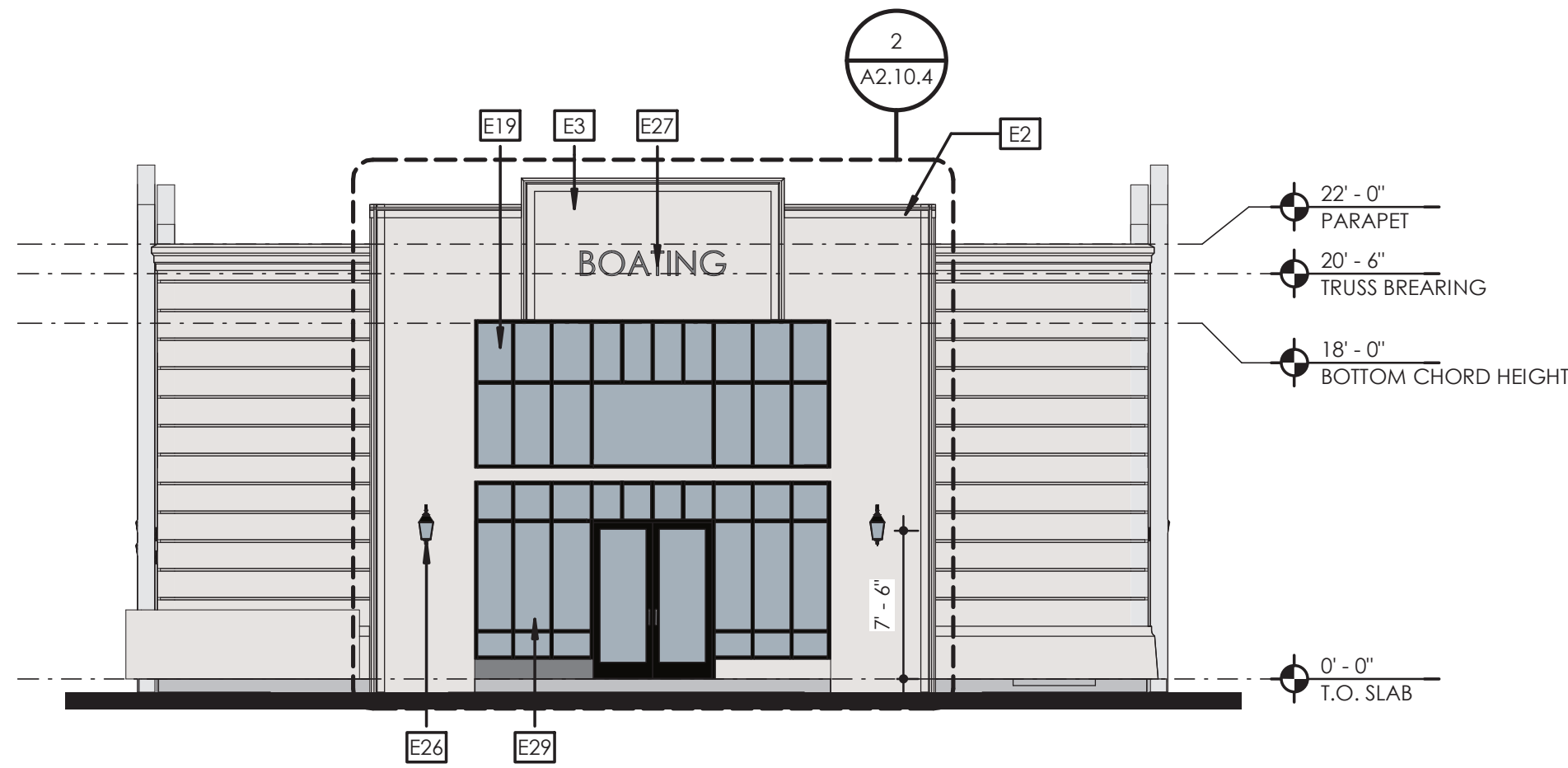
E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

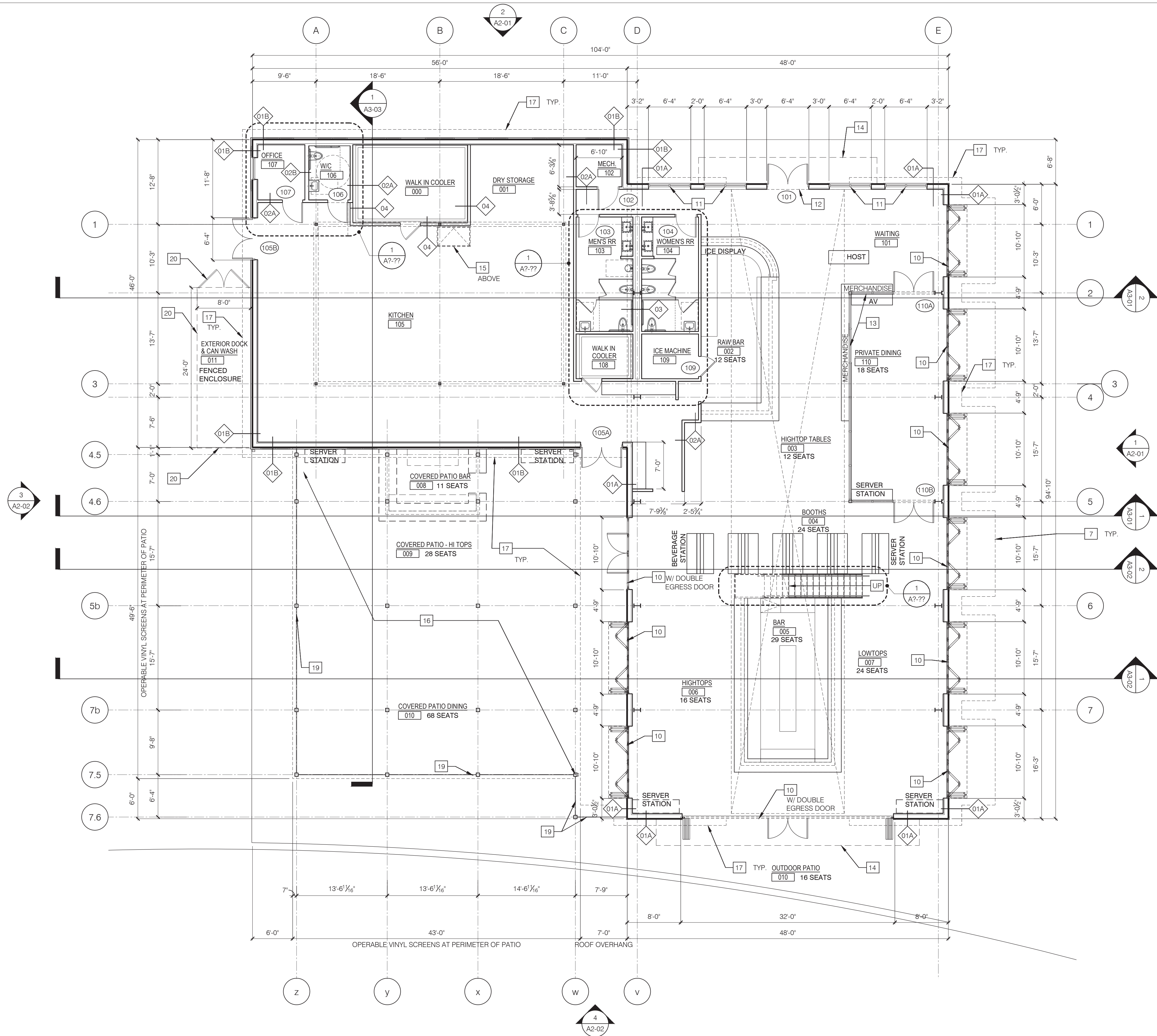
E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



1 BLDG TYPE 10 - REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 BLDG TYPE 10 - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



1 OVERALL BUILDING
GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING PLAN GENERAL NOTES

- INTERIOR WALLS ARE DIMENSIONED TO FACE OF DRYWALL OR CONCRETE. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF CONCRETE. WINDOWS ARE DIMENSIONED TO MASONRY OPENING.
- PROVIDE 5/8" (MINIMUM) GYPSUM WALLBOARD ON WALLS. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS AND WET LOCATIONS. PROVIDE CEMENT BACKER BOARD IN ALL AREAS TO RECEIVE CERAMIC TILE FINISH.
- VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL MEMBERS.
- PROVIDE BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- REFER TO A2 DRAWINGS FOR EXTERIOR ELEVATIONS FOR WINDOW TYPES & SIZES.
- REFER TO ENLARGED PLANS FOR WALL TAGS, DOOR TAGS, DIMENSIONS, ETC. NOT SHOWN ON OVERALL PLANS
- SEE A1-10 FOR CEILING PLANS
- SEE A3 DRAWINGS FOR ENLARGED PLANS AND INTERIOR ELEVATIONS
- SEE SHEET A9-03 FOR DOOR SCHEDULE, TYPE, AND JAMB DETAILS. A9-01 FOR FINISH SCHEDULES. A9-02 FOR PLUMBING AND LIGHTING SCHEDULES.
- SEE KITCHEN EQUIPMENT DRAWINGS - NOT PART OF ARCH. DRAWINGS FOR KITCHEN AND BAR LAYOUTS
- PROVIDE 'IC RATED' LIGHT FIXTURES IN INSULATED CEILING SPACES.
- PRODUCTS LISTED ARE B.O.D. (BASIS OF DESIGN). ANY ALTERNATES OR SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT AND MEET FLORIDA BUILDING APPROVALS AND N.O.A.'S

BUILDING PLAN KEYNOTES

- F.E.C. = FIRE EXTINGUISHER CABINET (RECESSED). LOCATIONS ARE TO BE AS REQUIRED BY NFPA 10 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF. 4" MAX PROTRUSION INTO PATH OF TRAVEL FROM FACE OF WALL.
- DOWNSPOUT, SEE CIVIL DRAWINGS FOR CONNECTION TO UNDERGROUND
- METAL GUARDRAIL, SEE DETAILS
- ALIGN FINISH FACE OF WALL
- 1-HOUR RATED PREFABRICATED FLUSH MOUNT INSULATED ATTIC ACCESS SCUTTLE, 24" X 24"
- FROST SLAB - REFER TO STRUCTURAL DWGS
- CANOPY ROOF ABOVE/BELOW
- LOCATION OF SUPPLY AIR DUCT ABOVE CEILING
- MAINTAIN 1'-6" HOLD DIMENSION AT PULL SIDE OF DOORS
- NANA WALL ENTRY - SEE DOOR SCHEDULE AND SPECS - SL73 B.O.D.
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T - B.O.D.
- STOREFRONT - OPERABLE ENTRY DOOR SYSTEM - SEE ELEVATIONS - KAWNEER IR501T - B.O.D.
- INTERIOR STOREFRONT - KAWNEER - TRIFAB 400 - B.O.D.
- PRE-ENGINEERED FLAT SOFFIT DECK STYLE ALUMINUM CANOPY - MAPES SUPER LUMIDECK FLAT SOFFIT B.O.D. OR EQUAL - HANGER ROD SUPPORTED BY MANUF. - PROVIDE INTERNAL STRUCTURAL BLOCKING PER MANUF'S REQUIREMENTS.
- ROOF ACCESS HATCH AND LADDER - B.O.D. J.L. INDUSTRIES DIAMOND SERIES 32" X 72" MODEL RHDA-6MF
- AUTOMATED ENGINEERED OVERHEAD MOTORIZED LOUVERED ALUMINUM TRELLIS SYSTEM - PROGRAMMABLE AND WITH WEATHER SENSORS - B.O.D. Struxure COMMERCIAL (tm) SYSTEM WITH INTEGRAL LIGHTING, FANS, HEATING, & AUDIO SYSTEM.
- EDGE OF ROOF OVERHANG ABOVE
- COMBINATION ROOF DRAIN AND OVERFLOW DRAIN - SEE PLUMBING DWGS.
- RETRACTABLE AUTOMATED SCREEN SYSTEM - B.O.D. STOETT SCREENS - PANORAMA ULTRA WIDE FORMAT RETRACTABLE SCREEN - DUAL SCREEN: INSECT AND VINYL WEATHER CURTAIN - OUTSIDE SURFACE MOUNTED TO STRUXURE COLUMNS AND BEAMS - ALTERNATE TO BE PROVIDED BY Struxure SYSTEM.
- COMPOSITE FENCING AND GATE - 6' HIGH - B.O.D. TREX SECLUSIONS FENCING - COLOR WINCHESTER GREY - WITH TREX GATE
- COMPOSITE PREMIUM SHUTTER - BAHAMA/BERMUDA STYLE - COLOR: DEEP SEA BLUE TO BE CONFIRMED WITH PHYSICAL SAMPLE - BY PACIFIC COLUMNS (PCI ENTERPRISES) & ARCHITECTURAL DEPOT - FULLVIEW IMPACT BAHAMA SHUTTER FLORIDA APPROVAL # 13434

Issues:	Date:	By:
CLIENT REVIEW	05-05-23	PMG

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

RIO South Dixie, LLC
601 Heritage Dr. #227
Jupiter, FL 33458

**RIO Marine Village
Phase II (West)**

1000 NE Dixie Hwy.
Rio, Florida 34957

Drawing Title:

OVERALL BUILDING PLANS

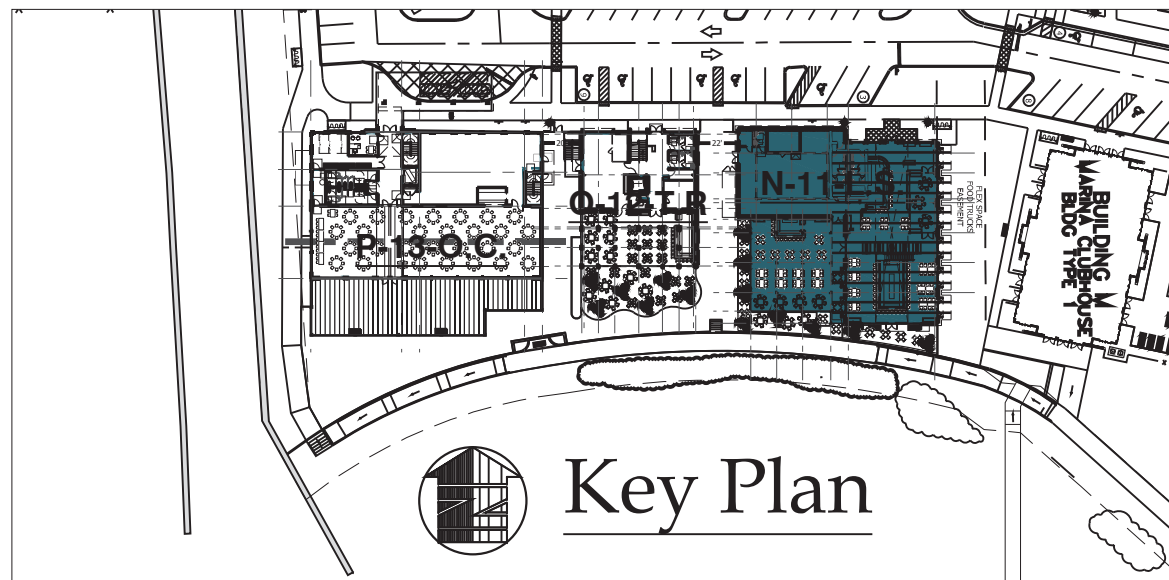
GROUND FLOOR

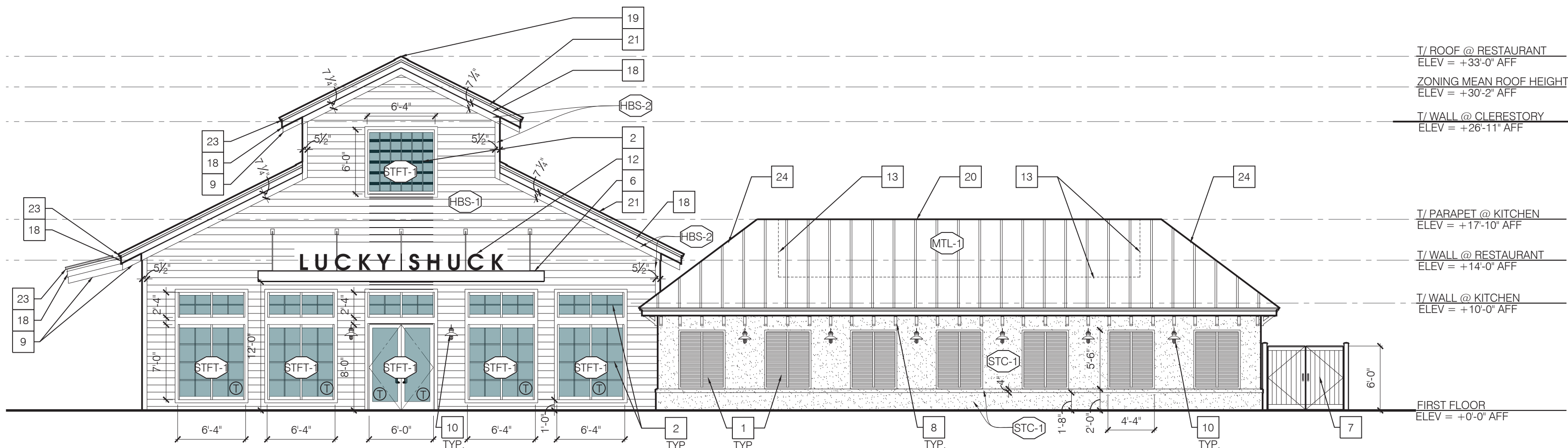
BUILDING N - TYPE 11 - L.S.

Date: 05-05-23
Project: 22-028

Drawn by: PMG
Checked by: PMG
Approved: SMD

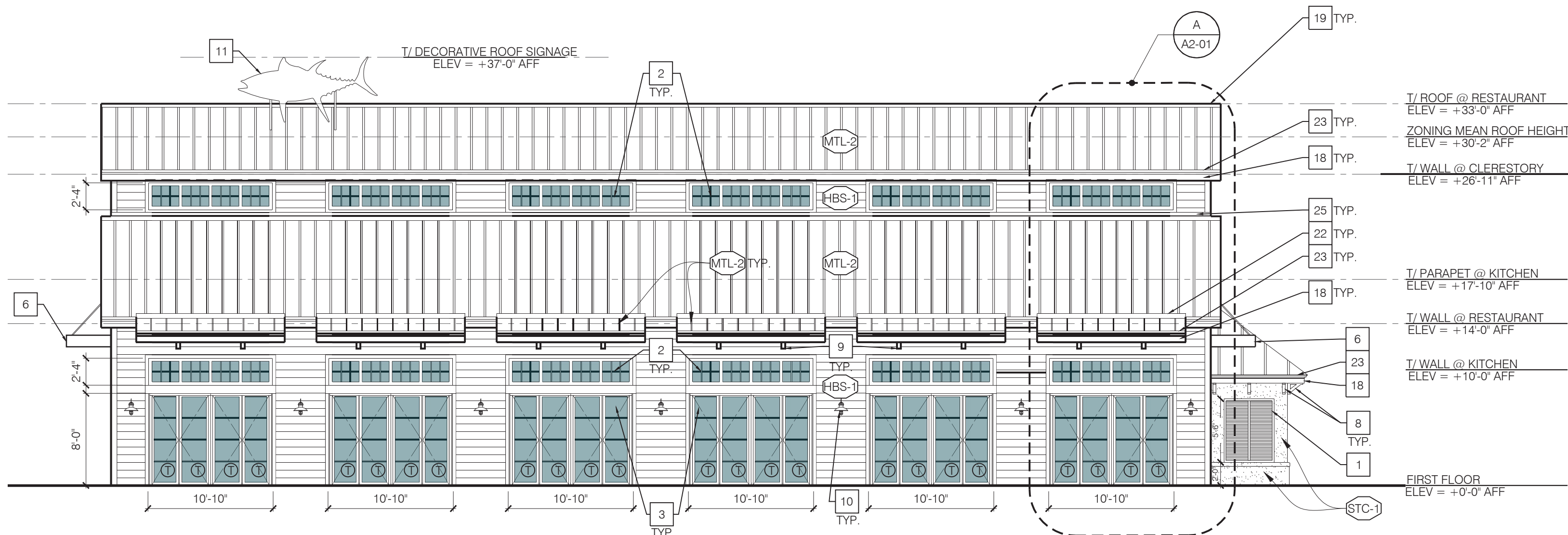
A1-01





2
A2-01
EXTERIOR BUILDING ELEVATION
PUBLIC WAY/FRONT FACING - (NORTH)
SCALE: 1/8" = 1'-0"

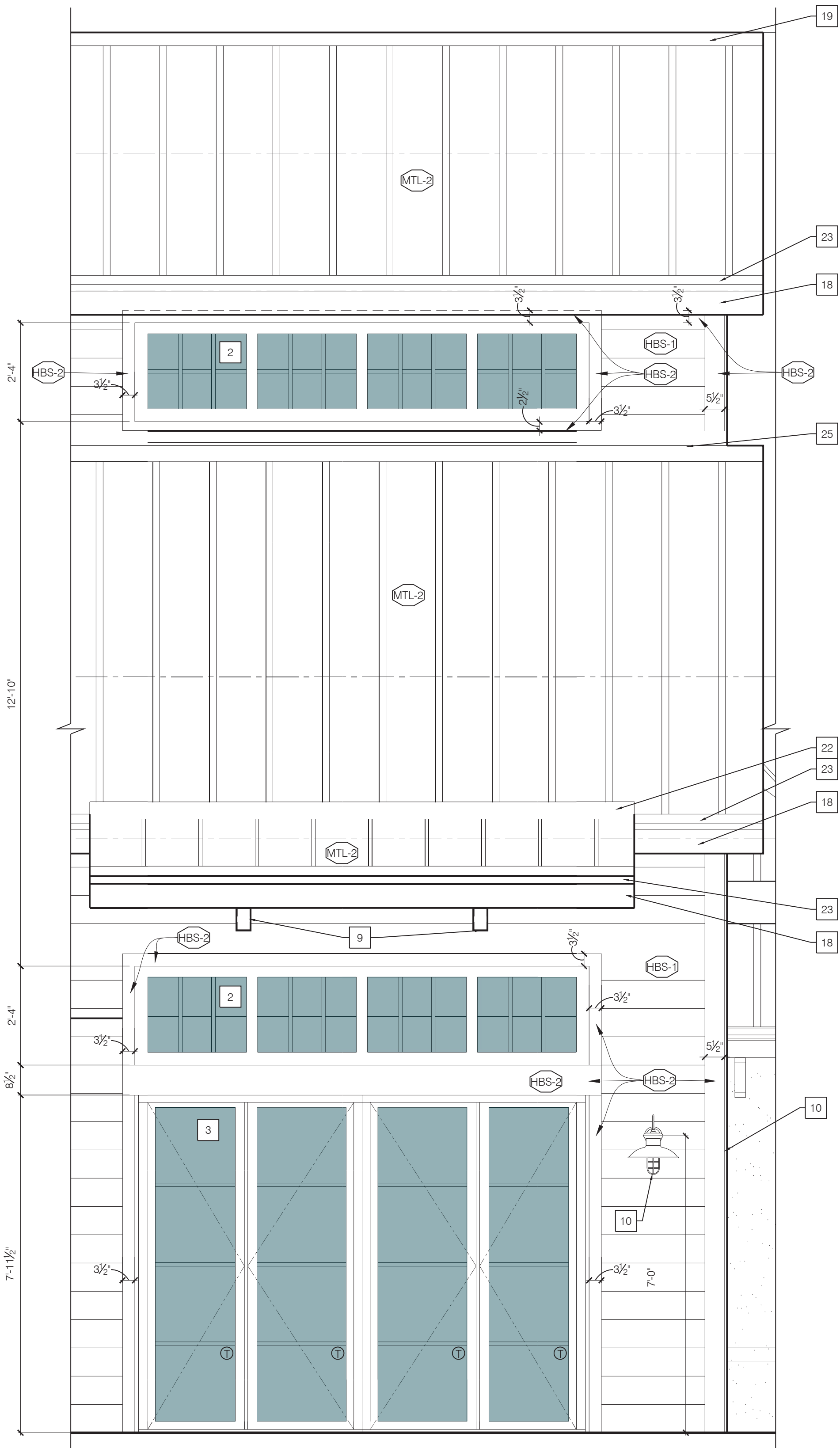
BUILDING N - TYPE 11 - L.S. -- % OF OPENING					
SHOFPFRONT DESIGNATION PER RIO ZONING	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED	ZONING FRONTAGE TYPE
GROUND LEVEL	1,632 S.F.	334 S.F.	20.5%	20 TO 70%	SHOFPFRONT PER SEC 12.3.05



1
A2-01
EXTERIOR BUILDING ELEVATION
PUBLIC WAY/PLAZA FACING - (EAST)
SCALE: 1/8" = 1'-0"

BUILDING N - TYPE 11 - L.S. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
GROUND LEVEL	1,645 S.F.	811 S.F.	49%	20 TO 70%

* CALCULATIONS PROVIDED FOR CLARIFICATION ONLY - THIS ELEVATION IS NOT ON A R.O.W.



A
A2-01
ENLARGED ELEVATION
PUBLIC WAY/PLAZA FACING - (EAST)
SCALE: 1/2" = 1'-0"

EXTERIOR FINISH LEGEND

STFT-1
Material: ALUM. STOREFRONT
Manufacturer: KAWNEER
Type: IR501T
Style: 5 1/2" depth, 2" sight line, simulated divided lites where shown
Color: Powder Coated - Custom Color per owner
Size: Verify existing opening sizes in field, refer to typical window elevations for intermediate mullion spacing.
Glazing: Clear insulated, low-e,

"T" indicates location of tempered glazing (located at all swing doors & locations where lights larger than 9 sf are located less than 18" above the walking surface) typical.

STC-1
Material: STUCCO
Manufacturer: Sto
Style: StoLit Milano Acrylic Smooth Finish
Color: 9433 Sto White

HBS-1
Material: CEMENT BOARD SIDING
Manufacturer: James Hardie
Style: Select Cedarmill Finish, 8" Lap
Color: Prefinished - Sail Cloth - Trim to Match

HBS-3
Material: CEMENT BOARD TRIM
Manufacturer: JAMES HARDIE
Style: Smooth Finish
Size: As Dimensioned on Drawings
Color: Prefinished - Sail Cloth

MTL-1
Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 24" flat
Color: SILVER METALLIC

MTL-3
Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 16" flat
Color: SILVER METALLIC

ELEVATION KEYNOTES

- COMPOSITE PREMIUM SHUTTER - LOUVER STYLE #6 - COLOR: DEEP SEA BLUE TO BE CONFIRMED WITH PHYSICAL SAMPLE - BY PACIFIC COLUMNS (PCI ENTERPRISES) & ARCHITECTURAL DEPOT - FULLVIEW IMPACT BAHAMA SHUTTER FLORIDA APPROVAL # 13434 - TO BE SECURED IN PLACE - NON OPERABLE IN CLOSED POSITION
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T - B.O.D. - POWDER COATED CUSTOM COLOR PER OWNER
- NANA WALL ENTRY DOOR - SEE DOOR SCHEDULE AND SPECS - SL73 B.O.D. CUSTOM COLOR TO MATCH NOTE 2 STOREFRONT
- NANA WALL SLIDING WALL SYSTEM - SEE DOOR SCHEDULE AND SPECS - SL73 B.O.D. CUSTOM COLOR TO MATCH NOTE 2 STOREFRONT
- THERMA-TRU ENTRY DOOR
- PRE-ENGINEERED FLAT SOFFIT DECK STYLE ALUMINUM CANOPY - MAPES SUPER LUMIDECK FLAT SOFFIT B.O.D. OR EQUAL - HANGER ROD SUPPORTED BY MANUF. - KYNAR FINISH - COLOR: CHARCOAL GRAY
- DUMPSTER ENCLOSURE: COMPOSITE FENCING AND GATE - 6' HIGH - B.O.D. TREX SECLUSIONS FENCING - COLOR WINCHESTER GREY - WITH TREX GATE
- ARCHITECTURAL PRE-MANUFACTURED MOLDED POLYURETHANE BRACKET - B.O.D. "BKT12X16" - 16" PROJECTION, 1 1/2" HIGH, 3" WIDE - WHITE
- EXPOSED STEEL STRUCTURAL FRAMING - KYNAR PAINT FINISH TO MATCH NOTE 6 CANOPIES CHARCOAL GRAY - ARCHITECT TO SELECT FROM SELECTED PAINT MANUF.
- WALL SCENCE LIGHT FIXTURE
- DECORATIVE ROOF TOP SIGNAGE - FISH SCULPTURE BY OTHERS
- SIGNAGE BY OTHERS
- SCREENED MECHANICAL ROOFTOP
- AUTOMATED ENGINEERED OVERHEAD MOTORIZED LOUVERED ALUMINUM TRELLIS SYSTEM - PROGRAMMABLE AND WITH WEATHER SENSORS - B.O.D. StruXure COMMERCIAL (tm) SYSTEM WITH INTEGRAL LIGHTING, FANS, HEATING, & AUDIO SYSTEM
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- GUTTER - 5" BOX GUTTER - PREFINISHED ALUMINUM - COLOR TO MATCH FIBER CEMENT FASCIA HBS-1
- DOWNSPOUT - COLOR TO MATCH ADJACENT WALL COLOR, SEE CIVIL DRAWINGS FOR CONNECTION TO UNDERGROUND

- FIBER CEMENT FASCIA OR RAKE - SEE SECTIONS - COLOR TO MATCH HBS - 1
- FIXED RIDGE CAP - COLOR TO MATCH ROOF*
- FIXED HIGH EAVE AT TOP OF ROOF/WALL INTERSECTION - COLOR TO MATCH ROOF*
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- FIXED HIP CAP - COLOR TO MATCH ROOF*
- FIXED HEADWALL - COLOR TO MATCH ROOF*

GENERAL NOTES:
--PRODUCTS LISTED ARE B.O.D (BASIS OF DESIGN). ANY ALTERNATES OR SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT AND MEET FLORIDA BUILDING APPROVALS AND N.O.A.'S
-- G.C. TO SUBMIT PHYSICAL SAMPLES FOR EACH MATERIAL IN EACH FINISH AND COLOR TO ARCHITECT
--ALL SIGNAGE TO BE REVIEWED AT TIME OF BUILDING PERMIT FOR COMPLIANCE WITH MARTIN COUNTY SIGN REGULATIONS
--BUILDING HEIGHT NOTED FOR ZONING REVIEW IS TAKEN FROM THE LOWEST FFE (AS SHOWN MINIMUM) TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGE.

* SEE SECTIONS AND DETAILS

Issues: Date: By:
COUNTY REVIEW 09-30-22 o PMG
COUNTY RESUBMITTAL 05-11-23 o PMG

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601 Heritage Dr. #227
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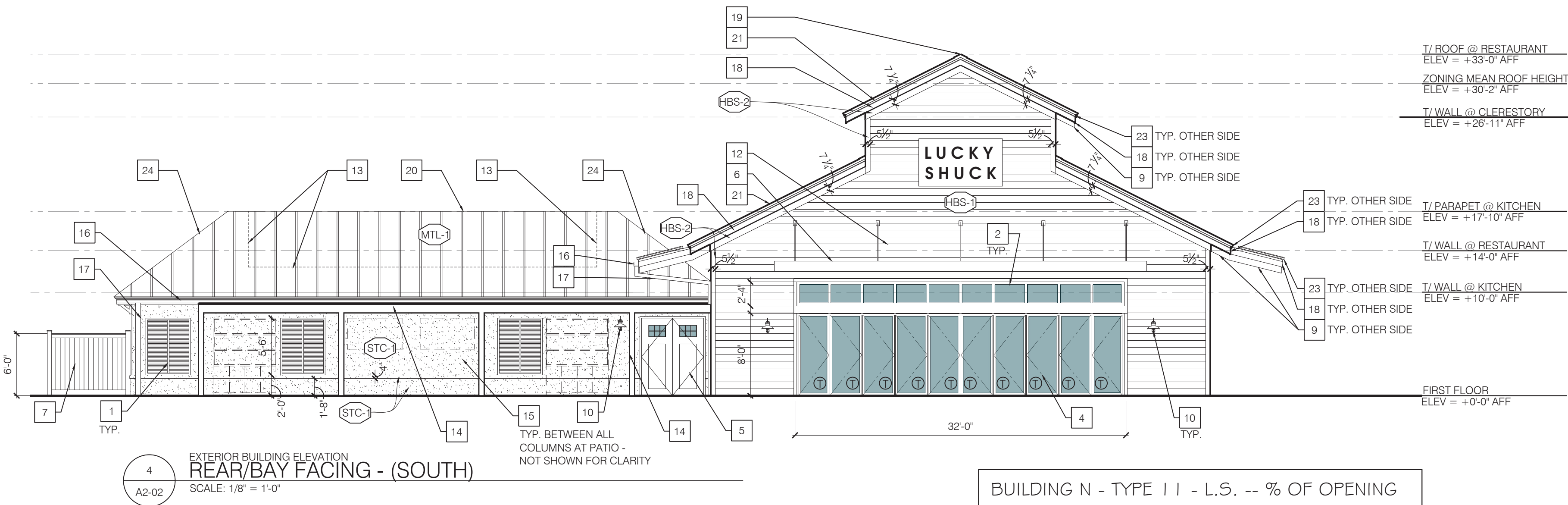
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BUILDING ELEVATIONS

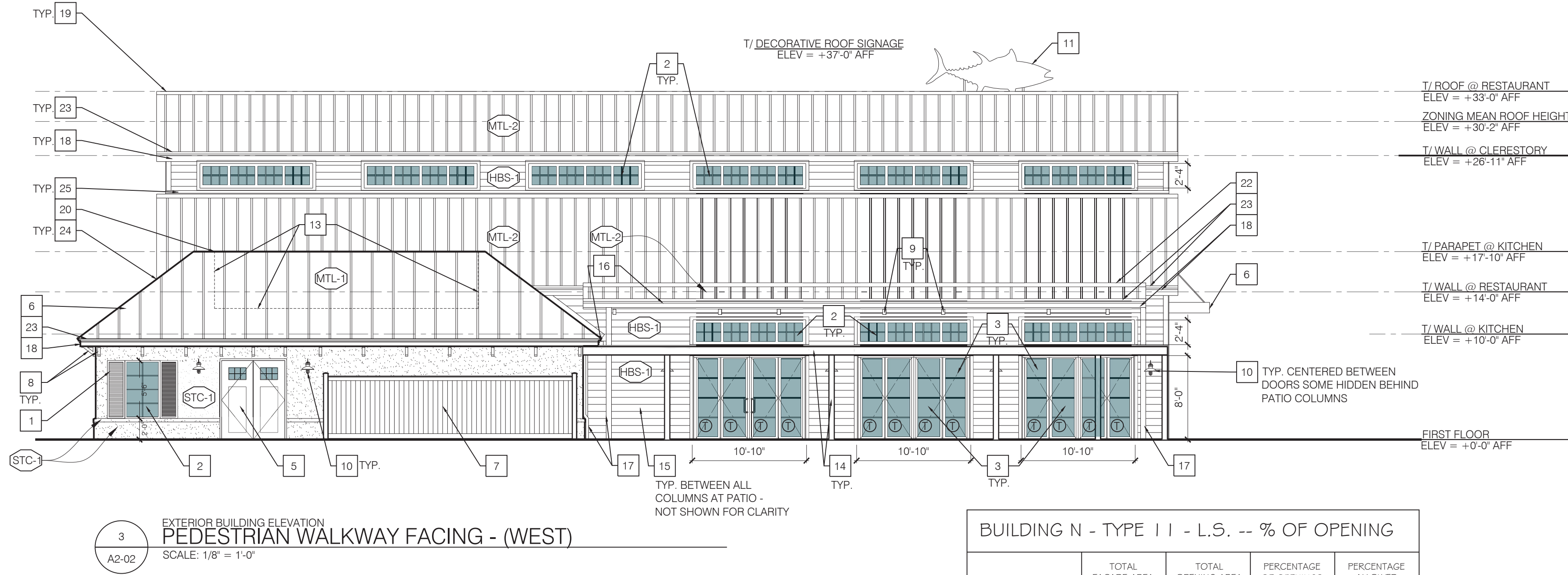
BUILDING N - TYPE 11 - L.S.

Date: 05-05-23
Project: 22-028
Drawn by: MBY
Checked by: PMG
Approved: SMD

A2-01



BUILDING N - TYPE 11 - L.S. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
GROUND LEVEL	1,608 S.F.	320 S.F.	20%	20 TO 70%
* CALCULATIONS PROVIDED FOR CLARIFICATION ONLY - THIS ELEVATION IS NOT ON A R.O.W.				



BUILDING N - TYPE 11 - L.S. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
GROUND LEVEL	1,539 S.F.	462 S.F.	30%	20 TO 70%
* CALCULATIONS PROVIDED FOR CLARIFICATION ONLY - THIS ELEVATION DOES NOT FACE STREET OR CIVIC OPEN SPACES				

EXTERIOR FINISH LEGEND

STFT-1
Material: ALUM. STOREFRONT
Manufacturer: KAWNEER
Type: IR501T
Style: 5 1/2" depth, 2" sight line, simulated divided lites where shown
Color: Powder Coated - Custom Color per owner
Size: Verify existing opening sizes in field, refer to typical window elevations for intermediate mullion spacing.
Glazing: Clear insulated, low-e,

"T" indicates location of tempered glazing (located at all swing doors & locations where lights larger than 9 sf are located less than 18" above the walking surface) typical.

STC-1
Material: STUCCO
Manufacturer: Sto
Style: StoLit Milano Acrylic Smooth Finish
Color: 9433 Sto White

HBS-1
Material: CEMENT BOARD SIDING
Manufacturer: James Hardie
Style: Select Cedarmill Finish, 8" Lap
Color: Prefinished - Sail Cloth - Trim to Match

HBS-2
Material: CEMENT BOARD TRIM
Manufacturer: JAMES HARDIE
Style: Smooth Finish
Size: As Dimensioned on Drawings
Color: Prefinished - Sail Cloth

MTL-1
Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 24" flat
Color: SILVER METALLIC

MTL-2
Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 16" flat
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ELEVATION KEYNOTES

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- FIBER CEMENT FASCIA OR RAKE - SEE SECTIONS - COLOR TO MATCH HBS - 1
- FIXED RIDGE CAP - COLOR TO MATCH ROOF*
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* SEE SECTIONS AND DETAILS

Issues:	Date:	By:
COUNTY REVIEW	09-30-22	PMG
COUNTY RESUBMITTAL	05-11-23	PMG

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
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601 Heritage Dr. #227
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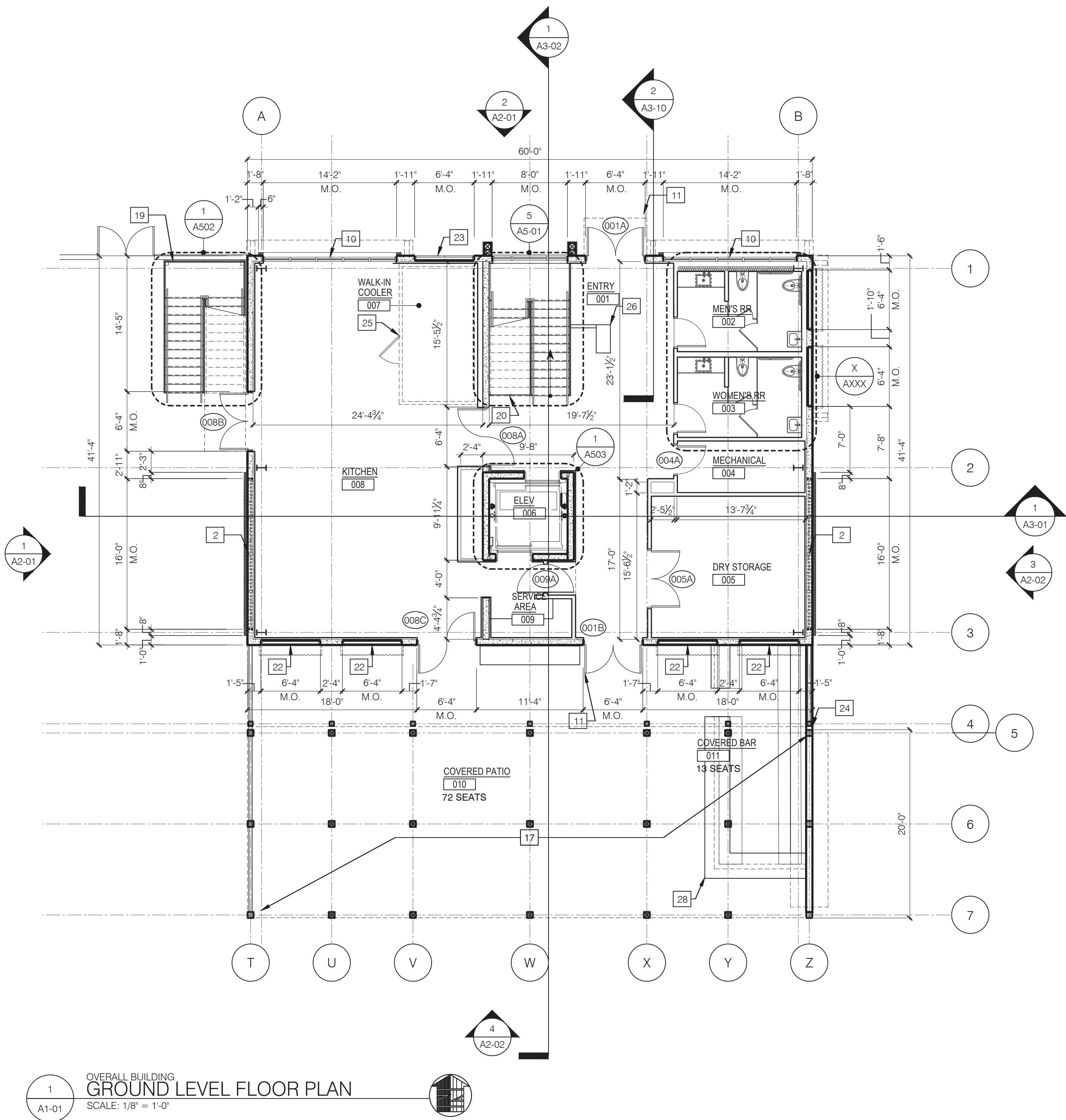
Drawing Title:

BUILDING ELEVATIONS

BUILDING N - TYPE 11 - L.S.

Date 05-05-23	Project 22-028
Drawn by MBY	Drawing Number
Checked by PMG	
Approved SMD	

A2-02

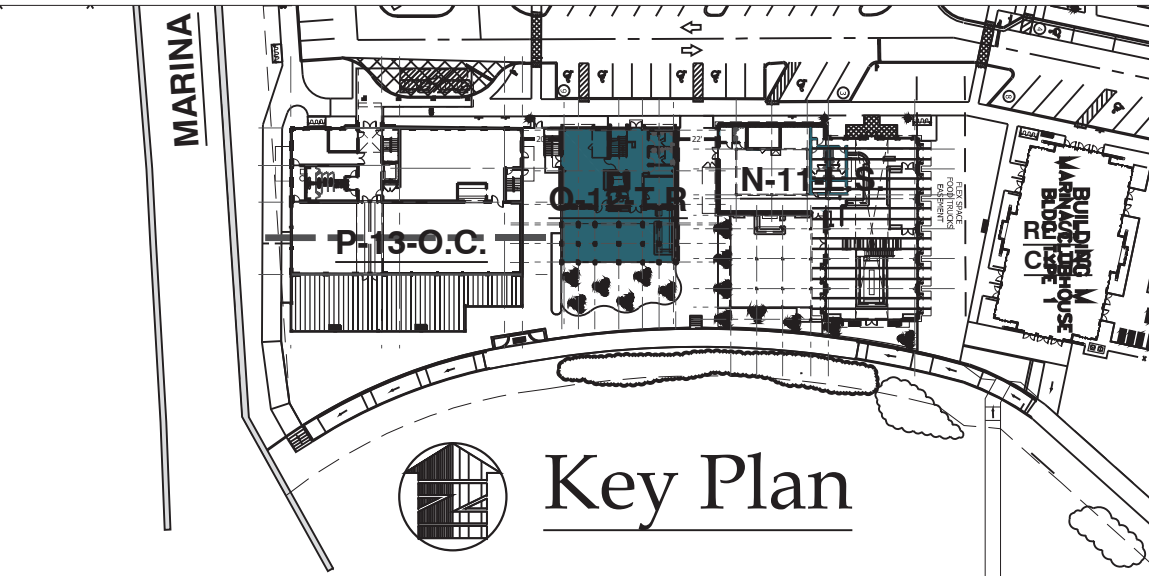


BUILDING PLAN GENERAL NOTES

- INTERIOR WALLS ARE DIMENSIONED TO FACE OF DRYWALL OR CONCRETE. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF CONCRETE. WINDOWS ARE DIMENSIONED TO MASONRY OPENING.
- PROVIDE 5/8" (MINIMUM) GYPSUM WALLBOARD ON WALLS. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS AND WET LOCATIONS. PROVIDE CEMENT BACKER BOARD IN ALL AREAS TO RECEIVE CERAMIC TILE FINISH.
- VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETS OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL MEMBERS.
- PROVIDE BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- REFER TO A2 DRAWINGS FOR EXTERIOR ELEVATIONS FOR WINDOW TYPES & SIZES.
- REFER TO ENLARGED PLANS FOR WALL TAGS, DOOR TAGS, DIMENSIONS, ETC. NOT SHOWN ON OVERALL PLANS
- SEE A1-1.0 FOR CEILING PLANS
- SEE A3 DRAWINGS FOR ENLARGED PLANS AND INTERIOR ELEVATIONS
- SEE SHEET A9-03 FOR DOOR SCHEDULE, TYPE, AND JAMB DETAILS. A9-01 FOR FINISH SCHEDULES. A9-02 FOR PLUMBING AND LIGHTING SCHEDULES.
- SEE KITCHEN EQUIPMENT DRAWINGS - NOT PART OF ARCH. DRAWINGS FOR KITCHEN AND BAR LAYOUTS
- PROVIDE 'IC RATED' LIGHT FIXTURES IN INSULATED CEILING SPACES.

BUILDING PLAN KEYNOTES

- F.E.C. = FIRE EXTINGUISHER CABINET (RECESSED). LOCATIONS ARE TO BE AS REQUIRED BY NFPA 1.0 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF. 4" MAX PROTRUSION INTO PATH OF TRAVEL FROM FACE OF WALL.
- TRANSOM WINDOW ABOVE - FILMED WITH INSULATED WALL BEHIND IT.
- CABLE GUARDRAIL, SEE DETAILS
- ALIGN FINISH FACE OF WALL
- FROST SLAB - REFER TO STRUCTURAL DWGS
- CANOPY ROOF ABOVE/BELOW
- LOCATION OF SUPPLY AIR DUCT ABOVE CEILING
- MAINTAIN 1'-6" HOLD DIMENSION AT PULL SIDE OF DOORS
- NANA WALL ENTRY - SEE DOOR SCHEDULE AND SPECS - SL73 B.O.D.
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T - B.O.D.
- STOREFRONT - OPERABLE ENTRY DOOR SYSTEM - SEE ELEVATIONS - KAWNEER IR501T - B.O.D.
- INTERIOR STOREFRONT - KAWNEER - TRIFAB 400 - B.O.D.
- PRE-ENGINEERED FLAT SOFFIT DECK STYLE ALUMINUM CANOPY - MAPES SUPER LUMIDECK FLAT SOFFIT B.O.D. OR EQUAL - HANGER ROD SUPPORTED BY MANUF. - PROVIDE INTERNAL STRUCTURAL BLOCKING PER MANUF'S REQUIREMENTS.
- AUTOMATED ENGINEERED OVERHEAD MOTORIZED LOUVERED ALUMINUM TRELLIS SYSTEM - PROGRAMMABLE AND WITH WEATHER SENSORS - B.O.D. StruXure COMMERCIAL (tm) SYSTEM WITH INTEGRAL LIGHTING, FANS, HEATING, & AUDIO SYSTEM.
- EDGE OF ROOF OVERHANG ABOVE
- COMBINATION ROOF DRAIN AND OVERFLOW DRAIN - SEE PLUMBING DWGS.
- RETRACTABLE AUTOMATED SCREEN SYSTEM - B.O.D. STOETT SCREENS - PANORAMA ULTRA WIDE FORMAT RETRACTABLE SCREEN - DUAL SCREEN: INSECT AND VINYL WEATHER CURTAIN - OUTSIDE SURFACE MOUNTED TO STRUXURE COLUMNS AND BEAMS
- MOTORIZED TILT-UP GLASS OVERHEAD DOORS - SEE ELEVATIONS AND SPECS - RENUTA S1000 B.O.D.
- METAL EXTERIOR STAIRS W/ TREX TREADS AND LANDING. CABLE GUARDRAIL ATTACHED TO STRINGER W/ HANDRAIL SUPPORTED FROM GUARDRAIL POST. SEE DETAILS.
- INTERIOR STAIRS, 2" C-CHANNEL STRINGER W/ WOOD TREADS AND OPEN RISER. CABLE GUARDRAIL ATTACHED TO STRINGER W/ HANDRAIL SUPPORTED FROM GUARDRAIL POST
- DASHED LINE INDICATES STAIR LANDING ABOVE
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T. FILMED WITH INSULATED WALL BEHIND IT W/ BAHAMA SHUTTER ON EXT. WALL.
- STOREFRONT - FALSE ENTRY DOOR SYSTEM - SEE ELEVATIONS - KAWNEER IR501T - B.O.D. FILMED WITH INSULATED WALL BEHIND IT.
- DASHED LINE INDICATES DECK ABOVE. SEE ELEVATIONS.
- WALK-IN COOLER TBD.
- HOSTESS STAND BY OTHERS
- DASHED LINE INDICATES EDGE OF BUILDING BELOW.
- BUILT IN BAR TBD



BUILDING	USE GROUP	CONST. TYPE	HEIGHT ABOVE GRADE (FT)			STORIES		AREA FACTOR (GSF)	
			FBC ALLOWED	RIO ZONING ALLOWED	ACTUAL	ALLOWED	ACTUAL	ALLOWED	ACTUAL
O - TYPE 12 - T.R.	A-2	II-B	75'	40'	34'-11"	3	2	28,500	1ST FLOOR 2,480 2ND FLOOR 3,000 TOTAL 5,480
SPRINKLERED - NFPA 13								COVERED 1ST FLOOR PATIO AREA - 1,720 GSF	

Issues:	Date:	By:
COUNTY REVIEW	09-30-22	PMG
COUNTY RESUBMITTAL	05-11-23	PMG

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

RIO South Dixie, LLC
601 Heritage Dr. #227
Jupiter, FL 33458

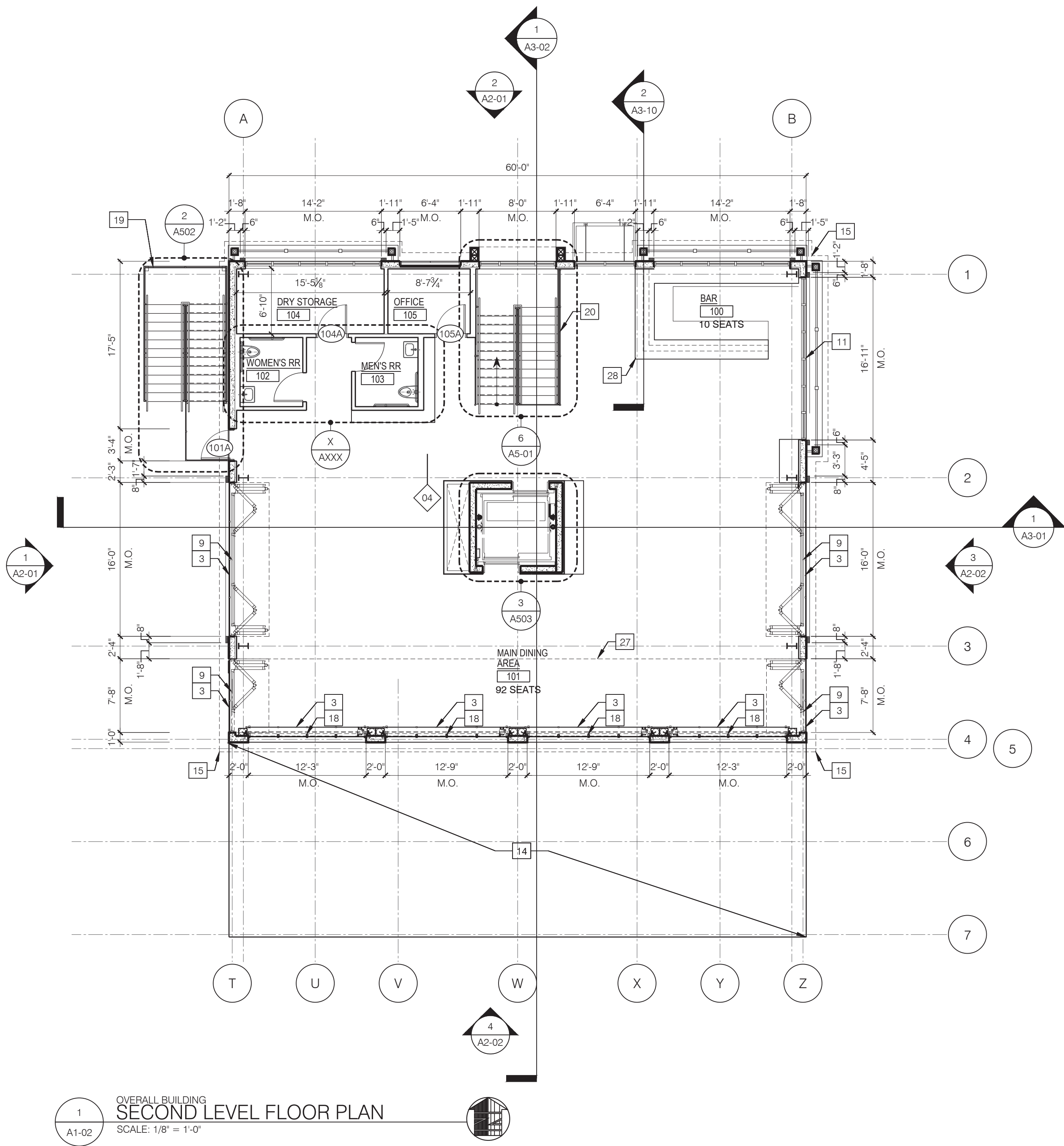
RIO Marine Village Phase II (West)

1000 NE Dixie Hwy.
Rio, Florida 34957

Drawing Title:
OVERALL BUILDING PLANS
GROUND FLOOR

BUILDING O - TYPE 12 - T.R.

Date: 05-05-23	Project: 22-028
Drawn by: MBY	Drawing Number:
Checked by: PMG	A1-01
Approved: SMD	

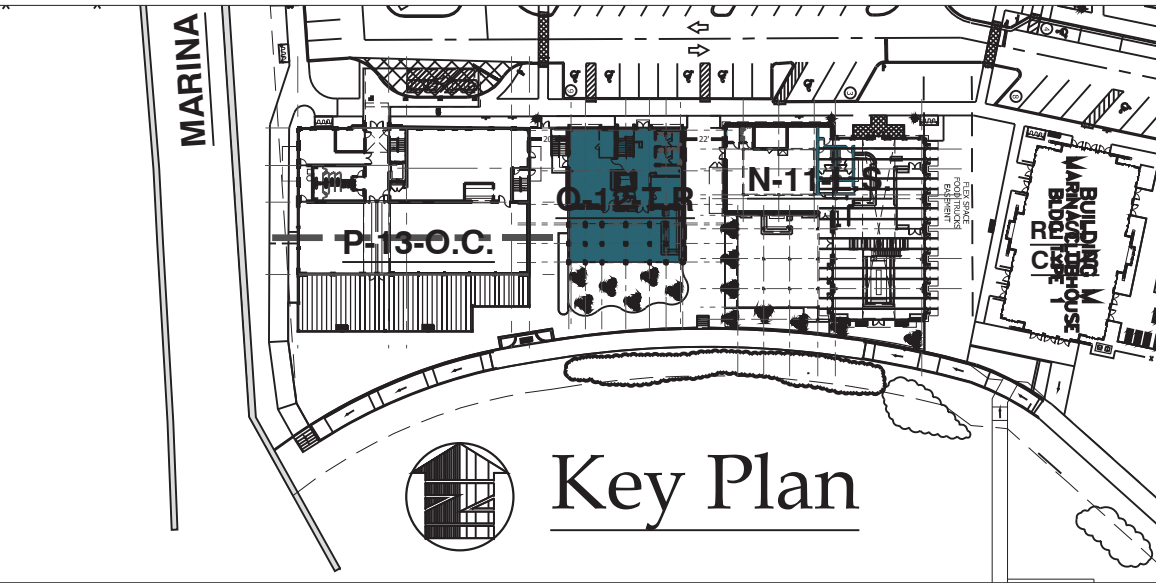


BUILDING PLAN GENERAL NOTES

- INTERIOR WALLS ARE DIMENSIONED TO FACE OF DRYWALL OR CONCRETE. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF CONCRETE. WINDOWS ARE DIMENSIONED TO MASONRY OPENING.
- PROVIDE 5/8" (MINIMUM) GYPSUM WALLBOARD ON WALLS. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS AND WET LOCATIONS. PROVIDE CEMENT BACKER BOARD IN ALL AREAS TO RECEIVE CERAMIC TILE FINISH.
- VERIFY REQUIRED ADEQUATE CLEARANCES FOR FURNACE & WATER HEATER INSTALLATION WITH MECHANICAL EQUIPMENT SUPPLIER'S SPECIFICATIONS BEFORE LOCATING UTILITY ROOM WALLS & DOORS.
- VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK. NO NOTCHING PERMITTED IN ANY STRUCTURAL MEMBERS.
- PROVIDE BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALLBOARD JOINTS THAT ARE NOT LOCATED AT A STUD.
- REFER TO A2 DRAWINGS FOR EXTERIOR ELEVATIONS FOR WINDOW TYPES & SIZES.
- REFER TO ENLARGED PLANS FOR WALL TAGS, DOOR TAGS, DIMENSIONS, ETC. NOT SHOWN ON OVERALL PLANS
- SEE A1-1-0 FOR CEILING PLANS
- SEE A3 DRAWINGS FOR ENLARGED PLANS AND INTERIOR ELEVATIONS
- SEE SHEET A9-03 FOR DOOR SCHEDULE, TYPE, AND JAMB DETAILS. A9-01 FOR FINISH SCHEDULES. A9-02 FOR PLUMBING AND LIGHTING SCHEDULES.
- SEE KITCHEN EQUIPMENT DRAWINGS - NOT PART OF ARCH. DRAWINGS FOR KITCHEN AND BAR LAYOUTS
- PROVIDE 'IC RATED' LIGHT FIXTURES IN INSULATED CEILING SPACES.

BUILDING PLAN KEYNOTES

- F.E.C = FIRE EXTINGUISHER CABINET (RECESSED). LOCATIONS ARE TO BE AS REQUIRED BY NFPA 10 AND FINAL LOCATIONS AND QUANTITIES ARE TO BE COORDINATED WITH LOCAL FIRE CHIEF. 4" MAX PROTRUSION INTO PATH OF TRAVEL FROM FACE OF WALL.
- TRANSOM WINDOW ABOVE - FILMED WITH INSULATED WALL BEHIND IT.
- CABLE GUARDRAIL, SEE DETAILS
- ALIGN FINISH FACE OF WALL
- FROST SLAB - REFER TO STRUCTURAL DWGS
- CANOPY ROOF ABOVE/BELOW
- LOCATION OF SUPPLY AIR DUCT ABOVE CEILING
- MAINTAIN 1'-6" HOLD DIMENSION AT PULL SIDE OF DOORS
- NANA WALL ENTRY - SEE DOOR SCHEDULE AND SPECS - SL73 B.O.D.
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T - B.O.D.
- STOREFRONT - OPERABLE ENTRY DOOR SYSTEM - SEE ELEVATIONS - KAWNEER IR501T - B.O.D.
- INTERIOR STOREFRONT - KAWNEER - TRIFAB 400 - B.O.D.
- PRE-ENGINEERED FLAT SOFFIT DECK STYLE ALUMINUM CANOPY - MAPES SUPER LUMIDECK FLAT SOFFIT B.O.D. OR EQUAL - HANGER ROD SUPPORTED BY MANUF. - PROVIDE INTERNAL STRUCTURAL BLOCKING PER MANUF'S REQUIREMENTS.
- AUTOMATED ENGINEERED OVERHEAD MOTORIZED LOUVERED ALUMINUM TRELLIS SYSTEM - PROGRAMMABLE AND WITH WEATHER SENSORS - B.O.D. StruXure COMMERCIAL (tm) SYSTEM WITH INTEGRAL LIGHTING, FANS, HEATING, & AUDIO SYSTEM.
- EDGE OF ROOF OVERHANG ABOVE
- COMBINATION ROOF DRAIN AND OVERFLOW DRAIN - SEE PLUMBING DWGS.
- RETRACTABLE AUTOMATED SCREEN SYSTEM - B.O.D. STOETT SCREENS - PANORAMA ULTRA WIDE FORMAT RETRACTABLE SCREEN - DUAL SCREEN: INSECT AND VINYL WEATHER CURTAIN - OUTSIDE SURFACE MOUNTED TO STRUXURE COLUMNS AND BEAMS
- MOTORIZED TILT-UP GLASS OVERHEAD DOORS - SEE ELEVATIONS AND SPECS - RENUTA S1000 B.O.D.
- METAL EXTERIOR STAIRS W/ TREX TREADS AND LANDING. CABLE GUARDRAIL ATTACHED TO STRINGER W/ HANDRAIL SUPPORTED FROM GUARDRAIL POST. SEE DETAILS.
- INTERIOR STAIRS, 2" C-CHANNEL STRINGER W/ WOOD TREADS AND OPEN RISER. CABLE GUARDRAIL ATTACHED TO STRINGER W/ HANDRAIL SUPPORTED FROM GUARDRAIL POST
- DASHED LINE INDICATES STAIR LANDING ABOVE
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T. FILMED WITH INSULATED WALL BEHIND IT W/ BAHAMA SHUTTER ON EXT. WALL.
- STOREFRONT - FALSE ENTRY DOOR SYSTEM - SEE ELEVATIONS - KAWNEER IR501T - B.O.D. FILMED WITH INSULATED WALL BEHIND IT.
- DASHED LINE INDICATES DECK ABOVE. SEE ELEVATIONS.
- WALK-IN COOLER TBD.
- HOTNESS STAND BY OTHERS
- DASHED LINE INDICATES EDGE OF BUILDING BELOW.
- BUILT IN BAR TBD



BUILDING	USE GROUP	CONST. TYPE	HEIGHT ABOVE GRADE (FT)			STORIES		AREA FACTOR (GSF)	
			FBC ALLOWED	RIO ZONING ALLOWED	ACTUAL	ALLOWED	ACTUAL	ALLOWED	ACTUAL
O - TYPE 12 - T.R.	A-2	II-B	75'	40'	34'-11"	3	2	28,500	1ST FLOOR 2,480 2ND FLOOR 3,000 TOTAL 5,480
SPRINKLERED - NFPA 13								COVERED 1ST FLOOR PATIO AREA - 1,720 GSF	

Issues:	Date:	By:
COUNTY REVIEW	09-30-22	PMG
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DIMIT ARCHITECTS
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216-221-9021**

RIO South Dixie, LLC
601 Heritage Dr. #227
Jupiter, FL 33458

**RIO Marine Village
Phase II (West)**

1000 NE Dixie Hwy.
Rio, Florida 34957

Drawing Title:
**OVERALL BUILDING PLANS
SECOND FLOOR**

BUILDING O - TYPE 12 - T.R.

Date: 05-05-23	Project: 22-028
Drawn by: MBY	Drawing Number: A1-02
Checked by: PMG	
Approved: SMD	

NORTH - BUILDING O - TYPE 12 - T.R. -- % OF OPENING

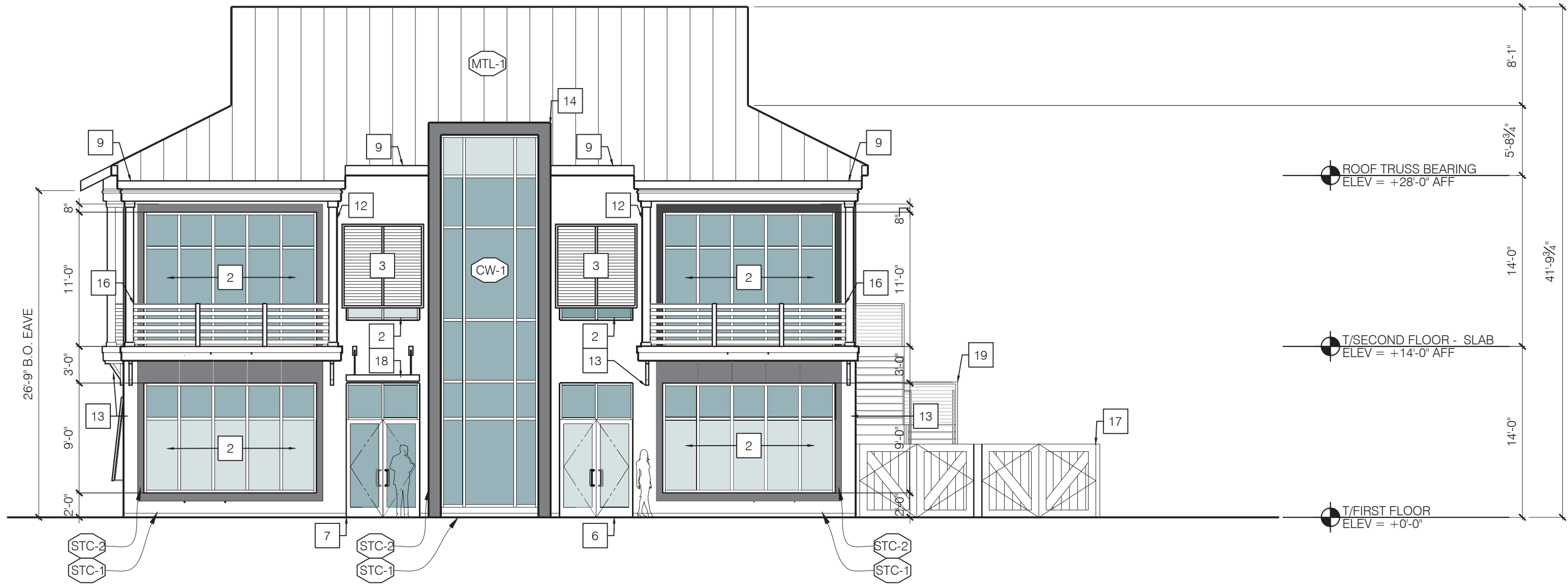
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
UPPER LEVEL	870 S.F.	353 S.F.	42%	20 TO 50%
GROUND LEVEL	840 S.F.	274 S.F.	33%	20-TO 70%

WEST - BUILDING O - TYPE 12 - T.R. -- % OF OPENING

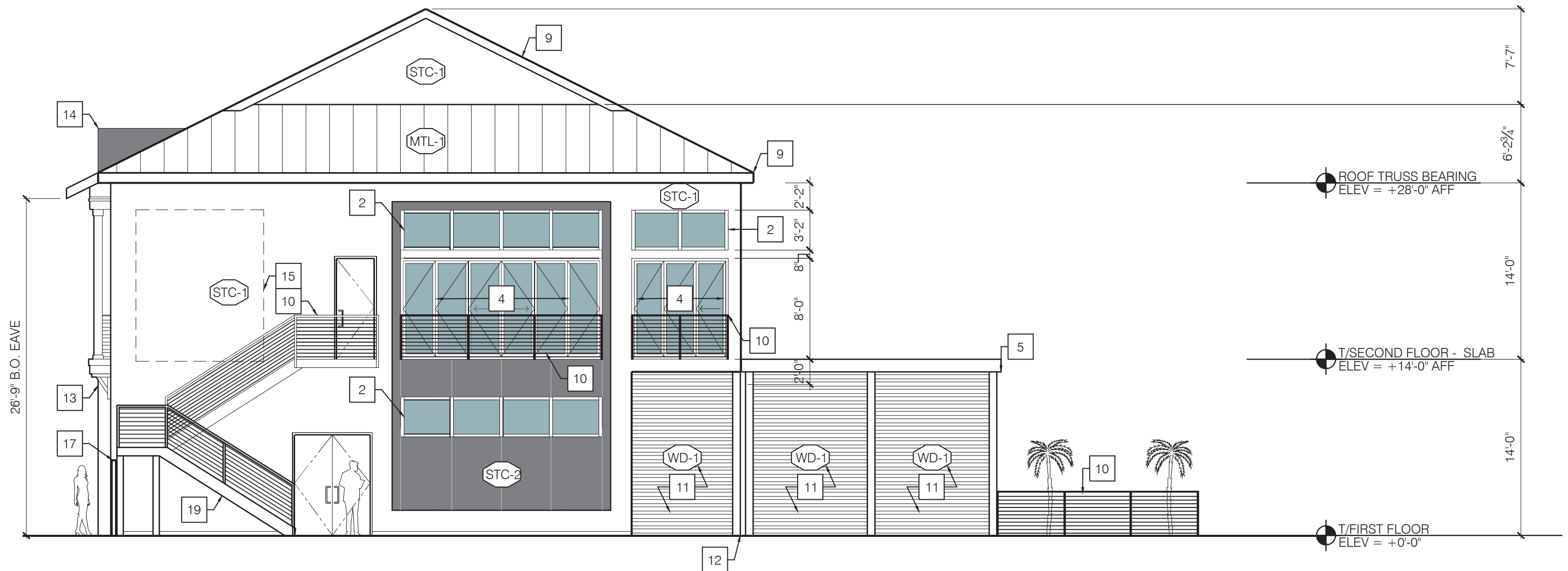
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
UPPER LEVEL	700 S.F.	260 S.F.	37%	20 TO 50%
GROUND LEVEL	577 S.F.	48 S.F.	8%	20-TO 70%*

* CALCULATIONS PROVIDED FOR CLARIFICATION ONLY - THIS ELEVATION DOES NOT FACE STREET OR CIVIC OPEN SPACES

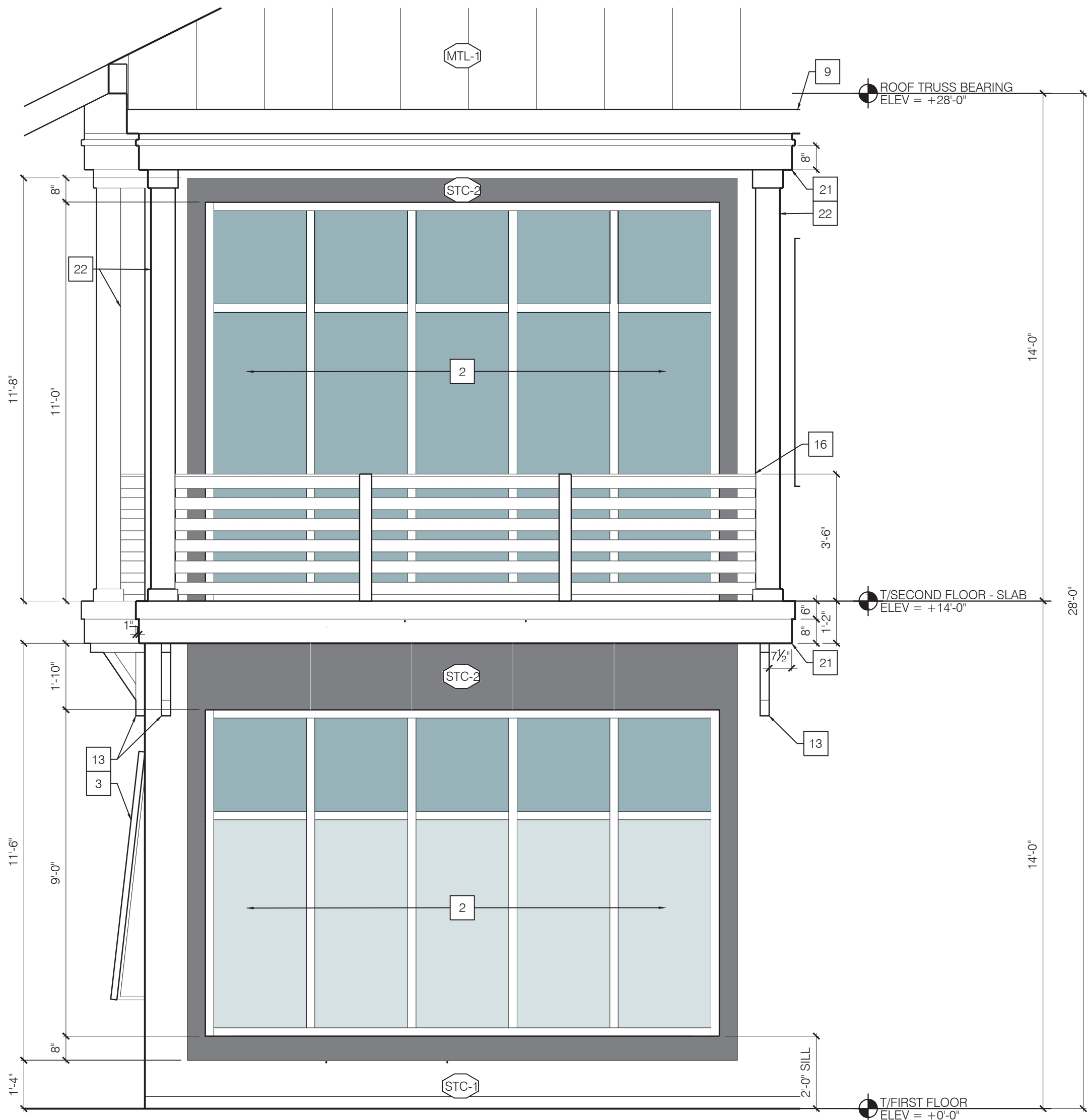
GENERAL NOTES:
--PRODUCTS LISTED ARE B.O.D (BASIS OF DESIGN). ANY ALTERNATES OR SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT AND MEET FLORIDA BUILDING APPROVALS AND N.O.A.'S
-- G.C. TO SUBMIT PHYSICAL SAMPLES FOR EACH MATERIAL IN EACH FINISH AND COLOR TO ARCHITECT
--ALL SIGNAGE TO BE REVIEWED AT TIME OF BUILDING PERMIT FOR COMPLIANCE WITH MARTIN COUNTY SIGN REGULATIONS.
--BUILDING HEIGHT NOTED FOR ZONING REVIEW IS TAKEN FROM THE LOWEST FFE (AS SHOWN MINIMUM) TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGE.



2
A2-01
EXTERIOR BUILDING ELEVATION
PUBLIC WAY/FRONT FACING - (NORTH)
SCALE: 1/8" = 1'-0"



1
A2-01
EXTERIOR BUILDING ELEVATION
ALLEY FACING - (WEST)
SCALE: 1/8" = 1'-0"



A
A2-01
ENLARGED BUILDING ELEVATION
TYP. BAY
SCALE: 3/8" = 1'-0"

EXTERIOR FINISH LEGEND



Material: ALUM. STOREFRONT
Manufacturer: KAWNEER
Type: 451T
Style: 4 1/2" depth, 2" sight line, simulated divided lites
Color: tbd
Size: Verify existing opening sizes in field, refer to typical window elevations for intermediate mullion spacing.
Glazing: Clear insulated, low-e, Tempered glazing located at all swing doors & locations where lights larger than 9 sf are located less than 18" above the walking surface - typical.
Note - some storefront may be spandrel glass or filmed glass at the kitchen - T.B.D. based on final kitchen layout.



Material: CURTAIN WALL
Manufacturer: KAWNEER
Type: 1600 SYSTEM 1
Style: 7 1/2" depth, 2-1/2" sight line, simulated divided lites
Color: tbd
Size: Verify existing opening sizes in field, refer to typical window elevations for intermediate mullion spacing.
Glazing: Clear insulated, low-e, Tempered glazing located at all swing doors & locations where lights larger than 9 sf are located less than 18" above the walking surface - typical.
Note - some storefront may be spandrel glass or filmed glass at the kitchen - T.B.D. based on final kitchen layout.



Material: EIFS
Manufacturer: Sto
Style: Smooth Finish
Color: TBD



Material: EIFS
Manufacturer: Sto
Style: Metal Finish
Color: TBD



Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 18" flat
Color: Silver Metallic



Material: BEYOND COMPOSITE BOARD
Manufacturer: LumberRock Premium Decking
Size: 2x4
Finish: White
Notes: See details for attachment method

ELEVATION KEYNOTES

- MOTORIZED TILT-UP GLASS OVERHEAD DOORS - SEE ELEVATIONS AND SPECS - RENLITA 51000 B.O.D
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T - B.O.D.
COMPOSITE PREMIUM SHUTTER - LOUVER STYLE #6 - COLOR: TO BE CONFIRMED WITH PHYSICAL SAMPLE - BY PACIFIC COLUMNS (PCI ENTERPRISES) & ARCHITECTURAL DEPOT - FULLVIEW IMPACT BAHAMA SHUTTER FLORIDA APPROVAL # 13434 - TO BE SECURED IN PLACE - NON OPERABLE IN CLOSED POSITION
- NANA WALL ENTRY - SEE DOOR SCHEDULE AND SPECS - SL73 B.O.D.
- AUTOMATED ENGINEERED OVERHEAD MOTORIZED LOUVERED ALUMINUM TRELLIS SYSTEM - PROGRAMMABLE AND WITH WEATHER SENSORS - B.O.D. Struxure COMMERCIAL (tm) SYSTEM WITH INTEGRAL LIGHTING, FANS, HEATING, & AUDIO SYSTEM.
- STOREFRONT - FALSE ENTRY DOOR SYSTEM - KAWNEER IR501T - B.O.D. FILMED WITH INSULATED WALL BEHIND IT.
- STOREFRONT - OPERABLE ENTRY DOOR SYSTEM - KAWNEER IR501T - B.O.
- MOTORIZED OPERABLE CLEAR VINYL PANEL SCREEN INSECT SCREEN B.O.D PROGRESSIVE SCREENS PROVIDED BY Struxure SYSTEMS
- 24 GAUGE BREAK METAL FASCIA TO MATCH STANDING SEAM ROOF
- 42" CABLE RAIL SYSTEM B.O.D AGS STAINLESS RAINIER CABLE RAILING SYSTEM POWDER COATED WHITE WITH 1/2" x 2" FLAT TOP. SEE SECTIONS FOR MOUNTING DETAILS.
- WOOD SLAT WALL BUILT WITH BEYOND COMPOSITE 2x4s IN WHITE FINISH. SECURE TO FRAME. SEE DETAILS.
- EXPOSED STEEL STRUCTURAL FRAMING - KYNAR PAINT FINISH TO MATCH NOTE 5 Struxure SYSTEM FINISH - ARCHITECT TO SELECT FROM SELECTED PAINT MANUF.
- ARCHITECTURAL PRE-MANUFACTURED MOLDED POLYURETHANE BRACKET. Item No.: BKTPO 3" WIDE x 18" PROJECTION x 24" HEIGHT. STANDARD TRADITIONAL ARCHITECTURAL GRADE W/ BLOCK ENDS
- STAIR TOWER WRAPPED IN METAL FINISH EIFS. SEE MATERIAL SCHEDULE + ROOF PLAN FOR DIMENSIONS.
- APPROX. LOCATION OF FUTURE SIGNAGE.
- 42" WOOD SLAT RAIL SYSTEM. 2X4 COMPOSITE RAILING IN WHITE BY LUMBEROCK. 4X4 COMPOSITE POST IN WHITE BY LUMBEROCK AS BALLUSTERS
- COMPOSITE FENCING AND GATE - 6' HIGH - B.O.D. TREX SECLUSIONS FENCING - COLOR WINCHESTER GREY - WITH TREX GATE
- PRE-ENGINEERED FLAT SOFFIT DECK STYLE ALUMINUM CANOPY - MAPES SUPER LUMIDECK FLAT SOFFIT B.O.D. OR EQUAL - HANGER ROD SUPPORTED BY MANUF. - PROVIDE INTERNAL STRUCTURAL BLOCKING PER MANUF'S REQUIREMENTS.
- METAL EXTERIOR STAIRS W/ TREX TREADS AND LANDING. CABLE GUARDRAIL ATTACHED TO STRINGER W/ HANDRAIL SUPPORTED FROM GUARDRAIL POST B.O.D AGS STAINLESS RAINIER CABLE RAILING SYSTEM POWDER COATED WHITE WITH 3/4" x 1-1/2" FLAT TOP. SEE DETAILS.
- EAVE DRIVE W/ EAVE FLASHING. COLOR TO MATCH ROOF.
- FIBER CEMENT BOARD FASCIA OR RAKE BY JAMES HARDIE. SMOOTH FINISH IN COLOR SAIL CLOTH.
- 6x6 WOOD STUD COLUMN WRAPPED IN FIBER CEMENT BOARD BY JAMES HARDIE. SMOOTH FINISH IN COLOR SAIL CLOTH.

Issues: Date: By:

COUNTY REVIEW 09-30-22 o PMG

COUNTY RESUBMITTAL 05-11-23 o PMG

DIMIT
ARCHITECTS
architecture + interiors + urban design

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RIO South Dixie, LLC

601 Heritage Dr. #227
Jupiter, FL 33458

**RIO Marine Village
Phase II (West)**

1000 NE Dixie Hwy.
Rio, Florida 34957

Drawing Title:

BUILDING ELEVATIONS

**BUILDING O - TYPE 12 -
T.R.**

Date:

05-05-23

Project:

22-028

Drawn by:

IFM

Checked by:

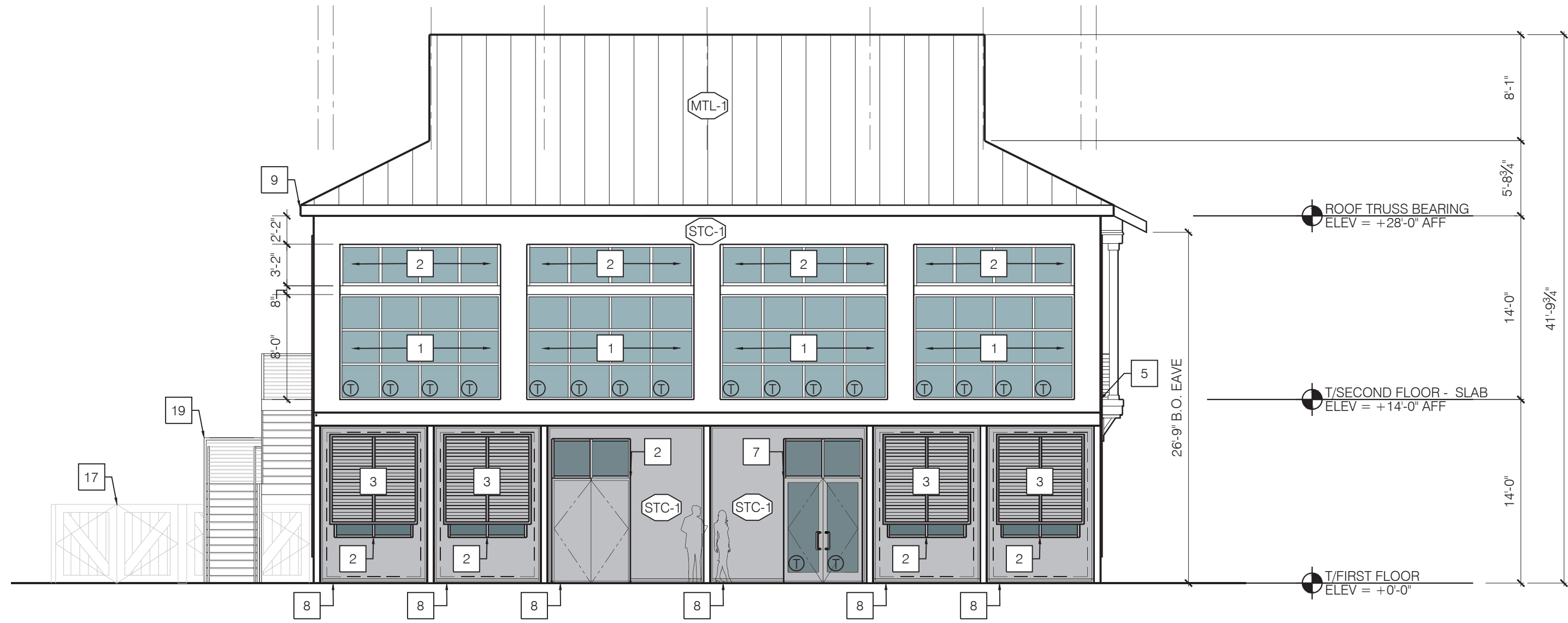
PMG

Approved:

SMD

Drawing Number:

A2-01



4
A2-02
EXTERIOR BUILDING ELEVATION
REAR/BAY FACING - (SOUTH)
SCALE: 1/8" = 1'-0"



3
A2-02
EXTERIOR BUILDING ELEVATION
PEDESTRIAL WALK FACING - (EAST)
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

Material: ALUM. STOREFRONT
Manufacturer: KAWNEER
Type: 451T
Style: 4 1/2" depth, 2" sight line, simulated divided lites
Color: tbd
Size: Verify existing opening sizes in field, refer to typical window elevations for intermediate mullion spacing.
Glazing: Clear insulated, low-e, Tempered glazing located at all swing doors & locations where lights larger than 9 sf are located less than 18" above the walking surface - typical.
Note - some storefront may be spandrel glass or filmed glass at the kitchen - T.B.D. based on final kitchen layout.

Material: CURTAIN WALL
Manufacturer: KAWNEER
Type: 1600 SYSTEM 1
Style: 7 1/2" depth, 2-1/2" sight line, simulated divided lites
Color: tbd
Size: Verify existing opening sizes in field, refer to typical window elevations for intermediate mullion spacing.
Glazing: Clear insulated, low-e, Tempered glazing located at all swing doors & locations where lights larger than 9 sf are located less than 18" above the walking surface - typical.
Note - some storefront may be spandrel glass or filmed glass at the kitchen - T.B.D. based on final kitchen layout.

Material: EIFS
Manufacturer: Sto
Style: Smooth Finish
Color: TBD

Material: EIFS
Manufacturer: Sto
Style: Metal Finish
Color: TBD

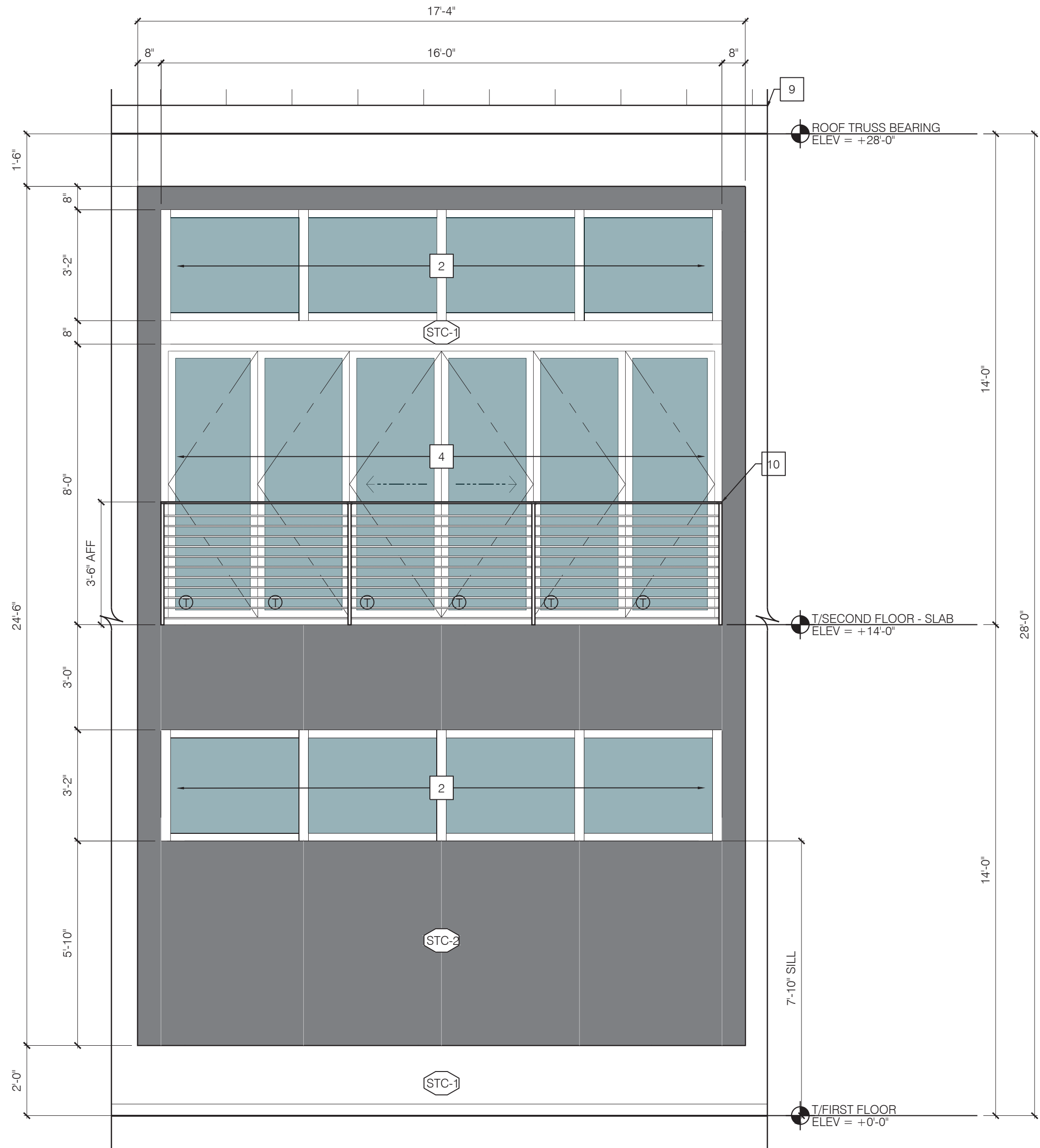
Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 18" flat
Color: Silver Metallic

Material: BEYOND COMPOSITE BOARD
Manufacturer: LumberRock Premium Decking
Size: 2x4
Finish: White
Notes: See details for attachment method

ELEVATION KEYNOTES

- MOTORIZED TILT-UP GLASS OVERHEAD DOORS - SEE ELEVATIONS AND SPECS - RENLITA 51000 B.O.D
- STOREFRONT FIXED PANE GLASS - SEE ELEVATIONS AND SPECS - KAWNEER IR501T - B.O.D.
- COMPOSITE PREMIUM SHUTTER - LOUVER STYLE #6 - COLOR: TO BE CONFIRMED WITH PHYSICAL SAMPLE - BY PACIFIC COLUMNS (PCI ENTERPRISES) & ARCHITECTURAL DEPOT - FULLVIEW IMPACT BAHAMA SHUTTER FLORIDA APPROVAL # 13434 - TO BE SECURED IN PLACE - NON OPERABLE IN CLOSED POSITION
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- WOOD SLAT WALL BUILT WITH BEYOND COMPOSITE 2x4s IN WHITE FINISH. SECURE TO FRAME. SEE DETAILS.
- EXPOSED STEEL STRUCTURAL FRAMING - KYNAR PAINT FINISH TO MATCH NOTE 5 Struxure SYSTEM FINISH - ARCHITECT TO SELECT FROM SELECTED PAINT MANUF.
- ARCHITECTURAL PRE-MANUFACTURED MOLDED POLYURETHANE BRACKET. Item No.: BKTPO 3" WIDE x 18" PROJECTION x 24" HEIGHT. STANDARD TRADITIONAL ARCHITECTURAL GRADE W/ BLOCK ENDS
- STAIR TOWER WRAPPED IN METAL FINISH EIFS. SEE MATERIAL SCHEDULE + ROOF PLAN FOR DIMENSIONS.
- APPROX. LOCATION OF FUTURE SIGNAGE.

SOUTH - BUILDING O - TYPE 12 - T.R. -- % OF OPENING					EAST - BUILDING O - TYPE 12 - T.R. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED		TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
UPPER LEVEL	840 S.F.	621 S.F.	74%	20 TO 50%	UPPER LEVEL	700 S.F.	392 S.F.	56%	20 TO 50%
GROUND LEVEL	840 S.F.	174 S.F.	21%	20-TO 70%	GROUND LEVEL	916 S.F.	288 S.F.	27%	20-TO 70%



A
A2-01
ENLARGED BUILDING ELEVATION
TYP. BAY
SCALE: 3/8" = 1'-0"

Issues:	Date:	By:
COUNTY REVIEW	09-30-22	PMG
COUNTY RESUBMITTAL	05-11-23	PMG

DIMIT
ARCHITECTS
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14414 Detroit Ave., #306
Lakewood, Ohio 44107
216 - 221 - 9021

RIO South Dixie, LLC
601 Heritage Dr. #227
Jupiter, FL 33458

**RIO Marine Village
Phase II (West)**

1000 NE Dixie Hwy.
Rio, Florida 34957

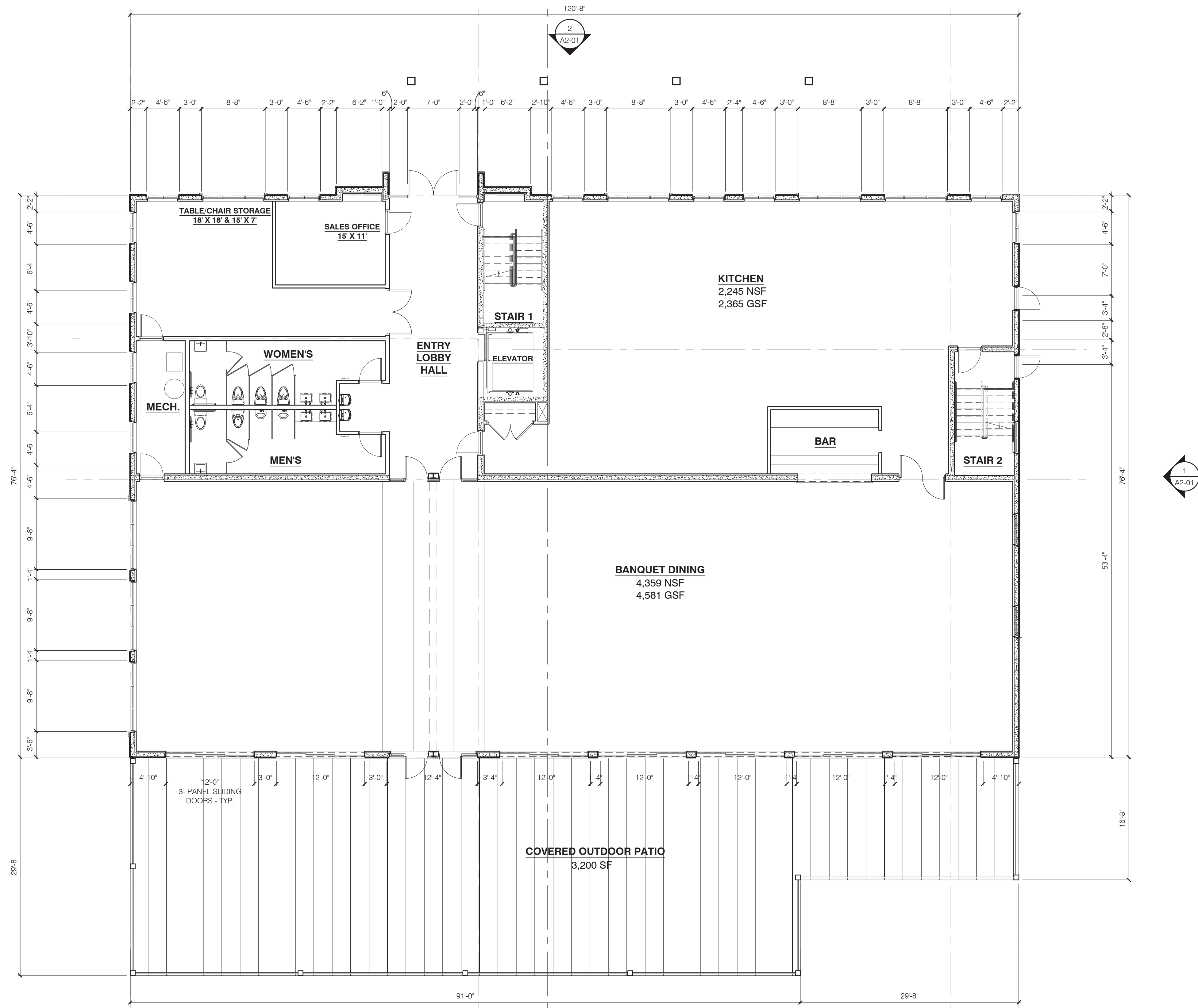
Drawing Title:

BUILDING ELEVATIONS

**BUILDING O - TYPE 12 -
T.R.**

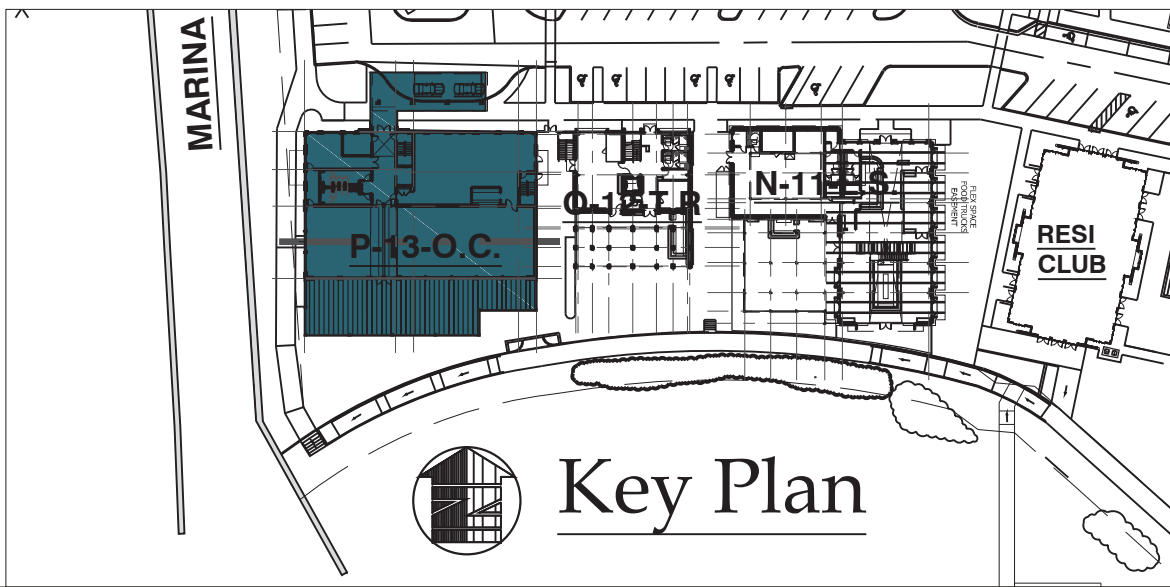
Date 05-05-23	Project 22-028
Drawn by IFM	Drawing Number
Checked by PMG	
Approved SMD	

A2-02



1 OVERALL BUILDING
GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING	USE GROUP	CONST. TYPE	HEIGHT ABOVE GRADE (FT)			STORIES		AREA FACTOR (GSF)	
			FBC ALLOWED	RIO ZONING ALLOWED	ACTUAL	ALLOWED	ACTUAL	ALLOWED	ACTUAL
P - TYPE 13 - O.C.	A-2	II-B	75'	40'	37'-3"	3	2	28,500	1ST FLOOR 9,211 2ND FLOOR 4,672 TOTAL 13,883
SPRINKLERED - NFPA 13								COVERED 1ST FLOOR PATIO AREA - 3,200 GSF SECOND FLOOR BALCONY - 138 GSF SECOND FLOOR ROOF DECK - 1,767 GSF	



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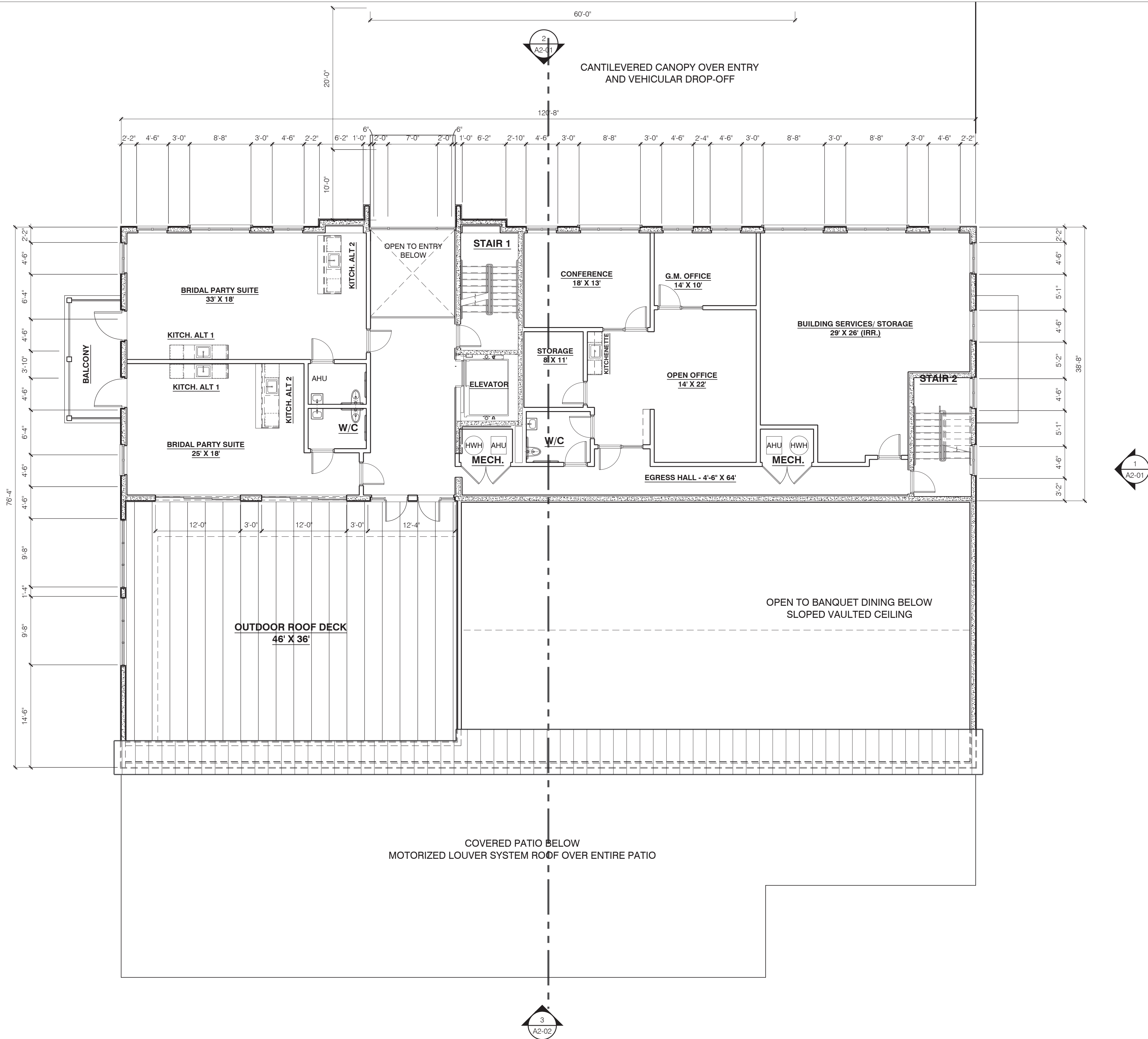
**RIO Marine Village
Phase II (West)**

1000 NE Dixie Hwy.
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Drawing Title:
OVERALL BUILDING PLANS
GROUND FLOOR

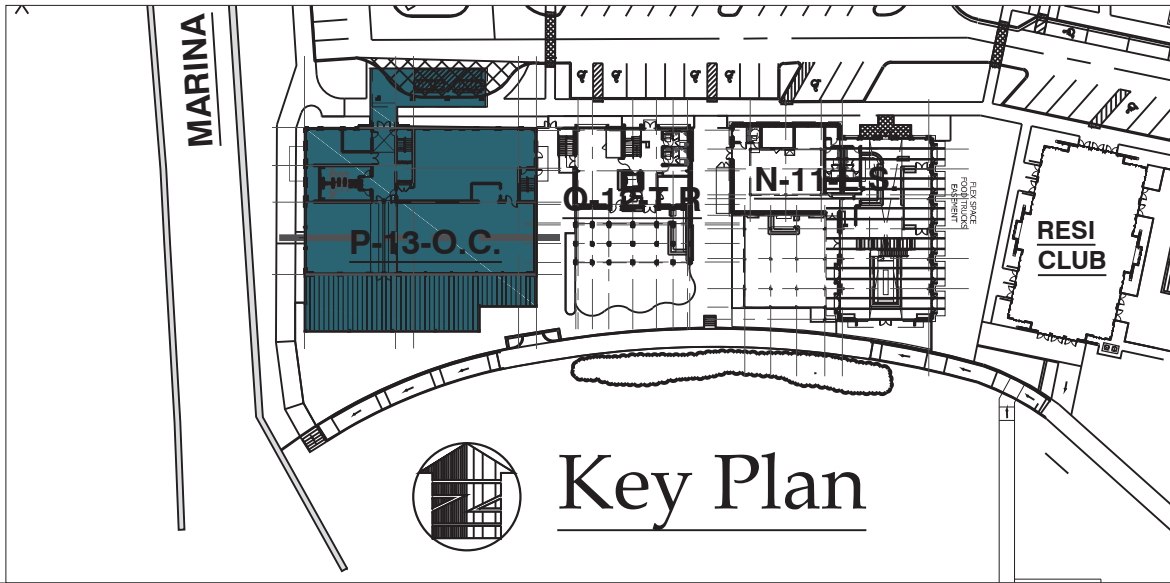
BUILDING P - TYPE 13 - O.C.

Date 05-05-23	Project 22-028
Drawn by PMG	Drawing Number
Checked by PMG	A1-01
Approved SMD	



1 OVERALL BUILDING
A1-02 SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING	USE GROUP	CONST. TYPE	HEIGHT ABOVE GRADE (FT)			STORIES		AREA FACTOR (GSF)	
			FBC ALLOWED	RIO ZONING ALLOWED	ACTUAL	ALLOWED	ACTUAL	ALLOWED	ACTUAL
P - TYPE 13 - O.C.	A-2	II-B	75'	40'	37'-3"	3	2	28,500	1ST FLOOR 9,211 2ND FLOOR 4,672 TOTAL 13,833
SPRINKLERED - NFPA 13								COVERED 1ST FLOOR PATIO AREA - 3,200 GSF SECOND FLOOR BALCONY - 138 GSF SECOND FLOOR ROOF DECK - 1,767 GSF	



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RIO Marine Village

Phase II (West)

Drawing Title:

OVERALL BUILDING PLANS

SECOND FLOOR

BUILDING P - TYPE 13 - O.C.

Date
05-05-23

Drawn by
PMG

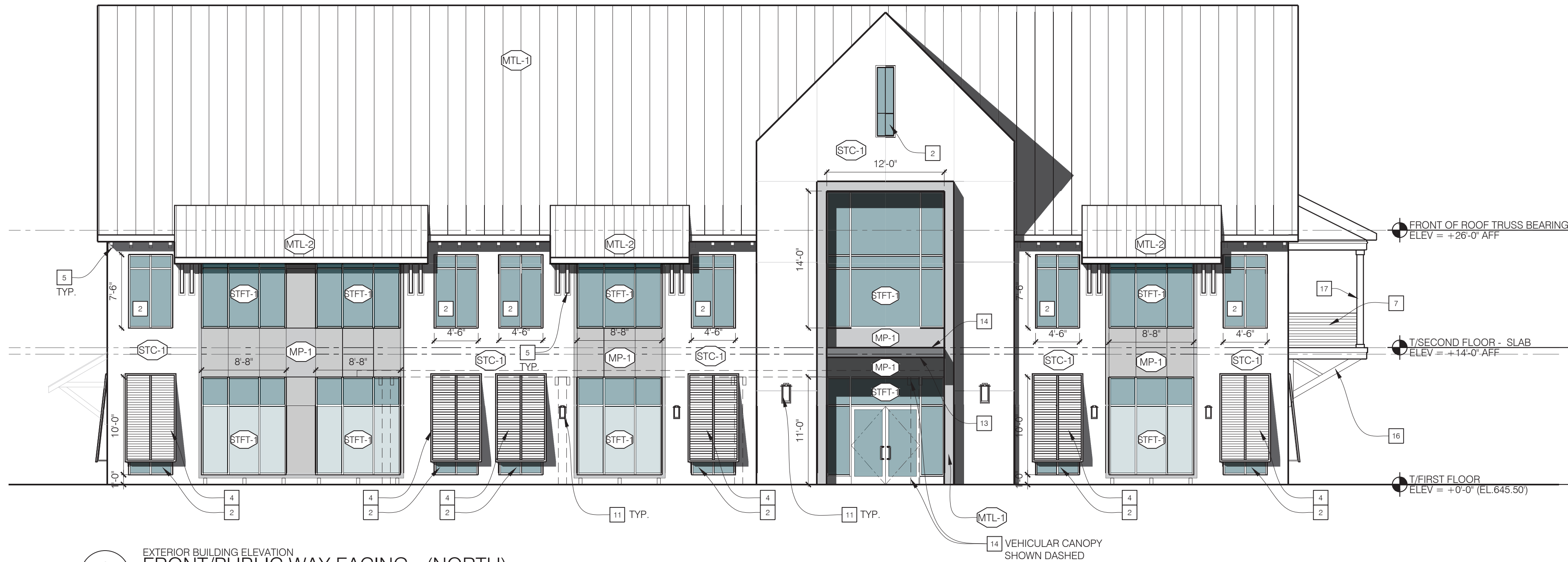
Checked by
PMG

Approved
SMD

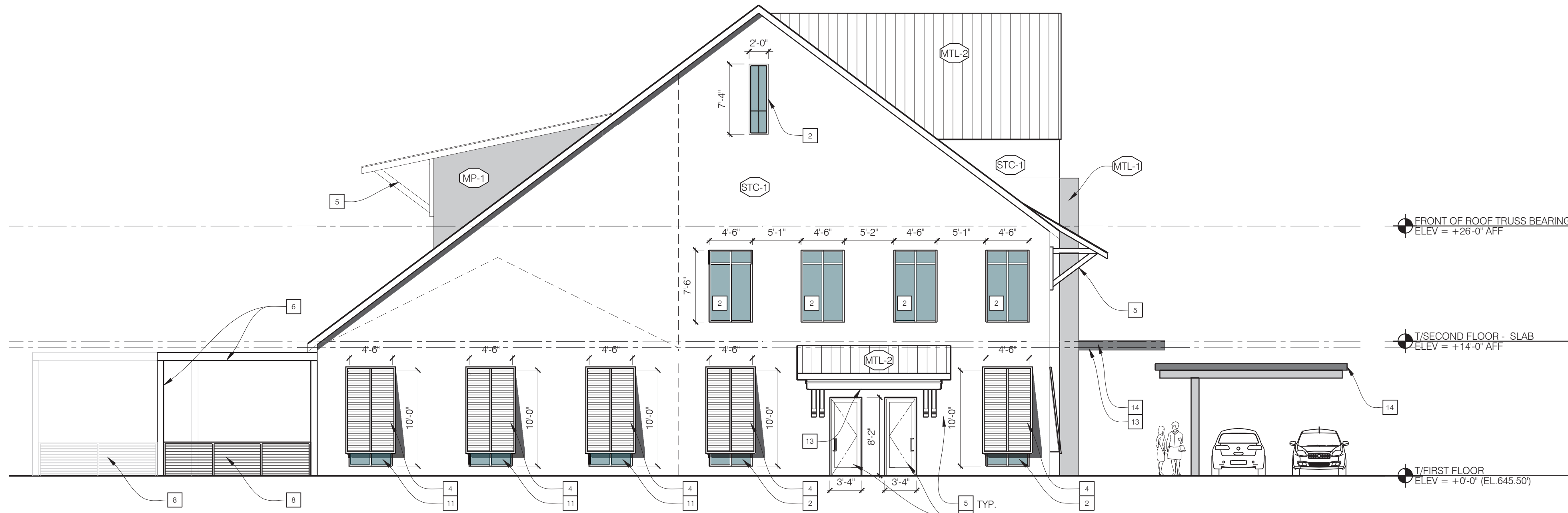
Project
22-028

Drawing Number

A1-02



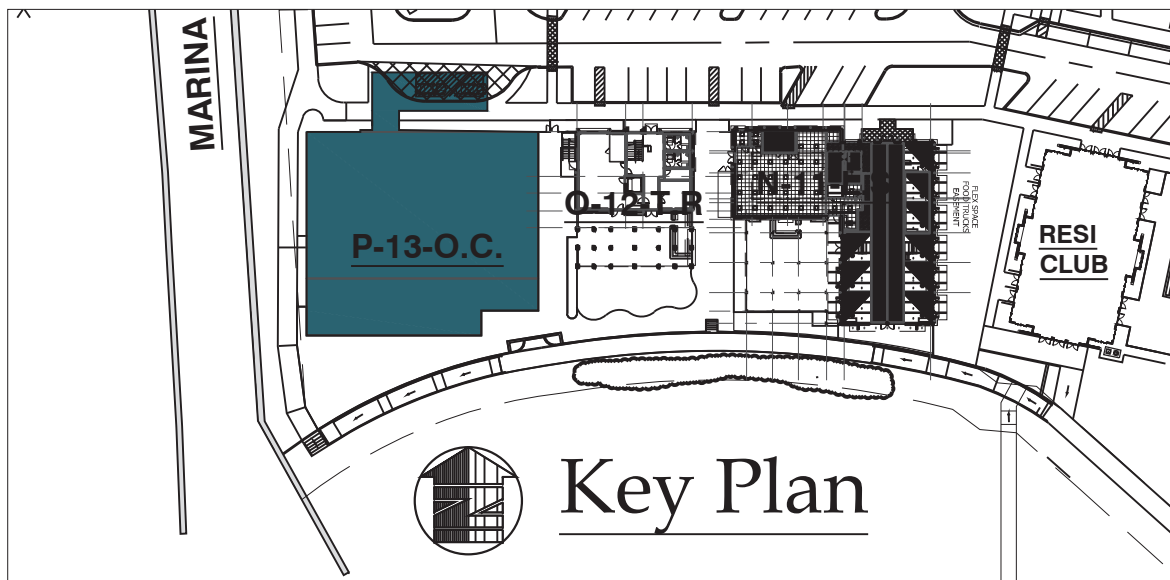
2
A2-01
EXTERIOR BUILDING ELEVATION
FRONT/PUBLIC WAY FACING - (NORTH)
SCALE: 1/8" = 1'-0"



1
A2-01
EXTERIOR BUILDING ELEVATION
ALLEY FACING - (EAST)
SCALE: 1/8" = 1'-0"

BUILDING P - TYPE 13 - O.C. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
UPPER LEVEL	1,649 S.F.	748 S.F.	45%	20 TO 50%
GROUND LEVEL	1,098 S.F.	417 S.F.	22%	20-TO 70%
* CALCULATIONS PROVIDED FOR CLARIFICATION ONLY - THIS ELEVATION IS NOT ON A R.O.W.				

BUILDING P - TYPE 13 - O.C. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
UPPER LEVEL	1,494 S.F.	150 S.F.	10%	20 TO 50%*
GROUND LEVEL	1,043 S.F.	279 S.F.	27%	20-TO 70%*
* CALCULATIONS PROVIDED FOR CLARIFICATION ONLY - THIS ELEVATION IS NOT ON A R.O.W.				



Issues: SHELL/CORE PERMIT Date: 03-01-24 By: PMG

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Phase II (West)**

1000 NE Dixie Hwy.
Rio, Florida 34957

Drawing Title:
BUILDING ELEVATIONS

BUILDING P - TYPE 13 - O.C.

Date: 08-18-23 Project: 22-028
Drawn by: PMG
Checked by: PMG
Approved: SMD
Drawing Number:
A2-01

EXTERIOR FINISH LEGEND

STFT-1
Material: ALUM. STOREFRONT
Manufacturer: KAWNEER
Type: 451T
Style: 4 1/2" depth, 2" sight line, simulated divided lites
Color: tbd
Size: Verify existing opening sizes in field, refer to typical window elevations for intermediate mullion spacing.
Glazing: Clear insulated, low-e, Tempered glazing located at all swing doors & locations where lights larger than 9 sf are located less than 18" above the walking surface - typical.
Note - some storefront may be spandrel glass or filmed glass at the kitchen - T.B.D. based on final kitchen layout.

STC-1
Material: STUCCO
Style: Smooth Finish
Color: Painted, color TBD

MP-1
Material: METAL PANEL
Manufacturer: ALPOLIC - Or Equal
Style: Route and Return Installation
Color: Prefinished, color TBD

MTL-1
Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 18" flat
Color: TBD

MTL-3
Material: STANDING SEAM METAL ROOF
Manufacturer: McElroy
Style: 238T Symmetrical Panel, 12" flat
Color: TBD

ELEVATION KEYNOTES

- WINDOW TRIM - RAISED STUCCO
- ALUMINUM WINDOW
- ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM.
- PREMANUF. ALUMINUM BAHAMA SHUTTER.
- ARCHITECTURAL PRE-MANUFACTURED MOLDED POLYURETHANE DECORATIVE BRACKET
- LOUVERED CANOPY COLUMNS AND ROOF STRUCTURE
- 42" HIGH ALUMINUM/ROOF WOOD LOOK PVC GUARD RAIL SYSTEM WITH HORIZONTAL SLATS
- 42" CABLE GUARD RAIL
- EXTERIOR GLASS DOORS - 3 PANEL SLIDERS - (9A-SINGLE DOOR) - WITH TRANSOM WINDOWS

- EXTERIOR HOLLOW METAL ENTRY DOOR
- EXTERIOR LIGHT FIXTURE - (2) ±24" HIGH AT MAIN ENTRY - ALL OTHERS ±16" HIGH
- FALSE WINDOW - STUCCO TRIM - PROFILE TO MATCH REAL WINDOW - PAINTED INSETS COLOR TBD
- CEILING DOWN LIGHTS IN SOFFIT
- CANTILEVERED ENTRY & VEHICULAR CANOPY - FINISH TO MATCH MP-1
- NOT USED
- STRUCTURAL WOOD BRACKET - PAINTED
- PVC TRIM WRAPPED COLUMN
- ALUMINUM FRAME TO MATCH STOREFRONT SYSTEM



Issues: SHELL/CORE PERMIT Date: 03-01-24 By: PMG

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BUILDING ELEVATIONS

BUILDING P - TYPE 13 - O.C.

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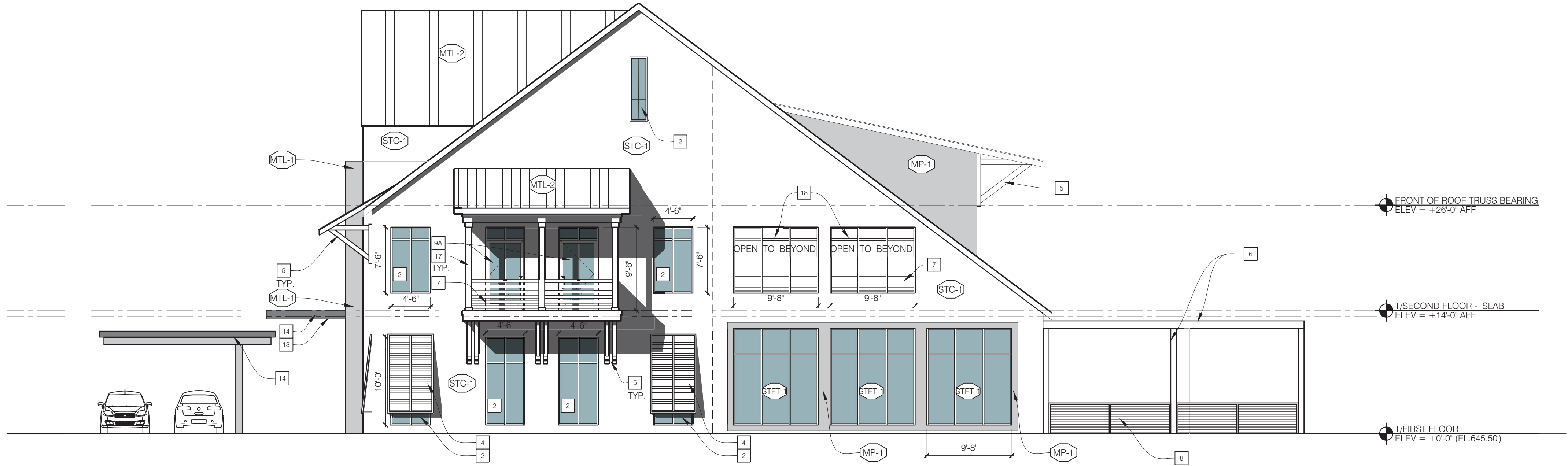
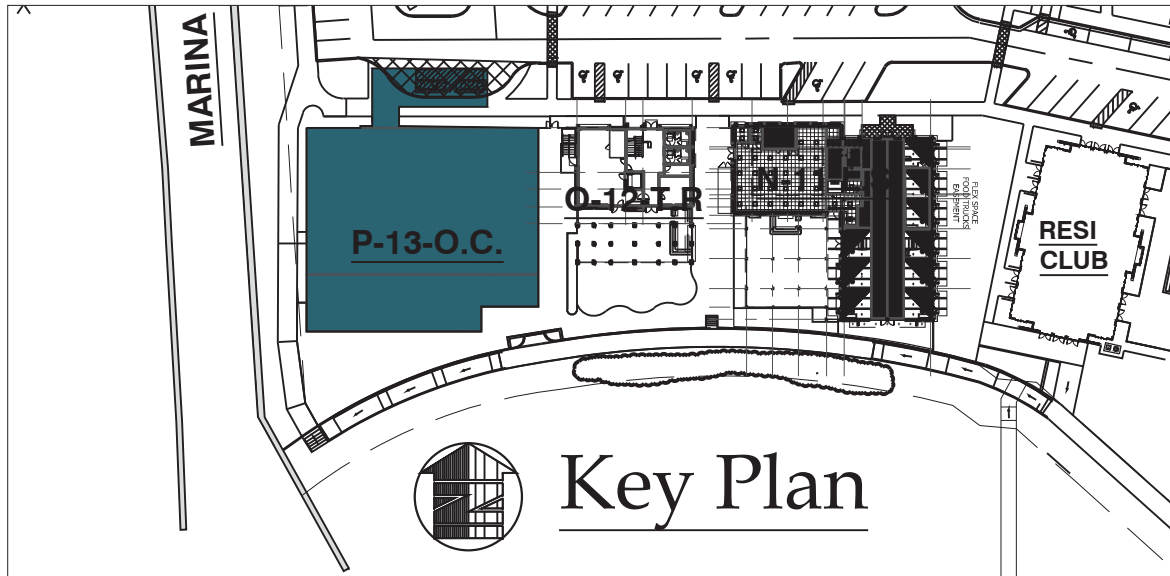
A2-02

BUILDING P - TYPE 13 - O.C. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
UPPER LEVEL	1,494 S.F.	500 S.F.	34%	20 TO 50%
GROUND LEVEL	1,043 S.F.	313 S.F.	30%	20-TO 70%

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BUILDING P - TYPE 13 - O.C. -- % OF OPENING				
	TOTAL FACADE AREA	TOTAL OPENING AREA	PERCENTAGE OF OPENINGS	PERCENTAGE ALLOWED
UPPER LEVEL	1,408 S.F.	695 S.F.	49%	20 TO 50%
GROUND LEVEL	1,659 S.F.	1,159 S.F.	70%	20-TO 70%

* CALCULATIONS PROVIDED FOR CLARIFICATION ONLY - THIS ELEVATION IS NOT ON A R.O.W.



4
A2-02
EXTERIOR BUILDING ELEVATION
MARINA FACING - (WEST)
SCALE: 1/8" = 1'-0"



3
A2-02
EXTERIOR BUILDING ELEVATION
REAR/BAY FACING - (SOUTH)
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

(STFT-1)
Material: ALUM. STOREFRONT
Manufacturer: KAWNEER
Type: 451T
Style: 4 1/2" depth, 2" sight line, simulated divided lites
Color: tbd
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