

THE PRESERVE AT LOBLOLLY NORTH PUD

PLAT
(L089-004)

Board of County Commissioners

April 22, 2025

Applicant/Owner: Loblolly North, LLC.

Project Coordinator: Luis Aguilar, Principal Planner



THE PRESERVE AT LOBLOLLY NORTH PUD - PLAT

- This is a request by Lucido & Associates on behalf of Loblolly North LLC for approval of a plat for The Preserve at Loblolly North PUD
- The plat is to be consistent with the Preserve at Loblolly North PUD Master/Final Site Plan Approved by the Board on November 12, 2024, which included 13 single-family lots on approximately 51.20 acres.
- The subject site is located east of SE Gomez Avenue, west of the Indian River Lagoon, approximately 0.6 miles north of SE Osprey Street, directly north of the existing Loblolly Bay PUD, in Hobe Sound



Subject Site



SITE PLAN



PLAN APPROVED BY
MARTIN COUNTY BOARD OF COUNTY COMMISSIONERS
 DATE APPROVED: 11/12/2024
 PROJECT COORDINATOR: Lucido & Associates



Project Team:

Client & Property Owner: Loblolly North LLC
 7407 SE 148 Terrace
 Hobo Sound, Florida 33408

Land Planner / Landscape Architect: Lucido & Associates
 701 East Ocean Boulevard
 Stuart, Florida 34994

Engineer: LaCom Engineering
 2340 SE Federal Hwy, Suite W
 Stuart, Florida 34994

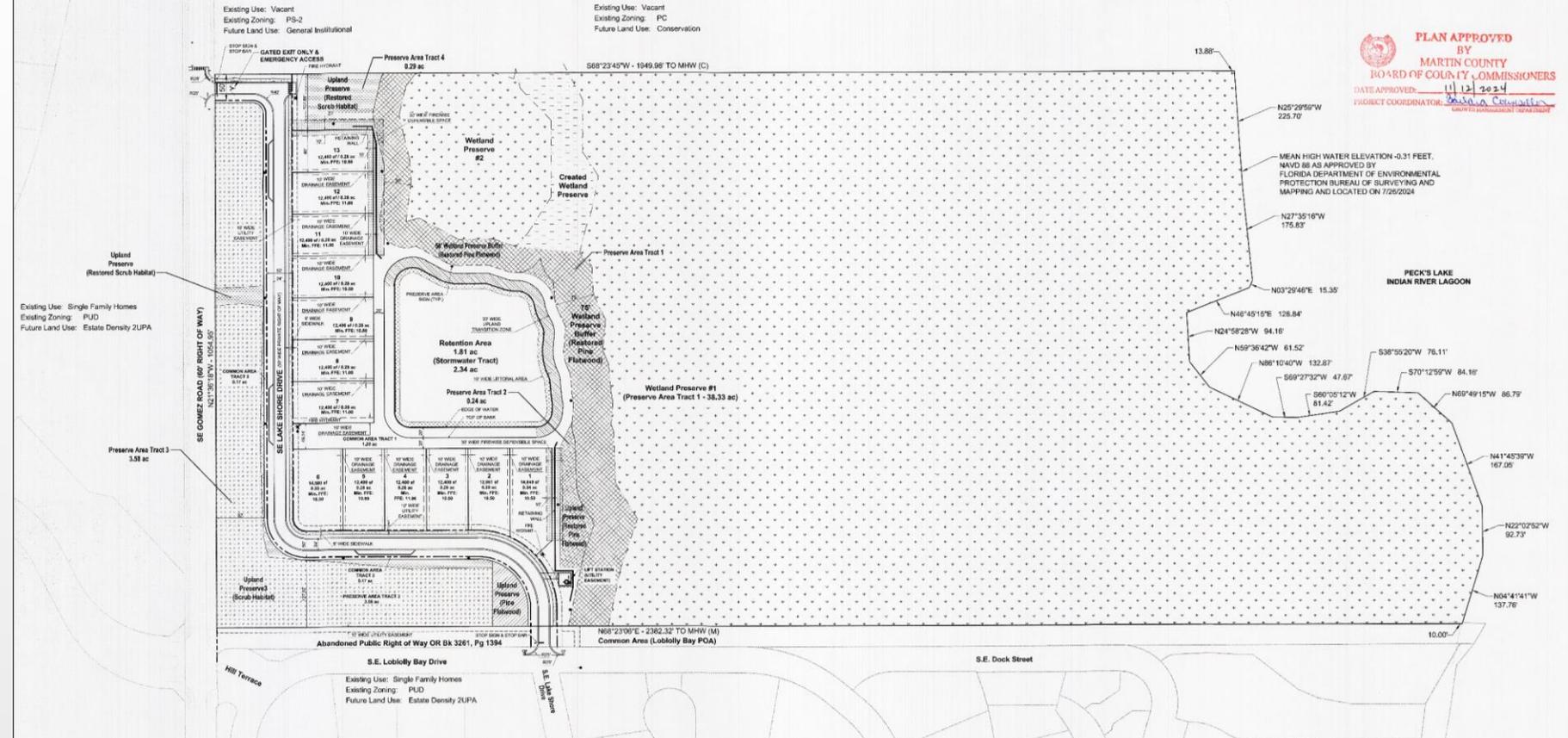
Traffic Engineer: LaCom Engineering
 2340 SE Federal Hwy, Suite W
 Stuart, Florida 34994

Environmental Consultant: E3H Consultants
 1000 SE Monkey Common Blvd.
 Stuart, Florida 34999

Surveyor: NorthStar Geomatics
 600 SE Central Hwy
 Stuart, Florida 34994

The Preserve at Loblolly North PUD

Hobo Sound, Florida
 Master / Final Site Plan



General Notes

- During construction activities, existing native vegetation shall be retained to act as buffers between adjacent land uses, and to minimize nuisance dust and noise. Baricades shall be used on site to preserve the vegetation to be retained.
- Preserve areas may not be altered except in compliance with the preserve area management plan approved by Martin County.
- All exotic plant species shall be removed and all required landscaping for an affected phase shall be installed prior to the issuance of a Certificate of Occupancy.
- Refer to landscape plans for landscape details and specifications.
- Proposed lakes within 200' of wetlands must demonstrate no potential wetland impacts or be provided with an impermeable barrier approved by the South Florida Water Management District and the Martin County Engineer.
- All signs will be reviewed for compliance with the applicable regulations at the time the sign permit is issued.
- It shall be unlawful to alter the approved slopes, contours, or cross sections or to chemically, mechanically, or manually remove, damage, or destroy any plants in the littoral or upland transition area or buffer areas of constructed lakes except upon the written approval of the Growth Management Department Director, as applicable. It is the responsibility of the owner or property owners association, its successors or assignees to maintain the required survivorship and coverage of the reclamation and planted littoral and upland transition areas and to ensure on-going removal of prohibited and invasive non-native plant species from these areas. (Code 4.3A.3, 13, 13.D)
- Preserve Area Boundary Markers: A permanent preserve area boundary marker shall be installed at one lot corner where it abuts the preserve area. The marker shall be installed immediately adjacent to the lot survey pin. If a target preserve area sign already exists behind this lot, a preserve area boundary marker is not required. An example of an acceptable preserve area boundary marker is a 4-inch preserve sign affixed to 4x4-inch pressure treated post, permanently set into the ground. Alternatives to this design may be provided to the Martin County Growth Management Department Environmental Division for approval prior to installation. A County Environmental Inspector will verify marker installation and its correct location at the time of the environmental final inspection prior to the Certificate of Occupancy (C.O.).
- Additional Preserve Area signs measuring at least 11 inches by 14 inches in size shall be posted in conspicuous locations along the Preserve Area boundary at a frequency of no less than one (1) sign per 500 feet.
- The roads shown between any private roads that will be owned and maintained by the homeowners association.

Legend

- Pine Flatwood Preserve: 6,621 sf / 0.16 ac
- Scrub Preserve: 138,244 sf / 3.17 ac
- Restored Wetland Buffer: 51,660 sf / 1.19 ac
- Restored Pine Flatwood Preserve: 11,763 sf / 0.27 ac
- Restored Scrub Preserve: 23,228 sf / 0.53 ac
- Created Wetland Preserve: 28,343 sf / 0.68 ac

Firewise Notes

- Lots adjacent to broaded preserve areas shall maintain a 30' defensible space that will be maintained in accordance with "Firewise" principles including the removal of trash and debris and restricting landscape to fire resistant species.
- No primary structure or attached secondary structure shall be constructed within the 30' foot defensible space to preserve areas.
- Homes on lots adjacent to preserve areas shall have Class A asphalt shingle, slate or clay tiles, cement or metal roofing or terra cotta tiles.
- Homes on lots adjacent to preserve areas shall have non-combustible or fire-resistant siding and soffits.
- All lot owners will be allowed to manage the portion of defensible space that exists on the lot.
- The HOA shall be responsible for maintaining the portion of defensible space that exists within the preserve area.
- The entire 30-foot defensible space shall be maintained in accordance with the "Firewise" principles including removal of trash and debris and restricting landscape to fire resistant species.

Littoral and Upland Transition Zone

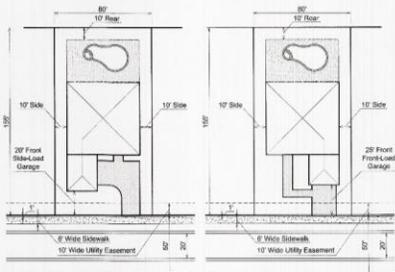
Lake Perimeter (Shoreline): 1,094 linear feet (ft)
 Required Littoral Zone area: 10,940 sf (0.25 ac)
 Required Transition Zone area: 10,940 sf (0.25 ac)
 Required Littoral/Transition Trees: (10,940 / 500): 22 Trees
 Provided Littoral Zone area: 11,036 sf (0.25 ac)
 Provided Transition Zone area: 12,252 sf (0.28 ac)
 Provided Littoral Zone Trees: 44 Trees
 Provided Transition Zone Trees: 44 Trees

Building and Lot Data

Maximum Height: 35' (2 Stories)
 Minimum Lot Size: 80' x 155' (12,400 sf)
 Minimum Lot Open Space: 30%
 Maximum Building Coverage: 40%

Setbacks

Front (Front-Loaded Garage): 25'
 Front (Side-Loaded Garage): 20'
 Side: 10'
 Rear: 10'
 Mechanical Equipment: 5'



Typical Lot
 N.T.S.

Preserve Data

Total Area: 51.33 ac. (100%)
Wetland Preserve: 35.30 ac.
Manmade Wetland: 0.20 ac.*
Total Uplands: 15.83 acres

Unique/Rare (Scrub): 3.30 ac.
 Common (Pine Flatwoods): 0.40 ac.
 Disturbed: 12.13 ac**

Required Scrub Preserve: 3.30 ac.
 (25% of Uplands or 100% existing)

Required Pine Flatwoods: 0.10 ac.
 (25% of Existing Pine Flatwoods)

Pine Flatwood Preserve Provided: 2.40 ac.
 Existing Pine Flatwoods: 0.16 ac.
 Restored Wetland Buffers: 1.97 ac.
 Restored Pine Flatwoods: 0.27 ac.

Scrub Preserve Provided: 3.70 ac.
 Existing Scrub: 3.17 ac.***
 Restored Scrub: 0.53 ac.

Created Wetland Connection: 0.68 ac.**
Wetland Preserve Area: 35.30 ac.
Upland Preserve Area: 6.10 ac.
Total Preserve Area: 42.08 ac. (82%)

* The 0.20-acre manmade wetland meets the County's criteria, is permitted to be impacted and is now part of the development site. See PAMP for additional information.
 ** The disturbed uplands between Wetland Preserve #1 and #2 were used to create the 0.68-acre wetland connection.
 ** The 0.68 ac manmade wetland meets the Counties criteria, is permitted to be impacted and is now part of the development site.
 *** Approximately 0.13-acre of existing scrub was impacted to create emergency access and pedestrian connection to SE Gomez Road.

Open Space

Minimum Open Space: 1,115,136 sf 25.60 ac 50%
 Provided Open Space: 2,045,870 sf 47.10 ac 92%

Total Pervious Area: 405,422 sf 9.31 ac
 Lakes: 78,900 sf 1.81 ac
 Wetland Preserve: 1,532,205 sf 35.30 ac
 Created Wetland Preserve: 29,343 sf 0.68 ac

Site Data

Total Area: 2,235,885 sf 51.33 ac
Existing Use: Vacant
Existing Zoning: RE-1/2A
Proposed Zoning: PUD
Existing Future Land Use: Estate Density ZUPA
Parcel I.D. Number: 34-38-42-000-034-00000-0
Product Type: Single Family Home
Total Units: 13 Units
Gross Density: 0.25 DU/ac
Impervious Area: 1,830,463 sf 42.02 ac 81.9%
Right of Way: 51,478 sf 1.18 ac
Lot: 152,874 sf 3.05 ac
Lake: 78,900 sf 1.81 ac
Wetland Preserve: 1,537,868 sf 35.30 ac
Created Wetland Preserve: 29,343 sf 0.68 ac
Pervious Area: 405,422 sf 9.31 ac 18.1%
Right of Way: 27,680 sf 0.64 ac
Lot: 33,219 sf 0.76 ac
Common Areas: 78,788 sf 1.81 ac
Upland Preserve Areas: 285,736 sf 6.10 ac

Maximum Density Calculations

Total Site Area: 51.33 ac
Maximum Units: 67 (1.31 upu)
 16.03 acres uplands @ 2 upu: 32 units
 35.30 acres wetlands @ 1 upu: 35 units

Proposed Units: 13 (0.25 upu)

Parking Requirements

Parking Required: 26 Spaces
 2 spaces per unit @ 13 units

Parking Provided: 26 Spaces

Date By Description

7.10.2023	S.L.S.	Initial Submittal
3.13.2024	S.L.S.	1st Resubmittal
6.8.2024	S.L.S.	2nd Resubmittal
8.29.2024	S.L.S.	3rd Resubmittal

RECEIVED
 JAN 24 2025

By _____

SCALE: 1" = 100'

0 50' 100' 200'

Designer: S.L.S. Sheet
 Manager: M.C.
 Project Number: 22-035
 Municipal Number: ---
 Computer File: The Preserve at Loblolly North - Final Site Plan.dwg

1 of 2

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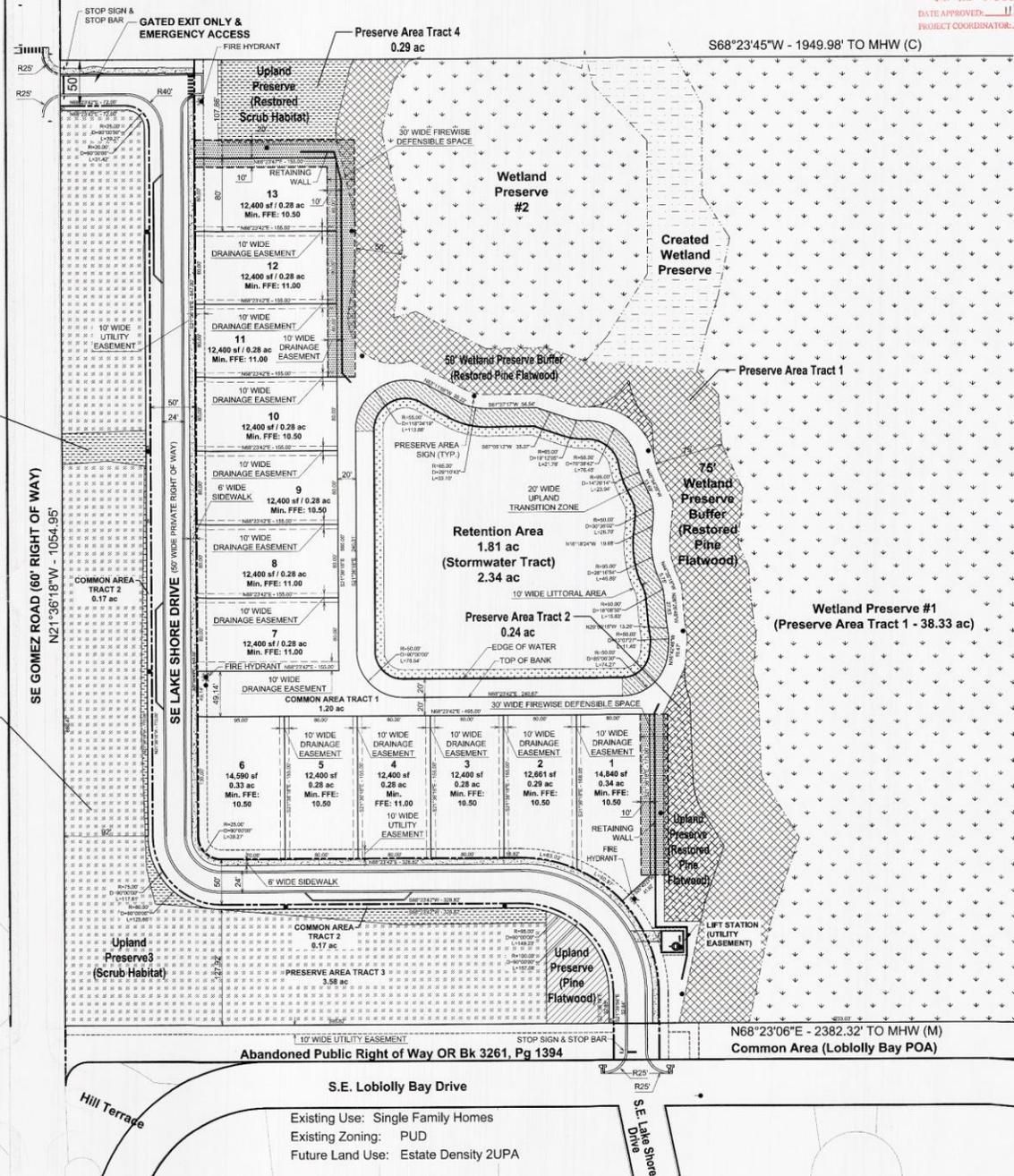
Existing Use: Vacant
 Existing Zoning: PS-2
 Future Land Use: General Institutional

Existing Use: Vacant
 Existing Zoning: PC
 Future Land Use: Conservation

PLAN APPROVED BY
 MARTIN COUNTY
 BOARD OF COUNTY COMMISSIONERS
 DATE APPROVED: 11/23/2024
 PROJECT COORDINATOR: *[Signature]*
 COUNTY MANAGEMENT DEPARTMENT

lucido & associates
 701 E. Ocean Blvd., Suite, Florida 34994
 (772) 232-7100 Fax (772) 233-4320

SITE PLAN



Existing Use: Single Family Homes
 Existing Zoning: PUD
 Future Land Use: Estate Density 2UPA

Upland Preserve
 (Restored Scrub Habitat)

Preserve Area Tract 3
 3.58 ac

Legend

-  Pine Flatwood Preserve
6,821 sf / 0.16 ac
-  Scrub Preserve
138,244 sf / 3.17 ac
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Key / Location:



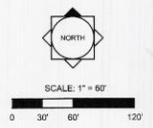
Project Team:

Client & Property Owner:	Loblolly North LLC 7407 SE 8th Terrace Hobe Sound, Florida 33445
Land Planner / Landscape Architect:	Lucido & Associates 701 East Ocean Boulevard Stuart, Florida 34994
Engineer:	LaConce Engineering 2440 SE Federal Hwy, Suite W Stuart, Florida 34994
Traffic Engineer:	LaConce Engineering 2440 SE Federal Hwy, Suite W Stuart, Florida 34994
Environmental Consultant:	EW Consultants 1035 SE Monterey Commons Blvd. Stuart, Florida 34995
Surveyor:	NorthStar Geomatics 905 SE Central Pkwy Stuart, Florida 34994

The Preserve at Loblolly North PUD

Hobe Sound, Florida
 Master / Final Site Plan

Date	By	Description
7.10.2023	S.L.S.	Initial Submittal
3.13.2024	S.L.S.	1st Resubmittal
8.6.2024	S.L.S.	2nd Resubmittal
8.28.2024	S.L.S.	3rd Resubmittal
1.17.2025	S.L.S.	MHW Adjustment



Designer:	S.L.S.	Sheet:
Manager:	M.C.	2 of 2
Project Number:	22-035	
Municipal Number:	—	
Computer File:	The Preserve at Loblolly North - Final Site Plan.dwg	

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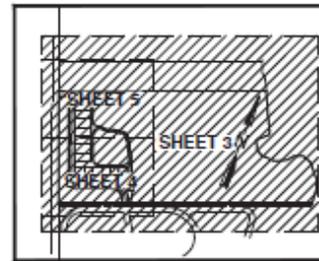




PRESERVE AT LOBLOLLY NORTH PUD

A REPLAT OF A PORTION OF TRACTS 34 AND 35 OF GOMEZ GRANT AND JUPITER ISLAND, AS RECORDED IN PLAT BOOK 1,

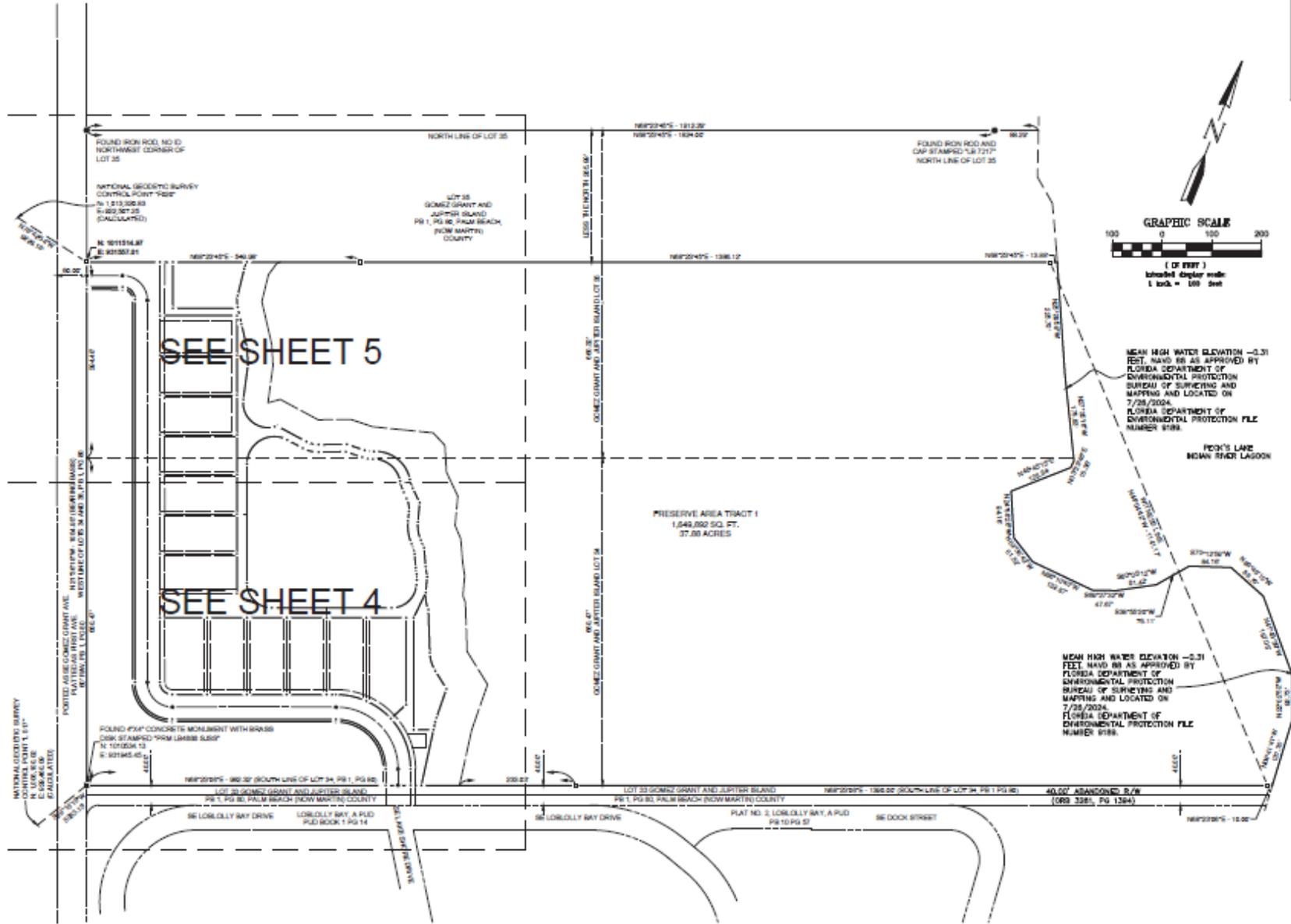
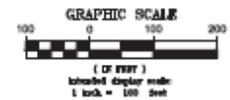
PAGE 80, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, LYING IN MARTIN COUNTY, FLORIDA.



SHEET INDEX
THREE

LEGEND

- AC = ACROSS
- CB = CHECK BEARING
- CD = CHECK DISTANCE
- C = CURVE DEGREE OF CURVATURE
- CR = CURVE RADIUS
- DL = DRIVEWAY EASEMENT
- L = CURVE ARC LENGTH
- LS = LICENSED SURVEYING BUSINESS
- LMS = LAND MANAGEMENT EASEMENT
- NAVD83 = NORTH AMERICAN VERTICAL DATUM OF 1983
- OR = OFFICIAL RECORD BOOK
- PCP = PERMANENT CONTROL POINT
- PLB = PLAT BOOK
- PS = PLAG
- PPC = POINT OF BEGINNING
- PRM = PERMANENT REFERENCE MONUMENT
- PRM = PROFESSIONAL SURVEYOR AND MAPPER
- PLD = PLANNED LIT DEVELOPMENT
- R = RADIUS
- RQ FT = SQUARE FOOT
- R/W = RIGHT OF WAY
- UR = UTILITY EASEMENT
- UR = FOUND IRON ROD (UNLESS AS DESCRIBED)
- = SET S/P IRON ROD & CAP STAMPED
- = SET IRON NAIL & DISC STAMPED
- = SET NORTHSTAR LR 7217
- = SET IRON NAIL & DISC STAMPED
- = SET NORTHSTAR LR 7217
- = FOUND CONCRETE MONUMENT
- = SET 4" X 4" CONCRETE MONUMENT WITH ALUMINUM DISC STAMPED "PRM LR 7217" UNLESS OTHERWISE NOTED



SURVEYOR'S NOTES

- 1) NOTE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DISPOSITION OF THE SURVEYED LINES DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 2) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 3) BEARINGS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAVD83), ADJUSTMENT OF 2011, FLORIDA STATE PLANE EAST ZONE (SOUTH) WITH AN ORIGIN POINT AT THE NE CORNER AND THE WEST LINE OF LOTS 34 AND 35 OF GOMEZ GRANT AND JUPITER ISLAND PLAT, PG. 1, PG. 80 AS SHOWN HEREON AS BEING 10178197.6. ALL OTHER BEARINGS ARE RELATIVE THEREBY.
- 4) COORDINATES SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NORTH AMERICAN DATUM 1983, ADJUSTMENT OF 2011.
- 5) IT SHALL BE UNLAWFUL TO ALTER THE APPROVED SURFACE, CONTIGUOUS OR CROSS SECTIONS OR TO CHEMICALLY, MECHANICALLY, OR MANUALLY REMOVE, DAMAGE, OR DESTROY ANY PLANTS IN THE LITTORAL OR UPLAND TRANSITION ZONE BUFFER AREAS OF COASTAL LAGOONS EXCEPT UPON THE WRITTEN APPROVAL OF THE COUNTY MANAGEMENT DIRECTOR, AS APPLICABLE. IT IS THE RESPONSIBILITY OF THE OWNER OR PROPERTY OWNERS ASSOCIATION, ITS SUCCESSORS OR ASSIGNS TO MAINTAIN THE REQUIRED SURVEYORS AND COVERAGE OF THE RECLAIMED UPLAND AND PLANTED LITTORAL AND UPLAND TRANSITION AREAS AND TO ENSURE ON-GOING REMOVAL OF FREQUENT AND BUREAU NEW/EMERGENT PLANT SPECIES FROM THESE AREAS (CODE 43MS.13.129).
- 6) IN THE EVENT THAT MARTIN COUNTY DISTURBS THE SURFACE OF ANY OF THE AREAS PRESENT DUE TO MAINTENANCE, REPAIR OR REPLACEMENT OF A PUBLIC IMPROVEMENT LOCATED HEREIN, THEN THE COUNTY SHALL BE RESPONSIBLE FOR RESTORING THE STREET SURFACE ONLY TO THE EXISTING BEACH BEWOLD BE REQUIRED IF THE STREET WERE A PUBLIC STREET, IN ACCORDANCE WITH COUNTY SPECIFICATIONS.

NORTHSTAR GEOMATICS
 5822 NW TENTH DR
 FORT ST LUCE, FLORIDA 34989
 (772) 781-8400 WWW.NS2D.COM
 LICENSED BUSINESS NO. 7217
 Sheet 3 of 5



PLAT

LOCAL PLANNING AGENCY

Review of plats is not required by the Local Planning Agency. Final action on this application is required by the Board of County Commissioners in a public meeting pursuant to Table 10.5.F.9, LDR, Martin County, Fla. (2023).

REVIEW OF APPLICATION

- Development review staff have found the application to comply with all applicable regulations and the Comprehensive Growth Management Plan as detailed in the attached staff report.
- Staff recommends approval of the Preserve at Loblolly North PUD Plat.



STAFF RECOMMENDATION

- Move the Board receive and file the agenda item and its attachments including the staff report as Exhibit 1.
- Move the Board approve the Preserve at Loblolly North PUD Plat, including the Contract for Construction of Required Improvements and Infrastructure.

