

SCAVONE RESIDENCE RENOVATION & ADDITION

9187 SE STAR ISLAND WAY
HOBE SOUND, FL 33455

Frank Scavone

03/10/2021

PROJECT NOTES

GENERAL NOTES

- All permits shall be conspicuously displayed at site in a location open to public inspection throughout the duration of the work. and shall accept full responsibility for failure to comply with such requirements rendering the owner, architect and their representatives free of liability regarding non-compliance of said requirements.
- Contractor & sub-contractors shall be responsible for obtaining and furnishing owner or architect and/or engineer of record all necessary affidavits, approvals, certifications, etc. of materials as required by the department of buildings.
- The contractor shall file all necessary certificates of insurance with the building owner and the Building Department.
- All new electrical work to be performed by a licensed electrician and to comply with the Florida Electrical Code and all other applicable codes.
- All materials provided and work performed shall be in strict accordance with manufacturer's specifications. All materials and equipment shall meet applicable standards as published by A.N.S.I./NEMA and shall be listed by U.L.
- The contractor and sub-contractors shall obtain the latest copies of approved plans and they shall familiarize themselves thoroughly with these before commencing any work.
- Contractor shall visit the buildings & site of the proposed work prior to contract signing to examine the conditions of the site.
- The contractor and his/her sub-contractors shall visit the site prior to commencing their portions of the work. They shall verify all conditions and measurements in the field before doing any work or fabrication of any kind and shall be responsible for coordinating their work with that of other trades.
- Contractor shall be responsible for the handling and delivery of all materials and supplies.
- These drawings shall not be measured (scaled) to obtain any dimension. If a dimension is missing or in question, it is the contractor's responsibility to contact the architect and/or engineer for a reading on the matter before proceeding with the work.
- The contractor shall notify the architect of any and all discrepancies between existing conditions and the contract documents before proceeding with that portion of the work. Failure to notify the architect will not relieve the contractor of responsibility to perform the work as intended by the contract documents. The contractor shall correct any and all work arising from such failure to coordinate discrepancies to the satisfaction of the architect.
- The contractor shall be held solely responsible for methods and means of construction. All construction to meet all Florida Energy Codes. The contractor shall furnish and install all material and equipment as shown. All materials shall be new and of the best quality.
- Contractor shall prepare and update a weekly construction schedule. Completion date may not be extended without written notice to the owner and architect and/or engineer.
- A copy of the latest set of construction drawings shall be kept at the job site for inspection by the Architect and/or Engineer. The drawings shall be updated and returned to the architect and/or engineer at the completion of the job.
- The contractor shall be responsible for furnishing, installing, maintaining, moving and removing all temporary services necessary and required to complete the work on the contract. Temporary services shall meet all applicable requirements of local codes, laws, ordinances and regulations.
- The contractor shall obtain any and all permits required for the performance of this work and pay all fees in connection therewith.

- All work to be done in accordance with the Florida Building Code 7TH Edition, and the regulations of all other agencies having jurisdiction.
- All demolition operations, repair operations, and alteration operations to be done in accordance with the 2020 Florida Building Code, 7TH Edition.
- The contractor shall make no changes to the scope or nature of the work without prior written approval from the Architect. The contractor shall accept or act on changes only if they have been given by the architect in written form.
- The contractor shall include any work required to be performed after hours, at premium time or premium fee, in their bid. Claims for additional fees and construction time shall not be accepted unless specifically identified in the contract for construction.
- All construction, dimensions, and details shall concur with and be determined from these drawings only.
- All materials, assemblies, forms, and methods of construction and service equipment to be incorporated in the work shall be in strict accordance with the latest edition of the ASTM specifications applicable, and to conform to the standards and recommendations of the various trade institutes (ACI, AISI, etc.) where applicable. All materials incorporated into the work shall be new and shall comply with the requirements of section 27-131.
- Contractors shall be responsible for adequately bracing and protecting all work during construction against damage, breakages, collapse, distortions, and off- alignment according to applicable codes, standards and good practice.
- Construction shall comply with all Federal, State, and Local codes, ordinances, rules, and regulations pertaining to labor and materials.
- Each contractor will be held strictly responsible for his work. Any discrepancies in the plans or details shall be called to the attention of the architect.
- The owner shall be responsible for the safe maintenance of the building and its facilities.

- Contractor(s) shall take all pertinent precautions for accident prevention required by the Building Code, Local Laws, or other applicable regulations.

SAFETY

- The contractor and sub-contractors shall at all times maintain the safety of the public and property.
- The contractor and sub-contractors shall at all times safeguard the persons employed for this construction from any and all operations and work under permits and shall comply with the provisions of all applicable codes and the Federal Occupational Safety and Health Act (OSHA) as amended to date.
- Contractor(s) shall take all pertinent precautions for accident prevention required by the Building Code, Local Laws, or other applicable regulations.

TERMITE CONTROL (CONT.)

protection, the sleeve shall have a maximum wall thickness of 0.010 inch (0.25 mm), and be sealed within the slab using a noncorrosive clamping device to eliminate the annular space between the pipe and the sleeve. No termiticides shall be applied inside the sleeve.

R318.3 Cleaning. Cells and cavities in masonry units and air gaps between brick, stone or masonry veneers and the structure shall be cleaned of all nonpreservative treated or non-naturally durable wood, or other cellulose-containing material prior to concrete placement.

Exception: Inorganic material manufactured for closing cells in foundation concrete masonry unit construction or clean earth fill placed in concrete masonry unit voids below slab level before termite treatment is performed.

R318.4 Concrete bearing ledge. Brick, stone or other veneer shall be supported by a concrete bearing ledge at least equal to the total thickness of the brick, stone or other veneer which is poured integrally with the concrete foundation. No supplemental concrete foundation pours which will create a hidden cold joint shall be used without supplemental treatment in the foundation unless there is an approved physical barrier. An approved physical barrier shall also be installed from below the wall sill plate or first block course horizontally to embed in a mortar joint. If masonry veneer extends below grade, a termite protective treatment must be applied to the cavity created between the veneer and the top of any soil, sod, mulch or other organic landscaping component, deck, apron, porch, walk or any other work immediately adjacent to or adjoining the structure.

Exception: Veneer supported by a structural member secured to the foundation sidewall in accordance with ACI 530/ASCE 5/TMS 402, provided at least a 6 inch (152 mm) clear inspection space of the foundation sidewall exterior exist between the veneer and the top of any soil, sod, mulch or other organic landscaping component, deck, apron, porch, walk or any other work immediately adjacent to or adjoining the structure.

R318.5 Protection against decay and termites. Condensate lines, irrigation/sprinkler system risers for spray heads, and roof downspouts shall discharge at least 1 foot (305 mm) away from the structure sidewall, whether by underground piping, tail extensions or splash blocks. Gutters with downspouts are required on all buildings with eaves of less than 6 inches (152 mm) horizontal projection except for gable end rakes or on a roof above another roof.

R318.6 Preparation of building site and removal of debris.

R318.6.1 All building sites shall be graded to provide drainage under all portions of the building not occupied by basements.

R318.6.2 The foundation and the area encompassed within 1 foot (305 mm) therein shall have all vegetation, stumps, dead roots, cardboard, trash and foreign material removed and the fill material shall be free of vegetation and foreign material. The fill shall be compacted to assure adequate support of the foundation.

R318.6.3 After all work is completed, loose wood and debris shall be completely removed from under the building and within 1 foot (305 mm) thereof. All wood forms and supports shall be completely removed. This includes, but is not limited to: wooden grade stakes, forms, contraction spacers, tub trap boxes, plumbing supports, bracing, shoring, forms or other cellulose-containing material placed in any location where such materials are not clearly visible and readily removable prior to completion of the work. Wood shall not be stored in contact with the ground under any building.

R318.7 Inspection for termites. In order to provide for inspection for termite infestation, clearance between exterior wall coverings and final earth grade on the exterior of a building shall not be less than 6 inches (152 mm).

Exceptions:

- 1.Paint or decorative cementitious finish less than 5/8 inch (17.1 mm) thick adhered directly to the masonry foundation sidewall.
- 2.Access or vehicle ramps which rise to the interior finish floor elevation for the width of such ramps only.
- 3.A 4-inch (102 mm) inspection space above patio and garage slabs and entry areas.
- 4.If the patio has been soil treated for termites, the finish elevation may match the building interior finish floor elevations on masonry construction only.
- 5.Masonry veneers constructed in accordance with Section R318.4.

FBC 7TH EDITION (2020) RESIDENTIAL M1503.3

M1503.4 Makeup Air Required. Exhaust hood systems capable of exhausting in excess of 400 cubic feet per minute (0.19 m³/s) shall be mechanically or naturally provided with makeup air at a rate approximately equal to the exhaust air rate. Such makeup air systems shall be equipped with not less than one damper. Each damper shall be a gravity damper or an electrically operated damper that automatically opens when the exhaust system operates. Dampers shall be accessible for inspection, service, repair and replacement without removing permanent construction or any other ducts not connected to the damper being inspected, serviced, repaired or replaced.

Exception: In a single-family dwelling, make-up air is not required for range hood exhaust systems capable of exhausting: Four hundred cubic feet per minute or less; or More than 400 cubic feet per minute but no more than 800 cubic feet per minute if there are no gravity vent appliances within the conditioned living space of the structure.

M1503.4.1 Location. Kitchen exhaust makeup air shall be discharged into the same room in which the exhaust system is located or into rooms or duct systems that communicate through one or more permanent openings with the room in which such exhaust system is located. Such permanent openings shall have a net cross-sectional area not less than the required area of the makeup air supply openings.

SCOPE OF WORK

- *STRUCTURAL ALTERATION, INTERIOR REMODEL AND TWO STORY ADDITION OF EXISTING ONE STORY RESIDENCE
- *ELECTRICAL TO BE REVISED AND UPGRADED
- *PLUMBING TO BE REVISED AND UPGRADED
- *HVAC TO BE REVISED AND UPGRADED

BUILDING INFORMATION

LEGAL DESCRIPTION: THE SOUNDINGS LOT 16 BLK 6 OR 351/849

ZONING INFORMATION & REGULATIONS

AUTHORITY HAVING JURISDICTION: MARTIN COUNTY

TOTAL LOT AREA: +/-18,158 SF

ZONING DISTRICT: HR-1

USE & OCC. CLASSIFICATION: R-3

CONSTRUCTION TYPE: IIIB

RISK CATEGORY: II

EXPOSURE CATEGORY: D

FLOOD ZONE: X (HOUSE FOOTPRINT), AE (DRIVEWAY)

WIND SPEED: 160 MPH REQUIRED

SEC. 3.12, TB.3.12.1	REQUIRED:	PROVIDED:	COMPLIANCE:
FRONT SETBACK: (FROM WET SIDE OF SEAWALL)	35 FT WATERFRONT (BLDG.) 25FT (POOL VARIANCE)	36'-4" 25'-0"	EXISTING COMPLIES
SOUTH SIDE SETBACK:	15FT, 7.5FT NON-CONFORMING	14'-9 1/2"	EXISTING
NORTH SIDE SETBACK: (FROM WET SIDE OF SEAWALL)	35 FT WATERFRONT (BLDG.) 25FT (DECK VARIANCE)	38'-11 1/2" 25'-0"	EXISTING COMPLIES
REAR SETBACK:	25 FT, 50 FT TO CL OF RIGHT OF WAY	23'-2 1/2"; 72'-7" TO CL OF	EXISTING
MAX. HEIGHT:	4 STORES/3FT	2 STORY - 27'-3"	COMPLIES
MAX. BLDG. COVERAGE:	N/A	30% = 5,408 SF	N/A
MINIMUM OPEN SPACE:	30%	46% = 8,362 SF	COMPLIES

CODES

FLORIDA BUILDING CODE 7TH EDITION (2020) RESIDENTIAL

ALL PLUMBING SHALL BE DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020) RESIDENTIAL.

ALL ELECTRICAL SHALL COMPLY WITH NFPA70/NEC 2012.

PROVIDE FINISH AS REQUIRED BY CODE AND PER INDUSTRY STANDARDS TO PREVENT THE ENTRANCE OF MOISTURE AND WATER.

RESIDENTIAL BUILDING CODE SHALL APPLY TO THE CONSTRUCTION, ALTERATION, MOVEMENT, ENLARGEMENT, REPLACEMENT, REPAIR, EQUIPMENT, USE AND OCCUPANCY, LOCATION, REMOVAL AND DEMOLITION OF DETACHED ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES NOT MORE THAN THREE STORIES ABOVE GRADE PLANE IN HEIGHT WITH A SEPARATE MEANS OF EGRESS AND THEIR ACCESSORY STRUCTURES.

ENERGY CONSERVATION COMPLIANCE			
ZONE:	2A	MASS R-VALUE:	6
CEILING R-VALUE:	38	WINDOWS U-FACTOR:	0.65
WOOD FRAME R-VALUE:	13	GLAZING SHGC:	25

FBC INSPECTIONS

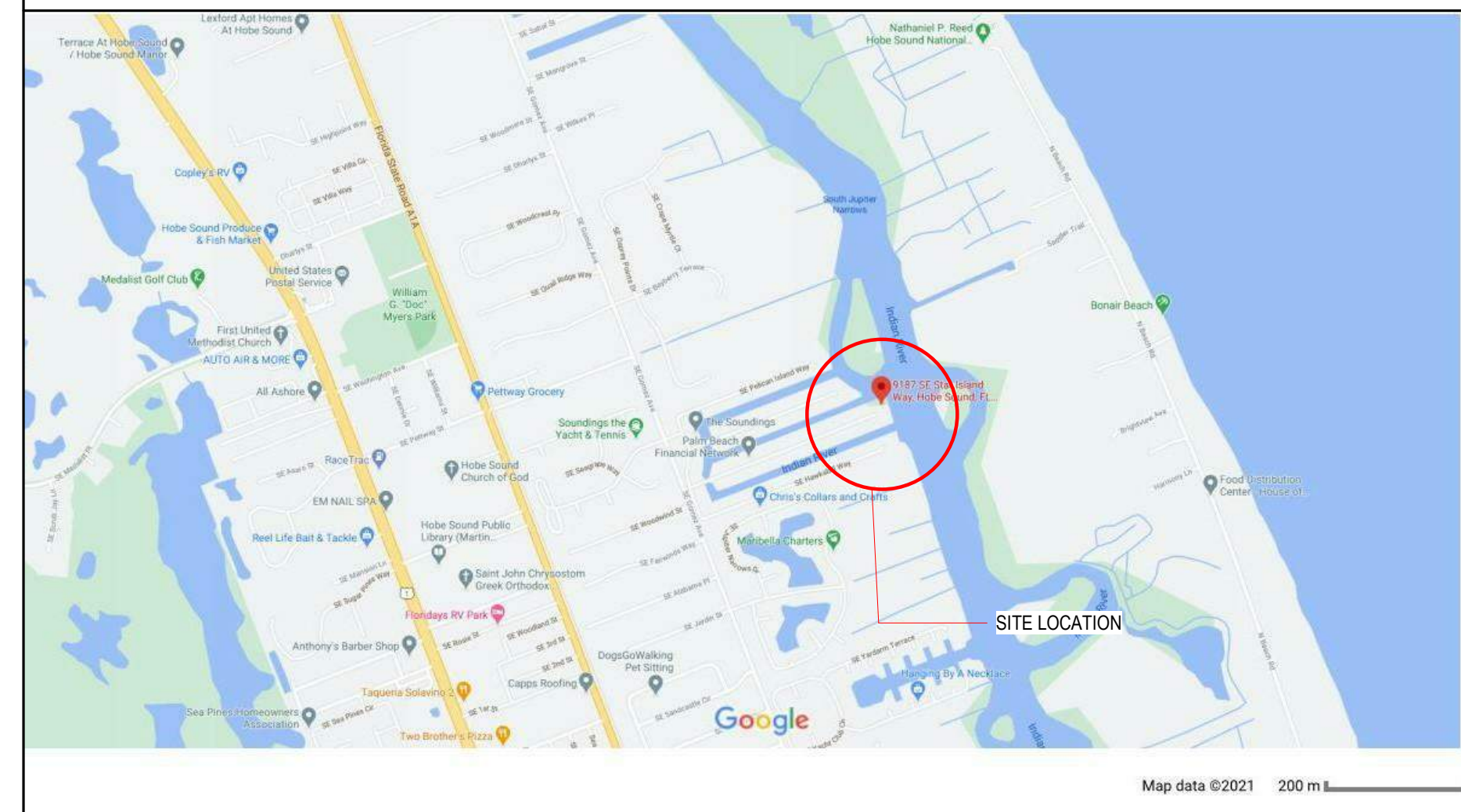
- * FOUNDATION SURVEY A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTOR'S USE. OR, ALL PROPERTY MARKERS SHALL BE EXPOSED AND STRING STRETCHED FROM MARKER TO MARKER TO VERIFY REQUIRED SETBACKS.
- * FRAMING INSPECTION: ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETED, INSPECTED AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTIONS.

PRODUCT APPROVALS / DEFERRED SUBMITTALS

MUST BE REVIEWED, APPROVED, VERIFIED & STAMPED BY THE GC PRIOR TO REVIEW IN ACCORDANCE WITH FBC B107.3.4.1. GENERAL CONTRACTOR TO SUBMIT FLORIDA PRODUCT APPROVAL OR PRODUCT CONTROL NOTICE OF ACCEPTANCE (NOA) ISSUED BY MIAMI-DADE COUNTY BUILDING CODE COMPLIANCE OFFICE (BCCO) OR OTHER PRODUCT APPROVAL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION FOR SYSTEMS USED AT EXTERIOR OF BUILDING.



LOCATION MAP



DRAWING INDEX

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A-7	PROPOSED 2ND FLOOR PLAN
A-8	PROPOSED ROOF PLAN
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S-3	STRUCTURAL DETAILS
SK-1	EXISTING PLAN

APPROVED PRODUCT LIST

CATEGORY	SUBCATEGORY	DESCRIPTION	PRODUCT MANUFACTURER	FLORIDA # / NOA
EXTERIOR DOORS	SLIDING EXTERIOR DOOR ASSEMBLIES	SERIES "SENTINEL 150" ALUMINUM SLIDING GLASS DOOR*	CGI	FL 14138, NOA # 19-0603.03
WINDOWS	CASEMENT	SERIES "238" OUTSWING ALUMINUM CASEMENT WINDOW*	CGI	FL9065.1, NOA # 17-0918.11
WINDOWS	FIXED	SERIES "238 ALUMINUM FIXED WINDOW - L.M.I."	CGI	FL9063.1, NOA # 17-0926.18
ROOFING	UNDERLAYMENT		W.R. GRACE	298.1
STRUCTURAL COMPONENTS	ANCHORS		SIMPSON STRONG-TIE CO.	2355.1, 13628.1, 13628.2, 15730.1, 15730.2, 15730.3, 15730.4, 15730.5, 15730.6, 15730.7, 15731.1, 15731.2, 15731.3, 16230.1, 16231.2, 16230.3, 16230.4, 17449.1, 17449.2
	WOOD CONNECTORS		SIMPSON STRONG-TIE CO.	9589.1-13, 10007.1-5, 10441.1-5, 10446.1-16, 10447.1-9, 10456.1-12, 10531.1-50, 10855.1-20, 10667.1-97, 10852.1-14, 10856.1-22, 10860.1-23, 10861.1-9, 10864.1-9, 10865.1-7, 10866.1-8, 11473.1-12, 11468.1-10, 11470.1-6, 11496.1-7

* OR APPROVED EQUAL

MARJORIE CARRILLO ARCHITECT, P.L.L.C.

ARCHITECTURE | DESIGN

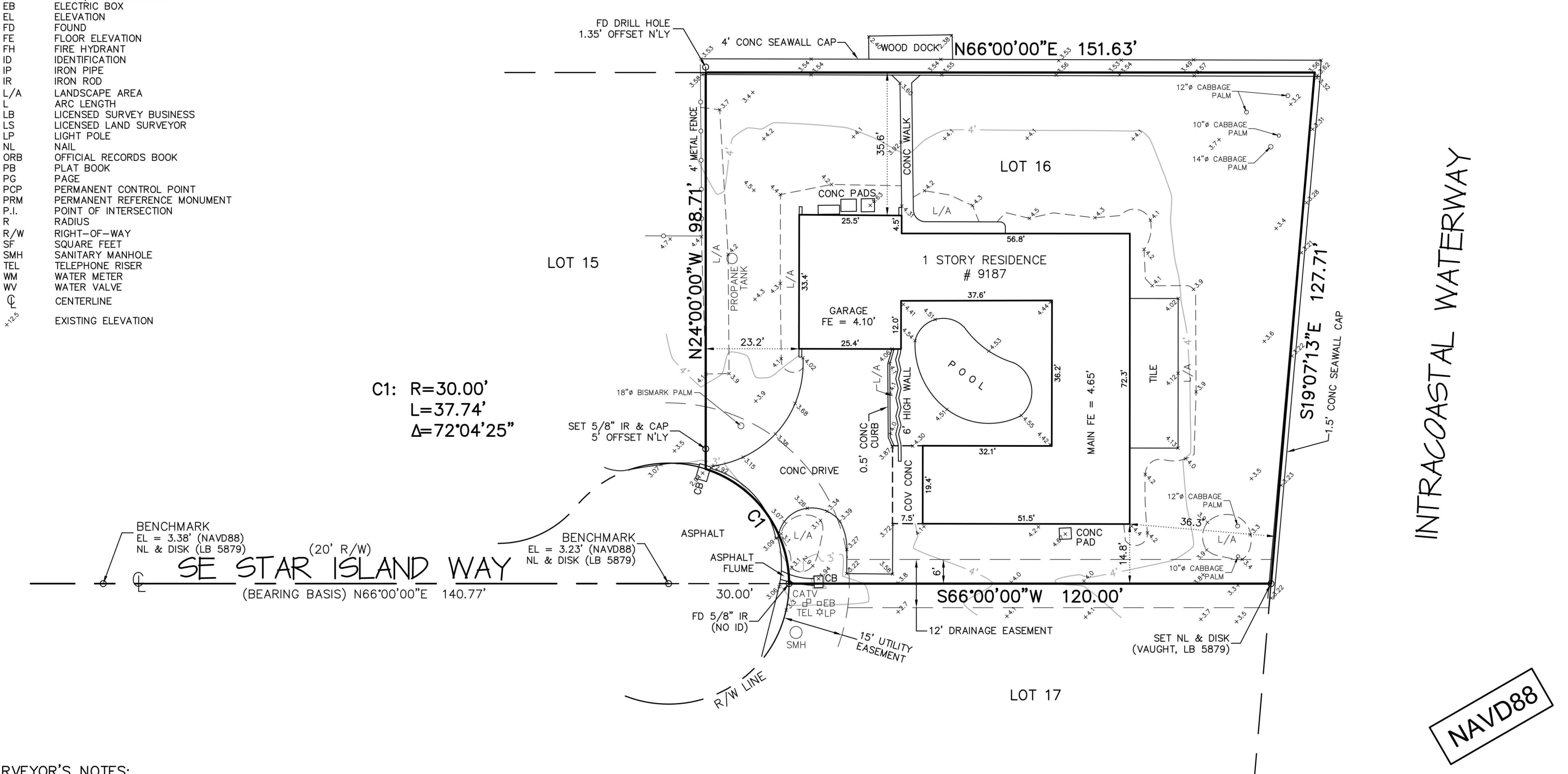


12101 SE COLBY AVENUE
HOBE SOUND, FL 33455
(407) 617-6400

SEAL:

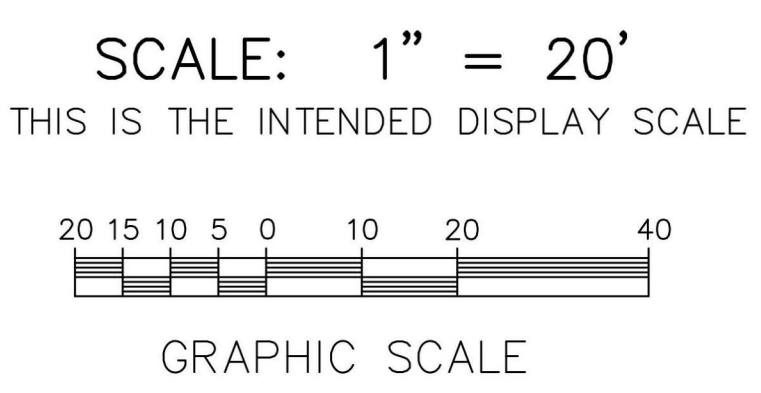
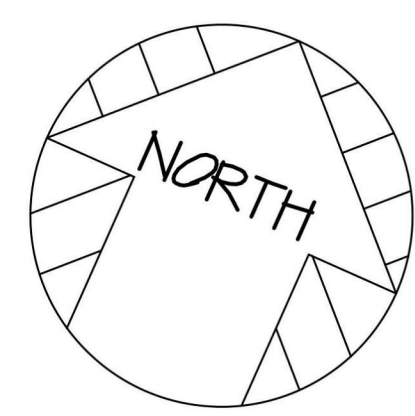
A-1
sheet no.

- * LEGEND ***
- BFE BASE FLOOD ELEVATION
 - BFP BACKFLOW PREVENTER
 - CATV CABLE TELEVISION RISER
 - CB CATCH BASIN
 - CBS CONCRETE BLOCK STRUCTURE
 - CM CONCRETE MONUMENT
 - CONC CONCRETE
 - COV COVERED
 - Δ DELTA/CENTRAL ANGLE
 - EB ELECTRIC BOX
 - EL ELEVATION
 - FD FOUND
 - FE FLOOR ELEVATION
 - FH FIRE HYDRANT
 - ID IDENTIFICATION
 - IP IRON PIPE
 - IR IRON ROD
 - L/A LANDSCAPE AREA
 - L ARC LENGTH
 - LS LICENSED SURVEY BUSINESS
 - LP LICENSED LAND SURVEYOR
 - LP LIGHT POLE
 - NAIL NAIL
 - ORB OFFICIAL RECORDS BOOK
 - PB PLAT BOOK
 - PC PAGE
 - PCP PERMANENT CONTROL POINT
 - PRM PERMANENT REFERENCE MONUMENT
 - P.I. POINT OF INTERSECTION
 - R RADIUS
 - R/W RIGHT-OF-WAY
 - SF SQUARE FEET
 - SMH SANITARY MANHOLE
 - TEL TELEPHONE RISER
 - WM WATER METER
 - WV WATER VALVE
 - CL CENTERLINE
 - ◊ EXISTING ELEVATION



SURVEYOR'S NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. BEARINGS SHOWN HEREON ARE BASED ON PLAT. BEARING BASE IS THE CENTERLINE OF STAR ISLAND WAY AS SHOWN HEREON.
3. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.
4. BEARINGS, ANGLES, AND DIMENSIONS SHOWN HEREON ARE FIELD MEASURED QUANTITIES UNLESS NOTED OTHERWISE AS: (P)=PLAT MEASUREMENT; (M)=FIELD MEASUREMENT; (C)=CALCULATED MEASUREMENT
5. THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MIGHT BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
6. THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
7. THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY.
8. SUBJECT PROPERTY LIES IN FLOOD ZONES "X" (0.2% ANNUAL CHANCE) AND "AE" (BFE 4) PER DIGITAL FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12085C0309H, DATED FEBRUARY 19, 2020. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
9. LOT AREA = 18,169 SQUARE FEET (0.41710 ACRES) MORE OR LESS.



LEGAL DESCRIPTION (PER OFFICIAL RECORDS BOOK 3023, PAGE 1756)

LOT 16, BLOCK 6, REPLAT OF BLOCK 6, THE SOUNDINGS, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN PLAT BOOK 5, PAGE 7, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

CERTIFICATION VALID TO:

1. FRANK SCAVONE

CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. L. VAUGHT & ASSOCIATES, INC.
 LICENSED BUSINESS #5879
 By: *P. Michael Zarrella*
 P. Michael Zarrella
 Professional Surveyor & Mapper #6736
 State of Florida

DATE OF LAST FIELD WORK:
 Feb. 19, 2021

GOD BLESS AMERICA

REVISIONS	BY

BOUNDARY AND TOPOGRAPHIC SURVEY
 9187 SE STAR ISLAND WAY
 HOBE SOUND, FLORIDA 33455

R.L. VAUGHT & ASSOCIATES, INC.
 SURVEYORS, MAPPERS & PLANNERS
 LICENSED SURVEY BUSINESS NUMBER 5879
 9075 SE BRIDGE ROAD, HOBE SOUND, FLORIDA 33455
 P.O. BOX 160 HOBE SOUND, FL 33475
 PHONE: 772-546-8086 FAX: 772-546-8087
 EMAIL: vaught@belsouth.net

DRAWN	PMZ
CHECKED	PMZ
SCALE	AS SHOWN
DATE	FEB. 25, 2021
FIELD BOOK	232/32
ORDER NO.	816595
SHEET OF SHEETS	1 1

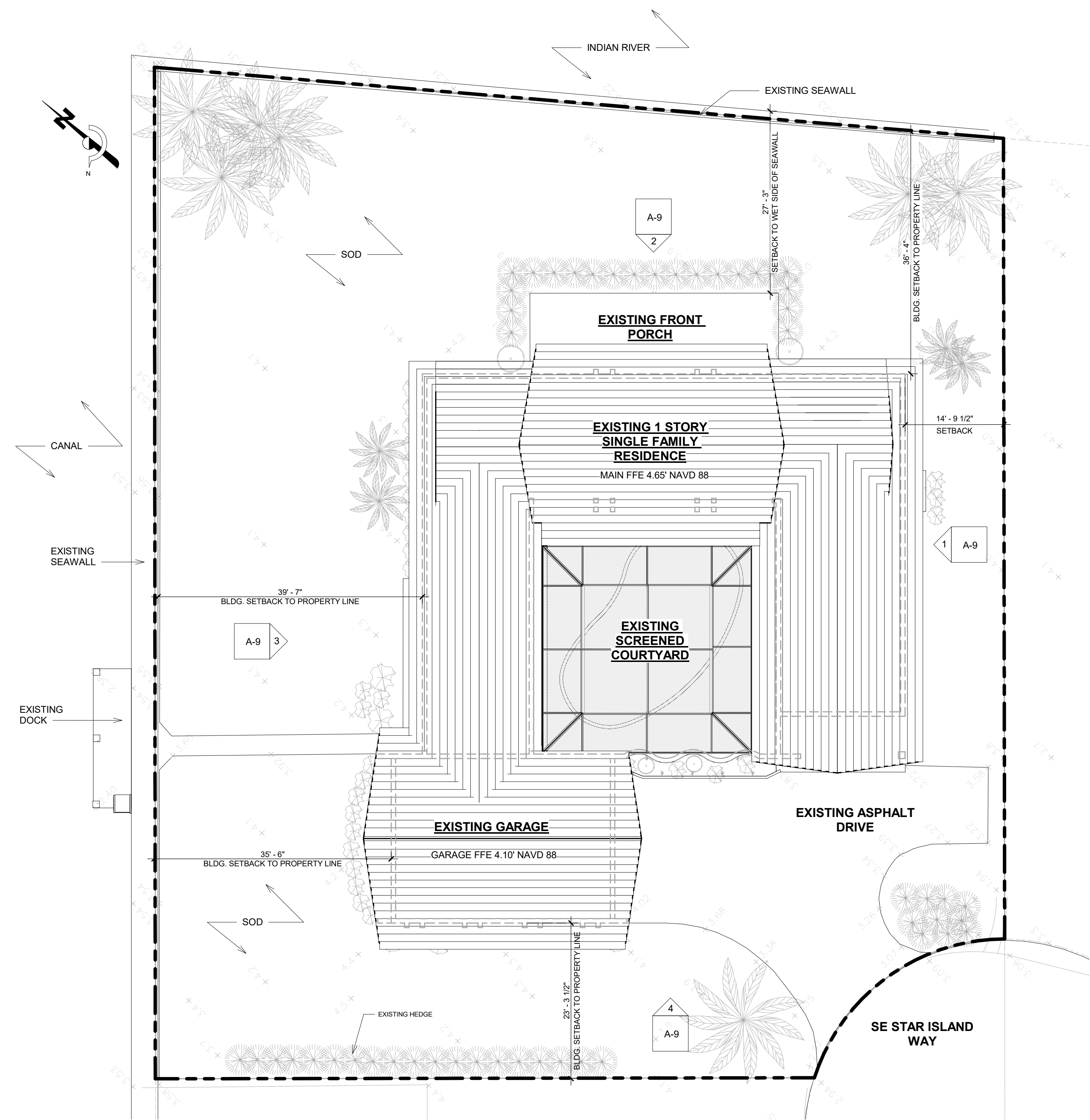
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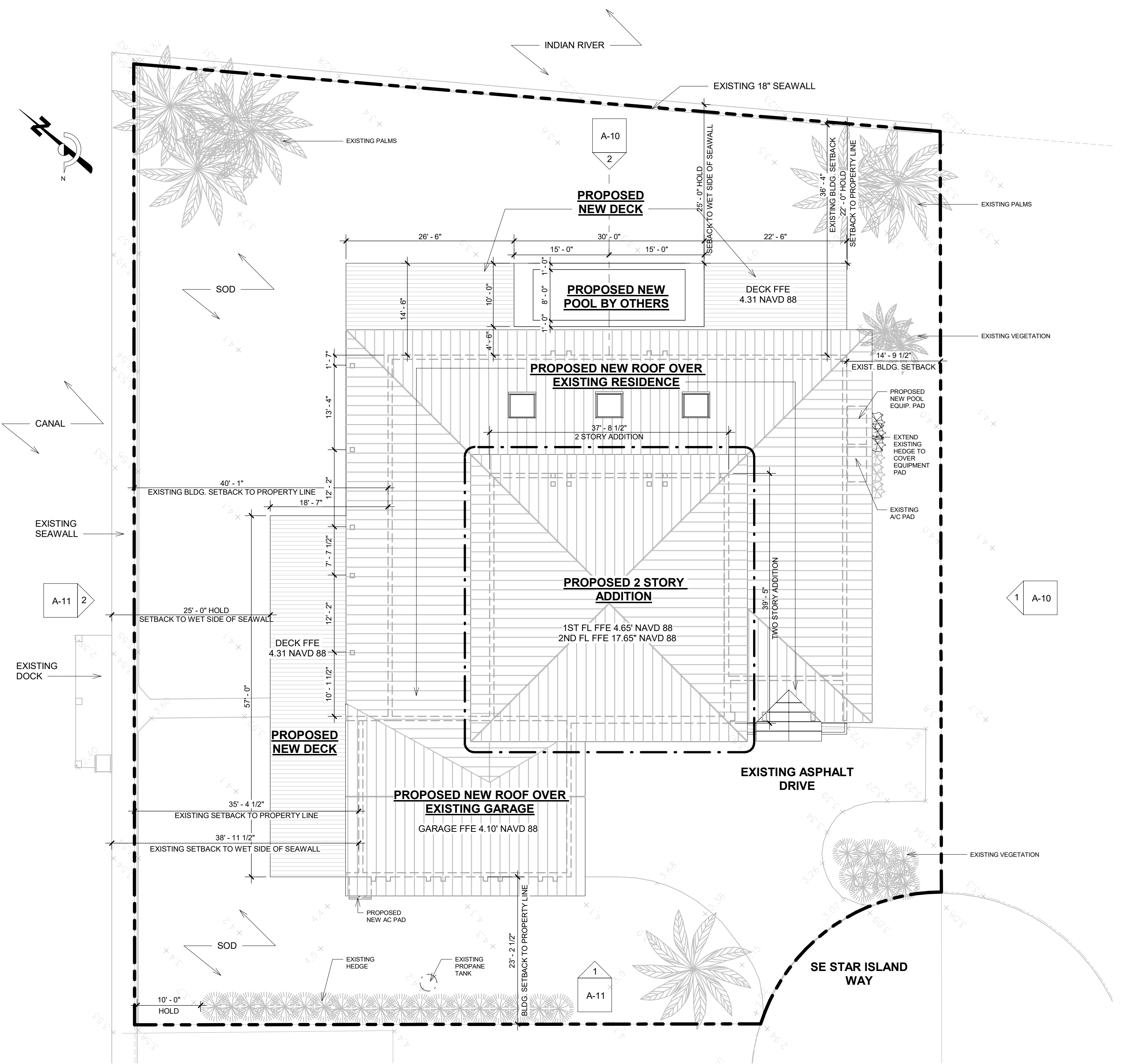
1 SURVEY
 1" = 20'-0"

<p>MARJORIE CARRILLO ARCHITECT, P.L.L.C. ARCHITECTURE DESIGN</p>	<p>SCAVONE RESIDENCE RENOVATION & ADDITION</p> <p>9187 SE STAR ISLAND WAY HOBE SOUND, FL 33455</p>	<p>SEAL:</p> <p>DATE</p>																						
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	No.	DATE																					<p>TITLE: SURVEY</p> <p>DATE: 03/10/2021</p> <p>SCALE: 1" = 20'-0"</p>	<p>DRAWING NO.</p> <p>A-2</p> <p>PROJECT NO.</p> <p>2021-1</p>
No.	DATE																							

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1 EXISTING SITE PLAN
3/32" = 1'-0"



2 PROPOSED SITE PLAN
3/32" = 1'-0"

AREA CALCULATIONS

EXISTING SINGLE FAMILY RESIDENTIAL ADDITION		TOTAL ENCLOSED SQUARE FOOTAGE	
TOTAL LOT AREA:	+/- 18,158 SF	A/C + GARAGE	6,023 SF (GROSS)
EXISTING RESIDENCE:	ONE-STORY SINGLE FAMILY: 3 BEDROOM, 3 BATHROOM	TOTAL BLDG. COVERAGE PROPOSED:	5,408 SF, 30%, COMPLIES
PROPOSED RESIDENCE:	TWO-STORY SINGLE FAMILY: 4 BEDROOM, STUDIO, GYM RM, 4 1/2 BATHROOM	MAX. BLDG. COVERAGE ALLOWED:	N/A
1ST FL A/C	4,187 SF (GROSS)	TOTAL OPEN SPACE PROPOSED:	8,362 SF, 46%, COMPLIES
2ND FL A/C	990 SF (GROSS)	MINIMUM OPEN SPACE REQUIRED:	30%
TOTAL A/C	5,177 SF (GROSS)	IMPERVIOUS AREAS:	
GARAGE	846 SF (GROSS)	EXISTING ASPHALT DRIVE:	1,475 SF
COVERED PORCH	375 SF (GROSS)	TOTAL IMPERVIOUS WALKS AND PADS:	699 SF
TOTAL UNDER ROOF	6,398 SF (GROSS)	TOTAL BUILDING FOOTPRINT:	5,434 SF
		TOTAL DECK AREA:	2,033 SF
		POOL FOOTPRINT:	300 SF
		TOTAL IMPERVIOUS AREA:	9,958 SF
		PERVIOUS AREAS:	
		VEGETATED AREAS:	8,362 SF

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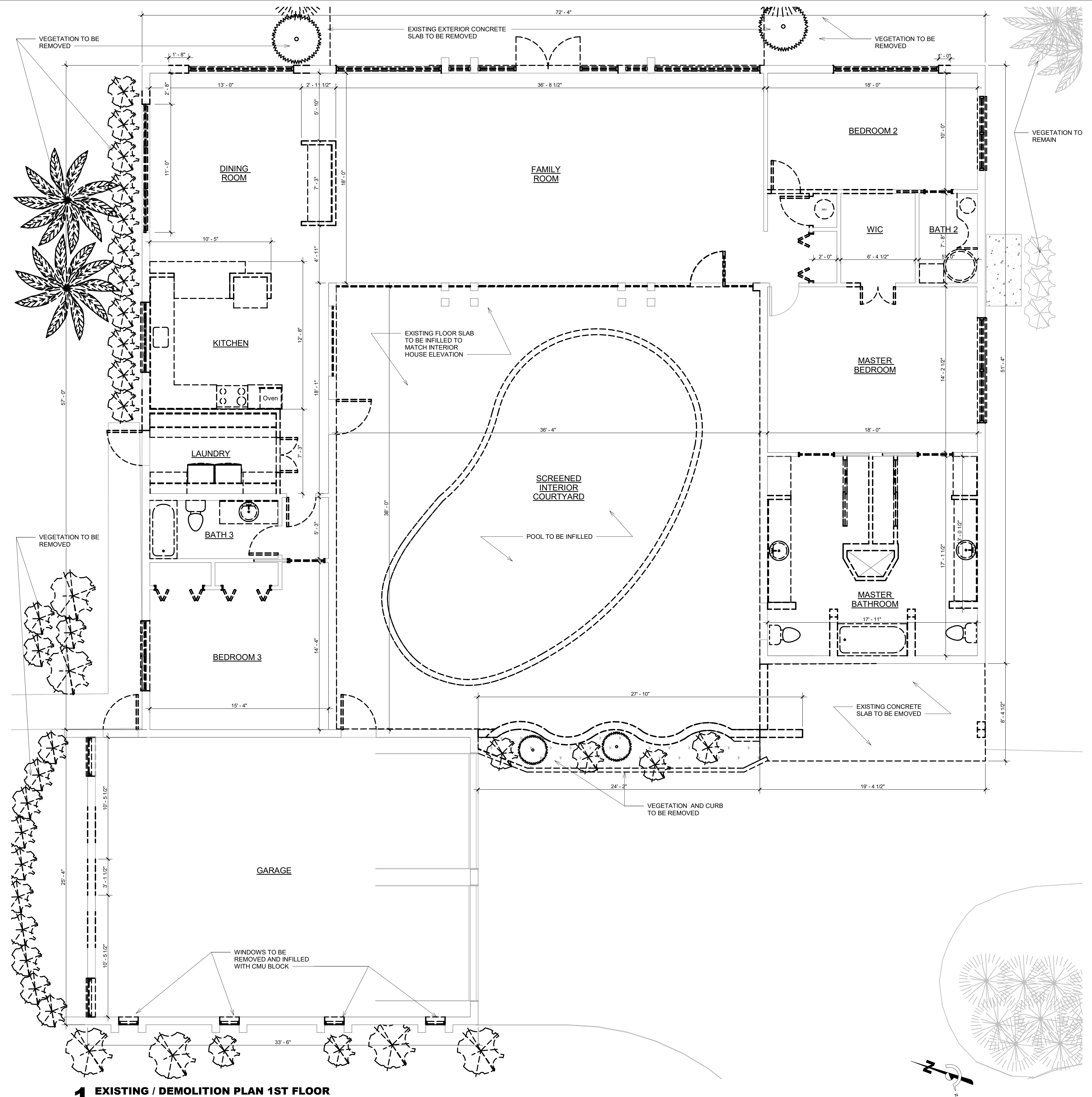
TITLE: SITE PLANS
 DATE: 03/10/2021
 SCALE: As Indicated

REVISIONS
 No. DATE

SEAL:
 DATE

DRAWING NO.
A-3
 PROJECT NO.
 2021-1

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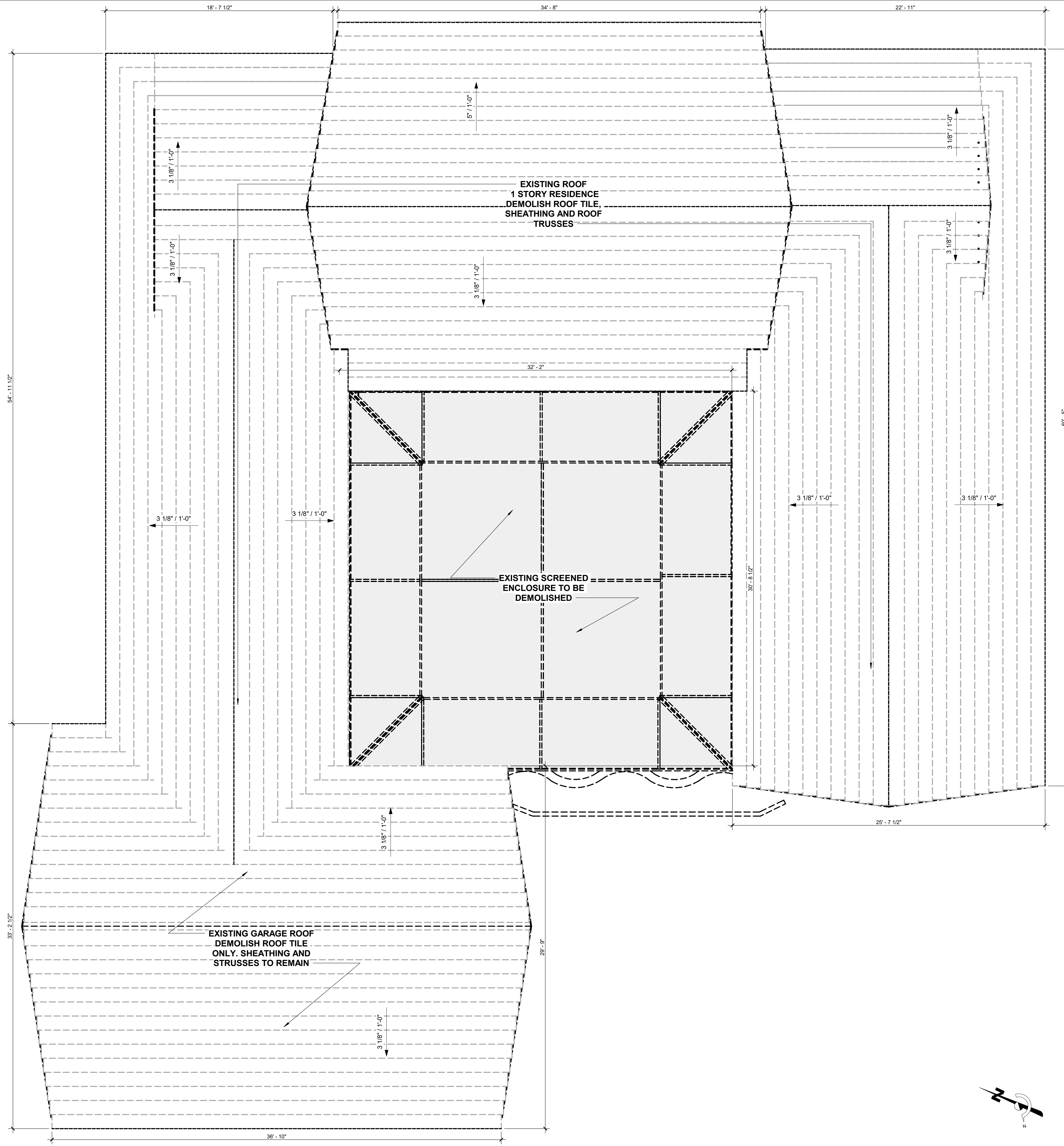


DEMO NOTES

1. DASHED LINES ON DEMOLITION PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC. TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN AS REQUIRED.
2. ALL WORK SHALL BE PERFORMED WITHOUT CAUSING DAMAGE TO EXIST. UTMOST CARE SHOULD BE TAKEN WHEN PERFORMING WORK.
3. PROVISIONS SHALL BE MADE TO ALLEVIATE SPREAD OF DEBRIS, DIRT & DUST TO EXIST OR NEIGHBORING AREAS. PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL EXISTING BUILDING COMPONENTS, MATERIALS, EQUIPMENT, AND APPURTENANCES AS REQUIRED TO BUILD, ERECT, INSTALL OR ACCOMMODATE ALL NEW CONSTRUCTION. ALL DEBRIS & MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE REUSED EXCEPT AS SPECIFICALLY APPROVED BY ARCHITECT OR OWNER. GC SHALL SORT ALL MATERIALS, DISPOSE OF AS ALLOWED BY LOCAL & FEDERAL LAW. ALL MATERIALS ELIGIBLE FOR RECYCLING SHALL BE SORTED & DISTRIBUTED SAFELY.
7. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
8. MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES. FIRE ALARM & SMOKE DETECTION SYSTEM SHALL REMAIN OPERATIONAL AT ALL TIMES. PROTECT SMOKE DETECTORS AS REQUIRED AND IN CONFORMANCE WITH CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
9. FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED. DAMAGED FIXTURES SHALL BE REPLACED.
10. ALL DEMOLITION TO BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
11. PROVIDE TEMPORARY PARTITIONS/DUST PROTECTION AS REQUIRED.
12. HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORKING AND INFORM OWNER, ARCHITECT AND LOCAL GOVERNING AUTHORITY IMMEDIATELY IN WRITING IF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS, INCLUDING BUT NOT LIMITED TO ASBESTOS PRODUCTS, PCB'S OR OTHER TOXIC SUBSTANCES.
13. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC. WHICH ARE NECESSARY TO PREVENT THE COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
14. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES AND DRAWINGS TO BE ALL INCLUSIVE. IT'S THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.

1 EXISTING / DEMOLITION PLAN 1ST FLOOR
1/4" = 1'-0"

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">No.</th> <th style="width: 90%;">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DATE			<p>EXISTING / DEMOLITION PLAN</p>	<p>TITLE: EXISTING / DEMOLITION PLAN</p> <p>DATE: 03/10/2021</p> <p>SCALE: 1/4" = 1'-0"</p>
No.	DATE					
<p>SEAL:</p>		<p>DRAWING NO.</p> <p>A-4</p> <p>PROJECT NO.</p> <p>2021-1</p>				
<p>MARJORIE CARRILLO ARCHITECT, P.L.L.C. ARCHITECTURE DESIGN</p>		<p>9187 SE STAR ISLAND WAY HOBE SOUND, FL 33455</p> <p>12101 SE COLBY AVENUE HOBE SOUND, FL 33455 (407) 617-6400</p>				



1 EXISTING / DEMOLITION ROOF PLAN
1/4" = 1'-0"

DEMO NOTES

1. DASHED LINES ON DEMOLITION PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC. TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN AS REQUIRED.
2. ALL WORK SHALL BE PERFORMED WITHOUT CAUSING DAMAGE TO EXIST. UTMOST CARE SHOULD BE TAKEN WHEN PERFORMING WORK.
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5. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
6. MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES. FIRE ALARM & SMOKE DETECTION SYSTEM SHALL REMAIN OPERATIONAL AT ALL TIMES. PROTECT SMOKE DETECTORS AS REQUIRED AND IN CONFORMANCE WITH CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
7. FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED. DAMAGED FIXTURES SHALL BE REPLACED.
8. ALL DEMOLITION TO BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
9. PROVIDE TEMPORARY PARTITIONS/DUST PROTECTION AS REQUIRED.
10. HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORKING AND INFORM OWNER ARCHITECT AND LOCAL GOVERNING AUTHORITY IMMEDIATELY IN WRITING IF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS, INCLUDING BUT NOT LIMITED TO ASBESTOS PRODUCTS, PCB'S OR OTHER TOXIC SUBSTANCES.
11. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC. WHICH ARE NECESSARY TO PREVENT THE COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
12. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES AND DRAWINGS TO BE ALL-INCLUSIVE. IT'S THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.

**SCAVONE RESIDENCE
RENOVATION & ADDITION**

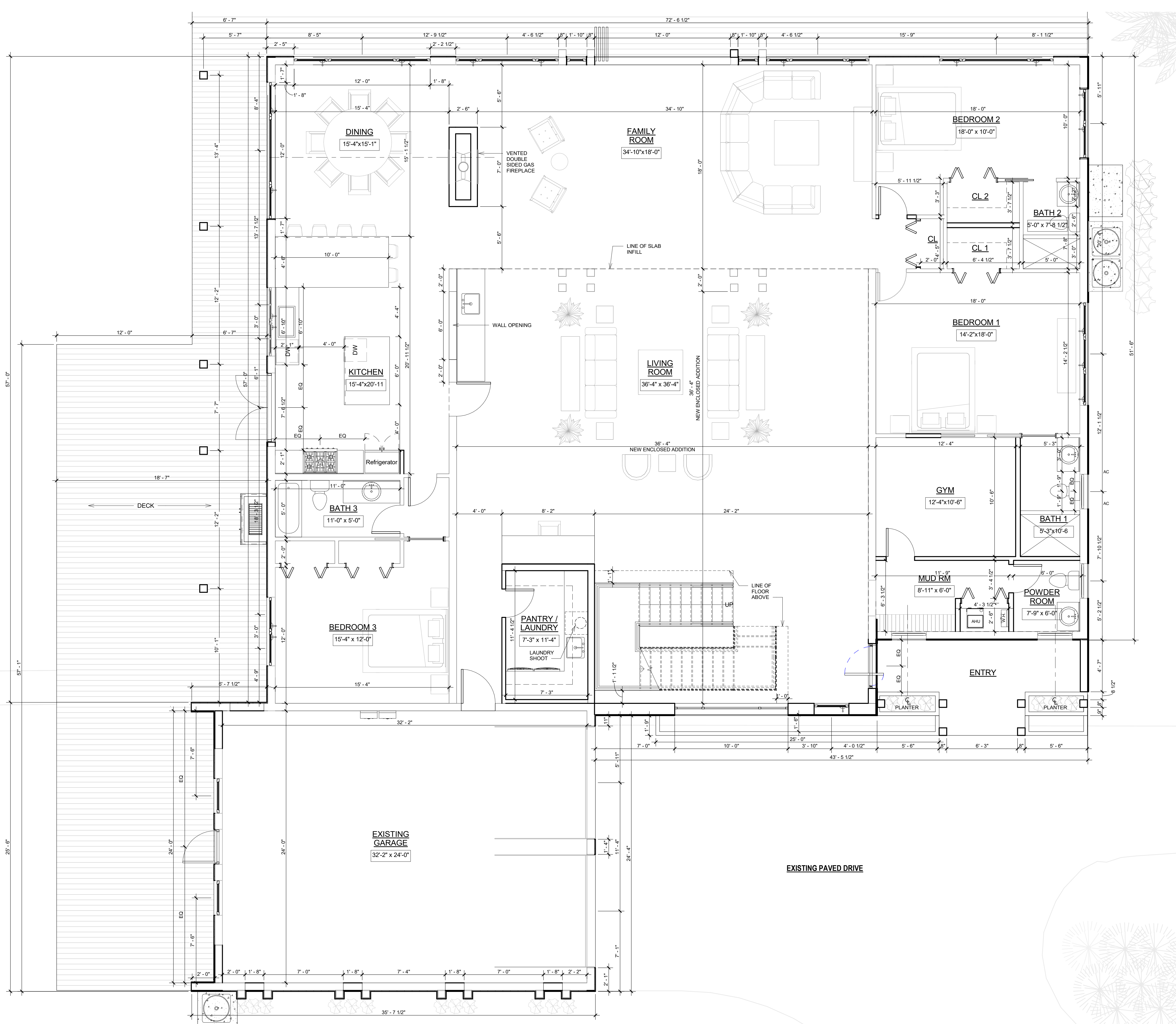
REVISIONS	
No.	DATE

TITLE:	EXISTING / DEMOLITION ROOF PLAN
DATE:	03/10/2021
SCALE:	1/4" = 1'-0"

DRAWING NO.	A-5
PROJECT NO.	2021-1

SEAL:

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- GENERAL PLAN NOTES**
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
 - ALL DIMENSIONS AT PARTITIONS ARE TO THE FACE OF PARTITIONS.
 - ALL DIMENSIONS TO BE FIELD VERIFIED.
 - ALL PERIMETER WALL ARE TO BE CONSIDERED SHEAR WALLS EXCEPT AT DOOR & WINDOW OPENINGS. WALL LENGTHS LESS THAN 2'-0" MAILING PATTERN AND SPACING AT SHEATHING FOR SHEAR APPLY TO ALL EXTERIOR WALLS.
 - DIMENSIONS FOR WINDOWS & DOORS ARE "GENERIC" & USED FOR DESIGN PURPOSES ONLY. VERIFY ALL WINDOW AND DOOR OPENINGS WITH MANUFACTURER FOR EXACT ROUGH OPENING SIZES. WINDOW AND DOOR INSTALLATION TO BE PER MANUFACTURER'S SPECIFICATIONS.
 - ALL GLAZED OPENINGS TO HAVE IMPACT GLASS TO PROTECT FROM WINDBORNE DEBRIS AT 160 MPH.
 - END STUD BOLTED TO WALL @ BEARING WALL, TYP.
 - BLOCK ALL SUPPORT COLUMNS & POSTS SOLID TO MASONRY OR COLUMN BELOW @ FLOOR SPACE.
 - ALL SOLID BEARING POINTS SHALL BE A MINIMUM OF (4)WX4 OR (3)X6 U.N.O.
 - SEE FRAMING PLAN FOR ALL BEAM CALLOUTS.
 - PROVIDE FLASHING PER INDUSTRY STANDARD.
 - PROVIDE WATER RESISTANT MATERIAL AT ALL AREAS BELOW BFE.
 - ALL WOOD TO BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE GALVANIZED OR COATED AGAINST CORROSION. REFER TO FASTENERS MANUFACTURER'S SPECIFICATION FOR INSTALLATION REQUIREMENTS.
 - CHEMICAL TREATING FOR FIRE RESISTANCE OR OTHER PURPOSES (OTHER THAN TREATING FOR ROT RESISTANCE, I4, OCA, ACCA, CBA, ACQ OR OTHER COPPER TREATMENTS) MAY AFFECT THE PERFORMANCE OF THE ROOF MEMBRANE AND ACCESSORIES. CONTACT THE ROOFING MANUFACTURER WHEN USING CHEMICALLY TREATED LUMBER THAT WILL COME INTO CONTACT WITH THE ROOF MEMBRANE.
 - ALL ELECTRICAL APPLIANCES AND ELECTRICAL WORK MUST MEET BASE FLOODING REQUIREMENTS AS PER LOCAL BUILDING CODE.
 - PROVIDE NON COMBUSTIBLE BLOCKING AS REQUIRED FOR ALL WALL CABINETS, WALL HUNG SINKS, SHELVING STANDARDS, COUNTERTOPS, TOILET ACCESSORIES, SUPPORTS, AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL PARTITION DRYWALL JOINTS SHALL BE MUDDERED, TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. LEVEL 5 FINISH. ALL OUTSIDE GYPSUM BOARD CORNERS SHALL HAVE SCREWED METAL CORNER BEADS.
 - PROVIDE CAULKING AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
 - GC SHALL PROVIDE NON COMBUSTIBLE BLOCKING AND POWER/JUNCTION BOX AT ALL WALL MOUNTED TV'S. COORDINATE FINAL LOCATIONS WITH FURNITURE & EQUIPMENT DRAWINGS, TECHNOLOGY DWGS, AND OWNER.
 - STAGGER ALL BACK TO BACK OUTLETS AT SOUND AND SECURITY WALLS.
 - OUTSIDE LAYER OF GYP. BD. FACING BATHROOM TO BE WATER RESISTANT GYPSUM BOARD. PROVIDE CEMENT BOARD AT TUB AND SHOWER SURROUNDS.
 - PROVIDE CONTINUOUS NON-HARDENING ACOUSTICAL CAULKING BEADS ON EACH SIDE OF THE TOP AND BOTTOM STUD RUNNER AT THE THREE-WAY INTERSECTION BETWEEN THE RUNNER, FLOOR/CEILING AND DRYWALL.
 - ALL AREAS NOTED TO RECEIVE MEMBRANE WP TURN UP WP 8" AT ALL VERTICAL SURFACES.
 - PROVIDE 1/2" SCRIBE WHERE CABINERY MEETS PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
 - PROVIDE 4" TOE KICK AT ALL BASE CABINETS.
 - ALL MILLWORK SUBSTRATE TO BE PLYWOOD FREE OF EUREA FORMALDEHYDE. NO MDF SUBSTRATES TO BE USED IN THE PROJECT.
 - HARDWARE TO BE SELECTED BY OWNER.
 - PLUMBING FIXTURES TO BE SELECTED BY OWNER.
 - ALL CABINERY, FLOORING, HARDWARE AND FINISHES TO BE SELECTED BY OWNER.
 - MINIMUM SLOPED TO DRAIN ON SLABS TO BE 1/8" PER FOOT, UNLESS NOTED OTHERWISE.
 - DOORS TO BE CENTERED IN WALL OR 5" MIN. FROM PERPENDICULAR WALL, U.N.O.
 - THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35MM) IN THICKNESS. SOLID OR HONEY COME CORE STEEL DOORS NOT LESS THAN 1 7/8" (35MM) THICK, OR 20 MINUTE FIRE RATED DOORS WITH SELF CLOSING DEVICE.
 - ALL SOLID BEARING POINTS SHALL BE A MINIMUM OF (4)2X4 OR (3)2X6 U.N.O.
 - REFER TO STRUCTURAL DRAWINGS FOR SIZING & REINFORCING OF STRUCTURAL MEMBERS.

AREA CALCULATIONS

1ST FL A/C	4,187 SF (GROSS)
2ND FL A/C	990 SF (GROSS)
TOTAL A/C	5,177 SF (GROSS)
GARAGE	
COVERED PORCH	846 SF (GROSS)
TOTAL UNDER ROOF	6,389 SF (GROSS)
TOTAL ENCLOSED SQUARE FOOTAGE	
A/C + GARAGE	6,023 SF (GROSS)

RISER/TREAD CALCULATIONS:

FIRST FL ELEVATION	0'-0"
FIRST FL CEILING HEIGHT	11'-0" VAULTED
SECOND FL CEILING HEIGHT	VAULTED
SECOND FL ELEVATION	13'-6"
FLOOR TO FLOOR HEIGHT	
23 RISERS @ 6 3/4"	162"
20 TREADS @ 11"	
2 LANDINGS	

- (1) 4" RISER @ MAIN DOOR ENTRY AND DECK.
- (1) 6" RISER @ GARAGE (EXISTING)

1 1ST FL PROPOSED PLAN
1/4" = 1'-0"

MARJORIE CARRILLO ARCHITECT, P.L.L.C. ARCHITECTURE | DESIGN

SCAVONE RESIDENCE RENOVATION & ADDITION

9187 SE STAR ISLAND WAY HOBE SOUND, FL 33455

12101 SE COLBY AVENUE HOBE SOUND, FL 33455 (407) 617-6400

SEAL:

DATE:

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No.

TITLE: PROPOSED 1ST FLOOR PLAN

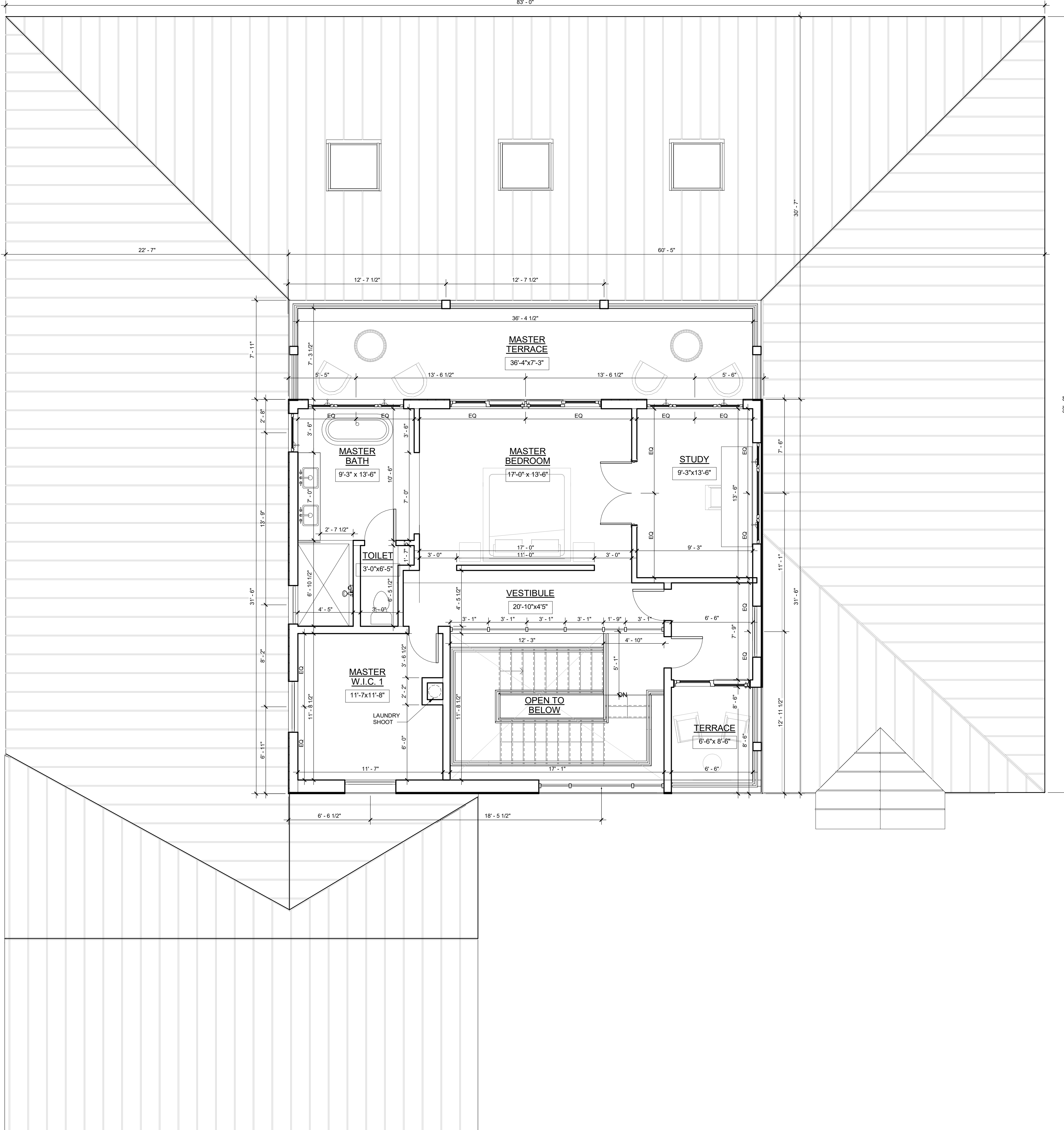
DATE: 03/10/2021

SCALE: 1/4" = 1'-0"

DRAWING NO. **A-6**

PROJECT NO. 2021-1

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GENERAL PLAN NOTES

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5. DIMENSIONS FOR WINDOWS & DOORS ARE "GENERIC" & USED FOR DESIGN PURPOSES ONLY. VERIFY ALL WINDOW AND DOOR OPENINGS WITH MANUFACTURER FOR EXACT ROUGH OPENING SIZES. WINDOW AND DOOR INSTALLATION TO BE PER MANUFACTURER'S SPECIFICATIONS.
6. ALL GLAZED OPENINGS TO HAVE IMPACT GLASS TO PROTECT FROM WINDBORNE DEBRIS AT 160 MPH.
7. END STUD BOLTED TO WALL @ BEARING WALL. TYP.
8. BLOCK ALL SUPPORT COLUMNS & POSTS SOLID TO MASONRY OR COLUMN BELOW @ FLOOR SPACE.
9. ALL SOLID BEARING POINTS SHALL BE A MINIMUM OF (4)W4 OR (3)2X6 U.N.O.
10. SEE FRAMING PLAN FOR ALL BEAM CALLOUTS.
11. PROVIDE FLASHINGS PER INDUSTRY STANDARD.
12. PROVIDE WATER RESISTANT MATERIAL AT ALL AREAS BELOW BFE.
13. ALL WOOD TO BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE GALVANIZED OR COATED AGAINST CORROSION. REFER TO FASTENERS MANUFACTURER'S SPECIFICATION FOR INSTALLATION REQUIREMENTS.
14. CHEMICAL TREATING FOR FIRE RESISTANCE OR OTHER PURPOSES (OTHER THAN TREATING FOR ROT RESISTANCE, i.e. CCA, ACZA, CBA, ACC OR OTHER COPPER TREATMENTS) MAY AFFECT THE PERFORMANCE OF THE ROOF MEMBRANE AND ACCESSORIES. CONTACT THE ROOFING MANUFACTURER WHEN USING CHEMICALLY TREATED LUMBER THAT WILL COME INTO CONTACT WITH THE ROOF MEMBRANE.
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18. PROVIDE CAULKING AT INTERSECTION OF ALL DISSIMILAR MATERIALS.
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20. STAGGER ALL BACK TO BACK OUTLETS AT SOUND AND SECURITY WALLS
21. OUTSIDE LAYER OF GYP. BD. FACING BATHROOM TO BE WATER RESISTANT GYPSUM BOARD. PROVIDE CEMENT BOARD AT TUB AND SHOWER SURROUNDS.
22. PROVIDE CONTINUOUS NON-HARDENING ACOUSTICAL CAULKING BEADS ON EACH SIDE OF THE TOP AND BOTTOM STUD RUNNER AT THE THREE-WAY INTERSECTION BETWEEN THE RUNNER, FLOOR/CEILING AND DRYWALL.
23. ALL AREAS NOTED TO RECEIVE MEMBRANE WP TURN UP WP 8" AT ALL VERTICAL SURFACES.
24. PROVIDE 1.5" SCRIBE WHERE CABINETRY MEETS PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
25. PROVIDE 4" TOE KICK AT ALL BASE CABINETS.
26. ALL MILLWORK SUBSTRATE TO BE PLYWOOD FREE OF EUREA FORMALDEHYDE. NO MDF SUBSTRATES TO BE USED IN THE PROJECT.
27. HARDWARE TO BE SELECTED BY OWNER.
28. PLUMBING FIXTURES TO BE SELECTED BY OWNER.
29. ALL CABINETRY, FLOORING, HARDWARE AND FINISHES TO BE SELECTED BY OWNER.
30. MINIMUM SLOPED TO DRAIN ON SLABS TO BE 1/8" PER FOOT, UNLESS NOTED OTHERWISE.
31. DOORS TO BE CENTERED IN WALL OR 5" MIN. FROM PERPENDICULAR WALL. U.N.O.
32. THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35MM) IN THICKNESS, SOLID OR HONEY COMB CORE STEEL DOORS NOT LESS THAN 1 1/2" (38MM) THICK, OR 20 MINUTE FIRE RATED DOORS WITH SELF CLOSING DEVICE.
33. ALL SOLID BEARING POINTS SHALL BE A MINIMUM OF (4)2X4 OR (3)2X6 U.N.O.
34. REFER TO STRUCTURAL DRAWINGS FOR SIZING & REINFORCING OF STRUCTURAL MEMBERS.

AREA CALCULATIONS

1ST FL A/C	4,187 SF (GROSS)
2ND FL A/C	890 SF (GROSS)
TOTAL A/C	5,177 SF (GROSS)
GARAGE	846 SF (GROSS)
COVERED PORCH	375 SF (GROSS)
TOTAL UNDER ROOF	6,389 SF (GROSS)
TOTAL ENCLOSED SQUARE FOOTAGE	
A/C + GARAGE	6,023 SF (GROSS)

RISER/TREAD CALCULATIONS:

FIRST FL ELEVATION	0'-0"
FIRST FL CEILING HEIGHT	11'-0" / VAULTED
SECOND FL CEILING HEIGHT	VAULTED
SECOND FL ELEVATION	13'-6"

FLOOR TO FLOOR HEIGHT 162"
 23 RISERS @ 6 3/4"
 20 TREADS @ 11"
 2 LANDINGS

- (1) 4" RISER @ MAIN DOOR ENTRY AND DECK.
- (1) 6" RISER @ GARAGE (EXISTING)

MARJORIE CARRILLO ARCHITECT, P.L.L.C.
 ARCHITECTURE | DESIGN

12101 SE COLBY AVENUE
 HOBE SOUND, FL 33455
 (407) 617-6400

**SCAVONE RESIDENCE
 RENOVATION & ADDITION**

9187 SE STAR ISLAND WAY
 HOBE SOUND, FL 33455

REVISIONS

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SEAL:

TITLE: PROPOSED 2ND FLOOR PLAN

DATE: 03/10/2021

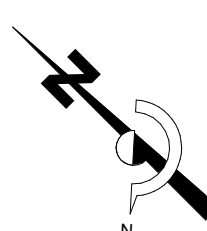
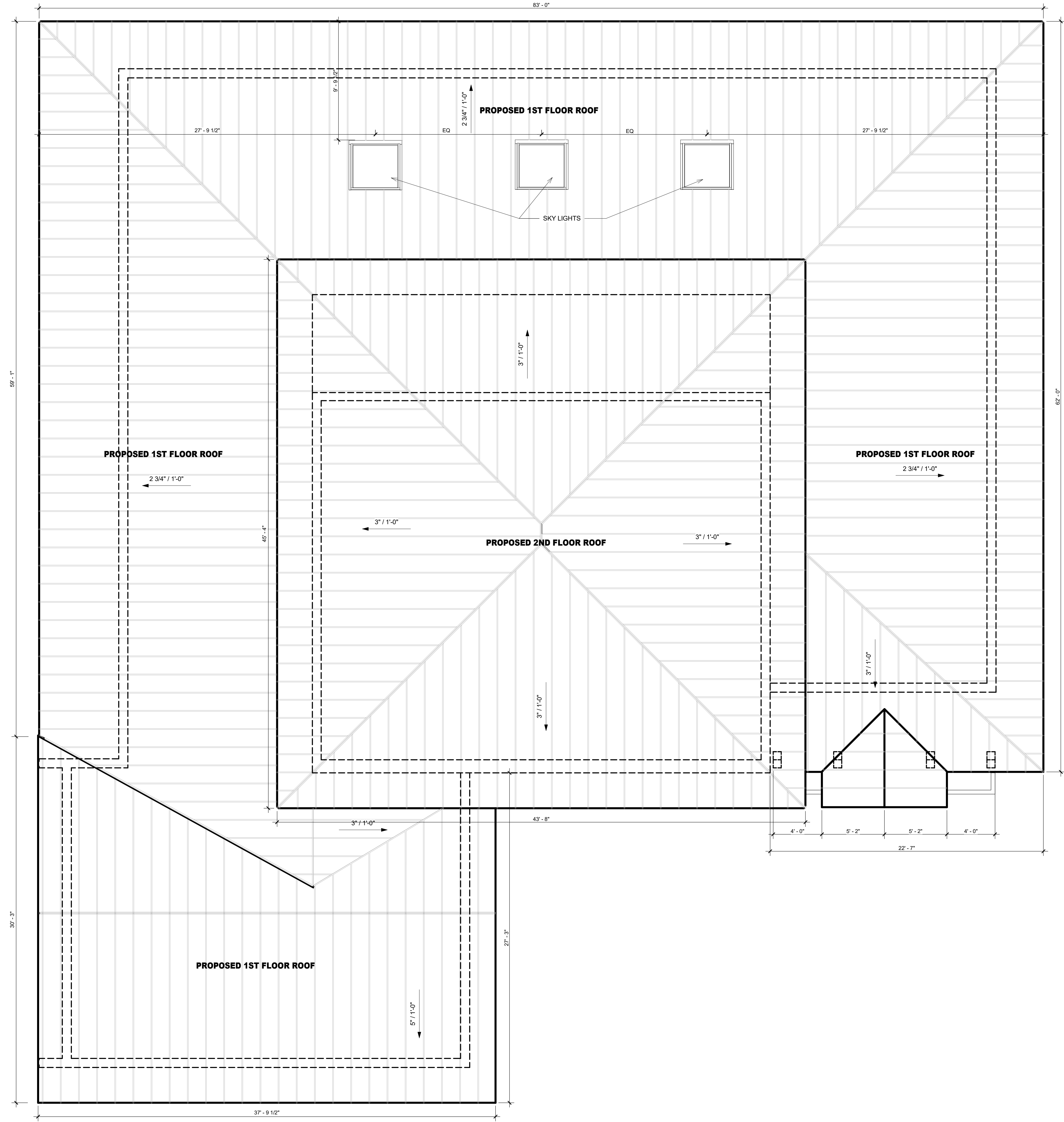
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DRAWING NO.

A-7

PROJECT NO.

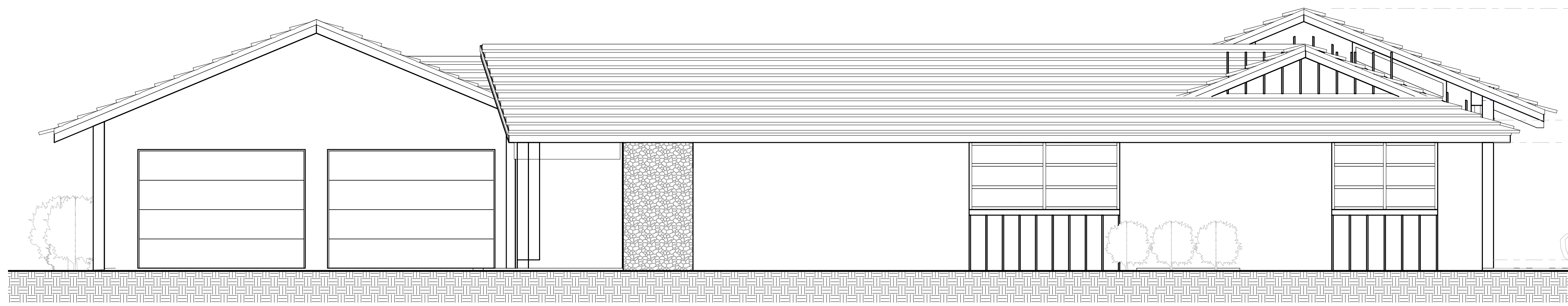
2021-1



1 ROOF PLAN - PROPOSED
1/4" = 1'-0"

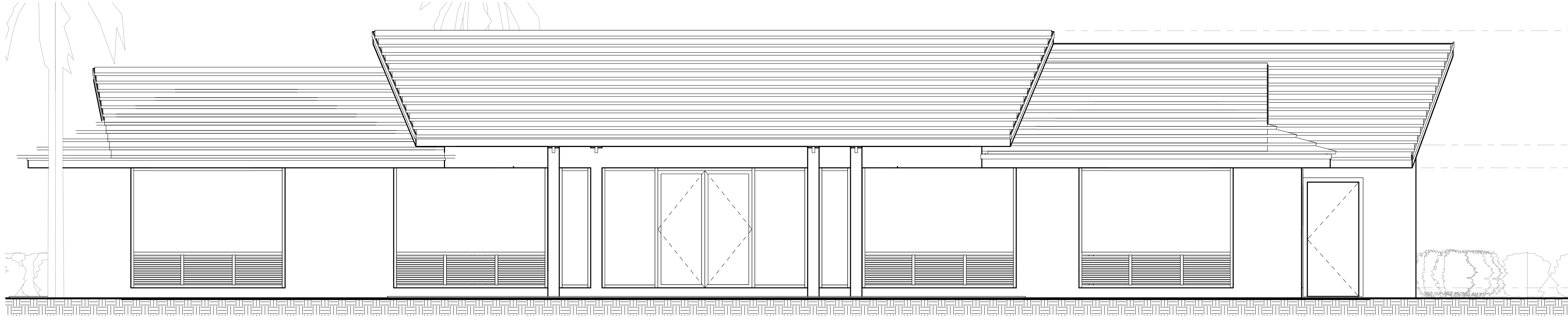
MARJORIE CARRILLO ARCHITECT, P.L.L.C. ARCHITECTURE DESIGN		SCAVONE RESIDENCE RENOVATION & ADDITION	
9187 SE STAR ISLAND WAY HOBE SOUND, FL 33455		12101 SE COLBY AVENUE HOBE SOUND, FL 33455 (407) 617-6400	
TITLE: PROPOSED ROOF PLAN		REVISIONS	
DATE: 03/10/2021		No. DATE	
SCALE: 1/4" = 1'-0"		SEAL:	
DRAWING NO.		PROJECT NO.	
A-8		2021-1	

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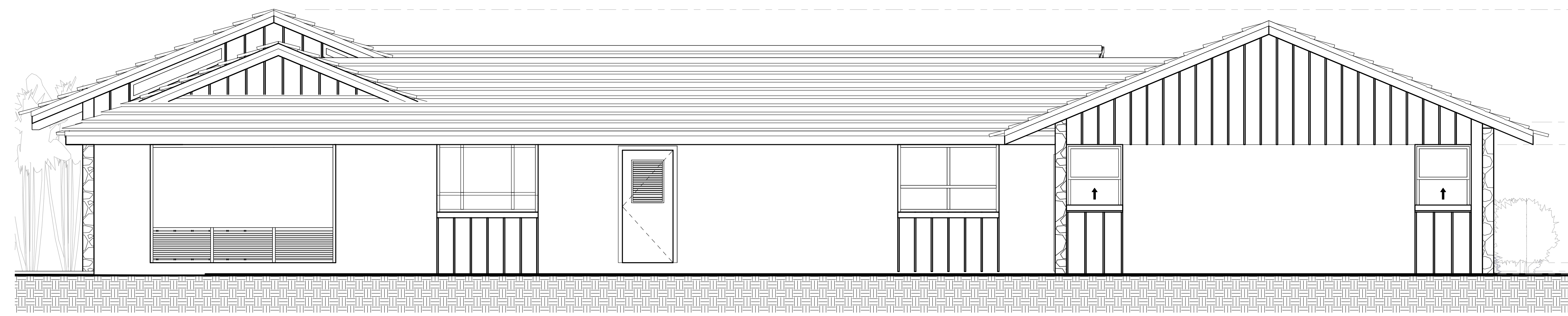
1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

TOP OF EXISTING ROOF RIDGE 15'-0"
TOP OF EXIST. 1ST FL TIE BEAM @ LIVING ROOM 8'-4"
BOTTOM OF ROOF EAVE 7'-0"
1ST FL 0'-0"
TOP OF SLAB AT PORCH -0'-6"
GRADE -0'-8"



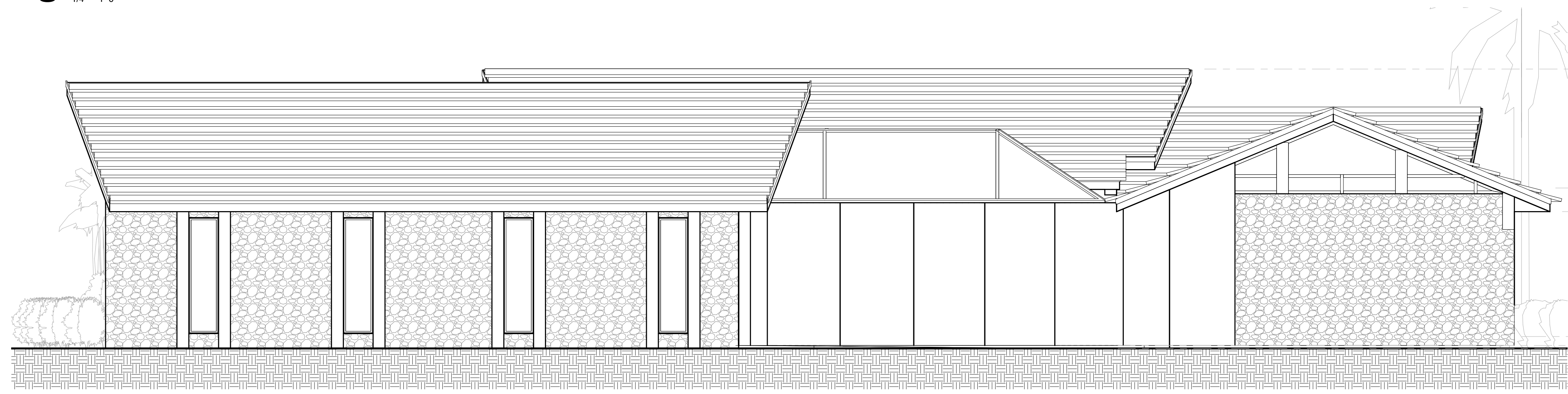
2 EXISTING EAST ELEVATION
1/4" = 1'-0"

TOP OF EXISTING ROOF RIDGE 15'-0"
TOP OF EXIST. 1ST FL TIE BEAM @ LIVING ROOM 8'-4"
BOTTOM OF ROOF EAVE 7'-0"
1ST FL 0'-0"
TOP OF SLAB AT PORCH -0'-6"
GRADE -0'-8"



3 EXISTING NORTH ELEVATION
1/4" = 1'-0"

TOP OF EXISTING ROOF RIDGE 15'-0"
TOP OF EXIST. 1ST FL TIE BEAM @ LIVING ROOM 8'-4"
BOTTOM OF ROOF EAVE 7'-0"
1ST FL 0'-0"
TOP OF SLAB AT PORCH -0'-6"
GRADE -0'-8"



4 EXISTING WEST ELEVATION
1/4" = 1'-0"

TOP OF EXISTING ROOF RIDGE 15'-0"
TOP OF EXIST. 1ST FL TIE BEAM @ LIVING ROOM 8'-4"
BOTTOM OF ROOF EAVE 7'-0"
1ST FL 0'-0"
TOP OF SLAB AT PORCH -0'-6"
GRADE -0'-8"

NOTE: ALL EXISTING ELEVATIONS ARE APPROXIMATE AND MUST BE TO BE VERIFIED IN FIELD BY CONTRACTOR. ANY DISCREPANCIES MUST TO BE REPORTED TO ARCHITECT IMMEDIATELY.

MARJORIE CARRILLO ARCHITECT, P.L.L.C.
ARCHITECTURE | DESIGN

12101 SE COLBY AVENUE
HOBE SOUND, FL 33455 (407) 617-6400

**SCAVONE RESIDENCE
RENOVATION & ADDITION**

9187 SE STAR ISLAND WAY
HOBE SOUND, FL 33455

SEAL: _____

DATE: _____

REVISIONS

No.	DATE

TITLE: EXISTING ELEVATIONS

DATE: 03/10/2021

SCALE: 1/4" = 1'-0"

DRAWING NO. **A-9**

PROJECT NO. 2021-1

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1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"

MARJORIE CARRILLO ARCHITECT, P.L.L.C.
 ARCHITECTURE | DESIGN
 12101 SE COLBY AVENUE
 HOBE SOUND, FL 33455
 (407) 617-6400

**SCAVONE RESIDENCE
 RENOVATION & ADDITION**
 9187 SE STAR ISLAND WAY
 HOBE SOUND, FL 33455

SEAL:

REVISIONS	DATE
No.	

TITLE: PROPOSED ELEVATIONS
 DATE: 03/10/2021
 SCALE: 1/4" = 1'-0"
 DRAWING NO.

A-10
 PROJECT NO.
 2021-1

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1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

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ARCHITECTURE | DESIGN

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HOBE SOUND, FL 33455 (407) 617-6400

**SCAVONE RESIDENCE
RENOVATION & ADDITION**

9187 SE STAR ISLAND WAY
HOBE SOUND, FL 33455

SEAL: _____

DATE: _____

REVISIONS

No.	DATE

TITLE: PROPOSED ELEVATIONS

DATE: 03/10/2021

SCALE: 1/4" = 1'-0"

DRAWING NO. **A-11**

PROJECT NO. 2021-1

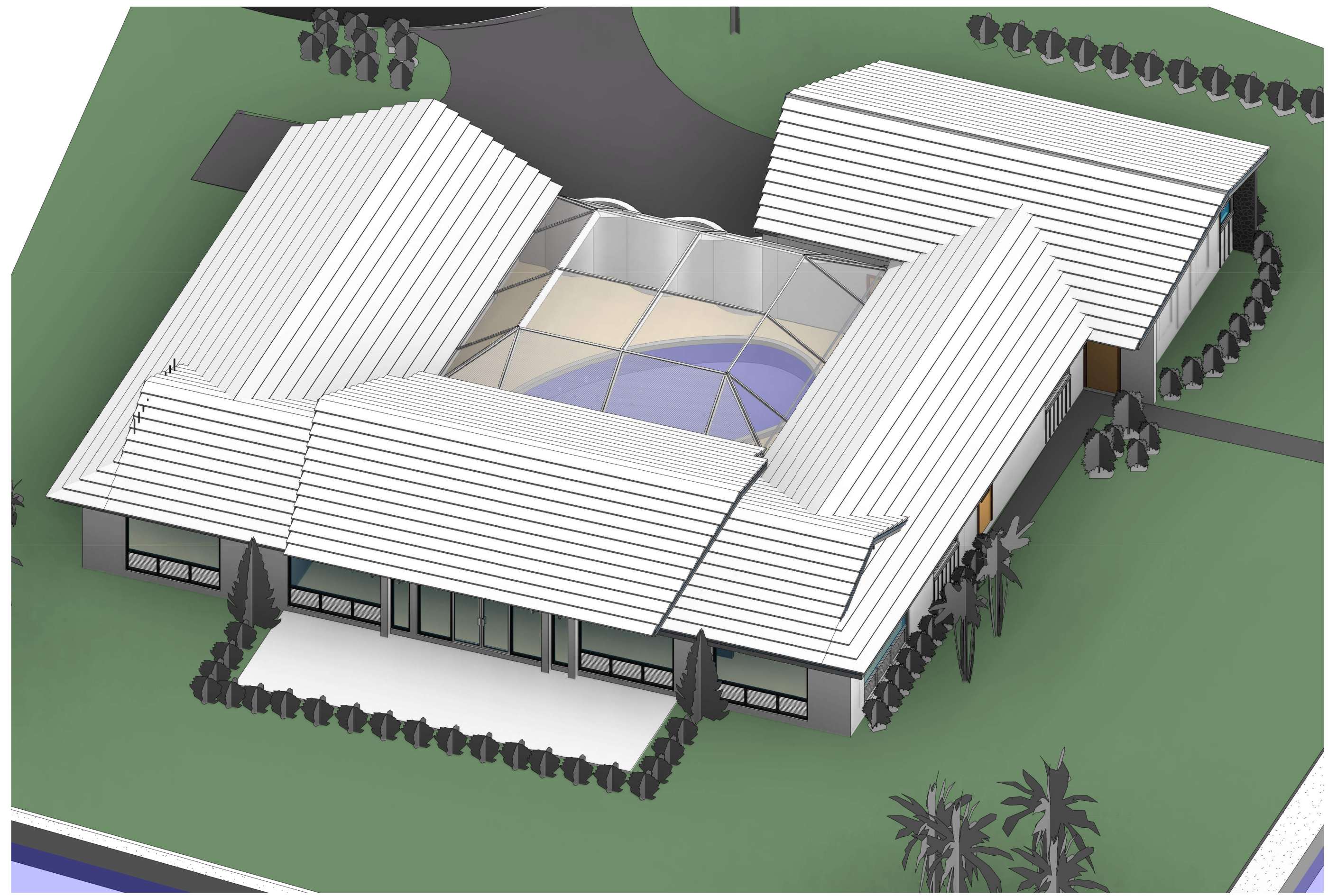
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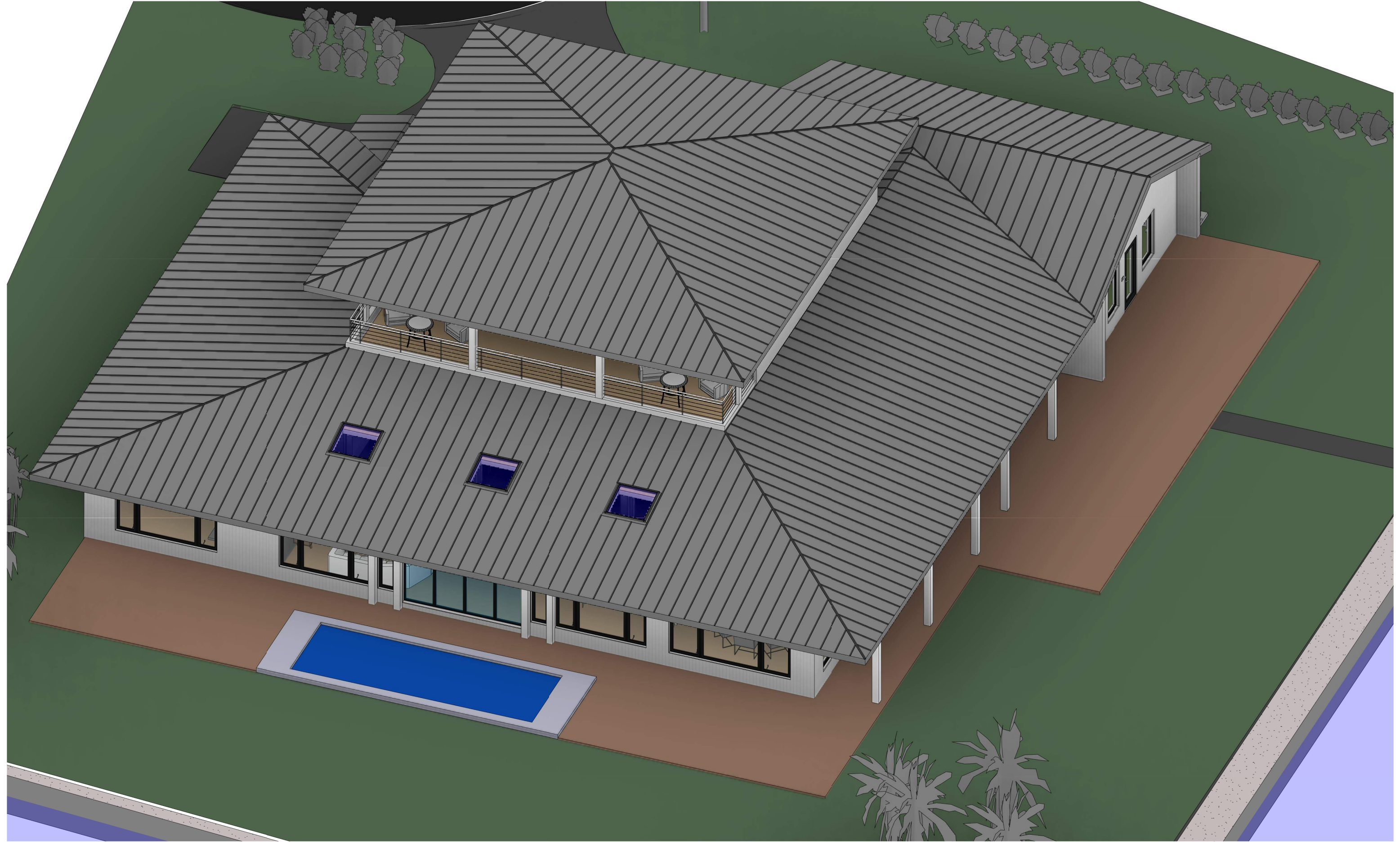
1 EXISTING VIEW-1



3 PROPOSED VIEW 1



2 EXISTING VIEW-2



4 PROPOSED VIEW 2

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**SCAVONE RESIDENCE
RENOVATION & ADDITION**

9187 SE STAR ISLAND WAY
HOBE SOUND, FL 33455

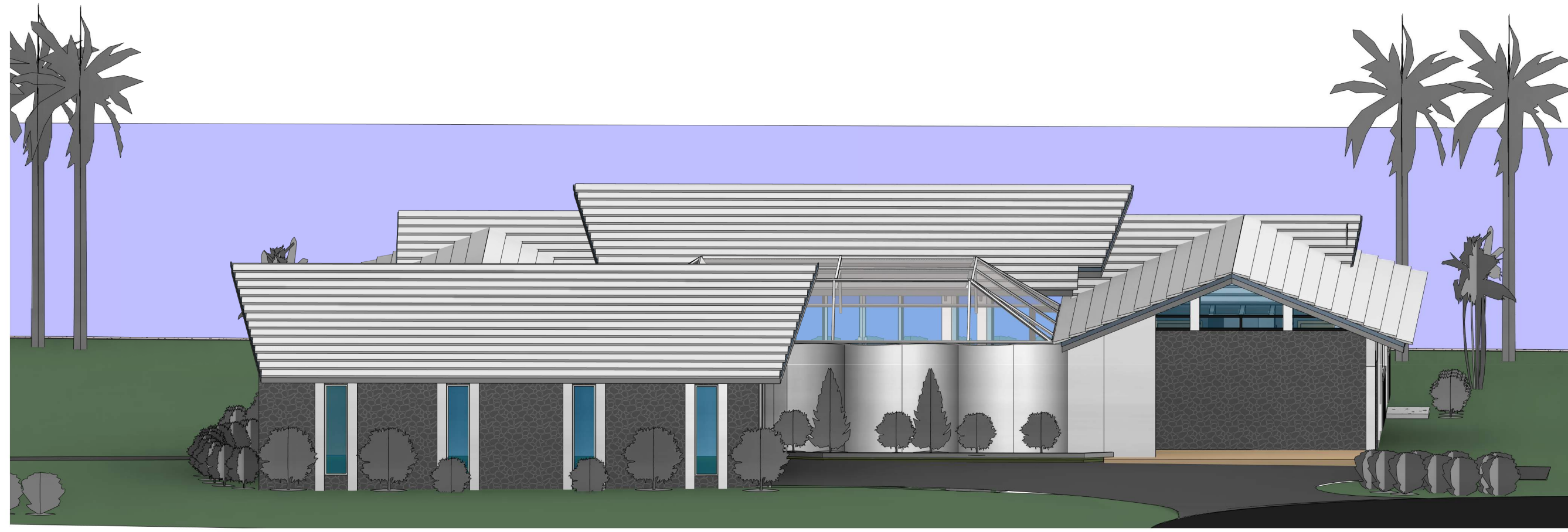
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TITLE: EXISTING & PROPOSED VIEWS
 DATE: 03/10/2021
 SCALE:

DRAWING NO.
A-17
 PROJECT NO.
 2021-1

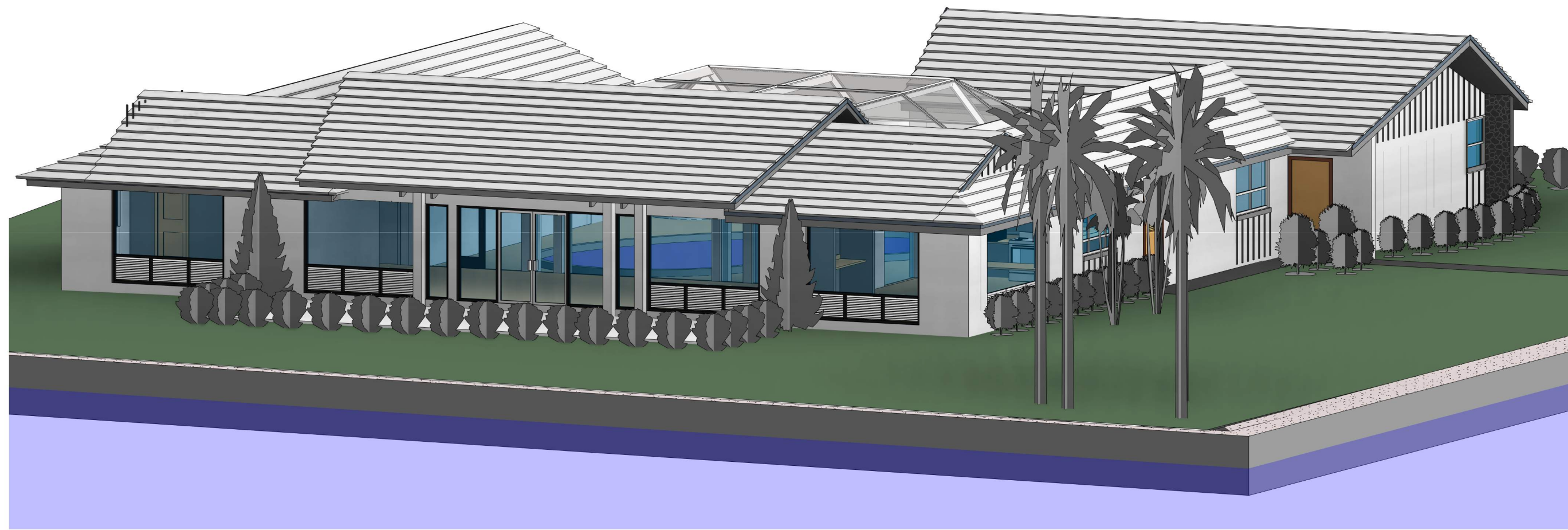
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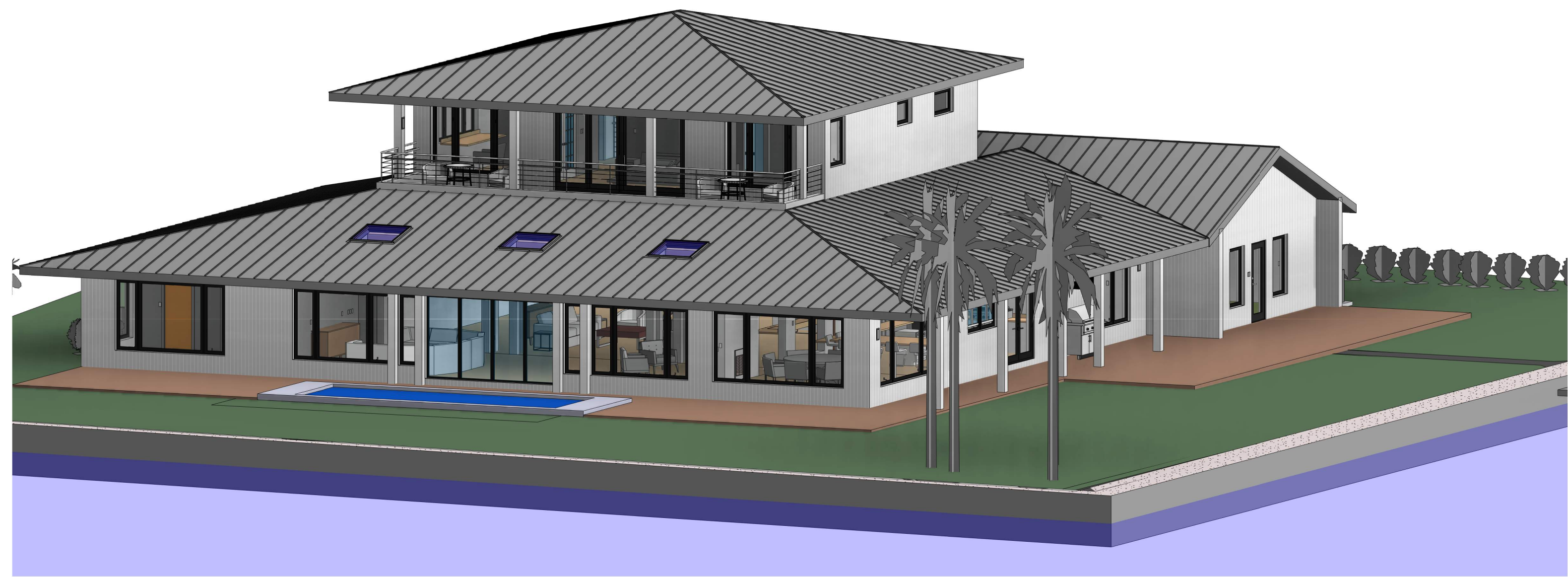
1 EXISTING VIEW-3



3 PROPOSED VIEW 3



2 EXISTING VIEW-4



4 PROPOSED VIEW 4

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REVISIONS	DATE
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EXISTING & PROPOSED VIEWS
TITLE: DATE: 03/10/2021
SCALE:

DRAWING NO.
A-18
PROJECT NO.
2021-1