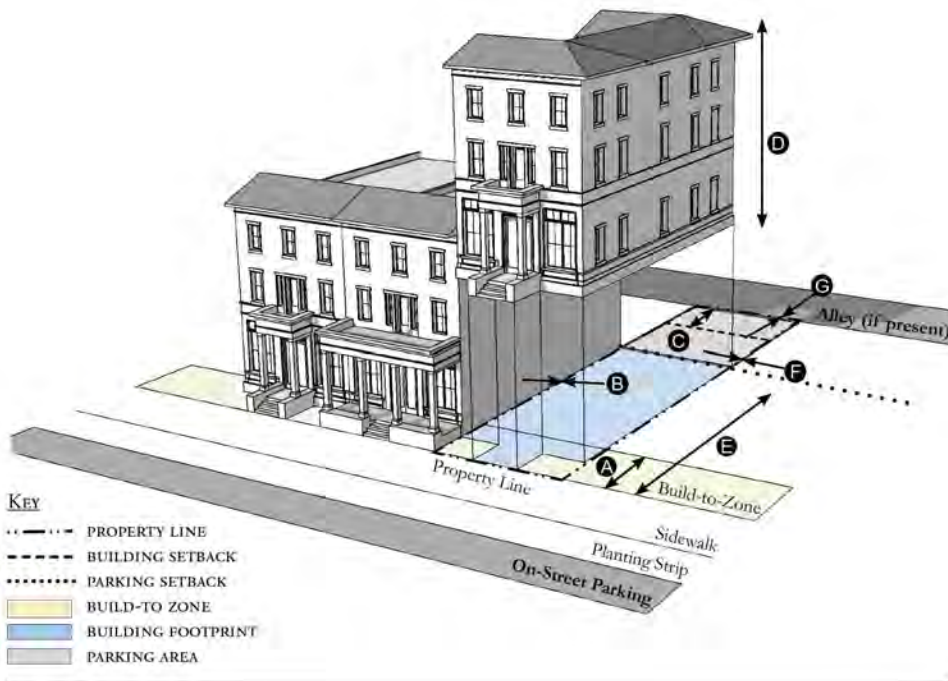


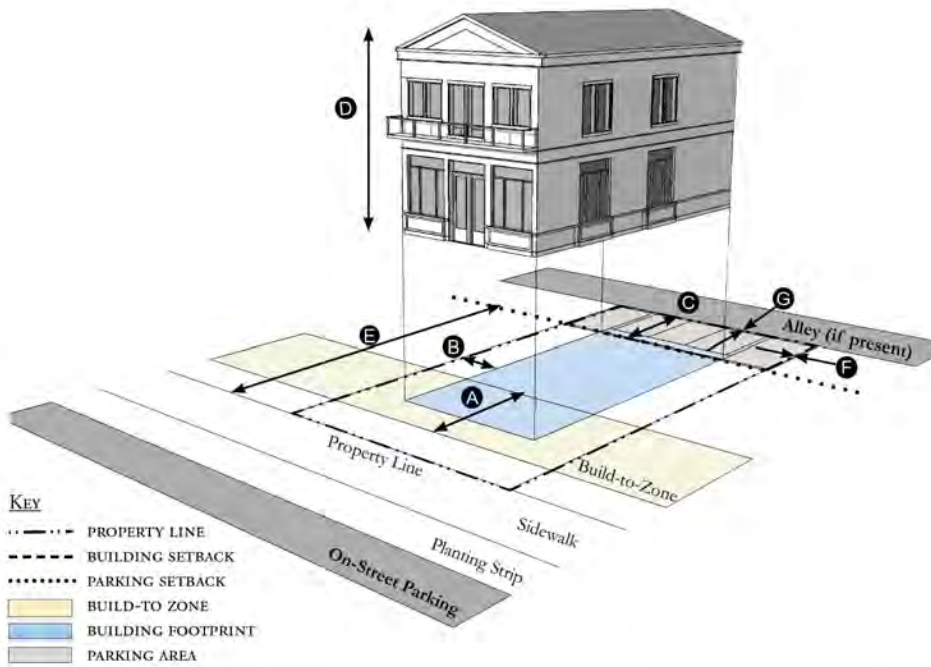
From Sec. 12.2.05. Building type and frontage type standards...

Figure JB-5.06 Townhouse



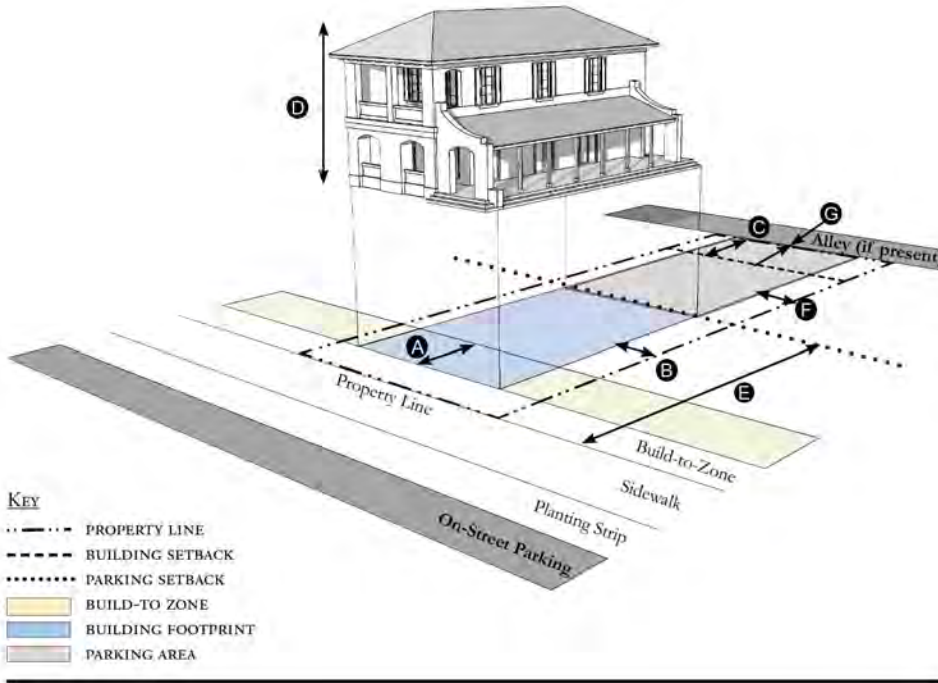
Building Placement, see 12.1.04.6		
Frontage Buildout	80% min.	
Front Build-to-Zone	0' min./15' max.	A
Side at Street Build-to-Zone	0' min./15' max.	
Side at Property Line Setback ^{1, 2}	0' min. or 10' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table JB-5/2 stories min.	D
Parking Placement, see Sec. 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	F
Rear Setback	5' min./0' min. with alley	G
Permitted Subdistricts, see 12.2.02		
Core	General	
Description		
A Townhouse is a building with common walls on one or both sides and often a private garden to the rear. Service and parking shall be located in the rear.		
<u>Facade Transparency, see 12.2.04.6</u>		<u>%</u>
<u>Ground level facing streets or civic open spaces</u>		<u>15 min.</u>
<u>Above the ground level</u>		<u>15 min.</u>

Figure JB-5.07 Live/Work Building



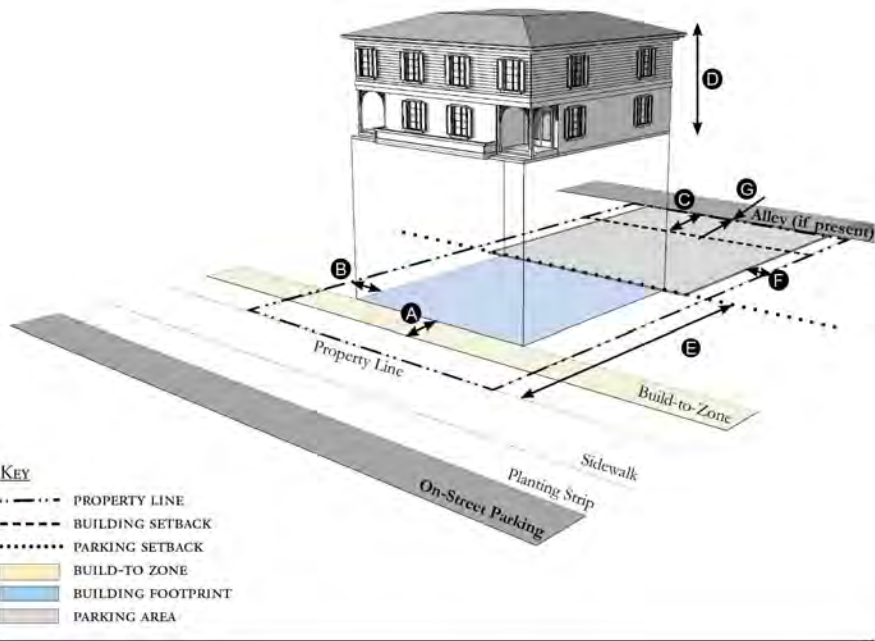
Building Placement, see 12.1.04.6		
Frontage Buildout	80% min.	
Front Build-to-Zone	10' min./25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback ¹	10' min.	B
Rear Yard Setback ¹	10' min	C
Height, see 12.1.04.2		
Ceiling at Ground Level	12' min.	
Building Height	Refer to Table JB-5	D
Parking Placement, see Sec. 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line Setback	0' min.	F
Rear Setback	5' min./0' min. with alley	G
Permitted Subdistricts, see 12.2.02		
Core	General	Waterfront
Description		
A Live/Work Building is a building which is predominately residential in its character, but contains commercial and residential uses.		
<u>Façade Transparency, see 12.2.04.6</u>		<u>%</u>
<u>Ground level facing streets or civic open spaces</u>		<u>15 min.</u>
<u>Above the ground level</u>		<u>15 min.</u>

Figure JB-5.08 Side Yard House



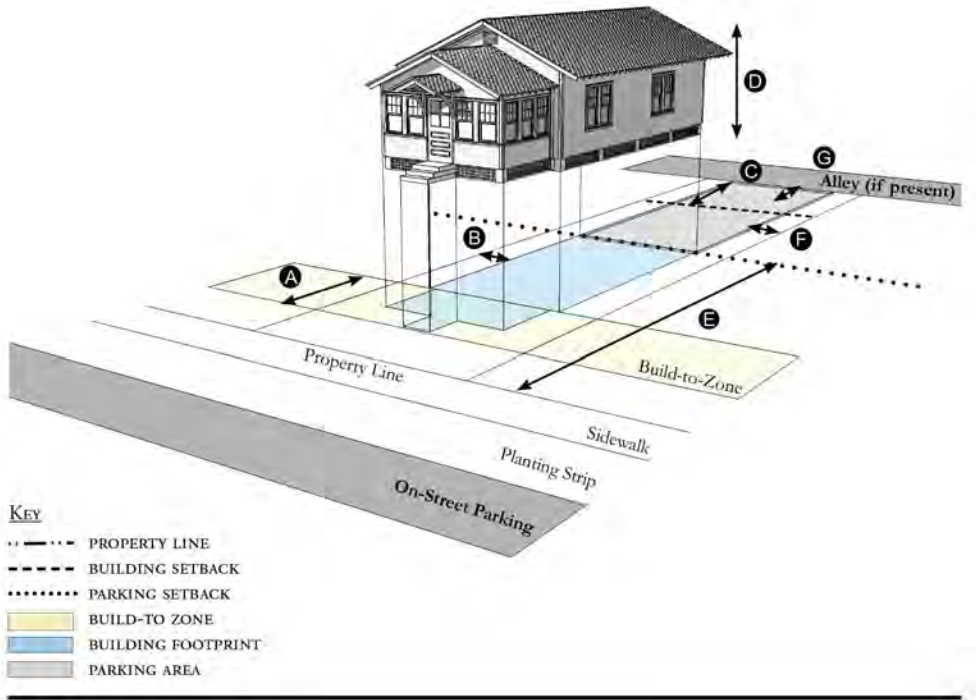
Building Placement, see 12.1.04.6		
Frontage Buildout ²	60% min.	
Front Build-to-Zone	10' min./25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback ¹	5' min., 10' min. other side	B
Rear Yard Setback ¹	10' min/5' min. with alley	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	24'/2 stories max.	D
Parking Placement, see 12.1.04.6 and 12.7.07.9		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	F
Rear Setback	5' min./0' min. with alley	G
Permitted Subdistricts, see 12.2.02		
General		
Description		
A Side Yard House is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard type houses.		
<u>Facade Transparency, see 12.2.04.6</u>	<u>%</u>	
<u>Ground level facing streets or civic open spaces</u>	<u>15 min.</u>	
<u>Above the ground level</u>	<u>15 min.</u>	

Figure JB-5.09 Duplex



Building Placement, see 12.1.04.6		
Frontage Buildout ¹	60% min.	
Front Build-to-Zone	10' min./25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	B
Rear Yard Setback	10' min	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	24'/2 stories max.	D
Parking Placement, see 12.1.04.6 and 12.7.07.9		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line setback	5' min.	F
Rear Setback	5' min./0' min. with alley	G
Refer to Section 12.1.07.8 Garage & Driveway for parking an driveway configurations for Single Family Dwellings.		
Permitted Subdistricts, see 12.2.02		
General		
Description		
A Duplex is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.		
<u>Facade Transparency, see 12.2.04.6</u>		<u>%</u>
<u>Ground level facing streets or civic open spaces</u>		<u>15 min.</u>
<u>Above the ground level</u>		<u>15 min.</u>

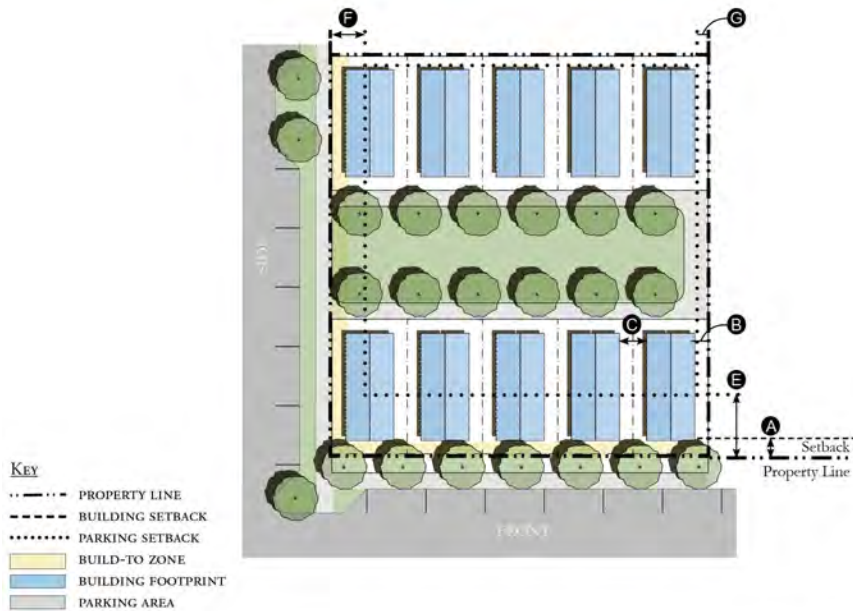
Figure JB-5.10 Cottage



Building Placement, see 12.1.04.6		
Frontage Buildout ¹	60% min.	
Front Build-to-Zone	10' min./25' max.	(A)
Side at Street Build-to-Zone	5' min., 10' max.	
Side at Property Line Setback	5' min.	(B)
Rear Yard Setback	10' min	(C)
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	24'/2 stories max.	(D)
Parking Placement, see 12.1.04.6 and 12.7.07.9		
Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line setback	5' min.	(F)
Rear Setback	5' min.	(G)
Permitted Subdistricts, see 12.2.02		
Core	General	Waterfront
Description		
A Cottage is a detached building with a small front yard often located on a narrow lot. Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.		
Façade Transparency, see 12.2.04.6		%
Ground level facing streets or civic open spaces		15 min.
Above the ground level		15 min.

For permitted Lot Size, Density, Building Coverage, and Open Space, see Table JB-5.

Figure JB-5.11 Cottage Court



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Setback	6' min.	A
Side/Rear at Street Setback	6' min.	
Side/Rear at Property Line Setback	6' min.	B
Unit Separation	10' min	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	24' 1/2 stories max.	D
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	F
Rear Setback	5' min.	G
Permitted Subdistricts, see 12.2.02		
Core	General	
Description		
A Cottage Court is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas.		
<u>Facade Transparency, see 12.2.04.6</u>		<u>%</u>
<u>Ground level facing streets or civic open spaces</u>		<u>15 min.</u>
<u>Above the ground level</u>		<u>15 min.</u>

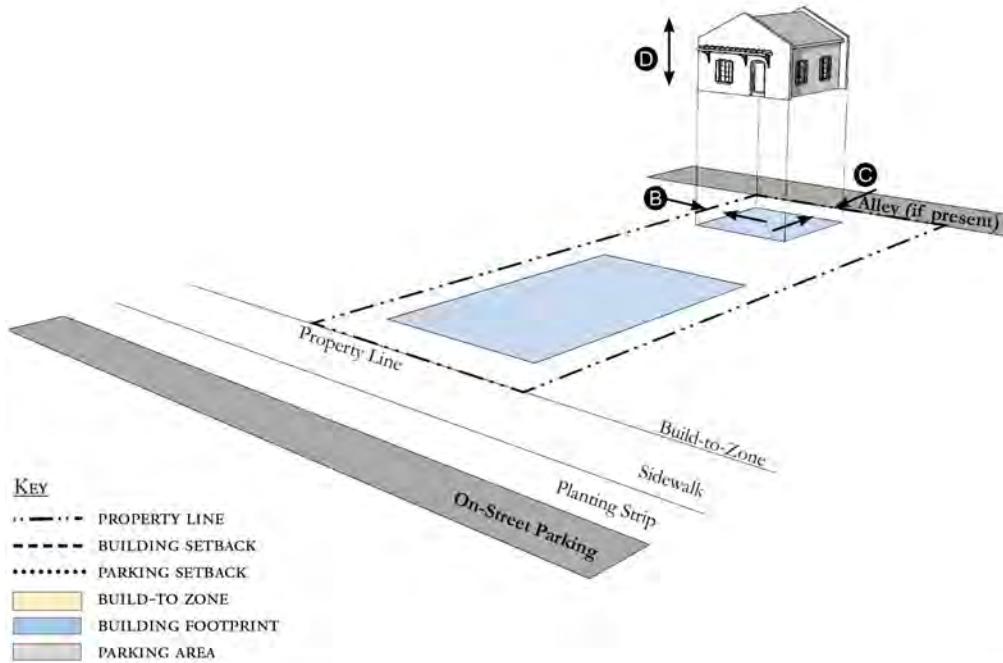
Notes:

Cottage Courts may include duplexes.

¹ For this Building Type, the frontage buildout requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table JB-5.

Figure JB-5.12 Outbuilding



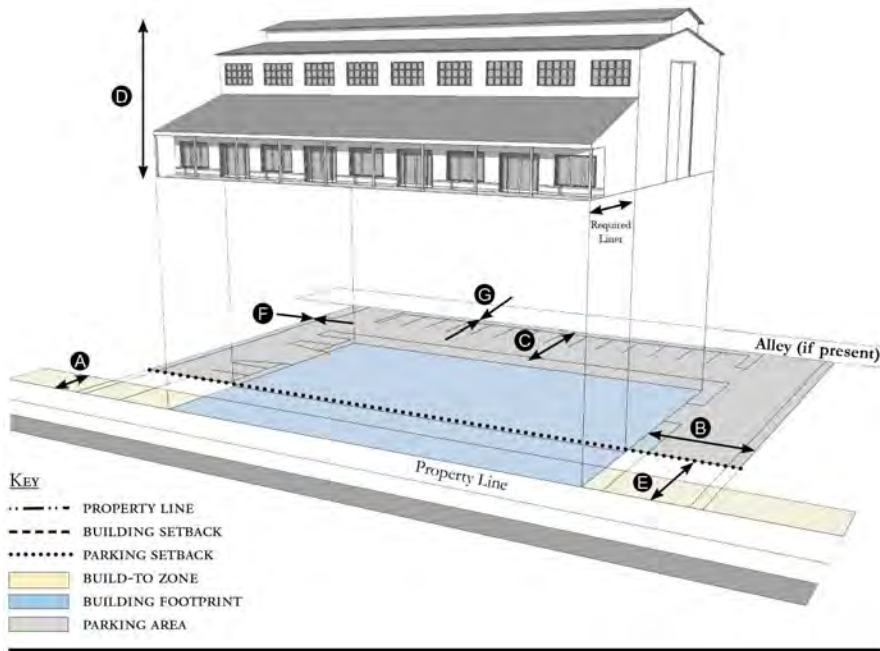
Building Placement, see 12.1.04.6		
Frontage Buildout	Not applicable	
Front Build-to-Zone	Not applicable	
Side at Street Build-to-Zone	Not applicable	
Side at Property Line Setback	5' min.	B
Rear Yard Setback	5' min	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	24' 2 stories max.	D
Permitted Subdistricts, see 12.2.02		
Core	General	Waterfront
Description		
An Outbuilding is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. An Outbuilding may include a garage, shed, workshop, or accessory dwelling unit.		
<u>Facade Transparency, see 12.2.04.6</u>		<u>%</u>
<u>Ground level facing streets or civic open spaces</u>		<u>15 min.</u>

Notes:

Outbuildings shall not exceed a footprint of 850 square feet.

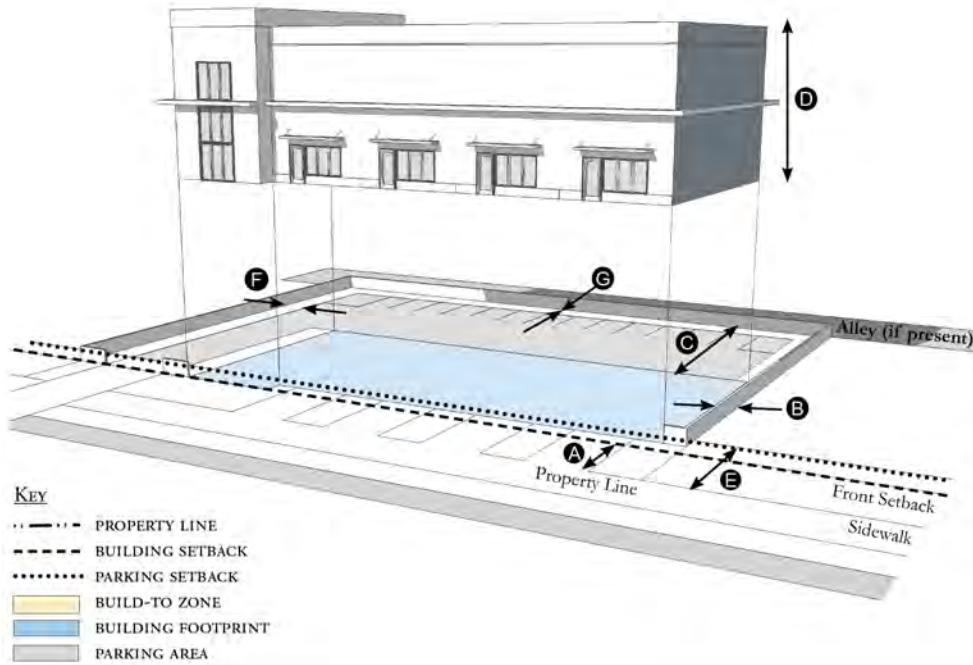
For permitted Lot Size, Density, Building Coverage, and Open Space, see Table JB-5.

Figure JB-5.13 - Boat Barn



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	0' min., 15' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback ¹	10' min.	B
Rear Yard Setback ²	10' min./5' min. with alley	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table JB-5	D
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	5' min.	
Side at Property Line Setback	5' min.	F
Rear Setback	5' min./0' min. with alley	G
Parking shall not be located between the building and the street.		
Permitted Subdistricts, see 12.2.02		
General	Waterfront	
Description		
An Boat Barn is an indoor storage facility. A liner with habitable uses is required to avoid large blank façades visible to the public. A liner shall face all primary streets. Liners may be additional commercial space with permitted uses.		
<u>Façade Transparency, see 12.2.04.6</u>		<u>%</u>
<u>Ground level facing streets or civic open spaces</u>		<u>15 min.</u>

Figure JB-5.14 Industrial Building

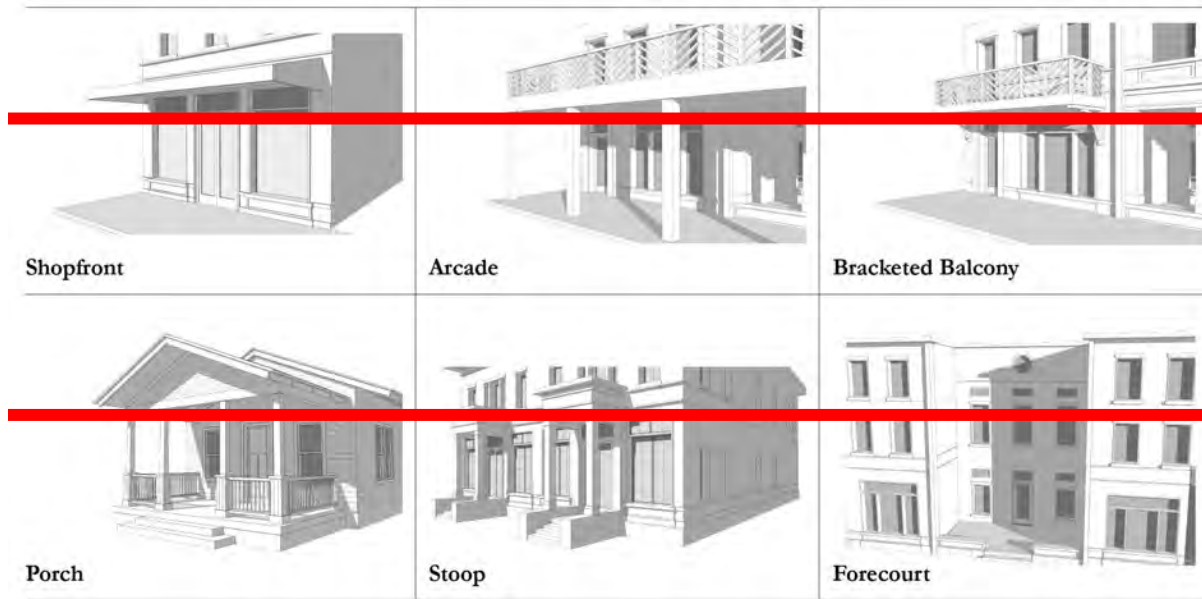


Building Placement, see 12.1.04.6		
Frontage Buildout	Not required	
Front Setback	20' min.	A
Side at Street Setback	5' min.	
Side at Property Line Setback ¹	5' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	24' max.	D
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	0' min.	
Side at Property Line Setback	0' min.	F
Rear Setback	5' min./0' min. with alley	G
Permitted Subdistricts, see 12.2.02		
Waterfront		
Description		
An Industrial Building will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking and loading shall be accommodated in Alleys or Secondary Streets whenever possible.		
<u>Facade Transparency, see 12.2.04.6</u>		<u>%</u>
<u>Ground level facing streets or civic open spaces</u>		<u>15 min.</u>

Notes:

¹Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling. For permitted Lot Size, Density, Building Coverage, and Open Space, see Table JB-5.

Figures JB-5.15 Frontage Types Matrix



2. ~~Frontage Types. Using one or more of the permitted frontage types indicated in Table JB-5.16 is required within the Core and Waterfront Subdistricts. Standards for Frontage types are found in Section 12.1.05. Frontage Types are encouraged in the General Subdistrict, but are not required.~~

Table JB-5.16 — Permitted Frontage Types Matrix

Subdistrict	Shopfront	Arcade	Bracketed Balcony	Porch	Stoop	Forecourt
Core	P	P	P	P	-	P
General	-	-	-	-	-	-
Waterfront	P	P	P	P	P	P

~~Primary Streets shall include the required Principal Entrance & Frontage Type:~~

(Ord. No. 1111, pt. II, 9-24-2019; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)

Sec. 12.2.12. Architectural standards.

~~All structures within the Jensen Beach Redevelopment Zoning District shall comply with the following:~~

1. Architectural Standards must comply with the Architectural Standards established for all Redevelopment Zoning Districts in Section 12.1.12. *Exterior Building Finish.*
 - ~~a. No exposed exterior concrete block shall be permitted. Concrete block structure (CBS) construction shall be finished with one of the materials specified below~~
 - ~~b. Materials shall finish the entire exterior of the building except for the openings.~~
 - ~~c. The following materials and techniques shall be permitted:
 - ~~i. Wood board and batten.~~
 - ~~ii. Wood shingles.~~
 - ~~iii. Wood lap siding.~~
 - ~~iv. Smooth or textured stucco. Stucco shall not be applied to mimic wood siding, shingles, board and batten, or clapboard.~~
 - ~~v. Fiber cement siding is an allowable substitute for wood siding, shingles, and board and batten.~~
 - ~~vi. Brick.~~
 - ~~vii. Glass block shall only be permitted on side and rear walls.~~~~
- ~~2. *Arcades and Porches.*~~
 - ~~a. The following materials shall be permitted:
 - ~~i. Metal columns.~~
 - ~~ii. Brick.~~
 - ~~iii. Wood posts.~~
 - ~~iv. Poured concrete columns.~~
 - ~~v. Fabric material for porch enclosures.~~~~
- ~~3. *Roofs and Gutters.*~~
 - ~~a. The following materials shall be permitted for roofs:
 - ~~i. Thatch.~~
 - ~~ii. Wood/imitation wood.~~
 - ~~iii. Dimensional asphalt shingles.~~
 - ~~iv. Galvanized metal, finished or unfinished, Galvalume Steel, or Copper.~~
 - ~~v. Clay tile.~~~~
 - ~~b. The following materials shall be permitted for gutters:
 - ~~i. Galvanized metal, finished or unfinished, Galvalume Steel, or Copper.~~
 - ~~ii. Extruded Aluminum Gutters.~~~~
- ~~4. *Windows.*~~
 - ~~a. The following additions to windows shall be permitted:~~

-
- ~~i. Operable shutters matching the dimensions of the windows, including impact operable shutters.~~
 - ~~ii. Fabric awnings.~~
 - ~~iii. Bahama shutters, including impact Bahama shutters.~~
 - ~~iv. Screened windows.~~
 - ~~v. Required attachment hardware for removable storm or hurricane shutters, including Hurricane Fabric, Corrugated Metal or Polycarbonate Storm Panels.~~
 - ~~5. Accessory Structures. Accessory structures shall be designed and constructed to match the architectural style and building form of the primary structure. For accessory structures less than 400 square feet, a complementary or matching color shall meet the requirements of this standard.~~
 - ~~6. Architectural Guidelines. The Jensen Beach Architectural Guidelines illustrate the architectural styles that are preferred within the Jensen Beach Redevelopment Zoning District. The Architectural Guidelines are available by searching on the County website: www.martin.fl.us. All applications for new development and redevelopment shall include architectural drawings.~~
 - ~~7. Historic Structures. Structures identified as historically and architecturally contributing shall be candidates for historic protection as set forth in Div. 13, Article 4.~~
 - ~~8. Cornices and moldings shall extend a minimum of two inches from the surface plane of the building wall. Cornices and moldings are continuous façade elements and may not be covered by awnings or signs. Significant architectural elements such as columns, pilasters, and towers may interrupt moldings.~~
 - ~~9. Awnings. Awnings shall be consistent with the building's architecture and façade opening shape. Any names or logos printed on awnings shall be counted as square footage against the overall permitted signage.~~
 - ~~10. Heat Island Effect. In order to reduce urban heat islands for both roofed and non-roofed areas, the following recommendations are provided for building and site design:
 - ~~a. Non-roofed: Provide shade on at least 30 percent of non-roof impervious surface on the site, including parking lots, walkways, plazas, etc.; or use light-colored/high albedo materials (reflectance of at least .3) for 30 percent of the site's non-roofed impervious surfaces; or, use open grid pavement system.~~
 - ~~b. Roofed: Use Energy Star roof compliant, high reflectance and high emissivity roofing or install a "green" (vegetated) roof for at least 50 percent of the roof area.~~
 - ~~c. Parking Garage Roofs: Provide shade on at least 30 percent of any exposed parking on the roof.~~~~
- (Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)