

CPA 21-12, Waterside

FLUM,

04/03/2023 Application

Materials



April 3, 2023

HAND DELIVERY

Clyde Dulin, Comprehensive Planning Administrator  
Martin County Growth Management Department  
2401 SE Monterey Road  
Stuart, FL 34996

**Re: CPA 21-11 TEXT and CPA 21-12 Future Land Use Map (FLUM) Amendment  
Kanner/96<sup>th</sup> St Investments LLC (fka KL Waterside LLC) (Our ref. #20-311)**

Dear Clyde:

On behalf of the property owner, Kanner/96<sup>th</sup> St Investments, LLC, please find enclosed revised application materials as a supplement to CPA 21-11 (TEXT) and CPA 21-12 (FLUM). These applications have been revised to include adjacent property known as the Patriot Farms parcel, which increases the project area from approximately 298 acres to 370 acres, and to reflect the change in ownership from KL Waterside LLC to Kanner/96<sup>th</sup> St Investments LLC.

As you know, the subject property is located west of the South Florida Gateway PUD Industrial Park on Kanner Highway and south of SW 96<sup>th</sup> Street, approximately 2 miles from the Kanner Highway/I-95 Interchange in unincorporated Martin County.

The application includes a future land use map (FLUM) amendment from Industrial to Low Density Residential on 12.25 acres and from Agricultural to Low Density Residential on 357.64 acres, which will be the subject of a future master site plan application called "Waterside PUD". The text amendment includes an expansion of the Primary Urban Service District (PUSD) to include the subject property and to convert the existing Free-Standing Urban Service District immediately adjacent to the subject property that supports the South Florida Gateway PUD and Martin County's future Operations Center. All previously submitted application materials have been updated accordingly.

With this understanding, please find enclosed the supplemental application fee check in the amount of \$500.00 made payable to the Martin County Board of County Commissioners, the CD with PDF copies of the application materials, and the original application package containing the following materials:

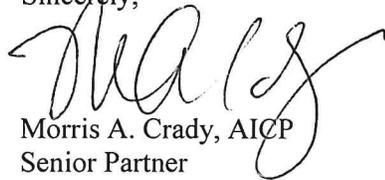
- The completed application form (TEXT)
- The completed application form (FLUM)
- Affidavit for digital submittal;
- Agent authorization letter;
- Disclosure of interest affidavit;
- Recorded deeds reflecting current ownership;
- Waterside Location Aerial Context Map;
- Existing Future Land Use Map
- Proposed Future Land Use Map;
- Existing Urban Service District Map (Fig. 4-2)
- Proposed Urban Service District Map (Fig 4-2)
- Proposed Martin County Service Area Map (Fig 11-1)
- Proposed Martin County Service Area Map (Fig 11-2)

Clyde Dulin  
April 3, 2023  
Page 2 of 2

- Soils Map;
- FEMA Map;
- Parcel 1 legal description/sketch
- Parcel 2 legal description/sketch;
- School Impact Worksheet;
- School Location Map;
- Water and Sewer Availability Worksheet;
- Martin County Utilities Capacity Letter;
- Proposed Text Amendment (Chapter 4, Policy 4.1B.2)
- Application justification and compliance analysis (TEXT);
- Application justification and compliance analysis (FLUM);
- Traffic Impact Analysis;
- February 26, 2019 Residential Capacity Expansion Analysis;
- February 26, 2019 County Commission action summary;
- Martin County Residential Capacity Analysis prepared by GAI Consultants' Community Solutions Group;  
and
- Supporting Section 163.3177 F.S. Analysis.

Please use these materials in support of the applications and discard previously submitted application materials.  
Please feel free to contact me if you have any questions or comments.

Sincerely,



Morris A. Crady, AICP  
Senior Partner  
ENCL.



**Description of Text Amendment:**

Includes text amendment to Policy 4.1B.2., amendment to Figure 11-1 & 11-2 and expansion of the Primary Urban Service District (Figure 4-2) to include FLUM CPA 21-12 (369.89 ac) and the conversion of the adjacent Free-Standing Urban Service District, which includes the existing South Florida Gateway PUD (184.11 ac) and County Operations Center (29.98 ac) and the pending 2nd PUD Amendment to the South Florida Gateway PUD / FLUM CPA 22-12 (60.47 ac).



**Property Owner:**

Name or Company Name Kanner/96th St Investments LLC  
Company Representative Joshua I. Long, AICP, VP of Planning & Entitlements, Kolter Land LLC  
Address 105 NE 1st Street  
City Delray Beach State FL Zip 33444  
Phone 561 - 682 - 9500 Fax     -    -      
Email jlong@kolter.com

**Agent:**

Name or Company Name Lucido & Associates  
Company Representative Morris A. Crady, Senior Vice Pres., AICP  
Address 701 SE Ocean Blvd  
City Stuart State FL Zip 34994  
Phone 772 - 220 - 2100 Fax 772 - 223 - 0220  
Email mcrady@lucidodesign.com

**Contract Purchaser:**

Name or Company Name Not applicable  
Company Representative \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone     -    -     Fax     -    -      
Email \_\_\_\_\_

**Land Planner:**

Name or Company Name Same as agent  
Company Representative \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone     -    -     Fax     -    -      
Email \_\_\_\_\_

**Traffic Engineer:**

Name or Company Name O'Rourke Engineering & Planning  
Company Representative Susan O'Rourke, P.E. President  
Address 22 SE Seminole Street  
City Stuart State FL Zip 34994  
Phone 772 - 781 - 7918 Fax     -    -      
Email seorourke@comcast.net

**Attorney:**

Name or Company Name Fox McCluskey  
Company Representative Tyson Waters  
Address 3461 SE Willoughby Blvd  
City Stuart State FL Zip 34994  
Phone 772 - 287 - 4444 Fax 772 - 283 - 4367  
Email twaters@foxmccluskey.com

**Other Professional:**

Name or Company Name GAI Consultants' Community Solutions Group  
Company Representative Owen Beitsch, PhD, FAICP, CRE, Senior Director  
Address 618 E. South Street, Suite 200  
City Orlando State FL Zip 32801  
Phone 407 - 423 - 8398 Fax     -    -      
Email o.beitsch@gaiconsultants.com

**B. Applicant or Agent Certification:**

I have read this application, and to the extent that I participated in the application, I have answered each item fully and accurately.

*Morris A. Crady*  
Applicant's signature  
Morris A. Crady  
Printed name

April 3, 2023  
Date

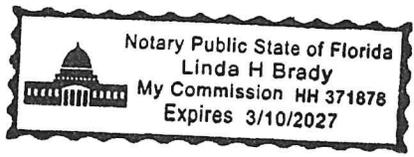
**NOTARY ACKNOWLEDGMENT**

STATE OF Florida  
COUNTY OF Marion

I hereby certify that the foregoing instrument was acknowledged before me this 3rd day of April, 2023, by Morris A. Crady.

He or she  is personally known to me or  has produced \_\_\_\_\_ as identification.

*Linda H. Brady*  
Notary public signature  
Linda H. Brady  
Printed name



State of Florida at-large

**Applicant or Agent Certification:**

Applicant declares:

He/she understands that this application is submitted pursuant to Chapter I, Section 1-11 of the Martin County Comprehensive Growth Management Plan and Chapter 163, Part II (The Community Planning Act) of the Florida Statutes. The public record of this matter will consist of this application, the exhibits, documents or other materials prepared by the applicant and submitted to the Martin County Growth Management Department; information or materials the Martin County Growth Management Department may submit: public comment submitted through the Martin County Growth Management Department; and comments made at public hearings related to this application.

He/she understands the application must be submitted during the established submission period to: Martin County, Growth Management Department, 2401 SE Monterey Road, Stuart, FL 34996. Completeness of application is the responsibility of the applicant. Applications not complete by the sufficiency due date will be returned to the applicant.

Applicant/Owner:

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Signature of Applicant

Applicant Agent:

Morris A. Crady

Print Name

  
\_\_\_\_\_  
Signature of Agent

Note: The above noted agent, or owner, if no agent is listed, address and phone number will be used by the County as the single contact for all correspondence and other communication.





**Attorney:**

Name or Company Name Fox McCluskey  
Company Representative Tyson Waters  
Address 3461 SE Willoughby Blvd  
City Stuart State FL Zip 34994  
Phone 772 - 287 - 4444 Fax 772 - 283 - 4367  
Email twaters@foxmcluskey.com

**Other Professional:**

Name or Company Name GAI Consultants' Community Solutions Group  
Company Representative Owen Beitsch, PhD, FAICP, CRE, Senior Director  
Address 618 E. South Street, Suite 700  
City Orlando State FL Zip 32801  
Phone 407 - 423 - 8398 Fax     -    -      
Email o.beitsch@gaiconsultants.com

**B. Applicant or Agent Certification:**

I have read this application, and to the extent that I participated in the application, I have answered each item fully and accurately.

*Morris A. Crady*  
Applicant's signature  
Morris A. Crady  
Printed name

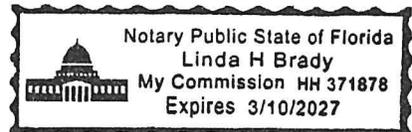
April 3, 2023  
Date

**NOTARY ACKNOWLEDGMENT**

STATE OF Florida  
COUNTY OF Martin

I hereby certify that the foregoing instrument was acknowledged before me this 3rd day of April, 2023, by Morris A. Crady.  
He or she  
 is personally known to me or  has produced \_\_\_\_\_ as identification.

*Linda H. Brady*  
Notary public signature  
Linda H. Brady  
Printed name



State of Florida at-large

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Applicant/Owner:

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Signature of Applicant

Applicant Agent:

Morris A. Crady

Print Name

  
\_\_\_\_\_  
Signature of Agent

Note: The above noted agent, or owner, if no agent is listed, address and phone number will be used by the County as the single contact for all correspondence and other communication.



**Martin County Florida Growth Management Department**  
**DEVELOPMENT REVIEW DIVISION**  
 2401 SE Monterey Road, Stuart, FL 34996  
 772-288-5495 [www.martin.fl.us](http://www.martin.fl.us)

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**Digital Submittal Affidavit**

I, Morris A. Crady, attest that the electronic version included for the project Kanner/96th St Investments LLC CPA FLUM & Text Amendments is an exact copy of the documents that were submitted for sufficiency, excluding any requested modifications made by the sufficiency review team. All requested modifications, if any, have been completed and are included with the packet.

*M A Crady*  
 Applicant Signature

April 3, 2023  
 Date

**NOTARY ACKNOWLEDGMENT**

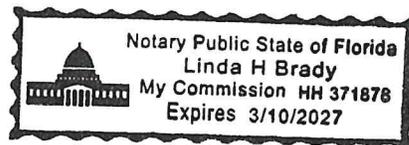
STATE OF: FLORIDA COUNTY OF: MARTIN

I hereby certify that the foregoing instrument was acknowledged before me by means of  physical presence or [ ] online notarization this 3rd day of April, 2023, by Morris A. Crady.

He or She  is personally known to me or \_\_\_ has produced \_\_\_ as identification.

Linda H. Brady  
 Printed name

*Linda H. Brady*  
 Notary Public Signature



STATE OF: FLORIDA at-large

*Kanner/96<sup>th</sup> St Investments LLC*

March 30, 2023

Paul Schilling, Director  
Martin County Growth Management Department  
2401 S.E. Monterey Road  
Stuart, FL 34996

Re: PCN: 13-39-40-000-003-00000-1  
PCN: 13-39-40-000-001-00000-5

Dear Mr. Schilling:

As owner of the property referenced above, please consider this correspondence formal authorization for Lucido & Associates to represent Kanner/96<sup>th</sup> St Investments LLC during the governmental review process of the Comprehensive Plan Amendment applications and development review applications.

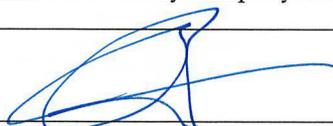
Sincerely,

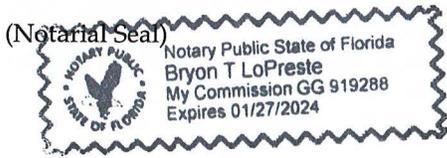
KANNER/96<sup>TH</sup> ST INVESTMENTS LLC,  
a Florida limited liability company

  
\_\_\_\_\_  
Jim Harvey, Authorized Agent

STATE OF FLORIDA  
COUNTY OF HILLSBOROUGH

The foregoing was acknowledged before me by means of  physical presence or  online notarization this 30<sup>th</sup> day of March, 2023, by Jim Harvey, authorized agent for Kanner/96<sup>th</sup> St Investments LLC, a Florida limited liability company who  is personally known to me or  has produced \_\_\_\_\_ as identification.

  
\_\_\_\_\_  
NOTARY PUBLIC  
My Commission Expires: 01/27/2024



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## DISCLOSURE OF INTEREST AFFIDAVIT

BEFORE ME, the undersigned authority, duly authorized to take acknowledgments and administer oaths, personally appeared the undersigned person on the date set forth below, who, first being duly sworn, deposes and says under penalties of perjury:

1. That the record property owner(s) of the Real Property described in **Exhibit "A"** to this Affidavit is (are) as follows:

Name	Address
Kanner/96 <sup>th</sup> St Investments LLC, a Florida limited liability company	105 NE 1st Street Delray Beach, Florida 33444

(If more space is needed attach separate sheet)

2. That the following is a list of every natural person and entity with any legal or equitable interest in the property (as defined in Section 10.2.B.3. Land Development Regulations, Martin County Code):

Name	Address	Interest
See attached		

(If more space is needed attach separate sheet)

## DISCLOSURE OF INTEREST AFFIDAVIT

3. That the following is a list of those, who have any interest in a contract for sale of the property, or a conveyance of any interest in the property, including but not limited to, real estate brokers and salespersons; and any and all mortgagees of the property:

Name	Address	Interest
		Mortgagee

(If more space is needed attach separate sheet)

4. That the following is a list of all other applications for which the applicant has an interest as defined in subsection b. and c. of Section 10.2.B.3. Land Development Regulations, Martin County Code currently pending before Martin County. The list shall include any development applications, waiver applications, road opening applications, and lien reduction requests.

Application Name and/or Project Number	Names & Addresses of Parties involved	Date	Type of Application	Status of Application <sup>1*</sup>

(If more space is needed attach separate sheet)

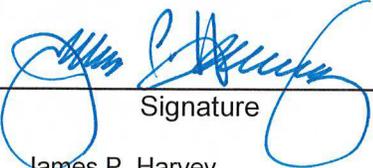
<sup>1</sup> Status defined as: A = Approved P = Pending D = Denied W = Withdrawn

# DISCLOSURE OF INTEREST AFFIDAVIT

This Affidavit is given for the purpose of establishing compliance with the provisions of Section 10.2.B.3 Land Development Regulations; Martin County Code.

FURTHER AFFIANT SAYETH NOT.

AFFIANT

  
\_\_\_\_\_  
Signature  
James P. Harvey  
\_\_\_\_\_  
Print name

STATE OF: FLORIDA

COUNTY OF: HILLSBOROUGH

The foregoing Disclosure of Interest Affidavit was sworn to, affirmed and subscribed before me by means of [] physical presence or [] online notarization, this 30<sup>th</sup> day of March, 2023, by James P. Harvey, who [] is personally known to me or [] has produced \_\_\_\_\_ as identification.

  
\_\_\_\_\_  
Signature

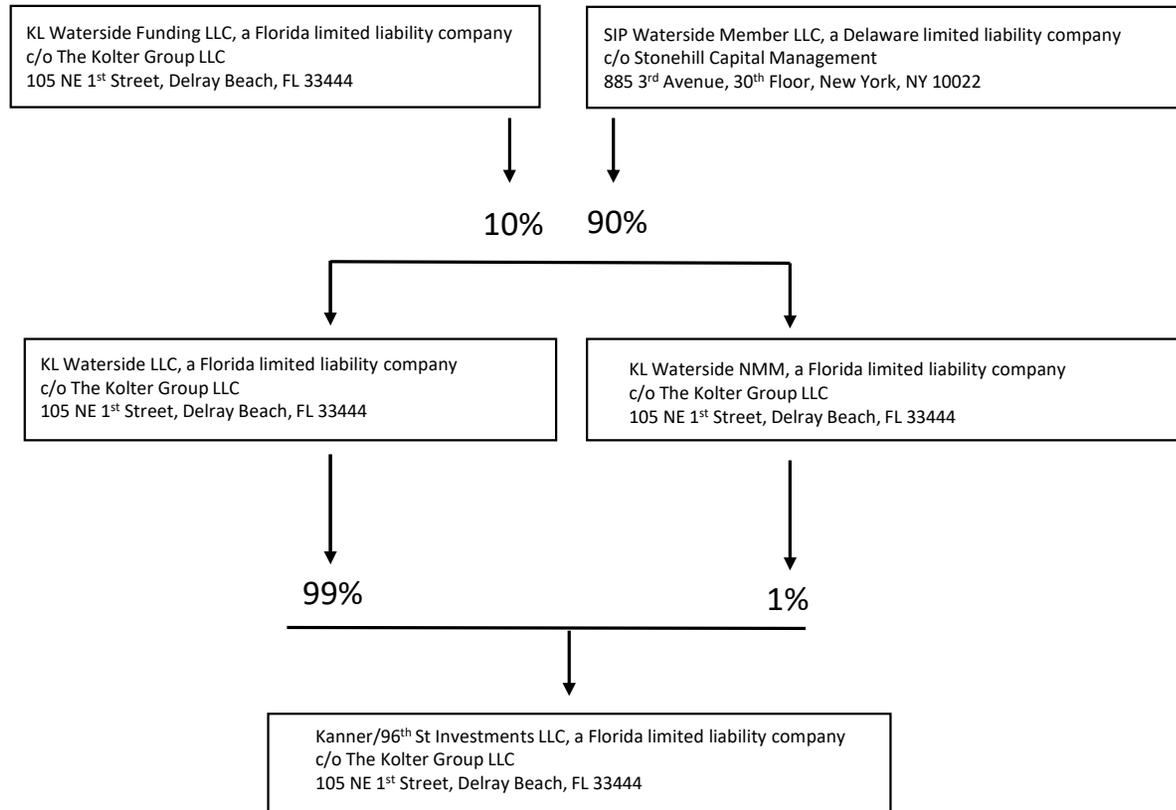
Notary Public, State of Florida

Print Name: Bryon T. LoPreste

My Commission Expires: 01-27-24



## Kanner/96<sup>th</sup> St Investments LLC - Organizational Chart



# DISCLOSURE OF INTEREST AFFIDAVIT

**Exhibit "A"**  
**(Disclosure of Interest and Affidavit) (Legal  
Description)**

**DESCRIPTION:**

A PARCEL OF LAND BEING A PORTION OF LOTS 1, 2, 3, 4, 6, 7, 8, 11, 13 AND 14, ALL OF LOTS 5 AND 12, ALL IN SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCE** AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, ALSO BEING THE NORTHWEST CORNER OF LOT 4, SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE S.00°00'45"W. ALONG THE WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 662.61 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF (1/2) OF SAID LOT 4; THENCE S.89°38'43"E., ALONG SAID NORTH LINE, A DISTANCE OF 140.48 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE S.89°38'43"E., ALONG SAID NORTH LINE OF THE SOUTH HALF (1/2) OF LOT 4, A DISTANCE OF 1179.69 FEET TO A POINT ON THE WEST LINE OF LOT 3, SECTION 13 OF SAID PLAT; THENCE N.00°00'59"E., ALONG SAID WEST LINE OF LOT 3, A DISTANCE OF 496.77 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. S-76-A AS SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT MAP FOR SECTION 89002-2601, REVISED FEBRUARY 13, 1989; THE FOLLOWING 3 COURSES BEING BY SAID RIGHT-OF-WAY LINE: 1) N.81°44'59"E., A DISTANCE OF 39.54 FEET; 2) THENCE N.07°34'57"W., A DISTANCE OF 25.14 FEET; 3) THENCE N.81°45'49"E., A DISTANCE OF 548.79 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 76-A AS SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT MAP FOR SECTION 89531-2601, DATED OCTOBER, 1958; THENCE S.89°50'10"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 741.38 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13; THENCE S.00°01'11"W., ALONG SAID EAST LINE OF THE NORTHWEST (1/4) QUARTER AND THE EAST LINE OF LOT 3, SECTION 13 OF SAID PLAT, A DISTANCE OF 611.68 FEET; THENCE S.89°45'21"E., A DISTANCE OF 688.60 FEET; THENCE N.00°02'42"E., A DISTANCE OF 611.74 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 76-A; THENCE S.89°45'42"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2066.62 FEET TO A POINT ON THE EAST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13; THENCE S.00°07'14"W., ALONG SAID EAST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13, DISTANCE OF 1585.66 FEET; THENCE S.19°51'09"W., A DISTANCE OF 192.11 FEET; THENCE S.38°09'44"W., A DISTANCE OF 425.46 FEET; THENCE S.52°28'26"W., A DISTANCE OF 168.69 FEET; THENCE N.90°00'00"W., A DISTANCE OF 718.88 FEET; THENCE N.00°00'00"E., A DISTANCE OF 684.40 FEET; THENCE N.41°22'48"W., A DISTANCE OF 43.81 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHEAST, WITH A RADIUS OF 676.00 FEET AND A RADIAL BEARING OF N.49°51'47"E., AT SAID INTERSECTION; THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°46'48", A DISTANCE OF 186.18 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTH, WITH A RADIUS OF 942.00 FEET AND A RADIAL BEARING OF N.22°07'26"W., AT SAID INTERSECTION; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 39°18'00", A DISTANCE OF 646.13 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE SOUTH, WITH A RADIUS OF 570.00 FEET AND A RADIAL BEARING OF S.14°58'37"W., AT SAID INTERSECTION;

DESCRIPTION: CONTINUED ON SHEET 2

NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**AGRICULTURAL TO LOW DENSITY RESIDENTIAL P.U.D. - PARCEL 1 SKETCH AND DESCRIPTION**



REVISIONS			
No.	Date	Description	Dwn.

Prepared For: KOLTER LAND PARTNERS, LLC

Date: **FEBRUARY 02, 2023**

**SURVEYOR'S CERTIFICATE**  
 This certifies that this Sketch and Description was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

**Gary Rager**  
Digitally signed by Gary Rager  
 DN: cn=Gary Rager, ou=GeoPoint Surveying, Inc., o=Professional Surveyor and Mapper, cn=Gary Rager, email=g.rager@geopointsurvey.com  
 Date: 2023.02.02 10:06:23 -0500

**Gary A. Rager**  
 FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. **LS4828**

**GeoPoint**  
 Surveying, Inc.

4152 W. Blue Heron Blvd. Phone: (561) 444-2720  
 Suite 105 www.geopointsurvey.com  
 Riviera Beach, FL 33404 Licensed Business Number LB 7768

Drawn: SWM Date: 02/02/2023 Data File: N/A

Check: GAR P.C.: N/A Field Book: N/A

Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 1

DWG NAME: W:\KOLTER-WATERSIDE SURVEYS\SD PUD-WATERSIDE RESIDENTIAL PARCEL SPUD-AGR-LOW DENS RESID-PARCEL 1.DWG PLOTTED BY: SERGIO MACHADO ON: 3/30/2023 12:18 PM LAST SAVED BY: SERGIOM ON: 3/30/2023 12:18 PM

DWG NAME: \\KOLTER-WATERSIDESURVEYSAD PARCELS\PIUD-AGR-LOW DENS RESID-PARCEL 1.DWG PLOTTED BY: SERGIO MACHADO ON: 3/30/2023 12:18 PM LAST SAVED BY: SERGIOM ON: 3/30/2023 12:18 PM

**DESCRIPTION: CONTINUED FROM SHEET 1**

THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13°20'31", A DISTANCE OF 132.73 FEET TO A POINT OF TANGENCY; THENCE N.88°21'55"W., A DISTANCE OF 231.83 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTH, WITH A RADIUS OF 570.00 FEET; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 17°00'09", A DISTANCE OF 169.15 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTH, WITH A RADIUS OF 1851.00 FEET AND A RADIAL BEARING OF N.12°58'30"W., AT SAID INTERSECTION; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 08°47'54", A DISTANCE OF 284.24 FEET TO A POINT ON NON-TANGENT INTERSECTION AND TO A POINT ON THE NORTHWEST QUARTER (1/4) OF SECTION 13; THENCE N.89°58'49"W., A DISTANCE OF 50.00 FEET; THENCE S.00°01'11"W., ALONG A LINE 50.00 FEET WEST OF AND PARALLEL WITH SAID NORTHWEST QUARTER (1/4) OF SECTION 13, A DISTANCE OF 1191.55 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF SOUTH FLORIDA GATEWAY PUD - PLAT, AS RECORDED IN PLAT BOOK 19, PAGES 56 THROUGH 61, INCLUSIVE, OF SAID PUBLIC RECORDS AND TO A POINT ON THE SOUTH LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE SOUTH LINE OF LOT 6; THENCE N.89°44'14"W., ALONG SAID NORTH BOUNDARY LINE OF SOUTH FLORIDA GATEWAY PUD - PLAT AND ALONG SAID SOUTH LINE OF THE NORTHWEST (1/4) QUARTER OF SECTION 13 AND SAID SOUTH LINE OF LOT 6, A DISTANCE OF 513.16 FEET; THENCE S.00°15'42"W., A DISTANCE OF 2604.46 FEET TO A POINT ON THE NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT, AS DESCRIBED IN DEED BOOK 10, PAGE 383, AND DEED BOOK 10, PAGE 461, OF SAID PUBLIC RECORDS, ALSO A POINT ON A LINE 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST (1/2) HALF OF SAID SECTION 13, ALSO THE SOUTH LINE OF LOTS 13 AND 14, OF SAID PLAT; THENCE N.89°37'43"W., ALONG SAID NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT AND SAID LINE BEING 50.00 FEET NORTH OF AND PARALLEL WITH THE WEST (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 2065.55 FEET TO A POINT ON THE WEST LINE OF THE SOUTH (1/2) HALF OF SAID SECTION 13; THENCE N.00°00'32"E., ALONG SAID WEST LINE AND THE WEST LINE OF LOTS 12 AND 13, SECTION 13 OF SAID PLAT, A DISTANCE OF 2600.57 FEET TO THE WEST (1/4) QUARTER CORNER OF SAID SECTION 13; THENCE N.00°00'45"E., ALONG THE WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13 AND THE WEST LINE OF LOT 5, SECTION 13 OF SAID PLAT, A DISTANCE OF 1326.29 FEET TO A POINT ON THE SOUTHERLY LINE OF PARCEL NO. 131, AS DESCRIBED IN DEED BOOK 12, PAGE 451 AND THE SOUTHEAST CORNER OF LOT 1, SECTION 14 OF SAID PLAT; THENCE CONTINUE N.00°00'45"E., ALONG SAID WEST LINE OF THE NORTH (1/2) HALF OF SECTION 13 AND THE WEST LINE OF SAID LOT 4, SECTION 13 OF SAID PLAT, ALSO BEING THE EASTERLY LINE OF SAID PARCEL 131, A DISTANCE OF 430.17 FEET TO THE SOUTHERLY CORNER OF PARCEL 136, RIGHTS-OF-WAY FOR ST. LUCIE CANAL IMPROVEMENT, RECORDED IN PLAT BOOK 2, PAGE 35, OF SAID PUBLIC RECORDS; THENCE N.31°15'05"E., ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL 136, A DISTANCE OF 270.88 FEET TO THE POINT OF BEGINNING.

**CONTAINING: 15,578,856 SQUARE FEET OR 357.641 ACRES, MORE OR LESS.**

NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**AGRICULTURAL TO LOW DENSITY  
RESIDENTIAL P.U.D. - PARCEL 1  
SKETCH AND DESCRIPTION**



REVISIONS			
No.	Date	Description	Dwn.

Prepared For: KOLTER LAND PARTNERS, LLC  
Date: **FEBRUARY 02, 2023**

SURVEYOR'S CERTIFICATE

**Gary A. Rager**  
FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. **LS4828**

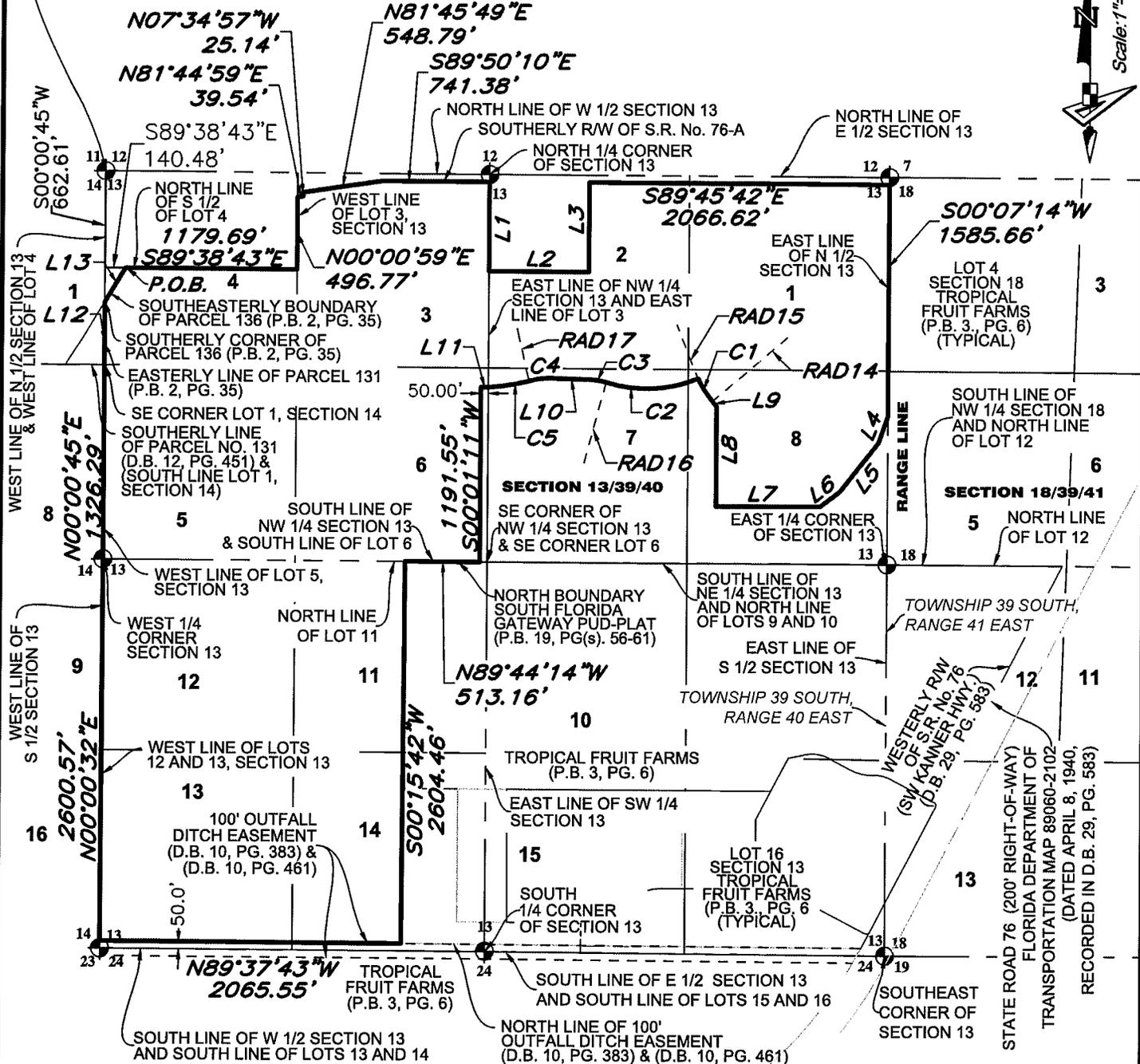
**GeoPoint**  
Surveying, Inc.

4152 W. Blue Heron Blvd. Phone: (561) 444-2720  
Suite 105 www.geopointsurvey.com  
Riviera Beach, FL 33404 Licensed Business Number LB 7768

Drawn: SWM Date: 02/02/2023 Data File: N/A  
Check: GAR P.C.: N/A Field Book: N/A  
Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 1

P.O.C.  
NORTHWEST CORNER OF SECTION 13, TOWNSHIP 39 S., RANGE 40 E. AND  
NORTHWEST CORNER OF LOT 4 (P.B. 3, PG.6)

Scale: 1"=1000'



NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**AGRICULTURAL TO LOW DENSITY RESIDENTIAL P.U.D. - PARCEL 1 SKETCH AND DESCRIPTION**

Prepared For: KOLTER LAND PARTNERS, LLC  
Date: FEBRUARY 02, 2023

**LEGEND**

P.O.B. --- POINT OF BEGINNING	D.B. --- DEED BOOK
P.O.C. --- POINT OF COMMENCEMENT	S.R. --- STATE ROAD
PG./PG(s) --- PAGE(S)	R/W --- RIGHT-OF-WAY
13-39-40 --- SECTION-TOWNSHIP-RANGE	L1 --- LINE SEGMENT
14 13 23 24 --- SECTION CORNER	C1 --- CURVE SEGMENT
P.B. --- PLAT BOOK	RAD17 --- RADIAL BEARING
P.U.D. --- PLANNED UNIT DEVELOPMENT	



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Drawn: SWM	Date: 02/02/2023	Data File: N/A
Check: GAR	P.C.: N/A	Field Book: N/A
Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 1		

Sheet No. 03 of 04 Sheets

NOT VALID WITHOUT THE ELECTRONIC AND/OR ORIGINAL SIGNATURE & RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

DWG NAME: W:\KOLTER-WATERSIDE\RESIDENTIAL\PARCELS\PUD-AGR-LOW-DENS RESID-PARCEL 1.DWG PLOTTED BY: SERGIO MACHADO ON: 3/30/2023 12:18 PM LAST SAVED BY: SERGIO MACHADO ON: 3/30/2023 12:18 PM

LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	S 00°01'11" W	611.68
L2	S 89°45'21" E	688.60
L3	N 00°02'42" E	611.74
L4	S 19°51'09" W	192.11
L5	S 38°09'44" W	425.46
L6	S 52°28'26" W	168.69
L7	N 90°00'00" W	718.88
L8	N 00°00'00" E	684.40
L9	N 41°22'48" W	43.81
L10	N 88°21'55" W	231.83
L11	N 89°58'49" W	50.00
L12	N 00°00'45" E	430.17
L13	N 31°15'05" E	270.88

CURVE DATA TABLE			
NO.	RADIUS	DELTA	ARC
C1	676.00'	15°46'48"	186.18'
C2	942.00'	39°18'00"	646.13'
C3	570.00'	13°20'31"	132.73'
C4	570.00'	17°00'09"	169.15'
C5	1851.00'	8°47'54"	284.24'

RADIAL BEARING TABLE	
NO.	BEARING
RAD14	N 49°51'47" E
RAD15	N 22°07'26" W
RAD16	S 14°58'37" W
RAD17	N 12°58'30" W

NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

### AGRICULTURAL TO LOW DENSITY RESIDENTIAL P.U.D. - PARCEL 1 SKETCH AND DESCRIPTION

Prepared For: KOLTER LAND PARTNERS, LLC

Date: FEBRUARY 02, 2023

#### LEGEND

P.O.B. --- POINT OF BEGINNING

P.O.C. --- POINT OF COMMENCEMENT

PG./PG(s) --- PAGE(s)

13-39-40 --- SECTION-TOWNSHIP-RANGE

 --- SECTION CORNER

P.B. --- PLAT BOOK

P.U.D. --- PLANNED UNIT DEVELOPMENT

D.B. --- DEED BOOK

S.R. --- STATE ROAD

R/W --- RIGHT-OF-WAY

L1 --- LINE SEGMENT

C1 --- CURVE SEGMENT

RAD17 --- RADIAL BEARING



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Phone: (561) 444-2720  
www.geopointsurvey.com  
Licensed Business Number LB 7768

Drawn: SWM Date: 02/02/2023 Data File: N/A

Check: GAR P.C.: N/A Field Book: N/A

Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 1

Sheet No. 04 of 04 Sheets

NOT VALID WITHOUT THE ELECTRONIC AND/OR ORIGINAL SIGNATURE  
& RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

DWG NAME: W:\KOLTER-WATERSIDE\SURVEY\SSAD\_PUD-WATERSIDE RESID-PARCEL 2.DWG PLOTTED BY: SERGIO MACHADO ON: 3/29/2023 2:04 PM LAST SAVED BY: SERGIOM ON: 3/29/2023 2:04 PM

**DESCRIPTION:**

A PARCEL OF LAND BEING A PORTION OF LOTS 14 AND 15, ALL IN SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCE** AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, ALSO BEING THE NORTHWEST CORNER OF LOT 4, SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE S.89°37'58"E. ALONG THE NORTH LINE OF THE WEST (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 2640.55 FEET TO THE NORTH (1/4) QUARTER CORNER OF SAID SECTION 13; THENCE S.00°01'11"W., ALONG THE EAST LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE EAST LINE OF LOTS 3 AND 6, OF SAID PLAT, A DISTANCE OF 2646.70 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND SOUTHEAST CORNER OF SAID LOT 6; THENCE S.00°00'16"E., ALONG THE EAST LINE OF THE SOUTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE EAST LINE OF LOTS 10 AND 15 OF SAID PLAT, A DISTANCE OF 2453.96 FEET TO THE **POINT OF BEGINNING**; THENCE S.89°32'35"E., A DISTANCE OF 661.44 FEET; THENCE S.00°27'25"W., A DISTANCE OF 151.61 FEET TO A POINT ON THE NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT, AS DESCRIBED IN DEED BOOK 10, PAGE 383, AND DEED BOOK 10, PAGE 461, OF SAID PUBLIC RECORDS, ALSO A POINT ON A LINE 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE EAST (1/2) HALF OF SAID SECTION 13, ALSO THE SOUTH LINE OF LOTS 15 AND 16, OF SAID PLAT; THENCE N.89°32'35"W., ALONG SAID NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT AND SAID LINE BEING 50.00 FEET NORTH OF AND PARALLEL WITH THE EAST (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 660.32 FEET TO A POINT ON THE EAST LINE OF SAID SOUTHWEST (1/4) QUARTER OF SECTION 13; THENCE N.89°37'43"W., ALONG THE NORTH LINE OF SAID 100.00 FOOT OUTFALL DITCH EASEMENT, ALSO BEING A POINT ON A LINE 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST (1/2) HALF OF SAID SECTION 13, ALSO THE SOUTH LINE OF LOTS 13 AND 14, OF SAID PLAT, A DISTANCE OF 575.17 FEET; THENCE N.00°15'42"E., A DISTANCE OF 1056.93 FEET; THENCE S.89°44'18"E., A DISTANCE OF 380.40 FEET; THENCE S.00°00'16"E., A DISTANCE OF 906.06 FEET; THENCE S.89°37'43"E., A DISTANCE OF 189.95 FEET TO THE **POINT OF BEGINNING**.

**CONTAINING:** 533,780 SQUARE FEET OR 12.254 ACRES, MORE OR LESS.

NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**INDUSTRIAL TO LOW DENSITY  
RESIDENTIAL P.U.D. - PARCEL 2  
SKETCH AND DESCRIPTION**



REVISIONS			
No.	Date	Description	Dwn.

Prepared For: KOLTER LAND PARTNERS, LLC  
**Date: FEBRUARY 02, 2023**

**SURVEYOR'S CERTIFICATE**  
 This certifies that this Sketch and Description was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.  
**Gary A. Rager**  
Digitally signed by Gary Rager  
 DN: cn=US, o=Florida, st=Tempe, ou=GeoPoint Surveying, Inc., email=garyrager@geopointsurvey.com, c=Gary Rager, email=garyrager@geopointsurvey.com  
 Date: 2023.02.02 13:06:57 -0400  
**Gary A. Rager**  
 FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. **LS4828**

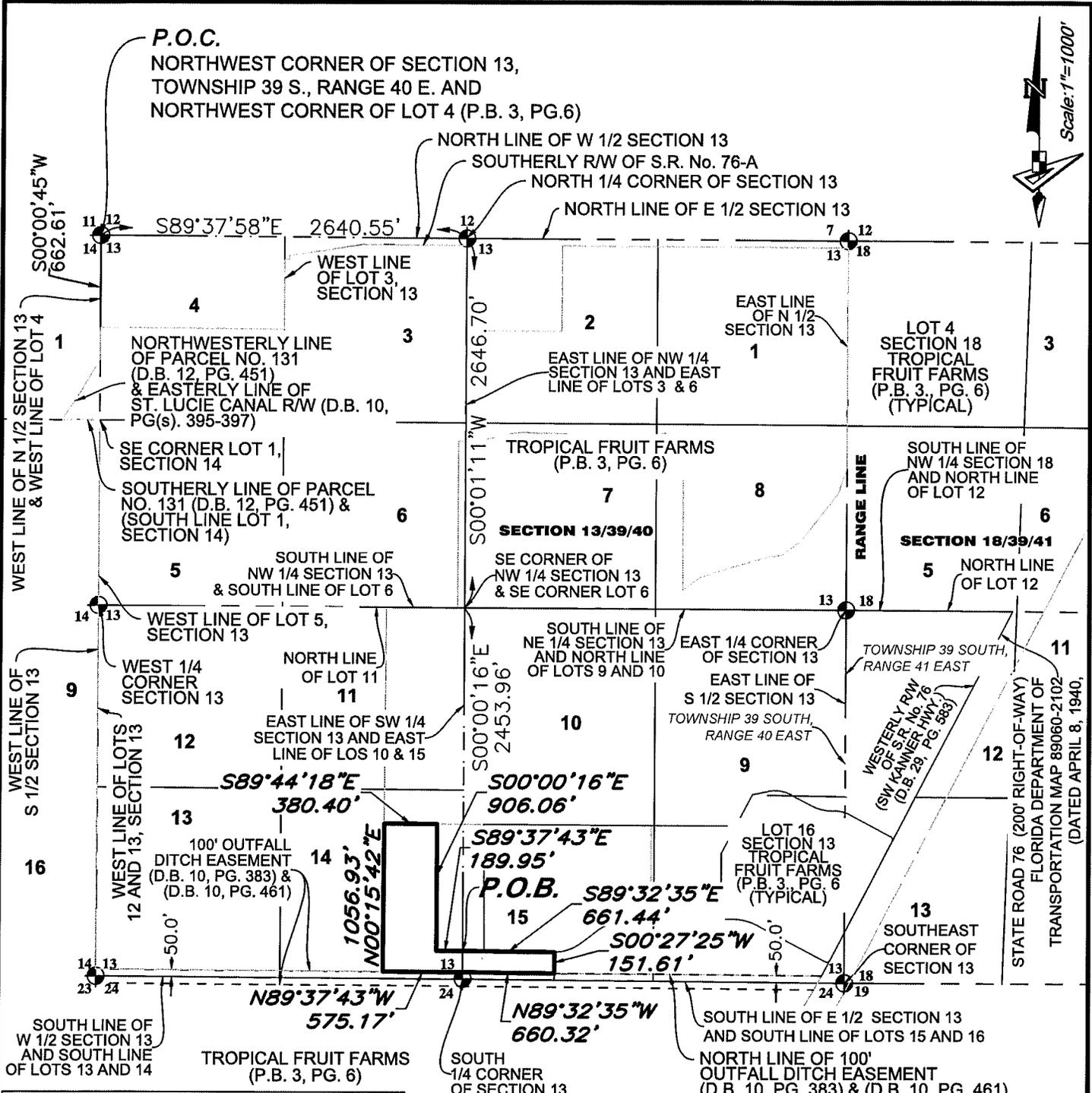
**GeoPoint**  
 Surveying, Inc.

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 Suite 105 www.geopointsurvey.com  
 Riviera Beach, FL 33404 Licensed Business Number LB 7768

Drawn: SWM	Date: 02/06/2023	Data File: N/A
Check: GAR	P.C.: N/A	Field Book: N/A
<b>Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 2</b>		

Scale: 1"=1000'

DWG NAME: W:\KOLTER-WATERSIDESURVEYS\SD PUD-WATERSIDE RESIDENTIAL PARCELS\IPUD-IND-LOW DENS RESID-PARCEL 2.DWG PLOTTED BY: SERGIO MACHADO ON: 3/29/2023 2:04 PM LAST SAVED BY: SERGIOM ON: 3/29/2023 2:04 PM



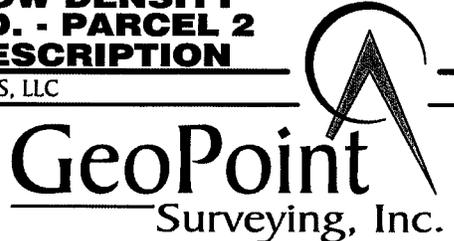
**NOTE:** THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

**NOTE:** LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

### INDUSTRIAL TO LOW DENSITY RESIDENTIAL P.U.D. - PARCEL 2 SKETCH AND DESCRIPTION

Prepared For: KOLTER LAND PARTNERS, LLC  
Date: **FEBRUARY 02, 2023**

LEGEND	
P.O.B. --- POINT OF BEGINNING	D.B. --- DEED BOOK
P.O.C. --- POINT OF COMMENCEMENT	S.R. --- STATE ROAD
PG./PG(S) --- PAGE(S)	R/W --- RIGHT-OF-WAY
13-39-40 --- SECTION-TOWNSHIP-RANGE	L1 --- LINE SEGMENT
14 13 --- SECTION CORNER	C1 --- CURVE SEGMENT
23 24	RAD17 --- RADIAL BEARING
P.B. --- PLAT BOOK	
P.U.D. --- PLANNED UNIT DEVELOPMENT	



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Riviera Beach, FL 33404  
Phone: (561) 444-2720  
www.geopointsurvey.com  
Licensed Business Number LB 7768

Drawn: SWM Date: 02/06/2023 Data File: N/A  
Check: GAR P.C.: N/A Field Book: N/A  
Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 2



Prepared by, record and return to:  
 Tyrone T. Bongard, Esq.  
 Gunster, Yoakley & Stewart, P.A.  
 777 South Flagler Drive  
 Suite 500 East Tower  
 West Palm Beach, FL 33401

Property Tax I.D. 22-40-37-000-950-00010-0  
 13-39-40-000-003-00000-1 (portion)

**NOTE TO CLERK: THIS IS A CONVEYANCE OF UNENCUMBERED REAL PROPERTY FOR NO CONSIDERATION AND IS, THEREFORE, EXEMPT FROM DOCUMENTARY STAMP TAXES PURSUANT TO FLORIDA ADMINISTRATIVE CODE SECTION 12B.4.014(2)(a).**

**WARRANTY DEED**

**THIS WARRANTY DEED**, made this 20<sup>th</sup> day of October, 2022, by and between KL WATERSIDE LLC, a Delaware limited liability company (“**Grantor**”), whose address is 105 NE 1st Street, Delray Beach, FL 33444, and KANNER/96TH ST INVESTMENTS LLC, a Florida limited liability company (“**Grantee**”), whose address is 105 NE 1<sup>st</sup> Street, Delray Beach, Florida 33444.

**WITNESSETH:**

THAT the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration to said Grantor, in hand paid by the Grantee, the receipt of which is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee and its successors and assigns, all that certain real property located in Martin County, State of Florida, more particularly described as follows:

See **Exhibit A** attached hereto and incorporated herein by this reference (the “**Property**”).

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantor, either in law or equity, to the only proper use, benefit and behalf of the said Grantee forever.

SUBJECT TO taxes and assessments for the year 2022 and all subsequent years; all applicable governmental, zoning and land use ordinances, restrictions, and prohibitions and other requirements imposed by governmental authority; agreements and easements of record, none of which shall be deemed to be re-imposed by this instrument.

GRANTOR hereby covenants with Grantee that Grantor is lawfully seized of the Property in fee simple; that it has good right and lawful authority to sell and convey the Property; that it does hereby fully warrant the title to said Property and will defend the same against the lawful claims of all persons whomsoever.



EXHIBIT A

Legal Description

Copy

Copy

Copy

**DESCRIPTION:**

A PARCEL OF LAND BEING A PORTION OF LOTS 3, 4, 11, 14 AND 15, ALL OF LOTS 5, 6, 12 AND 13, ALL IN SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, AND A PORTION OF LOT 1, IN SECTION 14, TOWNSHIP 39 SOUTH, RANGE 40 EAST, OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCE** AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, ALSO BEING THE NORTHWEST CORNER OF LOT 4, SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE S.00°00'45"W. ALONG THE WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 662.61 FEET TO THE **POINT OF BEGINNING**; THENCE S.89°38'43"E., A DISTANCE OF 1320.18 FEET TO A POINT ON THE WEST LINE OF LOT 3, SECTION 13 OF SAID PLAT; THENCE N.00°00'59"E., ALONG SAID WEST LINE OF LOT 3, A DISTANCE OF 496.77 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. S-76-A AS SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT OF TRANSPORTATION MAP FOR SECTION 89002-2602, REVISED FEBRUARY 13, 1989; THE FOLLOWING 3 COURSES BEING BY SAID RIGHT-OF-WAY LINE: 1) N.81°44'59"E., A DISTANCE OF 39.54 FEET; 2) THENCE N.07°34'57"W., A DISTANCE OF 25.14 FEET; 3) THENCE N.81°45'49"E., A DISTANCE OF 548.79 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 76-A AS SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT OF TRANSPORTATION MAP FOR SECTION 89531-2601, DATED OCTOBER, 1958; THENCE S.89°50'10"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 741.38 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13; THENCE S.00°01'11"W., ALONG SAID EAST LINE OF THE NORTHWEST (1/4) QUARTER AND THE EAST LINE OF LOTS 3 AND 6, SECTION 13 OF SAID PLAT, A DISTANCE OF 1404.94 FEET; THENCE N.89°58'49"W., A DISTANCE OF 50.00 FEET; THENCE S.00°01'11"W., ALONG A LINE 50.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE EAST LINE OF LOT 6, SECTION 13, OF SAID PLAT, A DISTANCE OF 1191.55 FEET; THENCE N.89°44'14"W., ALONG THE SOUTH LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE SOUTH LINE OF SAID LOT 6, A DISTANCE OF 513.16 FEET; THENCE S.00°15'42"W., A DISTANCE OF 1547.53 FEET; THENCE S.89°44'18"E., A DISTANCE OF 380.40 FEET; THENCE S.00°00'16"E., A DISTANCE OF 906.06 FEET; THENCE S.89°37'43"E., A DISTANCE OF 189.95 FEET; THENCE S.89°32'35"E., A DISTANCE OF 661.44 FEET; THENCE S.00°27'25"W., A DISTANCE OF 151.61 FEET TO A POINT ON THE NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT, AS DESCRIBED IN DEED BOOK 10, PAGE 383, AND DEED BOOK 10, PAGE 461, ALSO A POINT ON A LINE 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE EAST (1/2) HALF OF SAID SECTION 13, ALSO THE SOUTH LINE OF LOTS 15 AND 16, OF SAID PLAT; THENCE S.89°32'35"E., ALONG SAID NORTH LINE OF 100.00 FOOT OUTFALL DITCH EASEMENT AND SAID PARALLEL LINE, A DISTANCE OF 1924.71 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 76, AS SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT OF TRANSPORTATION MAP FOR SECTION 89060-2102, DATED APRIL 8, 1940 AND AS RECORDED IN DEED BOOK 29, PAGE 583 OF SAID PUBLIC RECORDS;

CONTINUED ON SHEET 2.

**NOTE:** THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

**NOTE:** LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**WATERSIDE - KANNER 96TH STREET INVESTMENTS LLC SKETCH AND DESCRIPTION**



REVISIONS			
No.	Date	Description	Dwn.
1	08/24/22	EDIT BOUNDARY / ADD CANAL	DSC
2	10/06/22	EDIT BOUNDARY	SWM

Prepared For: KOLTER LAND PARTNERS, LLC

Date: DECEMBER 10, 2021

**SURVEYOR'S CERTIFICATE**  
 This certifies that this Sketch and Description was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.  
 Digitally signed by Gary Rager  
 DN: cn=US, ou=Florida, o=GeoPoint Surveying, Inc., ou=Professional Surveyor and Mapper, email=Gary.Rager@geopointsurvey.com, Date: 2022.10.07 15:04:35 -0400  
**Gary Rager**  
 Gary A. Rager  
 FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. **LS4828**

**GeoPoint Surveying, Inc.**  
 4152 W. Blue Heron Blvd. Suite 105  
 Riviera Beach, FL 33404  
 Phone: (561) 444-2720  
 www.geopointsurvey.com  
 Licensed Business Number LB 7768

Drawn: SWM	Date: 01/20/2022	Data File: N/A
Check: GAR	P.C.: N/A	Field Book: N/A
Section: 13 Twn. 39S Rng. 40E		Job #: Kanner 96St-2_10-6 S&D

DWG NAME: \\KOLTER-WATERSIDE\SURVEYS&D PLAT PARCELS OWNERS\KANNER 96ST-2\REV\_10-6-22.DWG PLOTTED BY: SERGIO MACHADO ON: 10/17/2022 2:53 PM LAST SAVED BY: SERGIO MACHADO ON: 10/17/2022 2:53 PM

CONTINUED FROM SHEET 1.

THENCE S.27°42'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 9.38 FEET TO A INTERSECTION WITH A CURVE CONCAVE TO THE NORTHWEST WITH A RADIUS OF 2789.93 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00°58'00", A DISTANCE OF 47.07 FEET TO A POINT OF NON-TANGENCY; THENCE N.89°32'35"W., A DISTANCE OF 2558.78 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 13; THENCE N.89°37'39"W., A DISTANCE OF 2640.37 FEET TO SOUTHWEST CORNER OF SAID SECTION 13; THENCE N.00°00'32"E., ALONG SAID WEST LINE AND THE WEST LINE OF LOTS 12 AND 13, SECTION 13 OF SAID PLAT, A DISTANCE OF 2650.52 FEET TO THE WEST (1/4) QUARTER CORNER OF SAID SECTION 13; THENCE N.00°00'45"E., ALONG THE WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13 AND THE WEST LINE OF LOT 5, SECTION 13 OF SAID PLAT, A DISTANCE OF 1326.29 FEET TO A POINT ON THE SOUTHERLY LINE OF PARCEL NO. 131, AS DESCRIBED IN DEED BOOK 12, PAGE 451 AND THE SOUTHEAST CORNER OF LOT 1, SECTION 14 OF SAID PLAT; THENCE N.89°41'22"W., ALONG SAID SOUTHERLY LINE OF PARCEL NO. 131 AND THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 260.68 FEET TO A POINT ON THE NORTHWESTERLY LINE OF SAID PARCEL NO. 131, ALSO THE EASTERLY LINE OF ST. LUCIE CANAL RIGHT-OF-WAY, AS DESCRIBED IN DEED BOOK 10, PAGES 395 THROUGH 397 AND THE NORTHWESTERLY LINE OF PARCEL NO. 131, AS SHOWN ON THE MAP SHOWING LOCATION AND RIGHT-OF-WAY FOR ST. LUCIE CANAL IMPROVEMENTS PREPARED FOR THE U.S. ENGINEER OFFICE - JACKSONVILLE, FLORIDA, 1939 WITH A FILE NUMBER OF 302-12,260 AND RECORDED IN PLAT BOOK 2, PAGE 35 OF SAID PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE N.31°15'05"E., ALONG SAID NORTHWESTERLY LINE OF PARCEL NO. 131 AND SAID EASTERLY LINE OF ST. LUCIE CANAL RIGHT-OF-WAY, A DISTANCE OF 502.65 FEET TO A POINT ON THE WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13; THENCE N.00°00'45"E., ALONG SAID WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13 AND THE WEST LINE OF LOT 4, SECTION 13, A DISTANCE OF 231.49 FEET TO THE POINT OF BEGINNING.

CONTAINING: 12,206,615 SQUARE FEET OR 280.225 ACRES, MORE OR LESS.

COPY

**NOTE:** THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

**NOTE:** LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**WATERSIDE - KANNER 96TH STREET  
INVESTMENTS LLC  
SKETCH AND DESCRIPTION**



Prepared For: KOLTER LAND PARTNERS, LLC

Date: DECEMBER 10, 2021

4152 W. Blue Heron Blvd. Phone: (561) 444-2720  
Suite 105 www.geopointsurvey.com  
Riviera Beach, FL 33404 Licensed Business Number LB 7768

Drawn: SWM	Date: 01/20/2022	Data File: N/A
Check: GAR	P.C.: N/A	Field Book: N/A
Section: 13 Twn. 39S Rng. 40E	Job #:	Kanner 96St-2_10-6 S&D

Sheet No. 02 of 03 Sheets

NOT VALID WITHOUT THE ELECTRONIC AND/OR ORIGINAL SIGNATURE & RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

DWG NAME: W\KOLTER-WATERSIDESURVEYS\SD PLAT PARCELS OWNERS\KANNER 96ST-2REV\_10-6-22.DWG PLOTTED BY: SERGIO MACHADO ON: 10/7/2022 2:53 PM LAST SAVED BY: SERGIOM ON: 10/7/2022 2:53 PM





Parcel Identification Number:  
13-39-40-000-001-00000-5

Prepared by/Return to:  
Manuel Farach, Esq.  
Mrachek, Fitzgerald, et al  
1000 Monterey Commons Blvd. Suite 600  
Stuart, FL 34996

**SPECIAL WARRANTY DEED**

THIS INDENTURE, made this 11th day of February, 2022 between Patriot Farms, Limited Partnership, a Florida limited partnership, hereinafter referred to as "Grantor," and KANNER/96<sup>TH</sup> ST INVESTMENTS, LLC, a Florida limited liability company, whose address is 105 N.E. 1<sup>st</sup> Street, Delray Beach, Florida 33444, hereinafter referred to as "Grantee."

**WITNESSETH:**

That said Grantor, for and in consideration of the sum of Ten Dollars, and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 1, South Half of Lot 2, Northeast Quarter of Lot 2, and Lots 7 and 8, in Section 13, Township 39 South, Range 40 East, according to the Plat of TROPICAL FRUIT FARMS, recorded in Plat Book 3, Page 6, Public Records of Palm Beach County, Florida, (now lying in Martin County, Florida); EXCEPT that portion thereof conveyed to Martin County in Deed Book 97, Page 354, Public Records of Martin County, Florida, described as follows:

A road right-of-way fifty (50) feet in width extending Southerly from the center line of Loop Road on the Northerly side of Tract 2, less the Northwest Quarter and all of Tract 1, Section 13, Township 39 South, Range 40 East, in TROPICAL FRUIT FARMS, according to the plat filed thereof August 13, 1913, and recorded in Plat Book 3, Page 6, Public Records of Palm Beach County, Florida (now lying in Martin County, Florida).

AND the Grantor hereby covenants with said Grantee that the Grantor, during its time of possession, was lawfully seized of said land in fee simple; that the Grantor had good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons owning, holding, claiming by or through or under the Grantor but no other; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021 subject to the Permitted Exceptions on the attached Exhibit A.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

WITNESSES:

Lisa J. Christian  
Print Name: Lisa J. Christian  
Hope Ann Runte  
Print Name: Hope Ann Runte

SELLER:

Patriot Farms, Limited Partnership, a Florida limited partnership by Patriot Farms, Inc., its General Partner

By: [Signature]  
Print Name: Michael Bell  
Title: President  
Date: 2-11-22

STATE OF FLORIDA )  
) ss:  
COUNTY OF MARTIN )

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 11th day of February, 2022 by Michael Bell, as President of Patriot Farms, Inc., as General Partner of Patriot Farms, L.P., a Florida limited partnership, on behalf of the partnership, who is personally known to me or produced personally known for identification.

[NOTARIAL SEAL]

Notary: [Signature]  
Print Name: Hope Ann Runte  
Notary Public, State of \_\_\_\_\_  
My commission expires: \_\_\_\_\_

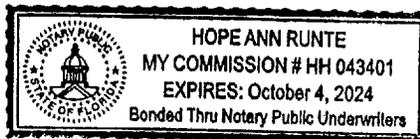


Exhibit "A"  
Permitted Exceptions

1. Taxes and assessments for the year 2022 and subsequent years, which are not yet due and payable.
2. Easement in favor of Florida Power & Light Company recorded March 21, 1974 in O.R. Book 370, Page 2699.

Copy

Copy

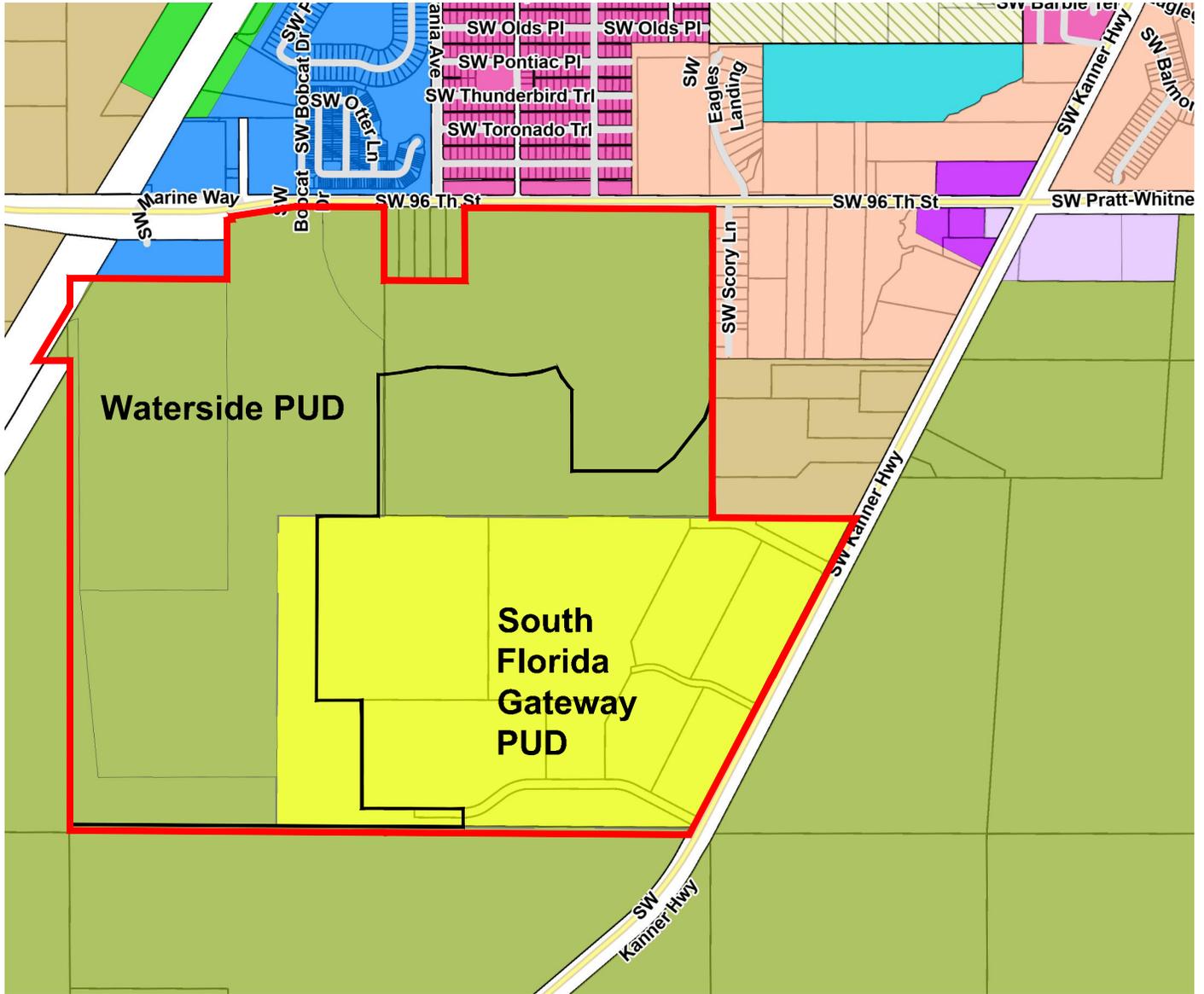
Copy



**WATERSIDE**  
375 Acres +/-

Existing South Florida  
Gateway PUD  
Martin County  
Operations Center

# Existing Future Land Use Map

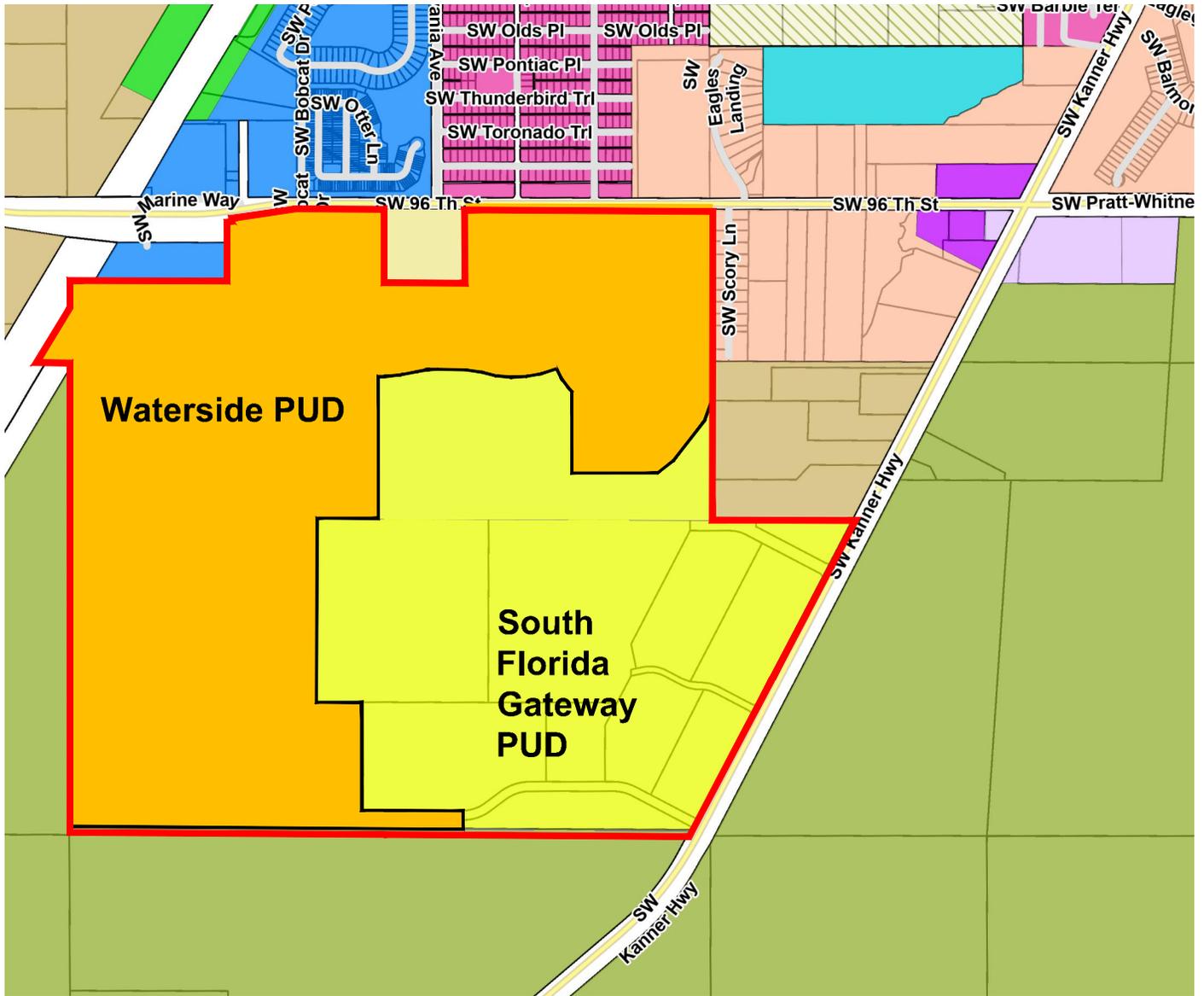


## Future Land Use Legend

- |   |   |
|---|---|
|  Rural Density - up to 0.5 UPA     |  Commercial / Office / Residential       |
|  AgTEC                             |  Commercial Waterfront                   |
|  Rural Heritage - up to 0.5 UPA    |  Recreational                            |
|  Estate Density - up to 1 UPA      |  Public Conservation Area                |
|  Estate Density - up to 2 UPA      |  General Institutional                   |
|  Low Density - up to 5 UPA         |  Industrial                              |
|  Medium Density - up to 8 UPA      |  Agricultural                            |
|  High Density - up to 10 UPA       |  Agricultural Ranchette                  |
|  Mobile Home Density - up to 8 UPA |  Major Power Generation Facility         |
|  Mixed-Use Village                 |  No Data (May Include Incorporated Area) |
|  Commercial General                |   |
|  Commercial Limited                |   |



# Proposed Future Land Use Map



## Future Land Use Legend

- |  |   |
|--|---|
|  | Commercial / Office / Residential       |
|  | Commercial Waterfront                   |
|  | Recreational                            |
|  | Public Conservation Area                |
|  | General Institutional                   |
|  | Industrial                              |
|  | Agricultural                            |
|  | Agricultural Ranchette                  |
|  | Major Power Generation Facility         |
|  | No Data (May Include Incorporated Area) |
|  |   |
|  |   |



lucido & associates

701 E Ocean Blvd., Stuart, Florida 34994

(772) 226-2100, Fax (772) 223-0220



**Waterside PUD**

**CPA 21-11 & 21-12**

Martin County, Florida





# Martin County

File: G:\projects\lrs\lawn\CPAs\CGMP\_Figures  
Created By: GMD Staff  
Plot Date: Mar 16, 2021

# Proposed Urban Service District - Figure 4-2

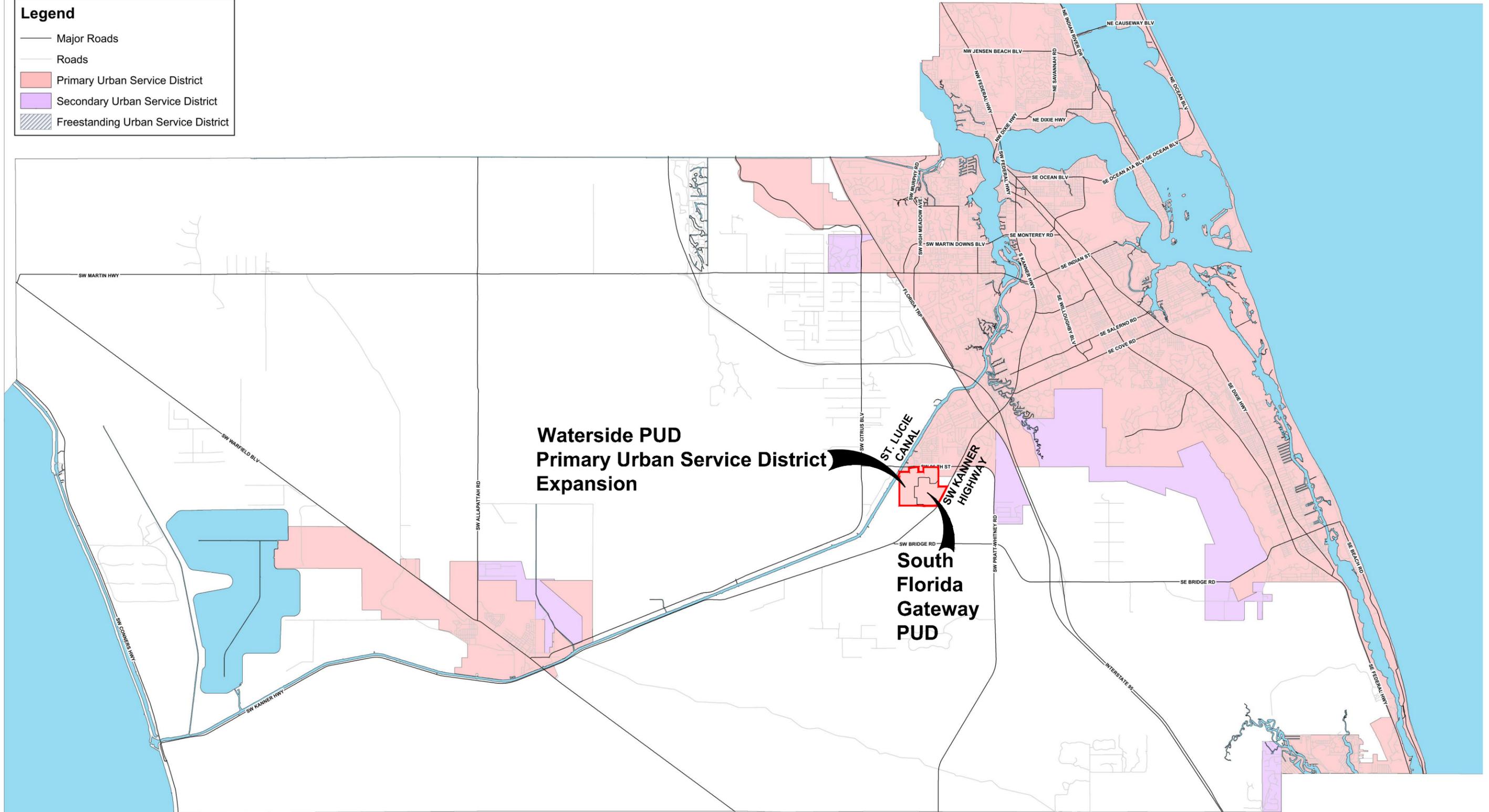


Disclaimer  
"This Geographic Information System Map Product, received from Martin County ("COUNTY") in fulfillment of a public records request is provided "as is" without warranty of any kind, and the COUNTY expressly disclaims all express and implied warranties, including but not limited to the implied warranties of merchantability and fitness for a particular purpose. The COUNTY does not warrant, guarantee, or make any representations regarding the use, or the results of the use, of the information provided to you by the COUNTY in terms of correctness, accuracy, reliability, timeliness or otherwise. The entire risk as to the results and performance of any information obtained from the COUNTY is entirely assumed by the recipient."



**Legend**

- Major Roads
- Roads
- Primary Urban Service District
- Secondary Urban Service District
- Freestanding Urban Service District

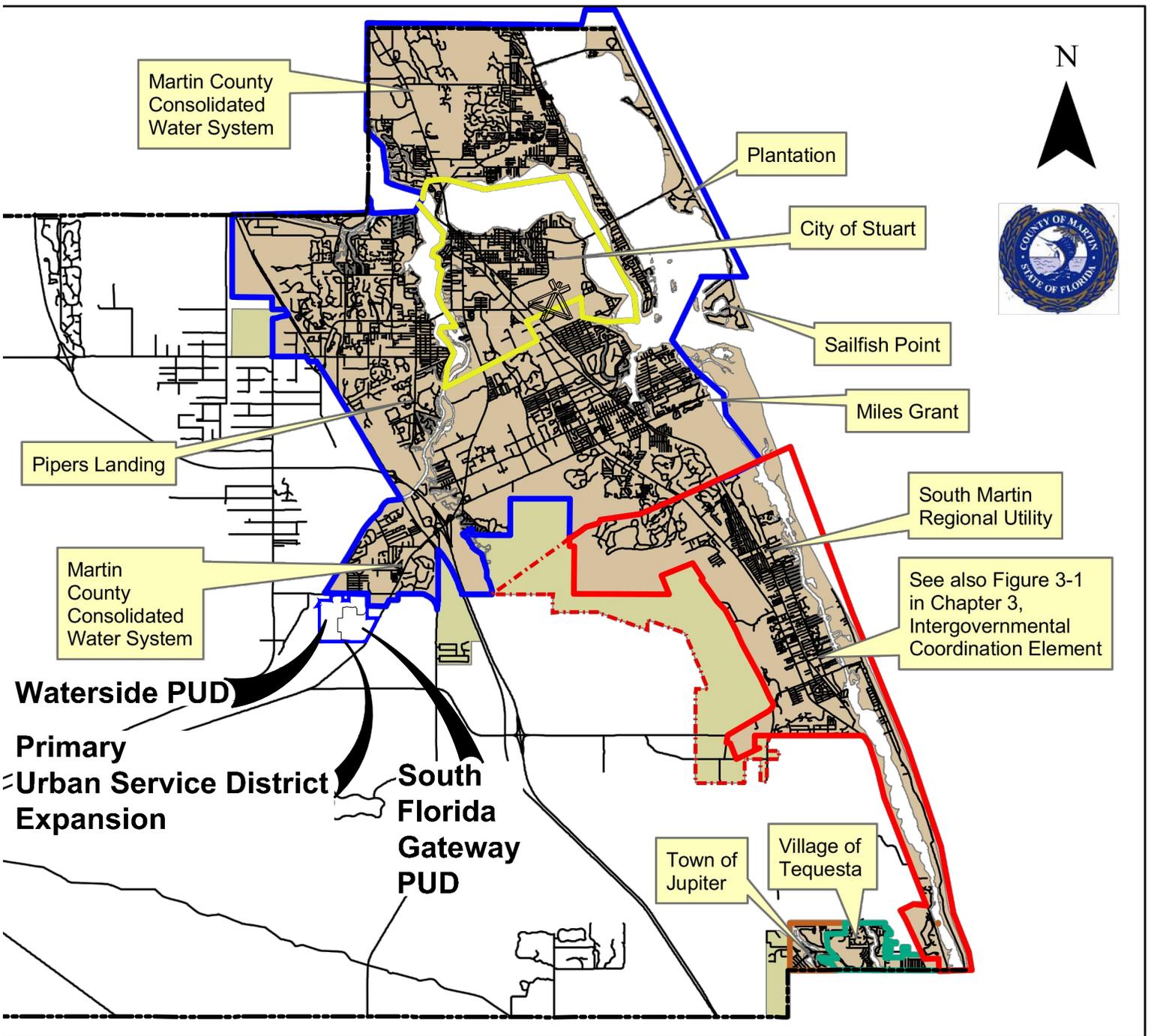


**Waterside PUD  
Primary Urban Service District  
Expansion**

**South  
Florida  
Gateway  
PUD**

# Martin County

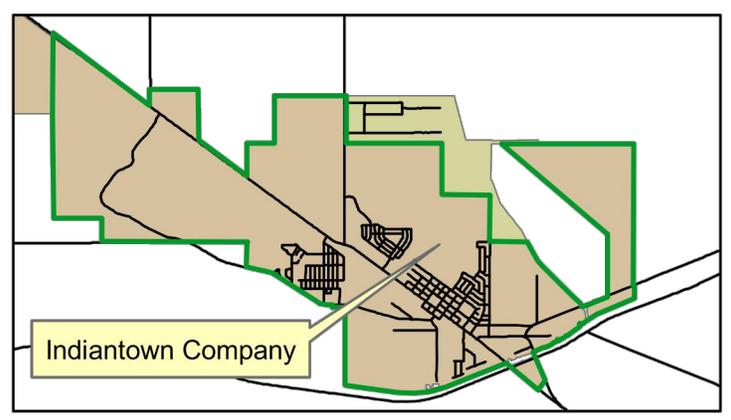
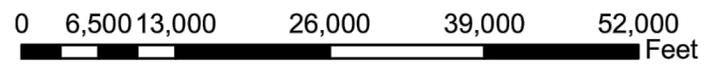
Figure 11-1, Areas Currently Served By Regional Utilities



See also Figure 3-1 in Chapter 3, Intergovernmental Coordination Element

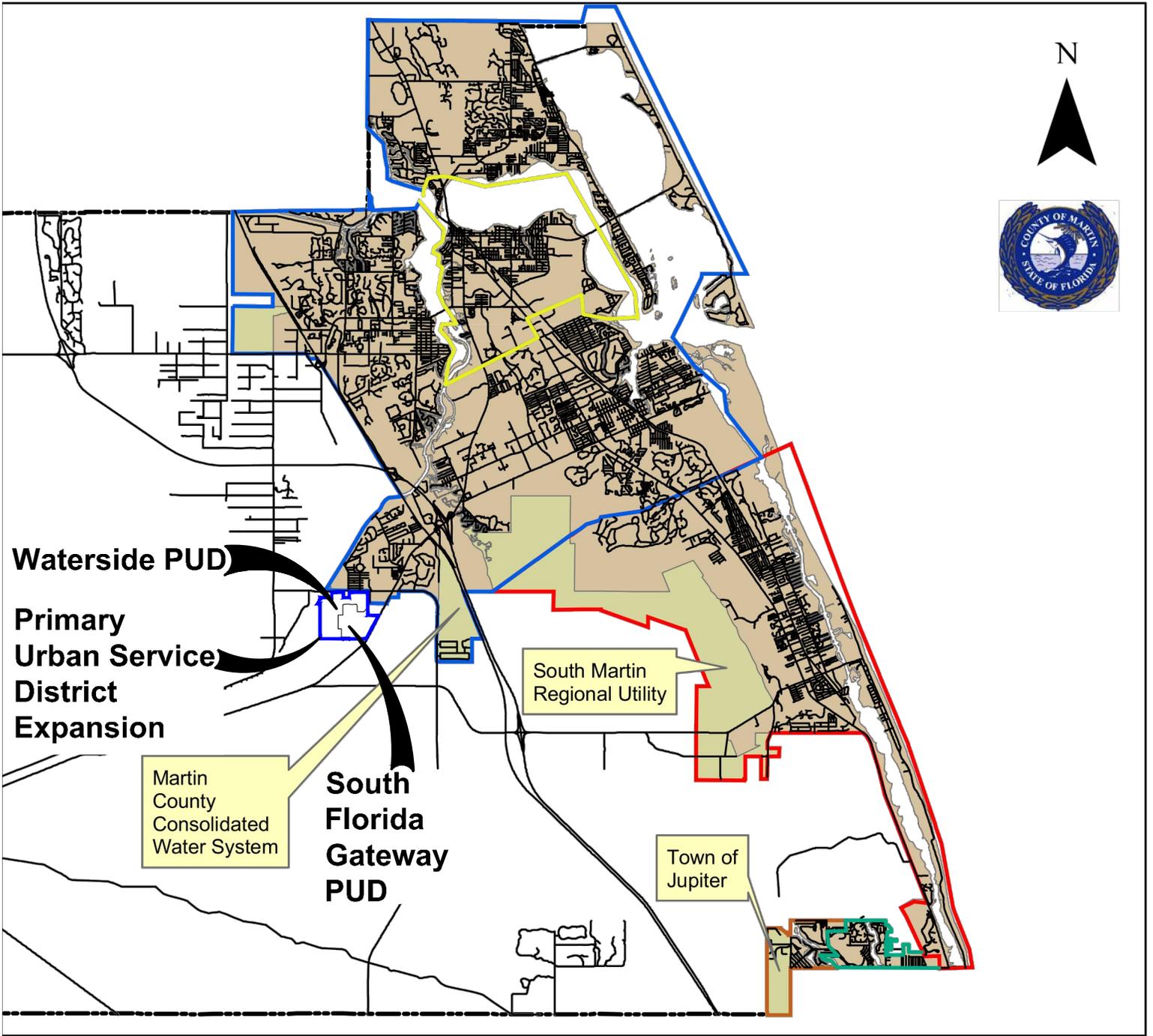
## Legend

- StuartServArea
- SMRU Exclusive
- SMRU Presumed
- MCSerArea
- Tequesta
- Jupiter
- Primary USD
- Secondary USD



# Martin County

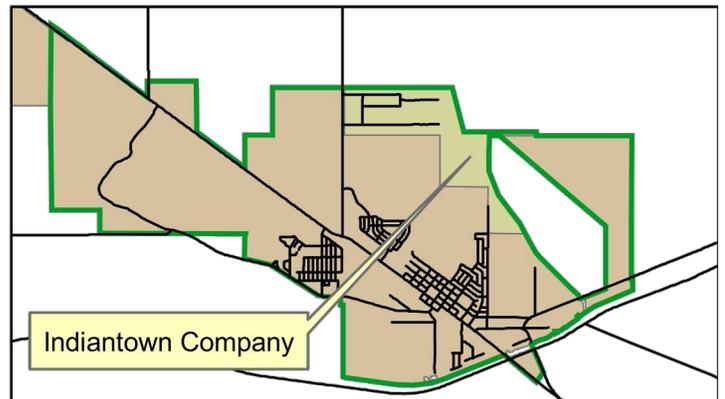
Figure 11-2, Potential Service Areas



## Legend

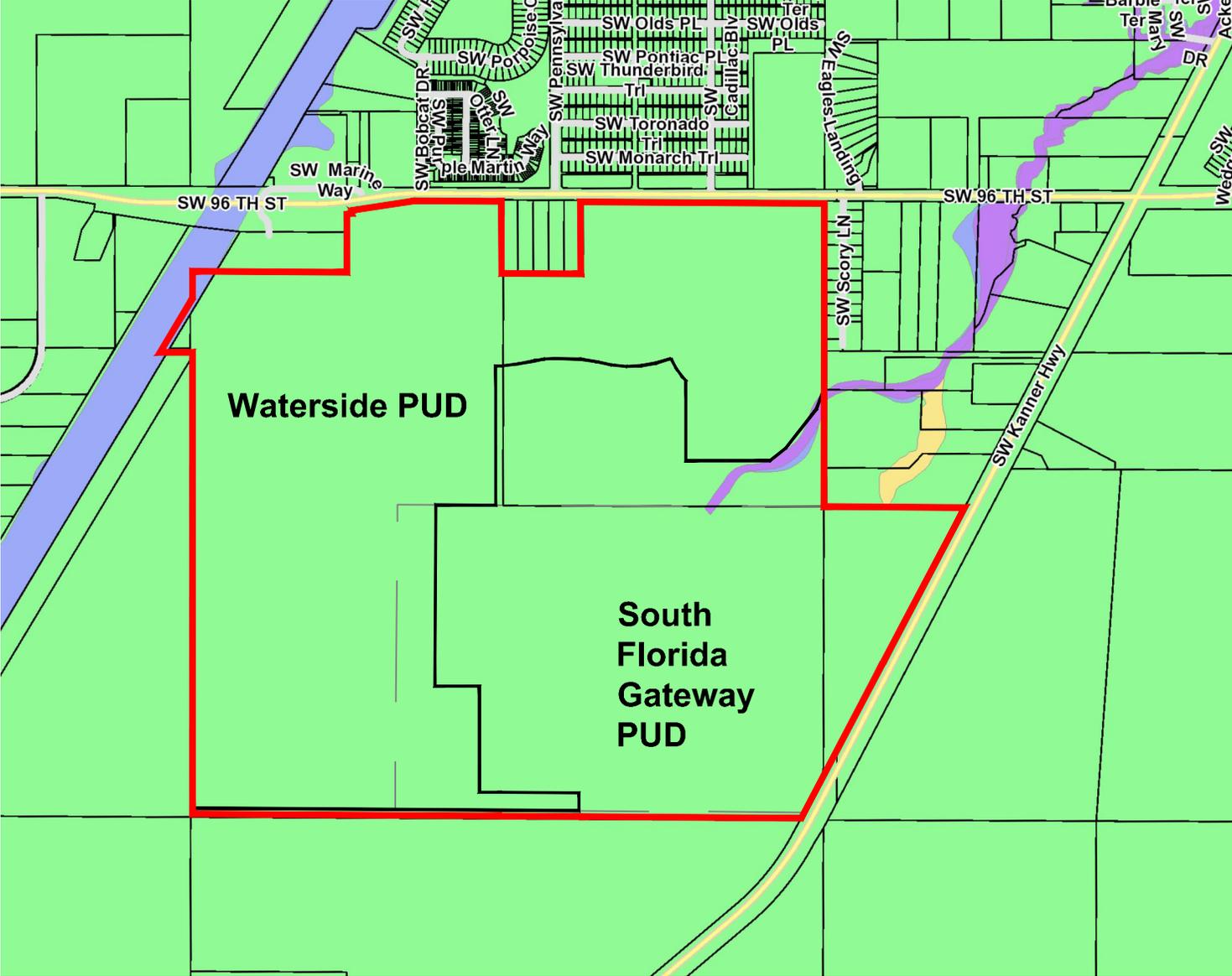
- StuartServArea
- Indiantown\_Polygon
- MCSerArea\_Polygon
- SMRU\_Polygon
- Jupiter\_Polygon
- Primary USD
- Secondary USD

0 6,500 13,000 26,000 39,000 52,000 Feet





# FEMA Flood Map



### FEMA Flood Zones

- A
- AE
- AH
- VE
- X
- X500



**DESCRIPTION:**

A PARCEL OF LAND BEING A PORTION OF LOTS 1, 2, 3, 4, 6, 7, 8, 11, 13 AND 14, ALL OF LOTS 5 AND 12, ALL IN SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCE** AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, ALSO BEING THE NORTHWEST CORNER OF LOT 4, SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE S.00°00'45"W. ALONG THE WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 662.61 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF (1/2) OF SAID LOT 4; THENCE S.89°38'43"E., ALONG SAID NORTH LINE, A DISTANCE OF 140.48 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE S.89°38'43"E., ALONG SAID NORTH LINE OF THE SOUTH HALF (1/2) OF LOT 4, A DISTANCE OF 1179.69 FEET TO A POINT ON THE WEST LINE OF LOT 3, SECTION 13 OF SAID PLAT; THENCE N.00°00'59"E., ALONG SAID WEST LINE OF LOT 3, A DISTANCE OF 496.77 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. S-76-A AS SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT MAP FOR SECTION 89002-2601, REVISED FEBRUARY 13, 1989; THE FOLLOWING 3 COURSES BEING BY SAID RIGHT-OF-WAY LINE: 1) N.81°44'59"E., A DISTANCE OF 39.54 FEET; 2) THENCE N.07°34'57"W., A DISTANCE OF 25.14 FEET; 3) THENCE N.81°45'49"E., A DISTANCE OF 548.79 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 76-A AS SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT MAP FOR SECTION 89531-2601, DATED OCTOBER, 1958; THENCE S.89°50'10"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 741.38 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13; THENCE S.00°01'11"W., ALONG SAID EAST LINE OF THE NORTHWEST (1/4) QUARTER AND THE EAST LINE OF LOT 3, SECTION 13 OF SAID PLAT, A DISTANCE OF 611.68 FEET; THENCE S.89°45'21"E., A DISTANCE OF 688.60 FEET; THENCE N.00°02'42"E., A DISTANCE OF 611.74 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 76-A; THENCE S.89°45'42"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 2066.62 FEET TO A POINT ON THE EAST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13; THENCE S.00°07'14"W., ALONG SAID EAST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13, DISTANCE OF 1585.66 FEET; THENCE S.19°51'09"W., A DISTANCE OF 192.11 FEET; THENCE S.38°09'44"W., A DISTANCE OF 425.46 FEET; THENCE S.52°28'26"W., A DISTANCE OF 168.69 FEET; THENCE N.90°00'00"W., A DISTANCE OF 718.88 FEET; THENCE N.00°00'00"E., A DISTANCE OF 684.40 FEET; THENCE N.41°22'48"W., A DISTANCE OF 43.81 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTHEAST, WITH A RADIUS OF 676.00 FEET AND A RADIAL BEARING OF N.49°51'47"E., AT SAID INTERSECTION; THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°46'48", A DISTANCE OF 186.18 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTH, WITH A RADIUS OF 942.00 FEET AND A RADIAL BEARING OF N.22°07'26"W., AT SAID INTERSECTION; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 39°18'00", A DISTANCE OF 646.13 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE SOUTH, WITH A RADIUS OF 570.00 FEET AND A RADIAL BEARING OF S.14°58'37"W., AT SAID INTERSECTION;

DESCRIPTION: CONTINUED ON SHEET 2

**NOTE:** THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

**NOTE:** LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**AGRICULTURAL TO LOW DENSITY RESIDENTIAL P.U.D. - PARCEL 1 SKETCH AND DESCRIPTION**



REVISIONS			
No.	Date	Description	Dwn.

Prepared For: KOLTER LAND PARTNERS, LLC  
**Date: FEBRUARY 02, 2023**

**SURVEYOR'S CERTIFICATE**  
 This certifies that this Sketch and Description was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

**Gary Rager**  
Digitally signed by Gary Rager  
 DN: cn=US, st=Florida, o=GeoPoint Surveying, Inc., ou=Professional Surveyor and Mapper, c=Gary Rager, email=GaryR@geopointsurvey.com  
 Date: 2023.03.30 13:06:03 -0400

**Gary A. Rager**  
 FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. **LS4828**

**GeoPoint Surveying, Inc.**

4152 W. Blue Heron Blvd. Phone: (561) 444-2720  
 Suite 105 www.geopointsurvey.com  
 Riviera Beach, FL 33404 Licensed Business Number LB 7768

Drawn: SWM	Date: 02/02/2023	Data File: N/A
Check: GAR	P.C.: N/A	Field Book: N/A

DWG NAME: W:\KOLTER-WATERSIDE\SURVEYS\D PUD-WATERSIDE RESIDENTIAL PARCEL\SIPUD-AGR-LOW DENS RESID-PARCEL 1.DWG PLOTTED BY: SERGIO MACHADO ON: 3/30/2023 12:18 PM LAST SAVED BY: SERGIOM ON: 3/30/2023 12:18 PM

DESCRIPTION: CONTINUED FROM SHEET 1

THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13°20'31", A DISTANCE OF 132.73 FEET TO A POINT OF TANGENCY; THENCE N.88°21'55"W., A DISTANCE OF 231.83 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTH, WITH A RADIUS OF 570.00 FEET; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 17°00'09", A DISTANCE OF 169.15 FEET TO A NON-TANGENT INTERSECTION WITH A CURVE CONCAVE TO THE NORTH, WITH A RADIUS OF 1851.00 FEET AND A RADIAL BEARING OF N.12°58'30"W., AT SAID INTERSECTION; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 08°47'54", A DISTANCE OF 284.24 FEET TO A POINT ON NON-TANGENT INTERSECTION AND TO A POINT ON THE NORTHWEST QUARTER (1/4) OF SECTION 13; THENCE N.89°58'49"W., A DISTANCE OF 50.00 FEET; THENCE S.00°01'11"W., ALONG A LINE 50.00 FEET WEST OF AND PARALLEL WITH SAID NORTHWEST QUARTER (1/4) OF SECTION 13, A DISTANCE OF 1191.55 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF SOUTH FLORIDA GATEWAY PUD - PLAT, AS RECORDED IN PLAT BOOK 19, PAGES 56 THROUGH 61, INCLUSIVE, OF SAID PUBLIC RECORDS AND TO A POINT ON THE SOUTH LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE SOUTH LINE OF LOT 6; THENCE N.89°44'14"W., ALONG SAID NORTH BOUNDARY LINE OF SOUTH FLORIDA GATEWAY PUD - PLAT AND ALONG SAID SOUTH LINE OF THE NORTHWEST (1/4) QUARTER OF SECTION 13 AND SAID SOUTH LINE OF LOT 6, A DISTANCE OF 513.16 FEET; THENCE S.00°15'42"W., A DISTANCE OF 2604.46 FEET TO A POINT ON THE NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT, AS DESCRIBED IN DEED BOOK 10, PAGE 383, AND DEED BOOK 10, PAGE 461, OF SAID PUBLIC RECORDS, ALSO A POINT ON A LINE 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST (1/2) HALF OF SAID SECTION 13, ALSO THE SOUTH LINE OF LOTS 13 AND 14, OF SAID PLAT; THENCE N.89°37'43"W., ALONG SAID NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT AND SAID LINE BEING 50.00 FEET NORTH OF AND PARALLEL WITH THE WEST (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 2065.55 FEET TO A POINT ON THE WEST LINE OF THE SOUTH (1/2) HALF OF SAID SECTION 13; THENCE N.00°00'32"E., ALONG SAID WEST LINE AND THE WEST LINE OF LOTS 12 AND 13, SECTION 13 OF SAID PLAT, A DISTANCE OF 2600.57 FEET TO THE WEST (1/4) QUARTER CORNER OF SAID SECTION 13; THENCE N.00°00'45"E., ALONG THE WEST LINE OF THE NORTH (1/2) HALF OF SAID SECTION 13 AND THE WEST LINE OF LOT 5, SECTION 13 OF SAID PLAT, A DISTANCE OF 1326.29 FEET TO A POINT ON THE SOUTHERLY LINE OF PARCEL NO. 131, AS DESCRIBED IN DEED BOOK 12, PAGE 451 AND THE SOUTHEAST CORNER OF LOT 1, SECTION 14 OF SAID PLAT; THENCE CONTINUE N.00°00'45"E., ALONG SAID WEST LINE OF THE NORTH (1/2) HALF OF SECTION 13 AND THE WEST LINE OF SAID LOT 4, SECTION 13 OF SAID PLAT, ALSO BEING THE EASTERLY LINE OF SAID PARCEL 131, A DISTANCE OF 430.17 FEET TO THE SOUTHERLY CORNER OF PARCEL 136, RIGHTS-OF-WAY FOR ST. LUCIE CANAL IMPROVEMENT, RECORDED IN PLAT BOOK 2, PAGE 35, OF SAID PUBLIC RECORDS; THENCE N.31°15'05"E., ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL 136, A DISTANCE OF 270.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 15,578,856 SQUARE FEET OR 357.641 ACRES, MORE OR LESS.

NOTE: THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

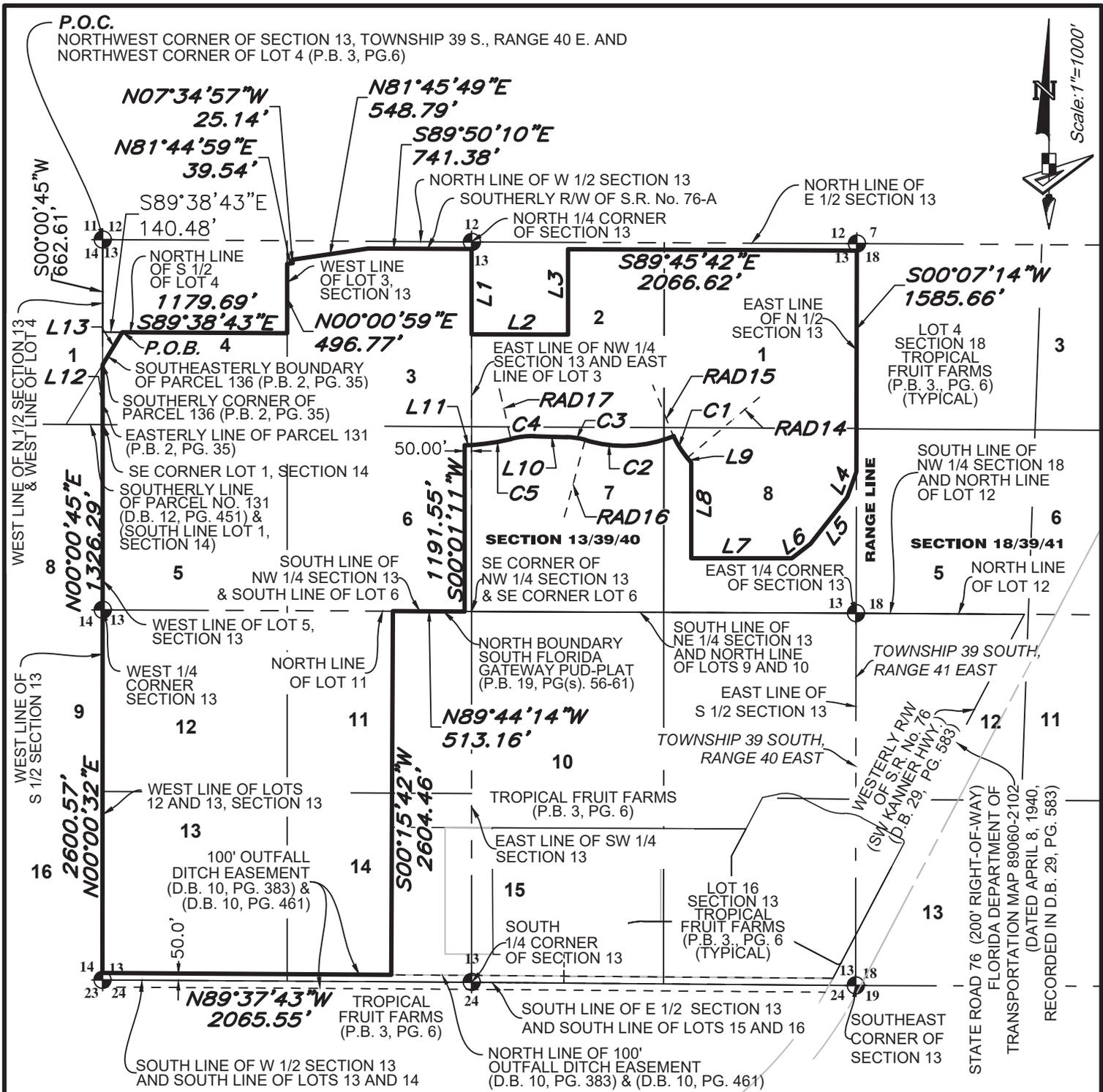
NOTE: LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENT OF RECORD.

**AGRICULTURAL TO LOW DENSITY  
RESIDENTIAL P.U.D. - PARCEL 1  
SKETCH AND DESCRIPTION**



REVISIONS				Prepared For: KOLTER LAND PARTNERS, LLC	
No.	Date	Description	Dwn.	Date: <b>FEBRUARY 02, 2023</b>	<p><b>GeoPoint</b> Surveying, Inc.</p> <p>4152 W. Blue Heron Blvd. Suite 105 Riviera Beach, FL 33404</p> <p>Phone: (561) 444-2720 www.geopointsurvey.com Licensed Business Number LB 7768</p>
				SURVEYOR'S CERTIFICATE	
Sheet No. 02 of 04 Sheets				<p><b>Gary A. Rager</b> FLORIDA PROFESSIONAL SURVEYOR &amp; MAPPER NO. <b>LS4828</b></p> <p>NOT VALID WITHOUT THE ELECTRONIC AND/OR ORIGINAL SIGNATURE &amp; RAISED SEAL OF A FLORIDA LICENSED SURVEYOR &amp; MAPPER</p>	
Section: 13		Twn. 39S Rng. 40E		Job #: Ag-LwDenRes Parcel 1	

DWG NAME: W:\KOLTER-WATERSIDE\SURVEYS\D PUD-WATERSIDE RESID-PARCEL 1.DWG PLOTTED BY: SERGIO MACHADO ON: 3/30/2023 12:18 PM LAST SAVED BY: SERGIOM ON: 3/30/2023 12:18 PM



Scale: 1"=1000'

**NOTE:** THIS IS NOT A SKETCH OF SURVEY, BUT ONLY A GRAPHIC DEPICTION OF THE DESCRIPTION SHOWN HEREON. THERE HAS BEEN NO FIELD WORK, VIEWING OF THE SUBJECT PROPERTY, OR MONUMENTS SET IN CONNECTION WITH THE PREPARATION OF THE INFORMATION SHOWN HEREON.

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## AGRICULTURAL TO LOW DENSITY RESIDENTIAL P.U.D. - PARCEL 1 SKETCH AND DESCRIPTION

Prepared For: KOLTER LAND PARTNERS, LLC

<b>Date:</b> FEBRUARY 02, 2023
D.B. --- DEED BOOK
S.R. --- STATE ROAD
R/W --- RIGHT-OF-WAY
L1 --- LINE SEGMENT
C1 --- CURVE SEGMENT
RAD17 --- RADIAL BEARING



4152 W. Blue Heron Blvd. Suite 105  
Riviera Beach, FL 33404  
Phone: (561) 444-2720  
www.geopointsurvey.com  
Licensed Business Number LB 7768

Drawn: SWM	Date: 02/02/2023	Data File: N/A
Check: GAR	P.C.: N/A	Field Book: N/A
Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 1		

LEGEND	
P.O.B. --- POINT OF BEGINNING	
P.O.C. --- POINT OF COMMENCEMENT	
PG./PG(s) --- PAGE(S)	
13-39-40 --- SECTION-TOWNSHIP-RANGE	
14 13 --- SECTION CORNER	
P.B. --- PLAT BOOK	
P.U.D. --- PLANNED UNIT DEVELOPMENT	

Sheet No. 03 of 04 Sheets

NOT VALID WITHOUT THE ELECTRONIC AND/OR ORIGINAL SIGNATURE & RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

DWG NAME: W:\KOLTER-WATERSIDE\SURVEYS\D PUD-WATERSIDE RESIDENTIAL-PARCEL 1.DWG PLOTTED BY: SERGIO MACHADO ON: 3/30/2023 12:18 PM LAST SAVED BY: SERGIOM ON: 3/30/2023 12:18 PM

LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	S 00°01'11" W	611.68
L2	S 89°45'21" E	688.60
L3	N 00°02'42" E	611.74
L4	S 19°51'09" W	192.11
L5	S 38°09'44" W	425.46
L6	S 52°28'26" W	168.69
L7	N 90°00'00" W	718.88
L8	N 00°00'00" E	684.40
L9	N 41°22'48" W	43.81
L10	N 88°21'55" W	231.83
L11	N 89°58'49" W	50.00
L12	N 00°00'45" E	430.17
L13	N 31°15'05" E	270.88

CURVE DATA TABLE			
NO.	RADIUS	DELTA	ARC
C1	676.00'	15°46'48"	186.18'
C2	942.00'	39°18'00"	646.13'
C3	570.00'	13°20'31"	132.73'
C4	570.00'	17°00'09"	169.15'
C5	1851.00'	8°47'54"	284.24'

RADIAL BEARING TABLE	
NO.	BEARING
RAD14	N 49°51'47" E
RAD15	N 22°07'26" W
RAD16	S 14°58'37" W
RAD17	N 12°58'30" W

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## AGRICULTURAL TO LOW DENSITY RESIDENTIAL P.U.D. - PARCEL 1 SKETCH AND DESCRIPTION

### LEGEND

- P.O.B.* --- POINT OF BEGINNING  
*P.O.C.* --- POINT OF COMMENCEMENT  
*PG./PG(s)* --- PAGE(S)  
*13-39-40* --- SECTION-TOWNSHIP-RANGE  
<sup>14</sup>/<sub>23</sub>/<sup>13</sup>/<sub>24</sub> --- SECTION CORNER  
*P.B.* --- PLAT BOOK  
*P.U.D.* --- PLANNED UNIT DEVELOPMENT

Prepared For: KOLTER LAND PARTNERS, LLC

Date: FEBRUARY 02, 2023

- D.B.* --- DEED BOOK  
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 Riviera Beach, FL 33404 Licensed Business Number LB 7768

Drawn: SWM Date: 02/02/2023 Data File: N/A

Check: GAR P.C.: N/A Field Book: N/A

Section: 13 Twn. 39S Rng. 40E Job #: Ag-LwDenRes Parcel 1

**DESCRIPTION:**

A PARCEL OF LAND BEING A PORTION OF LOTS 14 AND 15, ALL IN SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCE** AT THE NORTHWEST CORNER OF SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST, ALSO BEING THE NORTHWEST CORNER OF LOT 4, SECTION 13, TOWNSHIP 39 SOUTH, RANGE 40 EAST OF TROPICAL FRUIT FARMS, ACCORDING TO THE PLAT THEREOF FILED ON AUGUST 18, 1913, RECORDED IN PLAT BOOK 3, PAGE 6, RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA; THENCE S.89°37'58"E. ALONG THE NORTH LINE OF THE WEST (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 2640.55 FEET TO THE NORTH (1/4) QUARTER CORNER OF SAID SECTION 13; THENCE S.00°01'11"W., ALONG THE EAST LINE OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE EAST LINE OF LOTS 3 AND 6, OF SAID PLAT, A DISTANCE OF 2646.70 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST (1/4) QUARTER OF SAID SECTION 13 AND SOUTHEAST CORNER OF SAID LOT 6; THENCE S.00°00'16"E., ALONG THE EAST LINE OF THE SOUTHWEST (1/4) QUARTER OF SAID SECTION 13 AND THE EAST LINE OF LOTS 10 AND 15 OF SAID PLAT, A DISTANCE OF 2453.96 FEET TO THE **POINT OF BEGINNING**; THENCE S.89°32'35"E., A DISTANCE OF 661.44 FEET; THENCE S.00°27'25"W., A DISTANCE OF 151.61 FEET TO A POINT ON THE NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT, AS DESCRIBED IN DEED BOOK 10, PAGE 383, AND DEED BOOK 10, PAGE 461, OF SAID PUBLIC RECORDS, ALSO A POINT ON A LINE 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE EAST (1/2) HALF OF SAID SECTION 13, ALSO THE SOUTH LINE OF LOTS 15 AND 16, OF SAID PLAT; THENCE N.89°32'35"W., ALONG SAID NORTH LINE OF THE 100.00 FOOT OUTFALL DITCH EASEMENT AND SAID LINE BEING 50.00 FEET NORTH OF AND PARALLEL WITH THE EAST (1/2) HALF OF SAID SECTION 13, A DISTANCE OF 660.32 FEET TO A POINT ON THE EAST LINE OF SAID SOUTHWEST (1/4) QUARTER OF SECTION 13; THENCE N.89°37'43"W., ALONG THE NORTH LINE OF SAID 100.00 FOOT OUTFALL DITCH EASEMENT, ALSO BEING A POINT ON A LINE 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST (1/2) HALF OF SAID SECTION 13, ALSO THE SOUTH LINE OF LOTS 13 AND 14, OF SAID PLAT, A DISTANCE OF 575.17 FEET; THENCE N.00°15'42"E., A DISTANCE OF 1056.93 FEET; THENCE S.89°44'18"E., A DISTANCE OF 380.40 FEET; THENCE S.00°00'16"E., A DISTANCE OF 906.06 FEET; THENCE S.89°37'43"E., A DISTANCE OF 189.95 FEET TO THE **POINT OF BEGINNING**.

**CONTAINING:** 533,780 SQUARE FEET OR 12.254 ACRES, MORE OR LESS.

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**INDUSTRIAL TO LOW DENSITY  
RESIDENTIAL P.U.D. - PARCEL 2  
SKETCH AND DESCRIPTION**



REVISIONS			
No.	Date	Description	Dwn.

Prepared For: KOLTER LAND PARTNERS, LLC

**Date: FEBRUARY 02, 2023**

**SURVEYOR'S CERTIFICATE**

This certifies that this Sketch and Description was made under my supervision and meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

**Gary Rager**  
FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. **LS4828**

Digitally signed by Gary Rager  
DN: cn=US, st=Florida, In=Tampa, o=GeoPoint Surveying, Inc., ou=Professional Surveyor and Mapper, cn=Gary Rager, email=Gary@geopointsurvey.com  
Date: 2023.03.30 13:06:57 -0400

**GeoPoint**  
Surveying, Inc.

4152 W. Blue Heron Blvd.  
Suite 105  
Riviera Beach, FL 33404

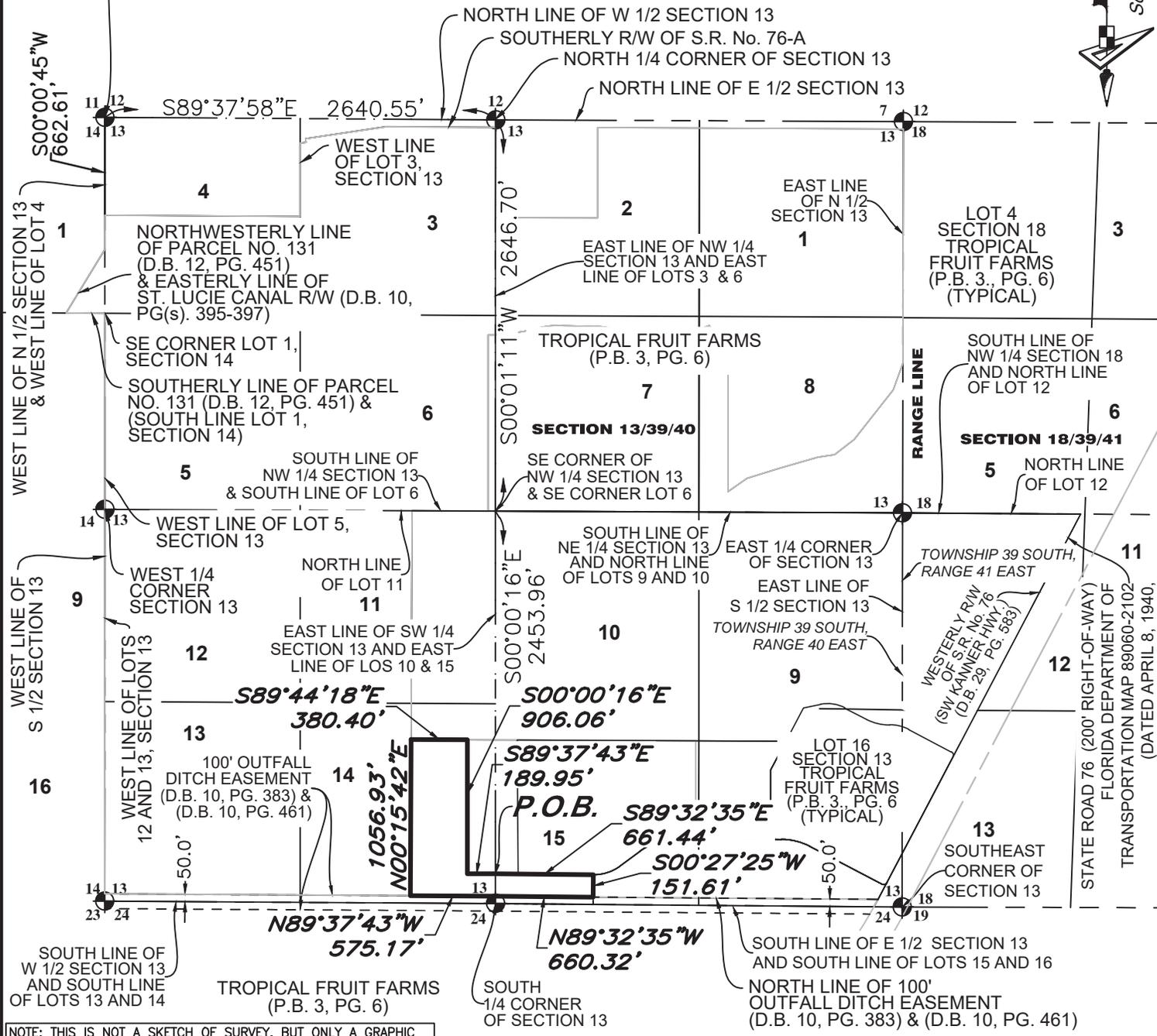
Phone: (561) 444-2720  
www.geopointsurvey.com  
Licensed Business Number LB 7768

Drawn: SWM	Date: 02/06/2023	Data File: N/A
Check: GAR	P.C.: N/A	Field Book: N/A

DWG NAME: W:\KOLTER-WATERSIDE\SURVEYS\D PUD-WATERSIDE RESIDENTIAL PARCELS\IPUD-IND-LOW DENS RESID-PARCEL 2.DWG PLOTTED BY: SERGIO MACHADO ON: 3/29/2023 2:04 PM LAST SAVED BY: SERGIOM ON: 3/29/2023 2:04 PM

Scale: 1"=1000'

**P.O.C.**  
 NORTHWEST CORNER OF SECTION 13,  
 TOWNSHIP 39 S., RANGE 40 E. AND  
 NORTHWEST CORNER OF LOT 4 (P.B. 3, PG.6)



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**INDUSTRIAL TO LOW DENSITY  
 RESIDENTIAL P.U.D. - PARCEL 2  
 SKETCH AND DESCRIPTION**

Prepared For: KOLTER LAND PARTNERS, LLC

Date: FEBRUARY 02, 2023

LEGEND	
P.O.B. --- POINT OF BEGINNING	D.B. --- DEED BOOK
P.O.C. --- POINT OF COMMENCEMENT	S.R. --- STATE ROAD
PG./PG(s) --- PAGE(S)	R/W --- RIGHT-OF-WAY
13-39-40 --- SECTION-TOWNSHIP-RANGE	L1 --- LINE SEGMENT
14 13 23 24 --- SECTION CORNER	C1 --- CURVE SEGMENT
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Section: 13 Twn. 39S Rng. 40E	Job #:	Ag-LwDenRes Parcel 2



Martin County School Board  
500 East Ocean Boulevard  
Stuart, FL 34994

# School Impact Worksheet

The purpose of this school impact worksheet is to assist in planning for future public school facility needs and concurrency requirements. It is to be completed for any proposed residential project, and residential rezoning, amendments to FLUM with residential components, and DRIs.

**Date:** March 31, 2023  
**Parcel ID#:** 13-39-40-000-001-00000-5; 13-39-40-000-003-00000-1  
**Project Name:** Waterside  
**Former Project Name:** NA  
**Owner/Developer:** Kanner/96th St Investments LLC  
**Contact Name/Number:** Morris Crady, Lucido & Associates 772-220-2100  
**Total Project Acreage:** 373  
**Year 1 of the Build-Out:** 2033

1. Please indicate the most likely build-out scenario. Show build-out by year and number of units/year.

Unit Type	Number of Units	First 5-year Period					Second 5- year Period				
		Yr 1	Yr 2	Yr 3	Yr 4	Yr 5	Yr 6	Yr 7	Yr 8	Yr 9	Yr 10
Single-family detached	1,000	100	100	100	100	100	100	100	100	100	100
Multi-family											
Apartment											
Townhouse											
Other											

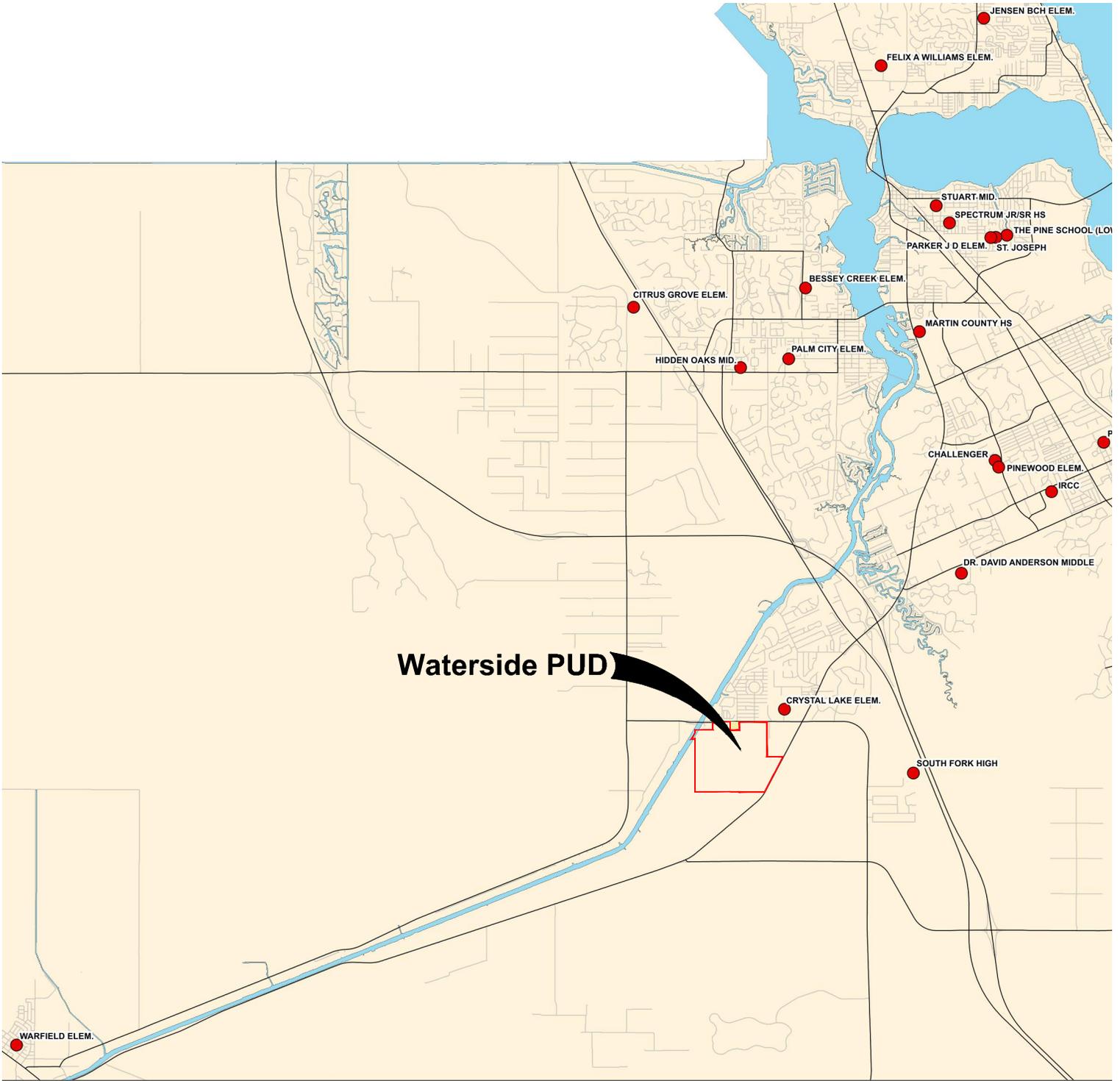
Note: If build-out is expected to go beyond the 10 year period above, please attach an additional table with build-out years until project completion.

2. Project number and type of residential dwelling units at build-out, as follows:

Unit Type	Number of Units	Typical Unit Floor Area (sq. ft.)	Estimated Price (\$) Per Unit	Number Restricted to 55+ Age Group
Single-family detached	1,000	2,301	\$500,000	
Multi-family				
Apartment				
Townhouse				
Other				

3. Please include a location map showing elementary, middle and high schools within a two-mile radius of the proposed project. If no schools are within a two-mile radius of the project, please indicate the nearest schools to the project.

# School Location Map



lucido & associates

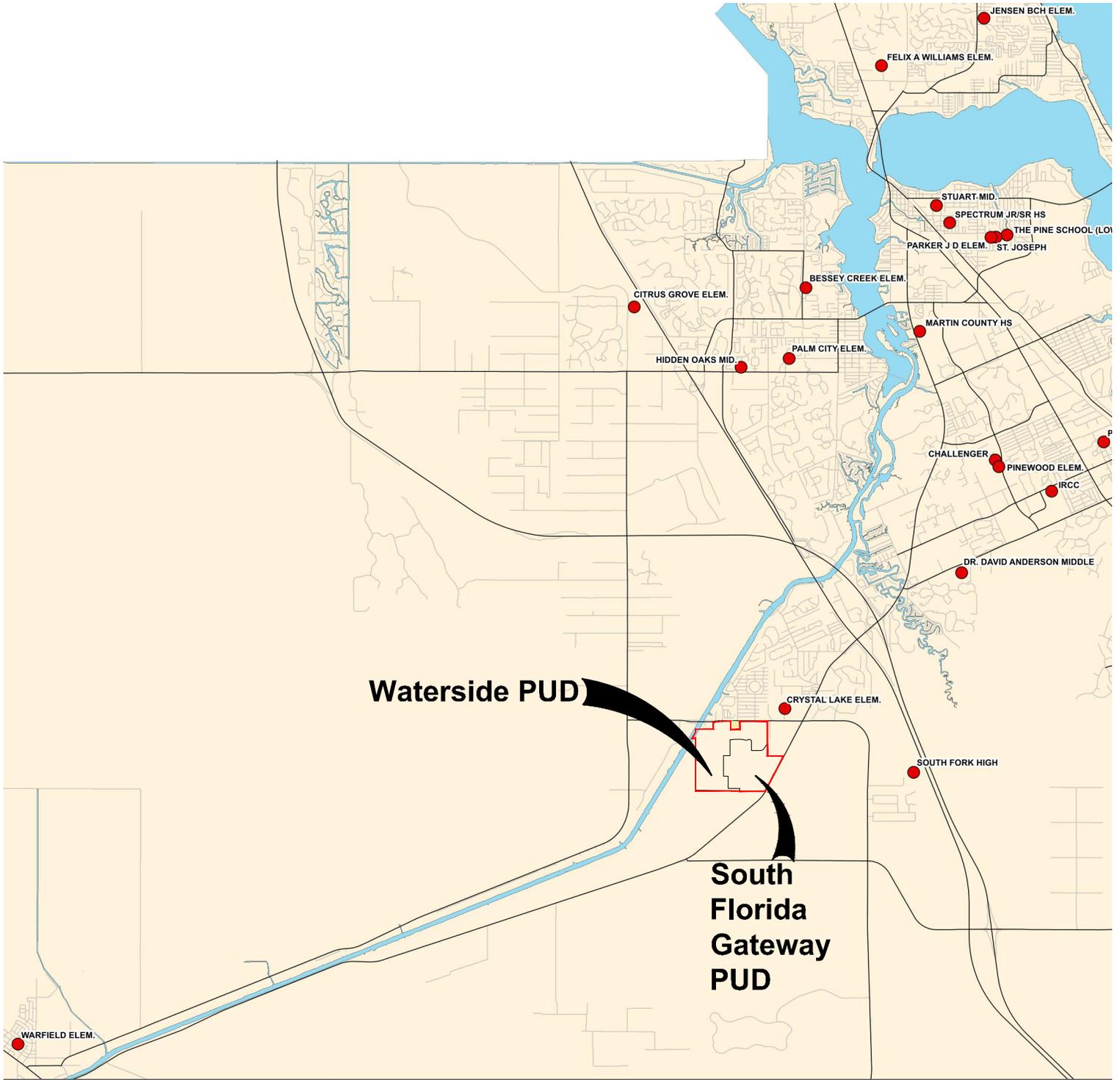
701 E Ocean Blvd., Stuart, Florida 34994

(772) 220-2100, Fax (772) 223-4220



**Waterside PUD**  
Martin County, Florida

# School Location Map



lucido & associates

701 E Ocean Blvd., Stuart, Florida 34994

(772) 220-2100, Fax (772) 223-4220



**Waterside PUD**  
**CPA 21-11 & 21-12**  
Martin County, Florida



E. Amount available for all other future uses (A-B-C-D-E):

.955

If the amount in E is zero or a negative number, explain how potable water will be made available for future uses: \_\_\_\_\_

## WORKSHEET INSTRUCTIONS

1. **General Information**  
Date: Enter worksheet completion date.  
Contact name: Enter the contact information for the person who prepared the worksheet.  
Local government: Enter your city or county  
Potable water supplier and wastewater collection: If there are different suppliers for any proposed amendment areas, use additional work sheets.
2. **Infrastructure Information**  
Permitted capacity of the water and wastewater treatment plant: obtain from the utility.  
Distribution lines: indicate if distribution lines are available to serve the property. If not available, indicate who will fund the improvements and when the improvements will be completed.  
Reuse distribution lines: Indicates if reuse distribution lines are available to serve the property.  
If not available, indicate if they will be provided. If the lines are to be provided, indicate who will fund the improvements and when the improvements will be completed.
3. **SFWMD Consumptive Use Permit (CUP) Information**  
CUP information: Obtain from the utility.  
Allocations to other local governments: If the supplier provides water to other local Governments, enter the names of the other local governments and the supply allocation for each.  
Reserved capacity: Enter the amount of potable water capacity currently encumbered for developments that are approved but not yet constructed. This could be the amount reserved under your concurrency management system, but may include other encumbrances.
4. **Consumptive Use Analysis**  
Designated mgd or mgy: Indicate which unit of measure is used. The figures may be cited in units of either million gallons per year (mgy) or million gallons per day (mgd), but you must be consistent throughout the worksheet.  
  
A. Current-year CUP allocation: Provide the annual groundwater withdrawal allowed under SFWMD-issued CUP for the current calendar year. If you receive water from another local government, enter the allocation established by agreement or by the secondary user CUP by SFWMD. It is important to consider the duration of the CUP and the CUP allocation in the last year of permit. If your CUP allocation is less in the final-year than in the current year, consider using the final year figure as a more conservative approach for planning purposes.

- B. Consumption in the previous calendar year: This figure may be taken from the EN-50 forms (SFWMD), from FDEP monthly operating reports, or from other acceptable documentation. Cite your source.
- C. Reserved capacity or growth projection: Enter an amount based on your reserved capacity or growth projection. Check which alternative you selected. Attach the calculation for the alternative selected.
- Reserved capacity: Enter the amount of potable water capacity currently encumbered for developments that are approved but not yet constructed. This could be the amount reserved under your concurrency management system, but may include other encumbrances. If your supplier provides water to other local governments, add the amount of the previous year's allocation that was not used.
- Growth projection: Enter the water use attributable to this year's growth and cite your data source(s). Sources for growth projections include the comprehensive land use plan, the CUP, the most current SFWMD water supply assessment, or the utility's water supply plan. If your supplier provides water to other local governments, include the amount of the previous year's allocation that was not used.
- D. Projected consumption: Attach a description of formulas, including figures and assumptions, used to derive this figure. This worksheet may be used to analyze individual amendments or multiple amendments. If using a single worksheet for multiple amendments, include the projected consumption for all amendments. If using more than one worksheet, provide a separate summary sheet with the cumulative total for all worksheets. The project consumption should be based on new growth attributable to the proposed amendment. If the proposed change is due to annexation, it is presumed to be new growth unless there are data and analysis that identify the annexation as existing development or as part of the growth projection entered on line C. If the annexation is presumed to be new growth, the projected consumption should be calculated based on the maximum development potential of the amendment area. If the proposed change is not due to annexation, calculate the difference in projected consumption based on the difference between the maximum development potential under the current designation and the proposed designation.
- E. Amount available for all other future uses: This line automatically calculates the amount available for all other future uses by subtracting lines B, C and D from A. If the amount in line E is zero or a negative number, explain how potable water will be made available for future development. For example a reuse system may be coming on line that will reduce per capita consumption of potable water.



# SOUTH FLORIDA WATER MANAGEMENT DISTRICT

## WATER USE LETTER MODIFICATION

**APPLICATION NUMBER:** 151223-14

**PERMIT NUMBER:** 43-02720-W

**DATE ISSUED:** December 29, 2015

**EXPIRATION DATE:** November 30, 2035

**PERMITTEE:** DAVID NEILL  
P O BOX 2547  
FORT PIERCE, FL 34954

**PROJECT NAME:** INDUSTRIAL WELLS

**PROJECT LOCATION:** MARTIN COUNTY, S18/T39S/R41E  
S13,14,23,24/T39S/R40E

District staff has reviewed the information submitted in support of the referenced application for permit modification(s) and determined that the proposed activities are in compliance with the previous permit and the appropriate provisions of Rule 40E-2.331 (4)(a), Florida Administrative Code. The permit modification(s) include the following:

Move the location of proposed well 5 approximately 1,300 feet north.

Please understand that your permit remains subject to the 22 Limiting Conditions and all other terms of the permit authorization as previously issued.

A handwritten signature in blue ink that reads "Thomas Colios".

Thomas Colios  
Section Leader  
Water Use Bureau

**SPECIAL PERMIT CONDITIONS**

1. This permit is issued to:  
DAVID NEILL  
P O BOX 2547  
FORT PIERCE, FL - 34954

2. This permit shall expire on November 30, 2035.

3. Use classification is:  
  
Industrial Water Supply

4. Source classification is:  
  
Groundwater from:  
Surficial Aquifer System

5. Allocation:

Total annual allocation is 1.82 million gallons (MG). (4,986 GPD)

Total maximum monthly allocation is 0.15 million gallons (MG).

These allocations represent the amount of water required to meet the water demands as a result of a rainfall deficit during a drought with the probability of recurring one year in ten. The Permittee shall not exceed these allocations in hydrologic conditions less than a 1-in-10 year drought event. Compliance with the annual allocation is based on the quantity withdrawn over a 12-month time period. Compliance with the maximum monthly allocation is based on the greatest quantity withdrawn in any single month. The annual allocation expressed in GPD or MGD is for informational purposes only.

If the rainfall deficit is more severe than that expected to recur once every ten years, the withdrawals shall not exceed that amount necessary to continue to meet the reasonable-beneficial demands under such conditions, provided no harm to the water resources occur and:

1. All other conditions of the permit are met; and
2. The withdrawal is otherwise consistent with applicable declared Water Shortage Orders in effect pursuant to Chapter 40E-21, F.A.C.

6. Withdrawal facilities:

Groundwater - Proposed:

5 - 2" X 100' X 50 GPM Wells Cased To 80 Feet

7. The Permittee shall submit all data as required by the implementation schedule for each of the permit conditions to: SFWMD at [www.sfwmd.gov/ePermitting](http://www.sfwmd.gov/ePermitting), or Regulatory Support, MSC 9611, P.O. Box 24680, West Palm Beach, FL 33416-4680.
8. The Permittee must submit the appropriate application form incorporated by reference in Rule 40E-2.101, F.A.C., to the District prior to the permit expiration date in order to continue the use of water.
9. The Permittee shall secure a well construction permit prior to construction, repair, or abandonment of all wells, as described in Chapter 40E-3, F.A.C.
10. If at any time there is an indication that the well casing, valves, or controls leak or have become inoperative, repairs or replacement shall be made to restore the system to an operating condition. Failure to make such repairs shall be cause for filling and abandoning the well, in accordance with procedures outlined in Chapter 40E-3, F.A.C.
11. The Permittee shall submit to the District an updated "Summary of Groundwater (Well) Facilities" table ("Section IV - Sources of Water", Water Use Permit Application Form 1379) within 90 days of completion of the proposed wells identifying the actual total and cased depths, pump manufacturer and model numbers, pump types, intake depths and type of meters.

### STANDARD PERMIT CONDITIONS

1. All water uses authorized by this permit shall be implemented as conditioned by this permit, including any documents incorporated by reference in a permit condition. The District may revoke this permit, in whole or in part, or take enforcement action, pursuant to Section 373.136 or 373.243, F.S., unless a permit modification has been obtained to address the noncompliance.

The Permittee shall immediately notify the District in writing of any previously submitted material information that is later discovered to be inaccurate.

2. The Permittee is advised that this permit does not relieve any person from the requirement to obtain all necessary federal, state, local and special district authorizations.
3. The Permittee shall notify the District in writing within 30 days of any sale, transfer, or conveyance of ownership or any other loss of permitted legal control of the Project and/or related facilities from which the permitted consumptive use is made. Where Permittee's control of the land subject to the permit was demonstrated through a lease, the Permittee must either submit a new or modified lease showing that it continues to have legal control or documentation showing a transfer in control of the permitted system/project to the new landowner or new lessee. All transfers of ownership are subject to the requirements of Rule 40E-1.6107, F.A.C. Alternatively, the Permittee may surrender the consumptive use permit to the District, thereby relinquishing the right to conduct any activities under the permit.
4. Nothing in this permit should be construed to limit the authority of the District to declare a water shortage and issue orders pursuant to Chapter 373, F.S. In the event of a declared water shortage, the Permittee must adhere to the water shortage restrictions, as specified by the District. The Permittee is advised that during a water shortage, reports shall be submitted as required by District rule or order. The Permittee is advised that during a water shortage, pumpage, water levels, and water quality data shall be collected and submitted as required by District orders issued pursuant to Chapter 40E-21, F.A.C.
5. This permit does not convey to the Permittee any property rights or privileges other than those specified herein, nor relieve the permittee from complying with any applicable local government, state, or federal law, rule, or ordinance.
6. With advance notice to the Permittee, District staff with proper identification shall have permission to enter, inspect, observe, collect samples, and take measurements of permitted facilities to determine compliance with the permit conditions and permitted plans and specifications. The Permittee shall either accompany District staff onto the

property or make provision for access onto the property.

7. A. The Permittee may seek modification of any term of an unexpired permit. The Permittee is advised that Section 373.239, F.S., and Rule 40E-2.331, F.A.C., are applicable to permit modifications.  
  
B. The Permittee shall notify the District in writing 30 days prior to any changes to the project that could potentially alter the reasonable demand reflected in the permitted allocation. Such changes include, but are not limited to, change in irrigated acreage, crop type, irrigation system, large users agreements, or water treatment method. Permittee will be required to apply for a modification of the permit for any changes in permitted allocation.
8. If any condition of the permit is violated, the permit shall be subject to review and modification, enforcement action, or revocation pursuant to Chapter 373, F.S.
9. The Permittee shall mitigate interference with existing legal uses that was caused in whole or in part by the Permittee's withdrawals, consistent with the approved mitigation plan. As necessary to offset the interference, mitigation will include pumpage reduction, replacement of the impacted individual's equipment, relocation of wells, change in withdrawal source, or other means.

Interference to an existing legal use is defined as an impact that occurs under hydrologic conditions equal to or less severe than a 1-in-10 year drought event that results in the:

- A. Inability to withdraw water consistent with provisions of the permit, such as when remedial structural or operational actions not materially authorized by existing permits must be taken to address the interference; or
  - B. Change in the quality of water pursuant to primary State Drinking Water Standards to the extent that the water can no longer be used for its authorized purpose, or such change is imminent.
10. The Permittee shall mitigate harm to the natural resources caused by the Permittee's withdrawals, as determined through reference to the conditions for permit issuance. When harm occurs, or is imminent, the District will require the Permittee to modify withdrawal rates or mitigate the harm. Harm, as determined through reference to the conditions for permit issuance includes:
    - A. Reduction in ground or surface water levels that results in harmful lateral movement

of the fresh water/salt water interface,

B. Reduction in water levels that harm the hydroperiod of wetlands,

C. Significant reduction in water levels or hydroperiod in a naturally occurring water body such as a lake or pond,

D. Harmful movement of contaminants in violation of state water quality standards, or

E. Harm to the natural system including damage to habitat for rare or endangered species.

11. The Permittee shall mitigate harm to existing off-site land uses caused by the Permittee's withdrawals, as determined through reference to the conditions for permit issuance. When harm occurs, or is imminent, the District will require the Permittee to modify withdrawal rates or mitigate the harm. Harm as determined through reference to the conditions for permit issuance, includes:

A. Significant reduction in water levels on the property to the extent that the designed function of the water body and related surface water management improvements are damaged, not including aesthetic values. The designed function of a water body is identified in the original permit or other governmental authorization issued for the construction of the water body. In cases where a permit was not required, the designed function shall be determined based on the purpose for the original construction of the water body (e.g. fill for construction, mining, drainage canal, etc.)

B. Damage to agriculture, including damage resulting from reduction in soil moisture resulting from consumptive use; or,

C. Land collapse or subsidence caused by reduction in water levels associated with consumptive use.

c: Div of Recreation and Park - District 5  
Martin County Board of County Commissioners  
Martin County Health Dept  
South Martin Regional Utility

## ADDRESSES

Div of Recreation and Park - District 5 - Ernest Cowan, FDEP  
Attn: - Ernest Cowan, FDEP  
13798 SE Federal Highway  
Hobe Sound FL 33455  
ernest.cowan@dep.state.fl.us

Martin County Board of County Commissioners  
Attn:  
PO Box 9000  
Stuart FL 34995-9000  
nvanvonno@martin.fl.us

Martin County Health Dept  
Attn: Well Construction  
3441 SE Willoughby Blvd  
Stuart FL 34994  
todd\_reinhold@doh.state.fl.us

South Martin Regional Utility  
Attn: Mario Loaiza, P.E.  
PO Box 395  
Hobe Sound FL 33475  
mloaiza@tji.martin.fl.us

## NOTICE OF RIGHTS

As required by Sections 120.569 and 120.60(3), Fla. Stat., the following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all of the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

### **RIGHT TO REQUEST ADMINISTRATIVE HEARING**

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on a SFWMD decision which affects or may affect their substantial interests shall file a petition for hearing with the Office of the District Clerk of the SFWMD, in accordance with the filing instructions set forth herein, within 21 days of receipt of written notice of the decision, unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Fla. Stat.; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, or posting that the SFWMD has or intends to take final agency action, or publication of notice that the SFWMD has or intends to take final agency action. Any person who receives written notice of a SFWMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action which materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional Rule 28-106.111, Fla. Admin. Code, point of entry.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Fla. Stat., shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The SFWMD may, for good cause, grant the request. Requests for extension of time must be filed with the SFWMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the SFWMD and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

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- Filings by mail must be addressed to the Office of the District Clerk, P.O. Box 24680, West Palm Beach, Florida 33416.

- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the SFWMD's security desk does not constitute filing. It will be necessary to request that the SFWMD's security officer contact the Office of the District Clerk. An employee of the SFWMD's Clerk's office will receive and file the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at [clerk@sfwmd.gov](mailto:clerk@sfwmd.gov). The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document. A party who files a document by e-mail shall (1) represent that the original physically signed document will be retained by that party for the duration of the proceeding and of any subsequent appeal or subsequent proceeding in that cause and that the party shall produce it upon the request of other parties; and (2) be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed.

### **INITIATION OF AN ADMINISTRATIVE HEARING**

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Fla. Stat., and Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the SFWMD in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

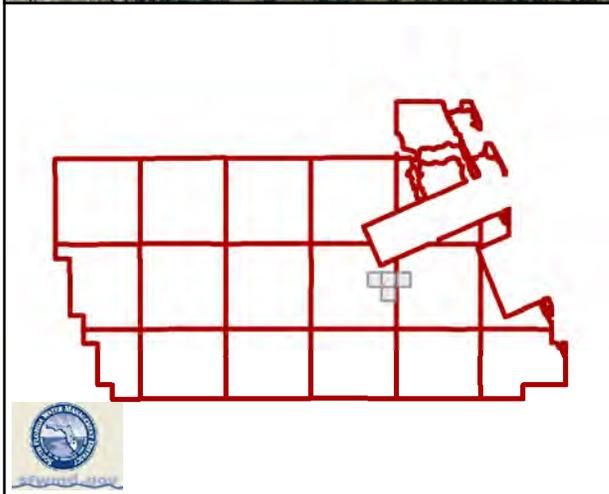
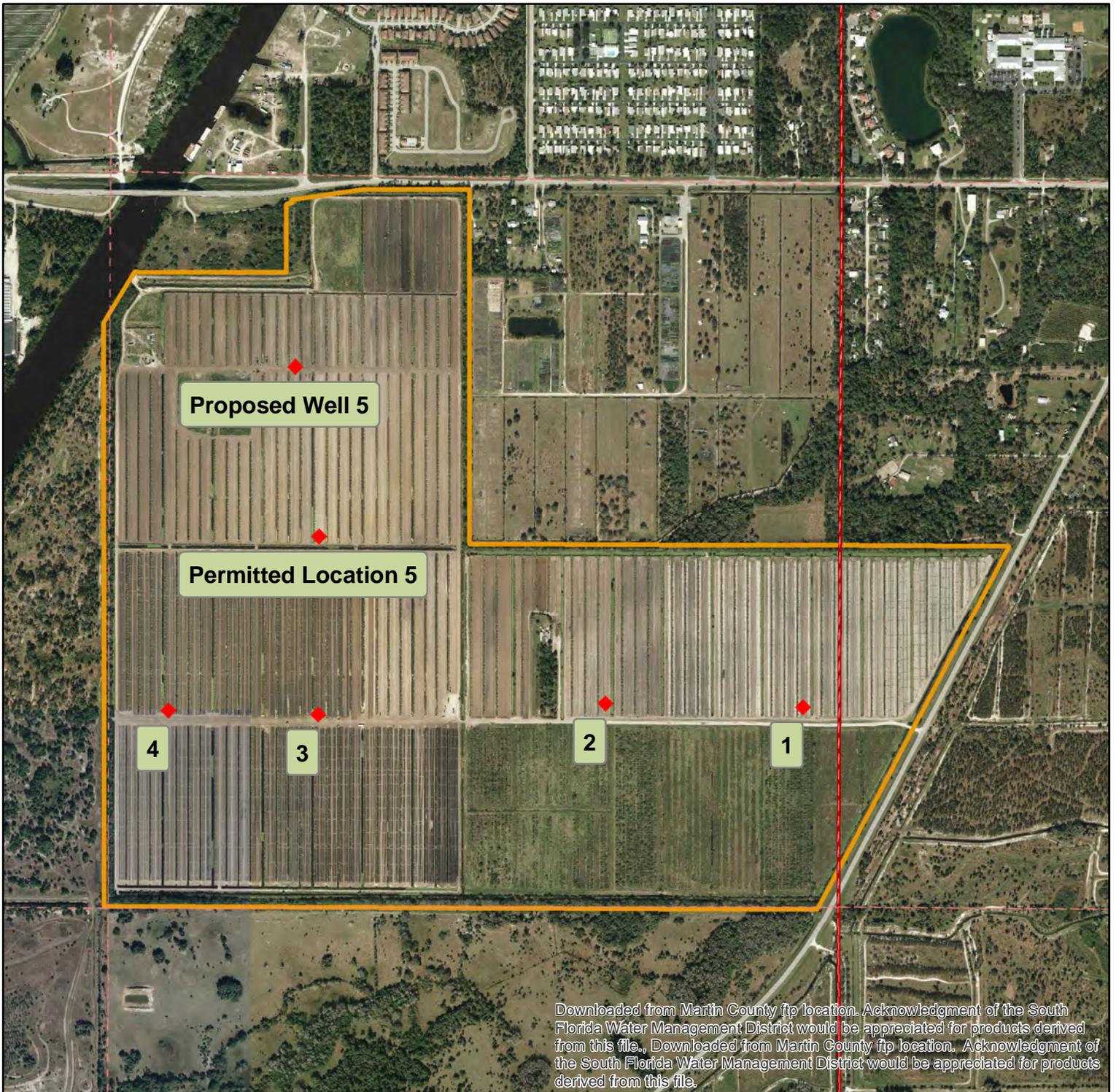
1. Identification of the action being contested, including the permit number, application number, SFWMD file number or any other SFWMD identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the SFWMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the SFWMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the SFWMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the SFWMD to take with respect to the SFWMD's proposed action.

### **MEDIATION**

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401–.405, Fla. Admin. Code. The SFWMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

### **RIGHT TO SEEK JUDICIAL REVIEW**

Pursuant to Section 120.68, Fla. Stat., and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal with the Office of the District Clerk of the SFWMD in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the clerk of the appropriate district court of appeal.



MARTIN COUNTY, FLORIDA

 Application

 WELL

Application No: 151223-14

Sec 13,14,23,24 / Twp 39 / Rge 40

Project Name: INDUSTRIAL WELLS

N



Map Date: 2015-12-28

Permit No: 43-02720-W

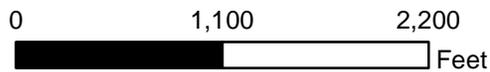


Exhibit No: 1



**TABLE - A**  
**Description Of Wells.**

**Application Number: 151223-14**

Well ID	272585	272586	272587	272588	272589	272887
<b>Name</b>	Well-1	Well-2	Well-3	Well-4	Well-5	5 - New Location
<b>Map Designator</b>	1	2	3	4	5	Proposed Well 5
<b>FLUWID Number</b>						
<b>Well Field</b>						
<b>Existing/Proposed</b>	P	P	P	P	A	P
<b>Well Diameter(Inches)</b>	2	2	2	2	2	2
<b>Total Depth(feet)</b>	100	100	100	100	100	100
<b>Cased Depth(feet)</b>	80	80	80	80	80	80
<b>Facility Elev. (ft. NGVD)</b>						
<b>Screened Interval</b>						
<b>From</b>						
<b>To</b>						
<b>Pumped Or Flowing</b>	P	P	P	P	P	P
<b>Pump Type</b>	Centrifugal	Centrifugal	Centrifugal	Centrifugal	Centrifugal	Centrifugal
<b>Pump Int. Elev. Feet (NGVD)</b>						
<b>Feet (BLS)</b>						
<b>Pump Capacity(GPM)</b>	50	50	50	50	50	50
<b>Year Drilled</b>						
<b>Planar Location</b>						
<b>Source</b>	APPLICANT	APPLICANT	APPLICANT	APPLICANT	APPLICANT	
<b>Feet East</b>	888037	886595	884494	883399	884499	884328
<b>Feet North</b>	998020	998045	997966	997994	999267	1000513
<b>Accounting Method</b>	None	None	None	None	None	None
<b>Use Status</b>	Primary	Primary	Primary	Primary	Proposed But Never Constructed	Primary
<b>Water Use Type</b>	Industrial	Industrial	Industrial	Industrial	Industrial	Industrial
<b>Aquifer</b>	Surficial Aquifer System	Surficial Aquifer System				



**WATER USE  
LETTER MODIFICATION**

**APPLICATION NUMBER:** 220217-7                      **PERMIT NUMBER:** 43-00090-W  
**DATE ISSUED:** March 7, 2022                      **EXPIRATION DATE:** July 9, 2029  
**PERMITTEE:** K L WATERSIDE L L C  
701 S. OLIVE AVENUE, SUITE 104  
WEST PALM BEACH, FL 33401  
**PROJECT NAME:** K L WATERSIDE  
**PROJECT LOCATION:** MARTIN COUNTY, S13/T39S/R40E  
S18/T39S/R41E

District staff has reviewed the information submitted in support of the referenced application for permit modification(s) and determined that the proposed activities are in compliance with the previous permit and the appropriate provisions of Rule 40E-2.331 (4)(a), Florida Administrative Code. The permit modification(s) include the following

- 1) A reduction in total Project acreage from 400 to 325 acres;
- 2) A reduction of irrigated acres from 400 to 298.93;
- 3) A decrease in monthly and annual allocations from 76.02 million gallons (MG) to 67.04 MG, and 455 MG to 436.80 MG, respectively. Additionally, the updated allocation includes a decrease in freeze protection allocation from 17.9 MG to 17.63 MG; and
- 4) The crop planting schedule was updated to reflect updated planting from 2 plantings per year to 3 plantings per year.

Within six months of permit issuance, the Permittee shall plug and abandon the following wells in accordance with Chapter 40E-3, F.A.C.: Well M-740 (MF-10) (well id: 229754)

Limiting Conditions and Limiting Condition Requirements were updated to remove reporting and calibration requirements for Well M-740 (MF-10).

Please understand that your permit remains subject to the 21 Limiting Conditions and all other terms of the permit authorization as previously issued.

A handwritten signature in blue ink that reads "Alberto J. Naya".

---

Alberto J. Naya, P.G.  
Section Leader  
Water Use Bureau

**LIMITING CONDITIONS**

1. This permit shall expire on July 9, 2029.
2. Application for a permit modification may be made at any time.
3. Water use classification:  
Agricultural Irrigation
4. Source classification is:  
Groundwater from:  
Upper Floridan Aquifer  
  
Surface Water from:  
SFWMD Canal (C-44)
5. Total annual allocation is 436.80 million gallons (MG). (1.20 MGD)

Total maximum monthly allocation is 67.04 million gallons (MG).

These allocations represent the amount of water required to meet the water demands as a result of rainfall deficit during a drought with the probability of recurring one year in ten. The Permittee shall not exceed these allocations in hydrologic conditions less than a 1 in 10 year drought event. If the rainfall deficit is more severe than that expected to recur once every ten years, the withdrawals shall not exceed that amount necessary to continue to meet the reasonable-beneficial demands under such conditions, provided no harm to the water resources occur and:

(A) All other conditions of the permit are met; and

(B) The withdrawal is otherwise consistent with applicable declared Water Shortage Orders in effect pursuant to Chapter 40E-21, F.A.C.

6. Pursuant to Rule 40E-1.6105, F.A.C., Notification of Transfer of Interest in Real Property, within 30 days of any transfer of interest or control of the real property at which any permitted facility, system, consumptive use, or activity is located, the permittee must notify the District, in writing, of the transfer giving the name and address of the new owner or person in control and providing a copy of the instrument effectuating the transfer, as set forth in Rule 40E-1.6107, F.A.C.

Pursuant to Rule 40E-1.6107 (4), until transfer is approved by the District, the permittee shall be liable for compliance with the permit. The permittee transferring the permit shall remain liable for all actions that are required as well as all violations of the permit which occurred prior to the transfer of the permit.

Failure to comply with this or any other condition of this permit constitutes a violation and pursuant to Rule 40E-1.609, Suspension, Revocation and Modification of Permits, the District may suspend or revoke the permit.

This Permit is issued to:

K L WATERSIDE LLC  
701 S. OLIVE AVENUE, SUITE 104  
WEST PALM BEACH, FL 33401

7. Withdrawal facilities:

Groundwater - Existing:

- 1 - 4" X 890' X 200 GPM Well Cased To 500 Feet
- 1 - 4" X 200 GPM Well With Unknown Total And Cased Depth

Surface Water - Existing:

- 1 - 18" x 40 HP X 10000 GPM Axial Flow Pump
- 1 - 10" x 125 HP X 1840 GPM Centrifugal Pump

8. Permittee shall mitigate interference with existing legal uses that was caused in whole or in part by the permittee's withdrawals, consistent with the approved mitigation plan. As necessary to offset the interference, mitigation will include pumpage reduction, replacement of the impacted individual's equipment, relocation of wells, change in withdrawal source, or other means.

Interference to an existing legal use is defined as an impact that occurs under hydrologic conditions equal to or less severe than a 1 in 10 year drought event that results in the:

(A) Inability to withdraw water consistent with provisions of the permit, such as when remedial structural or operational actions not materially authorized by existing permits must be taken to address the interference; or

(B) Change in the quality of water pursuant to primary State Drinking Water Standards to the extent that the water can no longer be used for its authorized purpose, or such change is imminent.

9. Permittee shall mitigate harm to existing off-site land uses caused by the permittee's withdrawals, as determined through reference to the conditions for permit issuance. When harm occurs, or is imminent, the District will require the permittee to modify withdrawal rates or mitigate the harm. Harm caused by withdrawals, as determined through reference to the conditions for permit issuance, includes:

(A) Significant reduction in water levels on the property to the extent that the designed function of the water body and related surface water management improvements are damaged, not including aesthetic values. The designed function of a water body is identified in the original permit or other governmental authorization issued for the construction of the water body. In cases where a permit was not required, the designed function shall be determined based on the purpose for the original construction of the water body (e.g. fill for construction, mining, drainage canal, etc.)

(B) Damage to agriculture, including damage resulting from reduction in soil moisture resulting from consumptive use; or

(C) Land collapse or subsidence caused by reduction in water levels associated with consumptive use.

10. Permittee shall mitigate harm to the natural resources caused by the permittee's withdrawals, as determined through reference to the conditions for permit issuance. When harm occurs, or is imminent, the District will require the permittee to modify withdrawal rates or mitigate the harm. Harm, as determined through reference to the conditions for permit issuance includes:

(A) Reduction in ground or surface water levels that results in harmful lateral movement of the fresh water/salt water interface,

(B) Reduction in water levels that harm the hydroperiod of wetlands,

(C) Significant reduction in water levels or hydroperiod in a naturally occurring water body such as a lake or pond,

(D) Harmful movement of contaminants in violation of state water quality standards, or

(E) Harm to the natural system including damage to habitat for rare or endangered species.

11. If any condition of the permit is violated, the permit shall be subject to review and possible modification, enforcement action, or revocation.
12. Authorized representatives of the District, with advance notice to the permittee, shall be permitted to enter, inspect, and observe the permitted system to determine compliance with permit conditions.
13. The Permittee is advised that this permit does not relieve any person from the requirement to obtain all necessary federal, state, local and special district authorizations.
14. The permit does not convey any property right to the Permittee, nor any rights and privileges other than those specified in the Permit and Chapter 40E-2, Florida Administrative Code.
15. Permittee shall submit all data as required by the implementation schedule for each of the limiting conditions to: SFWMD at [www.sfwmd.gov/ePermitting](http://www.sfwmd.gov/ePermitting), or Regulatory Support, 3301 Gun Club Road, West Palm Beach, FL 33406.
16. In the event of a declared water shortage, water withdrawal reductions will be ordered by the District in accordance with the Water Shortage Plan, Chapter 40E-21, F.A.C. The Permittee is advised that during a water shortage, pumpage reports shall be submitted as required by Chapter 40E-21, F.A.C.
17. Prior to the use of any proposed water withdrawal facility authorized under this permit, unless otherwise specified, the Permittee shall equip each facility with a District-approved operating water use accounting system and submit a report of calibration to the District, pursuant to Section 4.1, Basis of Review for Water Use Permit Applications.

In addition, the Permittee shall submit a report of recalibration for the water use accounting system for each water withdrawal facility (existing and proposed) authorized under this permit every five years from each previous calibration, continuing at five-year increments.

18. Monthly withdrawals for each withdrawal facility shall be submitted to the District

quarterly. The water accounting method and means of calibration shall be stated on each report.

19. Permittee shall submit to the District a well survey that shall include the following: well cased depth, well total depth, and chloride ion concentration of the water in wells not having this information that are listed in the Well Description Table (Table A). This survey shall be submitted within six months of permit issuance.  
.
20. If at any time there is an indication that the well casing, valves, or controls leak or have become inoperative, repairs or replacement shall be made to restore the system to an operating condition. Failure to make such repairs shall be cause for filling and abandoning the well, in accordance with procedures outlined in Chapter 40E-3, Florida Administrative Code.
21. Every ten years from the date of permit issuance the permittee shall submit a water use compliance report for review and approval by District Staff, which addresses the following:
  - (A) The results of an on-site irrigation efficiency evaluation that estimates the efficient use of water on the project site, based on the method of irrigation that was permitted. Based on the evaluation, the permittee shall identify and implement specific actions to achieve the efficient use of water for the duration of the permit. In the event that based on the onsite irrigation efficiency evaluation an additional water allocation may be necessary, the permittee shall apply for a modification of the permit if the permittee intends to utilize an additional allocation, or modify its operation to comply with the existing conditions of the permit.
  - (B) A comparison of the permitted allocation and the allocation that would apply to the project based on current District allocation rules. In the event the permit allocation is greater than the allocation provided for under District rule, the permittee shall apply for a letter modification to reduce the allocation consistent with District rules. In the event that the permit allocation is less than allowable under District rule, the permittee shall apply for a modification of the permit to increase the allocation if the permittee intends to utilize an additional allocation, or modify its operation to comply with the existing conditions of the permit.

## **NOTICE OF RIGHTS**

As required by Chapter 120, Florida Statutes, the following provides notice of the opportunities which may be available for administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes, or judicial review pursuant to Section 120.68, Florida Statutes, when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Some of the legal proceedings detailed below may not be applicable or appropriate for your situation. You may wish to consult an attorney regarding your legal rights.

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### **INITIATION OF AN ADMINISTRATIVE HEARING**

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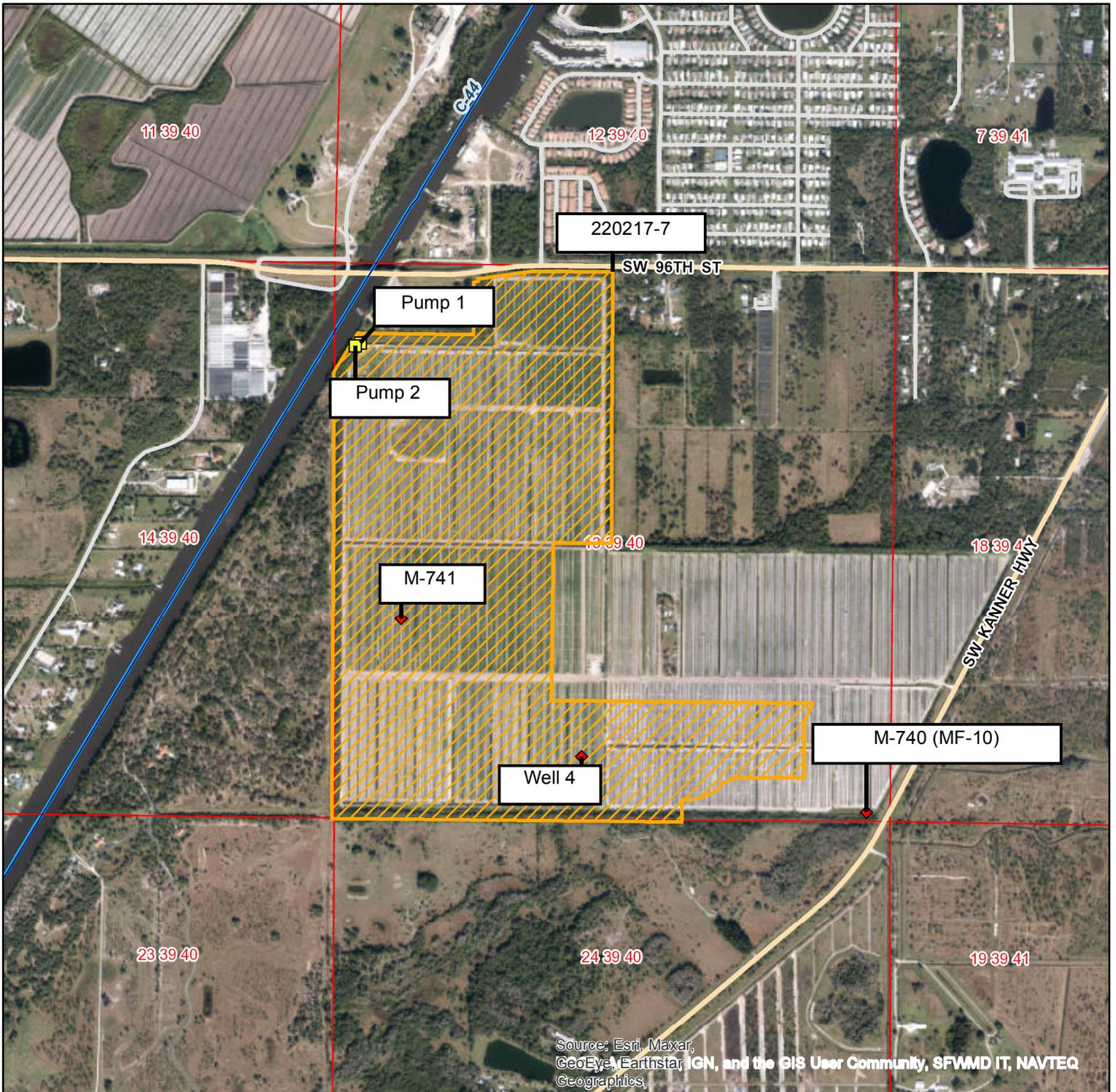
1. Identification of the action being contested, including the permit number, application number, District file number or any other District identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner, petitioner's attorney or qualified representative, if any.
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4. A statement of when and how the petitioner received notice of the District's decision.
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6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the District's proposed action.
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The procedures for pursuing mediation are set forth in Section 120.573, Florida Statutes, and Rules 28-106.111 and 28-106.401–405, Florida Administrative Code. The District is not proposing mediation for this agency action under Section 120.573, Florida Statutes, at this time.

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Source: Esri, Maxar, GeoEye, Earthstar, IGN, and the GIS User Community, SFWMD IT, NAVTEQ Geographics.

MARTIN COUNTY, FLORIDA

N



Map Date: 2022-03-03

-  Pump
-  Well
-  Application

Application No: 220217-7  
 Permit No: 43-00090-W  
 Sec 18 / Twp 39 / Rge 41  
 Project Name: K L WATERSIDE

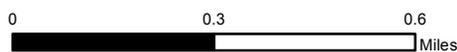
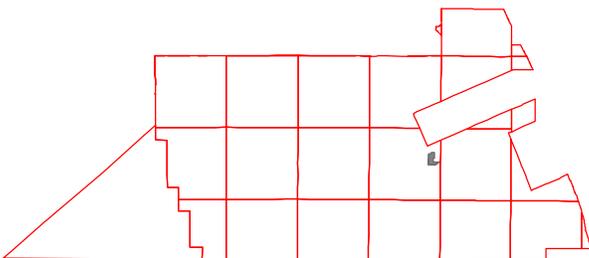


Exhibit No: 1



**TABLE - A**  
**Description Of Wells.**

**Application Number: 220217-7**

Well ID	229595	229754	230171
<b>Name</b>	4	5	6
<b>Map Designator</b>	Well 4	M-740 (MF-10)	M-741
<b>FLUWID Number</b>			
<b>Well Field</b>			
<b>Existing/Proposed</b>	E	E	E
<b>Well Diameter(Inches)</b>	4	4	4
<b>Total Depth(feet)</b>		993	890
<b>Cased Depth(feet)</b>		474	500
<b>Facility Elev. (ft. NGVD)</b>			
<b>Screened Interval</b>			
<b>From</b>			
<b>To</b>			
<b>Pumped Or Flowing</b>	F	F	F
<b>Pump Type</b>	None	None	None
<b>Pump Int. Elev. Feet (NGVD)</b>			
<b>Feet (BLS)</b>			
<b>Pump Capacity(GPM)</b>	200	0	200
<b>Year Drilled</b>			
<b>Planar Location</b>			
<b>Source</b>			
<b>Feet East</b>	885325	888070	883583
<b>Feet North</b>	997170	996650	998480
<b>Accounting Method</b>	None	None	None
<b>Use Status</b>	Standby	To be Plugged and Abandoned	Standby
<b>Water Use Type</b>	Freeze Protection	Freeze Protection	Freeze Protection
<b>Aquifer</b>	Upper Floridan Aquifer	Upper Floridan Aquifer	Upper Floridan Aquifer

**TABLE - B**  
**Description Of Surface Water Pumps**

**Application Number: 220217-7**

---

<b>Pump ID</b>	113001	113002
<b>Name</b>	P1-main	P2-drip
<b>Map Designator</b>	Pump 1	Pump 2
<b>Facility Group</b>		
<b>Existing/Proposed</b>	E	E
<b>Pump Type</b>	Axial Flow	Centrifugal
<b>Diameter(Inches)</b>	18	10
<b>Pump Capacity(GPM)</b>	10,000	1,840
<b>Pump Horse Power</b>	40	125
<b>Two Way Pump ?</b>	N	N
<b>Elevation (ft. NGVD)</b>	12	12
<b>Planar Location</b>		
<b>Source</b>	DIGITIZED	DIGITIZED
<b>Feet East</b>	883178	883127
<b>Feet North</b>	1001116	1001089
<b>Accounting Method</b>	Time Clock	Flow Meter
<b>Use Status</b>	Primary	Primary
<b>Water Use Type</b>	Irrigation	Irrigation
<b>Surface Water Body</b>	SFWMD Canal (C-44)	SFWMD Canal (C-44)



## Requirement by Permit Condition Report

**App No:** 220217-7

**Permit No:** 43-00090-W

**Project Name:** K L WATERSIDE

<b>Permit Condition No:</b>	<b>Permit Condition Code:</b>			
<b>Facility Name</b>	<b>Requirement Name</b>	<b>Col Freq</b>	<b>Sub Freq</b>	<b>Due Date</b>
17	<u>WUSTD021-8</u>			
PUMP - P1-main	Calibration report for Pump 1-main	Every Five Years	Every Five Years	30-NOV-2026
PUMP - P2-drip	Calibration report for Pump 2-drip	Every Five Years	Every Five Years	30-NOV-2026
WELL - 4	Calibration report for Well 4	Every Five Years	Every Five Years	31-AUG-2022
WELL - 6	Calibration report for Well 6	Every Five Years	Every Five Years	31-AUG-2022
18	<u>WUSTD022-1</u>			
PUMP - P1-main	Monthly withdrawal for PUMP P1-main	Monthly	Quarterly	31-JUL-2022
PUMP - P2-drip	Monthly withdrawal for PUMP P2-drip	Monthly	Quarterly	31-JUL-2022
WELL - 4	Monthly withdrawal for Well 4	Monthly	Quarterly	31-JUL-2022
WELL - 6	Monthly withdrawal for Well 6	Monthly	Quarterly	31-JUL-2022
21	<u>WUIRR006-2</u>			
PERMIT	Ten-Year Compliance Report for PERMIT	Every Ten Years	Every Ten Years	30-JUN-2029

# STAFF REPORT DISTRIBUTION LIST

K L WATERSIDE

**Application No:** 220217-7

**Permit No:** 43-00090-W

## INTERNAL DISTRIBUTION

- X Alberto Naya, P.G.
- X Courtney Priddy

## EXTERNAL DISTRIBUTION

- X Permittee - K L Waterside L L C
- X Agent - Osborn Engineering
- X Engr Consultant - Osborn Engineering

## GOVERNMENT AGENCIES

- X Div of Recreation and Park - District 5
- X Martin County Board of County Commission
- X Martin County Health Dept
- X South Martin Regional Utility Town of Jupiter Island

Exhibit No:6



**MARTIN COUNTY**  
**BOARD OF COUNTY COMMISSIONERS**  
**UTILITIES & SOLID WASTE DEPARTMENT**  
**PO Box 9000 Stuart, FL 34995-9000**

**DOUG SMITH** Commissioner, District 1  
**STACEY HETHERINGTON** Commissioner, District 2  
**HAROLD E. JENKINS II** Commissioner, District 3  
**SARAH HEARD** Commissioner, District 4  
**EDWARD V. CIAMPI** Commissioner, District 5

**DON G. DONALDSON, P.E.** County Administrator  
**SARAH W. WOODS** County Attorney

**TELEPHONE** (772) 288-5400  
**WEBSITE** [www.martin.fl.us](http://www.martin.fl.us)

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March 6, 2023

Rafael A Botero  
Kimley-Horn and Associates Inc  
1615 S Congress Ave, Ste 201  
Delray Beach FL 33445

Re: Kolter Residential  
PCN # 13-39-40-000-003-00000-1  
Potable Water and Wastewater Service Capacity

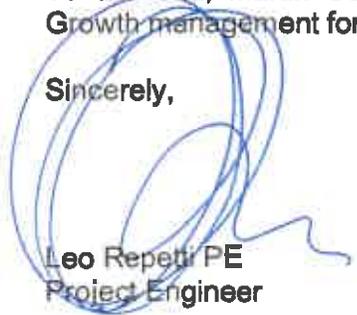
Dear Mr Botero:

This will confirm that Martin County Utilities has adequate capacity to provide wastewater service to the above property. It is the developer's responsibility to construct required wastewater infrastructure to and internal to the project. The county will provide service subject to execution of a service agreement and payment of appropriate fees and charges.

As this project is outside our current service boundary and master plan build out, Martin County Utilities will need to evaluate raw water capacity in order to provide finished water for this project. In addition to customary capital facility charges, the developer may be required to offset impacts through providing well sites, wells, raw water transmission mains, and / or treatment components. The scope and proportionate share of developer contribution will not be known until the well field study, which is currently underway, has been completed.

To this end, Martin County Utilities has no objection to submitting required applications to Growth management for the overall project.

Sincerely,



Leo Repetti PE  
Project Engineer

LR/sk

**Kanner/96<sup>th</sup> Street Investments LLC  
Comprehensive Growth Management Plan  
Text Amendment  
Policy 4.1B.2**

**April 3, 2023**

(Proposed text revisions are ~~struck-through~~ or underlined for clarity)

*Policy 4.1B.2. Analysis of availability of public facilities.* All requests for amendments to the FLUMs shall include a general analysis of (1) the availability and adequacy of public facilities and (2) the level of services required for public facilities in the proposed land uses. This analysis shall address, at a minimum, the availability of category A and category C service facilities as defined in the Capital Improvements Element. No amendment shall be approved unless present or planned public facilities and services will be capable of meeting the adopted LOS standards of this Plan for the proposed land uses. The Capital Improvements Element or other relevant plan provisions and the FLUMs may be amended concurrently to satisfy this criterion. The intent of this provision is to ensure that the elements of the CGMP remain internally consistent.

Compliance with this provision is in addition to, not in lieu of, compliance with the provisions of Martin County's Concurrency Management System. When a map amendment is granted under this provision, it does not confer any vested rights and will not stop the County from denying subsequent requests for development orders based on the application of a concurrency review at the time such orders are sought.

Martin County may adopt sub-area development restrictions for a particular site where public facilities and services, such as arterial and collector roads, regional water supply, regional wastewater treatment/disposal, surface water management, solid waste collection/disposal, parks and recreational facilities, and schools, are constrained and incapable of meeting the needs of the site if developed to the fullest capacity allowed under Goal 4.13 of this Growth Management Plan. The master or final site plan for a site that is subject to such sub-area development restrictions shall specify the maximum amount and type of development allowed. Sub-area development restrictions apply to the following sites:

(?) The following restrictions shall be applied to the tract of real property designated as Low Density Residential on the Future Land Use Map and described in Ordinance No. ?????.

(a) Residential units shall be limited to a maximum of 1,000 units.

(b) A monetary contribution of \$1000 per residential unit shall be donated to the Martin County Community Land Trust to address variable housing needs throughout the County:

(c) All future applications for development approval shall be processed as a Planned Unit Development (PUD).

## Comprehensive Plan Text Amendment (PUSD)

**APPLICATION DESCRIPTION / JUSTIFICATION****1.0 Comprehensive Growth Management Plan Text Amendment**

The proposed text amendment applicable to the subject property has two components:

- 1.1 Chapter 4 - Policy 4.1B.2. Analysis of availability of public facilities, Subsection 2 (Sub-area development restriction); and
- 1.2 Chapter 4 - Policy 4.7A.7. Allowed alterations to the Primary Urban Service District, Figure 4.2 (Urban Services District Map) and Chapter 11 - Martin County Utility Service Areas (Figures 11-1 and 11-2). The expansion of the Primary Urban Service District (Figure 4-2) includes the area within FLUM CPA 21-12 (369.89 ac) and the conversion of the adjacent Free-Standing Urban Service District, which includes the existing South Florida Gateway PUD (184.11 ac), the existing Martin County Operations Center (29.98 ac) and the pending 2nd PUD Amendment to the South Florida Gateway PUD / FLUM CPA 22-12 (60.47 ac) for a total area of 644.45 acres.

**2.0 Analysis of Comprehensive Growth Management Plan Text Amendment Criteria.**

The proposed addition to Policy 4.1B.2 is specifically identified below. Proposed language to be added is underlined. The *italicized* text is actual language from the CGMP. Justification for the proposed change and applicant's responses are provided within the "boxed-in" sections that follow. Highlighted portions of existing CGMP policy language have been added for emphasis and relevance to the property to be included in the expanded Primary Urban Service District.

**2.1 Policy 4.1B.2**

(?) The following restrictions shall be applied to the tract of real property designated as Low Density Residential on the Future Land Use Map and described in Ordinance No. ?????.

(a) Residential units shall be limited to a maximum of 1,000 units.

(b) A monetary contribution of \$1,000 per residential unit shall be donated to the Martin County Community Land Trust to address variable housing needs throughout the County:

(c) All future applications for development approval shall be processed as a Planned Unit Development (PUD).

*Policy 4.1B.2.* allows Martin County to adopt sub-area development restrictions for a particular site where public facilities and services, such as arterial and collector roads, regional water supply, regional wastewater treatment/disposal, surface water management, solid waste collection/disposal, parks and recreational facilities, and schools, are constrained and incapable of meeting the needs of the site if developed to the fullest capacity (i.e. maximum allowable density and intensity) allowed under Goal 4.13 of this Growth Management Plan. The master or final site plan for a site that is subject to such sub-area development restrictions shall specify the maximum amount and type of development allowed. Compliance with this provision is in addition to, not in lieu of, compliance with the provisions of Martin County's Concurrency Management System. When a map amendment is granted under this provision, it does not

## Comprehensive Plan Text Amendment (PUSD)

confer any vested rights and will not stop the County from denying subsequent requests for development orders based on the application of a concurrency review at the time such orders are sought.

The proposed revised text is designed to be consistent with the maximum allowable intensity already allowed while allowing residential development opportunities to meet current and future housing needs, and to attract industries that desire a nearby housing supply.

## 2.2 Policy 4.7A.7 (Figure 4.2, Figure 11-1, Figure 11-2)

Documentation of compliance with Policy 4.7A.7. is necessary to expand the Primary Urban Service District (PUSD) boundary and amend Figure 4.2 (Urban Service District Map) and Figures 11-1 and 11-2 (Martin County Utility Service Areas) to accommodate the proposed expansion of the Low Density residential future land use (CPA 21-12) south of SW 96<sup>th</sup> Street, west of the existing industrial land use. The PUSD expansion also includes the conversion of the existing Free-Standing Urban Service District that supports the South Florida Gateway PUD and the Martin County's Operations Center.

The following CGMP policies provide the criteria for the expansion of the Primary Urban Service District boundary:

*Policy 4.7A.7. Allowed alterations to the Primary Urban Service District boundary. The Primary Urban Service District boundaries delineated on Figure 4-2 (Urban Services District Boundary Map) are intended to separate urban from nonurban areas. The land uses and intensity of development permitted in the Primary Urban Service District and development in the district must have all public facilities and services at adopted LOS standards. Therefore, during consideration of any expansion, creation or contraction of these boundaries through the plan amendment process, the Board of County Commissioners must find that the requested alteration to the Primary Urban Service District boundary will:*

**(1) Not create any internal inconsistency with other elements of the adopted CGMP;**

The proposed expansion of the Primary Urban Service District is necessary to comply with policies that require adequate lands to meet the future needs of the population. It is consistent with the County's Analysis of Public Facilities, Residential Demand Analysis and the Residential Capacity and Vacant Land Analysis reports issued by the County Growth Management Department and presented to the Board of County Commissioners on February 13, 2018. During the presentation the Board of County Commissioners acknowledged suitable land in the existing PUSD may not exist for the 15-year planning period and directed staff to conduct a planning analysis to identify various options to address the need for additional residential capacity including the expansion of the PUSD. The proposed expansion of the Primary Urban Service District is necessary to address the current deficit in vacant land designated for Low Density residential future land use. The expansion in this area meets the existing and future demand for housing and allows greater opportunity to attract desirable industries.

## Comprehensive Plan Text Amendment (PUSD)

***(2) Not result in incompatibilities with adjacent land uses;***

The expansion of urban land use, i.e. Low Density residential, in close proximity to the existing Industrial land use along the Kanner Highway frontage creates compatibility with the residential uses along SW 96<sup>th</sup> Street. The properties adjacent to the expansion of the Primary Urban Service District are mostly vacant lands and single-family ranches that are already adjacent to urban uses within the Primary Urban Service District (PUSD) including developed commercial properties at the intersection of 96<sup>th</sup> Street and Kanner Highway (SR 76), residential and institutional uses along the frontage of SW 96<sup>th</sup> Street and waterfront/industrial uses along the St. Lucie Canal. Therefore, the proposed expansion of the PUSD does not result in incompatibilities with adjacent land uses and complies with criteria (2).

***(3) Not adversely impact environmental, natural, historical or archaeological resources, features or systems to a degree that is inconsistent with this Plan;***

The area to be included in the PUSD is ideally suited for inclusion because the land has already been impacted by agricultural activities that have eliminated native habitats and native plant communities. Further, it does not contain and is not adjacent to environmentally sensitive areas, or in an area that is known to, or has any physical attributes, to support archaeological or cultural resources. Lastly, the inclusion of these lands in the PUSD will increase the water quality and decrease the quantity of stormwater allowed to be discharged into the St. Lucie Canal. It will also reduce the negative impacts of septic tank systems by providing the opportunity for existing and proposed development to connect to Martin County Utilities for potable water and wastewater treatment. Therefore, the proposed expansion of the PUSD complies with criteria (3).

***(4) Be consistent with Goal 4.9 relating to appropriate residential land use capacities;***

As documented in the FLUM amendment application, the County's inventory of Low Density residential land use is severely limited and cannot support the range of housing needed for various levels of income as required by forecasts of future population growth for the 10 and 15-year growth horizon. (See analysis of Goal 4.9 in Section 2.3 below.)

***(5) Demonstrate that reasonable capacity does not exist on suitable land in the existing Primary Urban Service District for the 15-year planning period. For the purpose of this subsection, "reasonable" means available for development from the standpoint of environmental concerns, efficient use and expansion of public facilities and services, or availability of development sites in relationship to the projected needs of the population;***

Based on the findings of the February 13, 2018 Residential Capacity and Vacant Land Analysis completed by the Martin County Growth Management Department, the County Growth Management staff conducted a "Residential Capacity Expansion Analysis" and presented a draft report to the Board of County Commissioners on February 26, 2019. Page 7 of the report provided updated capacity data that considered the approval of the Pineland Prairie Mixed Use Village (MUV) future land use category that was adopted by

## Comprehensive Plan Text Amendment (PUSD)

the Board of County Commissioners in August, 2018. The Pineland Prairie MUV land use category is a site-specific land use designation (under single ownership at the time of adoption) that allows up to 4,200 residential units subject to public land donations, construction of public and private infrastructure and compliance with performance standards, comprehensive plan policies and land development codes specific to proposed development within the Pineland Prairie MUV land use. These adopted policies and performance must be followed to ensure the implementation of mixed-use design principles and the availability of public facilities and services concurrent with development impacts.

With this consideration, the staff's conclusions and recommendation in the draft Residential Capacity Expansion Analysis report including the following:

**"...Expanding residential capacity to meet the future population growth does not need to occur as quickly as indicated in February 2018. However, given the density transition policies, infrastructure needs and environmental challenges, the need for more capacity could arise sooner than projected.**

**Staff would recommend that the Board continue consideration of Future Land Use Map amendments inside the PUSD. When considering plan amendments that propose expanding the PUSD, give consideration to those amendments that provide a balance of uses that foster vibrant, viable communities and economic development opportunities and address outdated development patterns."**

After considering the findings in the report and staff's comments regarding technical concerns with the current methodology in the Comprehensive Plan for estimating population projections and calculating housing supply, the County Commission voted 4-1 at their meeting on February 26, 2019 to...

**"ask staff to utilize all of the resources available to them to come back with best management practices to come up with a methodology that is the most appropriate and accurate, that accurately describes the properties that are legitimately buildable in our community (restated: to ask staff to come back, after they've done their research on what they feel is the most appropriate methodology incorporating best management practices, so that we have the most accurate count of what is genuinely a buildable lot."**

Since the 2019 action was taken by the County Commission, a new methodology for calculating residential capacity has not been adopted or proposed. In the past 4 years, the few remaining buildable infill parcels within the urban service districts have been developed and parcels or lots that are not otherwise buildable continue to be counted as future supply. And, in spite of a residential construction boom that has consumed the remaining infill parcels in Martin County, no residential units have been constructed and no infrastructure to support urban development has commenced in the Pineland Prairie MUV future land use category since it was adopted in 2018.

For these reasons, the applicant engaged GAI Consultants' Community Solutions Group (CSG) to prepare an updated Residential Capacity Analysis consistent with the Board of County Commissioners direction to staff to incorporate best management practices and

## Comprehensive Plan Text Amendment (PUSD)

appropriate methodology. The report is based on sound and professionally acceptable planning principles and adopted State and Regional Comprehensive Planning methodology and guidelines. (See enclosed "Section 163.3177 Analysis") The report also details the technical deficiencies of the County's existing methodology.

The report specifically analyzes the County's current methodology and identifies why the methodology is flawed or limited by the improper use of data and assumptions. The CSG report provides an accurate account of existing housing supply, future population projections and future housing needs as required by Comprehensive Plan Policy 4.1D.5. and Policy 4.1D.6.

The CSG report concludes that the County does not have adequate supply in the 10- or 15-year planning horizon to meet the increasing demand for housing within the primary or secondary urban service districts. It provides substantial expert evidence supporting the future land use map amendment and the request to expand the Primary Urban Service District. Therefore, it complies with criteria (5).

- (6) Demonstrate that the land affected is suitable for urban uses; at a minimum, unsuitable uses include environmentally sensitive areas (to the degree they are protected by this Plan), prime agricultural areas, prime groundwater recharge areas and critical habitat for endangered or threatened species. This criterion is not intended to preclude development of surrounding lands provided that the unsuitable areas are fully protected;**

The area to be included in the PUSD is ideally suited for inclusion because it has already been impacted by agricultural activities that have eliminated native upland and wetland habitats, plant communities and natural hydrology. It is not considered prime agricultural lands and contains no prime groundwater recharge areas. Further, the subject area does not contain, and is not adjacent to, environmentally sensitive areas or critical habitat that support endangered or threatened species. Therefore, it complies with criteria (6).

- (7) Demonstrate that the full range of urban public facilities and services can be economically and efficiently supplied at the adopted LOS standards; and**

All mandatory public facilities and services are currently in place or planned to be available when development occurs. The following documents are included in the application to substantiate these findings:

County's Analysis of Public Facilities presented to the Board of County Commissioners on February 13, 2018;

Water and Sewer Availability Worksheet prepared by Kimley-Horn and Associates in coordination with the Martin County Utilities Department;

Traffic Study prepared by Susan O'Rourke, P.E.; and

School Impact Worksheet prepared by Lucido & Associates

Therefore, it complies with criteria (7).

- (8) Be consistent with the adopted Capital Improvements Element.**

## Comprehensive Plan Text Amendment (PUSD)

No changes to the 5-year Capital Improvements Element (CIE) are anticipated in the short term but annual monitoring of actual development activity, which is required with each site plan application, may dictate the need to update the CIE in the future to meet the anticipated needs of future development. Therefore, it complies with criteria (8).

**2.3 Goal 4.9.**

*To provide for appropriate and adequate lands for residential land uses to meet the housing needs of the anticipated population and provide residents with a variety of choices in housing types and living arrangements throughout the County.*

The expansion of the PUSD includes a future land use map amendment to Low Density residential and PUD rezoning on approximately 370 acres (+/-) of land, which will provide a wide range of residential housing opportunities. In addition, the text amendment to Policy 4.1B.2. requires a monetary contribution to the Martin County Community Land Trust in the amount of \$1,000 per residential unit to address variable housing needs throughout the County.

*Objective 4.9A. To monitor population growth, development orders and Future Land Use Map amendments to ensure that an appropriate and adequate supply of residential land use is maintained in the unincorporated areas of the County.*

The proposed PUSD expansion is consistent with the Residential Demand Analysis and the Residential Capacity and Vacant Land Analysis reports issued by the County Growth Management Department and presented to the Board of County Commissioners on February 13, 2018. During the presentation the Board of County Commissioners acknowledged suitable land in the existing PUSD may not exist for the 15-year planning horizon and directed staff to conduct a planning analysis to identify various options to address the need for additional residential capacity including the expansion of the PUSD, which is proposed by way of this request.

*Policy 4.9A.1. Suitable siting of residential development. Residential development shall be located in areas that are suitable in terms of efficient land use planning principles regarding the location and design of units; projected availability of service and infrastructure capacity; proximity and accessibility to employment, commercial and cultural centers and fire and police protection; avoidance of adverse impacts to natural resources; and continued viability of agricultural uses. The guideline for determining proximity is that commercial and employment opportunities are within 7.5 miles or 20 minutes.*

The area proposed for the PUSD expansion is ideally suited for inclusion in the PUSD for the specific reasons outlined in the policy above. Specifically, its locational and physical attributes avoid adverse impacts to environmental and productive agricultural lands. It is adjacent to major transportation corridors and water and sewer mains, within 2 miles of the SR 76/I-95 Interchange and in close proximity to schools, fire and police protection, commercial areas and major employment centers including the adjacent South Florida Gateway Industrial Park and the Martin County's Operation Center. Consistent with sound planning principles, the PUSD is bound by permanent physical barriers i.e., the St. Lucie Canal to the west, Kanner Highway (SR 76) to the east and a 100' wide FDOT Lateral Ditch Easement to the south. The recently approved Three Lakes Golf Club, which includes three 18-hole golf courses on approximately

## Comprehensive Plan Text Amendment (PUSD)

1,200 acres, completely surrounds the subject property on 3 sides and effectively confines the expansion of the PUSD and prevents further expansion south or west of the subject property. The proposed expanded PUSD boundary and proposed Low Density future land use designation discourage urban sprawl and are consistent with smart growth planning principles by providing a balance of residential and commercial land uses designed to reduce dependence on the automobile.

*Objective 4.9B. To ensure the Land Development Regulations provide zoning classifications allowing a variety of housing types and locations.*

*Policy 4.9B.1. Residential zoning classifications. At a minimum, residential zoning classifications shall be:*

*(1) Designed for sufficient single-family, multifamily and mobile home/manufactured housing development to meet the needs demonstrated in the Housing Element;*

*(2) Located consistent with the designations of the Future Land Use Map and the policies of this Plan.*

The expansion of the PUSD and designation of the corresponding Low Density residential land use allows PUD Rezoning applications that can create a wide range of residential housing opportunities. As documented in the application justification for the future land use map amendments, the proposed land use and zoning district are consistent with future land use policies of the CGMP.

*Policy 4.9D.2. Coordination of procedures for orderly transition. The requirements for orderly transition in residential densities shall be coordinated with the policies for land use allocation under Goal 4.13 and the mixed-use policies under Goal 4.3.*

*Objective 4.9E. To ensure the Land Development Regulations promote orderly land use transitions by requiring buffering between incompatible land uses.*

*Policy 4.9E.1. Forms of buffering between land uses. Buffering between incompatible land uses may take the form of:*

*(1) Physical barriers, such as berms, hedges or other landscape cover; walls or fences aesthetically designed for screening purposes; or indigenous densely vegetated open space;*

*(2) A transitional use between the incompatible uses providing for (1) low-intensity office development or (2) live-work units separating retail commercial centers and residential developments, when the impacts of live-work units are comparable to and do not exceed the impacts of office use.*

The mix of housing opportunities provided by the Low Density residential future land use designation coupled with the mix of industrial and commercial land uses along Kanner Highway are arranged to provide an orderly transition emanating from the higher intensity uses along Kanner Highway (SR 76), SW 96<sup>th</sup> Street, to the less intense uses to the west and south. The land use areas are large enough to provide physical barriers between incompatible land uses

Comprehensive Plan Text Amendment (PUSD)

and/or transitional uses between incompatible land uses while providing for interconnectivity to minimize vehicular travel.

## Comprehensive Plan Amendment – Future Land Use Map

**APPLICATION JUSTIFICATION****1.0 Comprehensive Growth Management Plan Future Land Use Amendment Criteria.**

The application for a future land use amendment on the approximately 373-acre (+/-) subject property is summarized as follows:

<u>Future Land Use (Zoning)</u>	<u>Existing</u>	<u>Proposed</u>
<b>Agricultural (AG-20A)</b>	357.64 acres	0 acres
<b>Industrial (LI)</b>	12.25 acres	0 acres
<b>Low Density Residential (RS-5)</b>	<u>0 acres</u>	<u>369.89</u> acres
Total:	369.89 acres	369.89 acres

**See concurrent request for Text Amendment - Policy 4.1B.2.(2) Sub-area Development Restriction and Proposed Primary Urban Service District (PUSD) expansion.**

**Future Land Use Map Amendment**

According to Section 1.11.C(2) of the Comprehensive Growth Management Plan (CGMP), staff can recommend approval of the requested future land use amendments provided they are consistent with all other elements of the CGMP and at least one of the following 4 criteria has been demonstrated by the applicant to exist (The proposed request clearly meets the first 2 of the 4 criteria.):

(Please note the language *italicized* is actual language from the CGMP. Justification for the proposed change and applicant's responses are provided within the "boxed-in" sections that follow.)

- 1.1** *"(a) Past changes in land use designations in the general area make the proposed use logical and consistent with these uses and adequate public services are available; or*
- 1.2** *"(b) Growth in the area, in terms of development of vacant land, redevelopment and availability of public services, has altered the character of the area such that the proposed request is now reasonable and consistent with area land use characteristics; or..."*

The proposed request clearly meets these criteria.

Since adoption of the original Comprehensive Growth Management Plan (CGMP) in 1982, numerous changes in land use designations and growth have occurred in the general area that make the proposed use logical and consistent with the surrounding land uses. Table 1 below provides a synopsis of the land use changes that have occurred in the general area since 1982. Review of aerial photography of the lands within the urban service districts north and east of the subject property shows consumption of virtually all remaining residential land except for required preservation areas. See 1983 and 2022 aerial photographs enclosed.

The transition of this area from agricultural/rural to urban development began in 1986 when the State of Florida completed the missing link of I-95 and constructed the Interchange at SR 76 (SW Kanner Highway), which is less than 2 miles from the subject property. The interchange forever changed the character of the area especially along Kanner Highway, which has become a critical east-west transportation corridor for state-wide commerce.

Comprehensive Plan Amendment – Future Land Use Map

Immediately following the completion of the interchange and over the past 30 years, the County initiated and/or approved changes to hundreds of acres of surrounding lands to create a mix of urban uses including industrial, commercial, office and residential uses. From these land use designations, several industrial and manufacturing businesses have been developed within the Treasure Coast Commerce Center, which is located on the north side of Kanner Highway between I-95 and the Florida Turnpike, and within industrial lands on the south side of Kanner Highway. In addition, several hotels and gas stations, Halpatiokee Regional Park, and several types of residential communities have been developed including the Florida Club Golf Course community, Lost River communities, Savannah Estates, Locks Landing, River Glen condominiums, St. Lucie Falls and River Forest Mobile Home communities. Over the past 30 years, these projects have consumed virtually all the remaining urban land in this area of the County.

To support the growth that has occurred over the past 30 years, the County consolidated their regional water and wastewater services at the Tropical Farms plant located just west of the Florida Turnpike, and coordinated with the State on several drainage and roadway improvement projects along Kanner Highway including on-going work that will further increase capacity and support existing and future growth for several years to come.

These improvements and investment in public infrastructure were not only designed to support these projects but also allowed the expansion and/or construction of nearby public schools including Crystal Lake Elementary on SW 96<sup>th</sup> Street, South Fork High School on SW Pratt-Whitney Road and David Anderson Middle School on SE Cove Road.

In 2020, approximately 175 acres of Industrial land use and 75 acres of Commercial Waterfront land use was consolidated into a 250-acre Industrial future land use tract along Kanner Highway (See Ordinance 1153). By way of Policy 4.1B.2.(2) of the CGMP, the County adopted a sub-area development restriction on the property that limited Industrial and Commercial building area and development intensity. A corresponding text amendment was also adopted to create a free-standing urban service district and include the Industrial future land use area within Martin County's utility service area. On March 11, 2021, KL Waterside, LLC submitted the South Florida Gateway PUD application to create a regulatory framework intended to expedite the approval of targeted business industries. On February 1, 2022, the County approved the PUD Agreement and the infrastructure final site plan that authorized the construction of utilities and road improvements to attract targeted business industries that provide high-wage employment and economic development. Between the South Florida Gateway Industrial Park and Martin County's purchase of 30 acres of Industrial land next to the park for their future County Operations Center, more than 500 jobs will be created immediately adjacent to the subject property. The creation of these jobs is a major change that has a direct impact on the need for additional housing options in close proximity to the new workforce.

Clearly, the growth in the area and investment in public infrastructure have altered the character of the area such that the change from Agricultural to Low Density Residential future land use category is now reasonable and consistent with area land use characteristics, land use transition policies and other CGMP policies that support economic and residential development opportunities.

**TABLE 1: RELEVANT FUTURE LAND USE AMENDMENTS SINCE 1982**

CPA Number	Location	From	To
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## Comprehensive Plan Amendment – Future Land Use Map

82-4	South of Salerno Road and east of Tower Drive, 40 acres (Martin Memorial Hospital)	Rural Density Residential	Institutional General
91-1	South of Salerno Road and west of Community Drive, 23.92 acres (Coastal Health Park PUD)	Institutional General	Commercial/Office/Residential
08-7	West of Willoughby Blvd. and north of Cove Road, 35.9 acres (Willoughby Research Park)	Rural Density Residential	Commercial/Office/Residential
08-4	East of Kanner Highway between Cove Road and Salerno Road, 47.11 acres (Wright Parcel)	Rural Density Residential	Estate Density Residential
16-2	East of Kanner Highway and north of Southwood Trail, 25 acres (Kanner 5601, LLC)	Commercial General	Low Density Residential
07-1E	South of Salerno Road and west of Pepperwood Drive, 9.19 acres (Council on Aging)	Rural Density Residential	Institutional General
04-15	Text amendment to expand Primary Urban Service District south of Cove Road, 870 acres	N/A	N/A
95-20	South of Salerno Road and west of Ault Ave., 54 acres (Legacy Cove)	Rural Density Residential	Estate Density Residential
95-21	Southeast corner of Cove Road and Willoughby Blvd., 38.2 acres (Cove Road Land Trust)	Estate Density Residential	Limited Commercial and Commercial/Office/Residential
95-22	North of Cove Road and west of Ault Ave., 37.83 acres (Legacy Cove)	Rural Density Residential	Estate Density Residential
95-23	North of Cove Road and west of Ault Ave., 36.68 acres (Legacy Cove)	Rural Density Residential	Estate Density Residential
10-19	Subject Property - 250 acres (Ord. 876)	Agricultural	Industrial & Waterfront Commercial
10-20	Subject Property (Ord. 877) Text Amendment to expand PUSD	N/A	N/A
19-5	Subject Property – Text Amendment to create Free-Standing Urban Service District, Martin County Utility Service Area and provide Limitations on development intensity (Ord. 1152)	N/A	N/A
19-6	Subject Property – 250 acres (Ord. 1153)	Industrial, Waterfront Commercial & Agricultural	Industrial

## Comprehensive Plan Amendment – Future Land Use Map

**1.3** *“(c) The proposed change would correct what would otherwise appear to be an inappropriately assigned land use designation; or...”*

This criterion is not applicable. The requested change in land use is primarily justified by the growth that has occurred over the past 30 years, particularly the consumption of vacant land within the Primary Urban Service District, and the need to plan for future growth in accordance with existing CGMP policies.

**1.4** *“(d) The proposed change would fulfill a public service need that enhances the health, safety, or general welfare of County residents.”*

This criterion is not applicable. However, the proposed amendment clearly meets 2 of the 4 criteria. Staff can recommend approval of the requested change provided at least one of the four criteria has been demonstrated by the applicant to exist and the amendment is consistent with all other elements of the CGMP.

**2.0 Physical Characteristics of the Site.**

The property is located between Kanner Highway (SR 76) and the St. Lucie Canal, south of SW 96<sup>th</sup> Street, and less than 2 miles from the SR 76/I-95 Interchange. The property was used and has operated for several decades as an active farm, first in support of citrus, which had to be eliminated due to citrus canker and greening, and then in support of various row crops. The recently acquired “Patriot Farms” parcel that fronts directly on SW 96<sup>th</sup> Street also operated first as citrus and later as a tree nursery until the 2004-2005 hurricanes, which destroyed the trees and forced the nursery business into smaller plants and shrubs. Its primary drainage outfall is Roebuck Creek, which terminates at the southern end of the property and maintains some natural wetland characteristics.

In support of agricultural production, namely citrus and row crops, all native habitat and trees on the property (except within and adjacent to Roebuck Creek) were legally cleared and irrigation and drainage systems were developed on the property. Because agriculture is exempt from standard drainage and water quality treatment requirements, the drainage system was designed to irrigate crops and discharge high volumes of nutrient-laden run-off directly into the St. Lucie Canal and eventually into the South Fork of the St. Lucie River without any pre-treatment. Because the soil on the subject property has been depleted from decades of agricultural use, soil amendments, particularly the addition of fertilizer, and the discharge of nutrient-laden water into the canal, will continue to increase to the detriment of the St. Lucie River estuary.

Due to proximity of the St. Lucie Canal, significant start-up costs, unavoidable risks and competitive markets worldwide, citrus or crop production is not sustainable, environmentally or economically. Agricultural production is much better suited on lands located farther from the St. Lucie Canal, on western agricultural lands where discharges can be treated through a series of ditches, agricultural canals and stormwater treatment areas designed to biologically remove heavy nutrients and contaminants prior to discharge into natural waterways.

The lack of substantial native habitat or protected species and the sites high topography and existing drainage system, make the property ideally suited for conversion to urban land uses. Most importantly, conversion to urban use will require compliance with the County’s strict water

## Comprehensive Plan Amendment – Future Land Use Map

quality standards that significantly reduce the discharge rate and greatly improves water quality treatment prior to discharge thereby adding to the County's efforts to eliminate toxic algal blooms in the St. Lucie River estuary.

## 2.1 Compatibility with Surrounding Uses.

The properties along the west side of the project site, which front on the St. Lucie Canal, and to the south consist of the recently approved Three Lakes Golf Club that will eventually include 3 championship 18-hole golf courses and related facilities on approximately 1,200 acres. The eastern portion of the site is adjacent to Estate Density land use that contains approximately 20 manufactured homes on SW Scory Lane. A portion of the site along the southern property line of the Patriot addition and along the eastern property limits of the original Neill parcel is adjacent to the 185-acre South Florida Gateway PUD Industrial Park and the future Martin County Operations Center, which is on approximately 30 acres immediately adjacent to the subject property. The northern portion of the site is adjacent to urban development along the north side of SW 96<sup>th</sup> Street, which includes Crystal Lake Elementary School, Treasure Coast Church of God, Eagles Landing single family residential community, St. Lucie Falls mobile home park, River Marina townhomes and a working marina along the canal. An existing gas station and small retail center are located at the southwest corner of the intersection of SW 96<sup>th</sup> Street and Kanner Highway. A 20-acre +/- Publix shopping center is approved on the northeast corner of Kanner Highway and Pratt-Whitney Road. Required landscape buffers between commercial, industrial and residential uses will ensure compatibility with surrounding land uses.

## 2.2 Analysis of Applicable Comprehensive Growth Management Plan (CGMP) Policies

The Comprehensive Plan identifies goals and objectives and the specific policies designed to implement the goals and objectives. The following CGMP policies support the proposed land use and corresponding text amendments. Please note highlights were added for emphasis and relevance to the application.

### Chapter 4 – Future Land Use Element

*“Goal 4.7: To regulate urban sprawl by directing growth in a timely and efficient manner to areas with urban public facilities and services, where they are programmed to be available, at the levels of service adopted in this plan.”*

*“Objective 4.7A: To concentrate higher densities and intensities of development in strategically located Primary Urban Services Districts, including commercial, industrial and residential development exceeding a density of two units per acre, where all public facilities are available or are programmed to be available at the base levels of service adopted in the Capital Improvements Element.”*

*“Policy 4.7A.1: Designation of land uses to support urban services. Martin County shall designate land uses in the Primary Urban Services District to provide for the use and extension of all necessary urban services efficiently and economically.”*

*“Policy 4.7A.2: Development in the Primary Urban Services District. Martin County shall require new residential development with lots of one-half acre or smaller, commercial uses and*

## Comprehensive Plan Amendment – Future Land Use Map

*industrial uses to locate in the Primary Urban Services District. This requirement is to ensure consistency with the County's growth management policies and Capital Improvements Element and to ensure that the Plan's LOS standards will be provided and maintained cost-efficiently."*

*"Goal 4.9. To provide for appropriate and adequate lands for residential land uses to meet the housing needs of the anticipated population and provide residents with a variety of choices in housing types and living arrangements throughout the County."*

*Policy 4.9A. To monitor population growth, development orders and Future Land Use Map amendments to ensure that an appropriate and adequate supply of residential land use is maintained in unincorporated areas of the County.*

*"Policy 4.9A.1: Suitable siting of residential development. Residential development shall be located in areas that are suitable in terms of efficient land use planning principles regarding the location and design of units; projected availability of services and infrastructure capacity; proximity and accessibility to employment, commercial and cultural centers and fire and police protection; avoidance of adverse impacts to natural resources; and continued viability of agricultural uses. The guideline for determining proximity is that commercial and employment opportunities are within 7.5 miles or 20 minutes."*

*"Objective 4.9D. To ensure that the Land Development Regulations to include requirements that ensure orderly transitions in residential densities in land use categories and PUDs."*

*"Policy 4.9D.1. Procedures for orderly transitions in residential density. At a minimum, these regulations shall:*

- (1) Allocate residential densities compatible with available public services, natural features of land and existing and anticipated future development;*
- (2) Allocate higher densities to sites highly accessible to major urban thoroughfares or urban collector streets and to sites adjacent to existing development with the same or higher density or a less restrictive zoning district;*
- (3) Allocate higher densities to sites highly accessible to major urban thoroughfares or urban collector streets and to sites adjacent to existing development with the same or higher density or that can be adequately buffered from adjacent existing development or otherwise meet the density transitioning requirements of Section 4.1F.1., if applicable;"*

*"Policy 4.13A.7. Residential Development. The Future Land Use Map allocates urban residential density based on population trends, housing needs; and past trends in the character, magnitude and distribution of residential land consumption patterns. Consistent with the goals, objectives and policies of the CGMP, including the need to provide and maintain quality residential environments, it also preserves unique land and water resources and plans for fiscal conservancy."*

*"(3) Low Density Residential Development. The Low Density Residential designation is reserved for land in the Primary Urban Service District. Densities shall not exceed 5 units per gross acres. In reviewing specific densities, the aim shall be to preserve the stability and integrity of established residential development and provide equitable treatment to lands sharing similar characteristics."*

The subject property is highly accessible to major urban thoroughfares i.e., Kanner Highway, and urban collector streets i.e., SW 96<sup>th</sup> Street. All public facilities and services are currently in

## Comprehensive Plan Amendment – Future Land Use Map

place or planned to be available when actual development occurs. The change to Low Density residential land use is consistent with all the Comprehensive Growth Management Plan (CGMP) policies above and compatible with the pattern of growth that has occurred over the past 30 years since the CGMP future land use plan was originally adopted in 1982. The proposed Low Density future land use designation creates a reasonable land use transition from the adjacent highway and industrial/commercial uses to the east and the urban densities along the north side of SW 96<sup>th</sup> Street. The proposed request provides equitable treatment to the property owner, consistent with CGMP policies, while furthering the CGMP policies that promote an efficient use of public infrastructure and a mix of housing opportunities in the Primary Urban Service District.

According to the “2018 Residential Capacity and Vacant Land Analysis” prepared by Martin County Growth Management Department, less than 222 acres of vacant land designated Low Density residential land use remain County-wide. Much of this land exists in small parcels or individual lots and cannot be consolidated into viable development projects that can offer a range of lot sizes and housing types. Additional Low Density residential land use is needed to meet the demand for the 15-year planning horizon. Approximately 373 acres of Low Density residential future land use is proposed to provide a range of low density housing opportunities.

The subject property is ideally located and physically suitable to address the deficit of Low Density residential future land use in accordance with the land use and housing policies of the Comprehensive Growth Management Plan.

*Policy 4.1D.5 Residential capacity analysis. Martin County shall produce a residential capacity analysis every five years. Residential capacity defines the available residential development options within the Primary and Secondary Urban Service Districts that can meet the demand for population growth consistent with the Future Land Use Map. Residential supply shall consist of:*

*The 15 year planning period for residential capacity began with the 2010 Census and shall be updated to a new 15 year planning period every 5 years. The residential capacity analysis showing the total residential supply within the Primary and the Secondary Urban Service Districts shall be compared to the projected residential demand as outlined in Policy 4.1D.3 and 4.1D.4 above. The report shall show demand and supply comparisons for a ten year period as well as for the 15 year planning period.*

*Policy 4.1D.6 The residential capacity analysis will determine if the future demand for residential units exceeds the supply for residential units as provided in the residential capacity analysis.*

*When the undeveloped residential acreage within either the Primary Urban Service District or the Secondary Urban Service District no longer provides for projected population growth for the fifteen year planning period, planning for expansion of residential capacity shall commence. When the undeveloped acreage within either the Primary Urban Service District or the Secondary Urban Service District provides for no more than 10 years of projected population growth, the County is required to expand capacity.*

Based on the findings of the February 13, 2018 Residential Capacity and Vacant Land analysis completed by the Martin County Growth Management Department, the County Growth Management staff conducted a “Residential Capacity Expansion Analysis” and presented a draft report to the Board of County Commissioners on February 26, 2019. Page 7 of the report

## Comprehensive Plan Amendment – Future Land Use Map

provided updated capacity data that considered the approval of the Pineland Prairie Mixed Use Village (MUV) future land use category that was adopted by the Board of County Commissioners in August, 2018. The Pineland Prairie MUV land use category is a site-specific land use designation (under single ownership at the time of adoption) that allows up to 4,200 residential units subject to public land donations, construction of public and private infrastructure and compliance with performance standards, comprehensive plan policies and land development codes specific to proposed development within the Pineland Prairie MUV land use that must be followed to ensure the implementation of mixed use design principles and the availability of public facilities and services concurrent with development impacts.

With this consideration, the staff's conclusions and recommendation in the draft Residential Capacity Expansion Analysis report including the following:

**"...Expanding residential capacity to meet the future population growth does not need to occur as quickly as indicated in February 2018. However, given the density transition policies, infrastructure needs and environmental challenges, the need for more capacity could arise sooner than projected.**

**Staff would recommend that the Board continue consideration of Future Land Use Map amendments inside the PUSD. When considering plan amendments that propose expanding the PUSD, give consideration to those amendments that provide a balance of uses that foster vibrant, viable communities and economic development opportunities and address outdated development patterns."**

After considering the findings in the report and staff's comments regarding technical concerns with the current methodology in the Comprehensive Plan for estimating population projections and calculating housing supply, the County Commission voted 4-1 at their meeting on February 26, 2019 to...

**"ask staff to utilize all of the resources available to them to come back with best management practices to come up with a methodology that is the most appropriate and accurate, that accurately describes the properties that are legitimately buildable in our community (restated: to ask staff to come back, after they've done their research on what they feel is the most appropriate methodology incorporating best management practices, so that we have the most accurate count of what is genuinely a buildable lot."**

Since the 2019 action was taken by the County Commission, a new methodology for calculating residential capacity has not been adopted or proposed. In the past 4 years, the few remaining buildable infill parcels within the urban service districts have been developed and parcels or lots that are not otherwise buildable continue to be counted as future supply. And, in spite of a residential construction boom that has consumed the remaining infill parcels in the Martin County urban service district, no infrastructure to support the Pineland Prairie MUV has commenced construction and no residential units have been constructed within the Pineland Prairie MUV since it was adopted in 2018.

For these reasons, the applicant engaged GAI Consultants' Community Solutions Group (CSG) to prepare an updated Residential Capacity Analysis consistent with the Board of County Commissioners direction to staff to incorporate best management practices and appropriate methodology. The report is based on sound planning principles and adopted State and

## Comprehensive Plan Amendment – Future Land Use Map

Regional Comprehensive Planning methodology and guidelines. (See enclosed Section 163.3177 Analysis)

The report specifically analyzes the County's current methodology and identifies why the methodology is flawed or limited by the improper use of data and assumptions. The CSG report provides an accurate account of existing housing supply, future population projections and future housing needs as required by Comprehensive Plan Policy 4.1D.5. and Policy 4.1D.6.

The CSG report concludes that the County does not have adequate supply in the 10- or 15-year planning horizon to meet the increasing demand for housing within the primary or secondary urban service districts. It provides substantial expert evidence supporting the future land use map amendment and the request to expand the Primary Urban Service District.

## Chapter 6 – Housing Element

*Objective 6.1B. To strive to provide for the conservation and rehabilitation of the existing housing stock by rehabilitating substandard dwelling units; to maintain and improve existing housing stock, residential neighborhoods and property values; and to provide for a broad mix of housing types.*

*Policy 6.1B.1. Zone lands for housing. Martin County shall ensure that adequate residential land use designations are assigned and zoned at densities sufficient to meet the County's current and future housing needs within the Urban Service District.*

*Policy 6.1B.2. Provision of varied housing types. Martin County shall encourage varied housing types, sizes, and prices consistent with local need, including affordable housing. The County shall provide technical assistance, including demographic analysis and other relevant information, to assist developers in planning for a broad mix of housing opportunities consistent with local needs.*

*Policy 6.1B.4. Minimize blighting influences. Blighting influences in areas undergoing land use transition shall be minimized by the use of sound principles of land use planning, urban design and landscaping in development and redevelopment projects. Adverse impacts of land use transition shall be minimized by managing the location as well as the density and/or intensity of mixed or conflicting residential and nonresidential uses. Examples of the land use principles endorsed by Martin County are:*

*(1) The allocation of residential densities in a manner compatible with available public services, natural features of land and existing and anticipated future development.*

*(2) The allocation of higher residential densities to sites (1) accessible to major urban thoroughfares or urban collector streets (2) sites adjacent to existing development with the same or higher density or less restrictive zoning district, (3) sites that can be adequately buffered from adjacent existing development of lesser intensity, and (4) sites that meet the density transitioning requirements of section 4.1F., of the CGMP.*

*(3) The provision of a variety of lot sizes, floor areas, setbacks and residential land use mixes to allow for a choice in housing types, designs and price levels for both urban and rural residential environments.*

## Comprehensive Plan Amendment – Future Land Use Map

*(4) The use of the planned unit development, mixed-use, and traditional neighborhood development to encourage creativity in development, design, protection of open space, environmental features, and a mix of residential and nonresidential land uses.*

The proposed land use and text amendments implement these housing policies by directing new housing opportunities on lands that 1) protect existing neighborhoods through buffering and density transitioning requirements, 2) are accessible to major thoroughfares i.e., South Kanner Highway, or urban collector streets i.e., SW 96<sup>th</sup> Street, 3) compatible with natural features of the land and surrounding properties and 4) consistent with existing and future development trends. The corresponding text amendment ensures development through a planned unit development (PUD) application that will provide enhanced protection of open space and environmental features, a mix of residential uses and specific conditions and public benefits that address local needs and minimize adverse impacts.

### Chapter 8 – Coastal Management Element

*Policy 8.1B.6. Protection of local estuaries. Martin County shall cooperate and coordinate with other local governments in protecting local estuaries.* This cooperation and coordination shall aim to assist agencies responsible for protecting and managing local estuarine systems.

### Chapter 9 – Conservation and Open Space Element

*Policy 9.1K.2. St. Lucie estuary system.* The County shall coordinate with the Martin Soil and Water Conservation District and other relevant agencies to promote awareness of new information concerning the St. Lucie River estuary system and the effects of development on the functions and values of the estuary system. *Restoration of the St. Lucie estuary shall remain a top priority*, in conjunction with the Indian River Lagoon portion of the Comprehensive Everglades Restoration Plan.

### Chapter 15 – Economic Element

*Policy 15.2C.5. Martin County, in coordination with appropriate entities, shall promote the development of ecotourism and sports markets.*

### Chapter 19 – Property Rights Element

*Objective 19.1A. Ensure that private property rights are considered in local decision making.*

*Policy 19.1A.1. The following rights shall be considered in local decision making:*

*(1) The right of a property owner to physically possess and control his or her interests in the property, including easements, leases, or mineral rights.*

*(2) The right of a property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to state law and local ordinances.*

The proposed Low Density residential land use provides an alternative to agricultural use directly on the St. Lucie Canal. The continued use of the property for agricultural production will require more intense application of soil amendments that are not only costly and labor-intensive, but also negatively impact the St. Lucie River estuary both environmentally and “economically”.

## Comprehensive Plan Amendment – Future Land Use Map

The St. Lucie River estuary is a major driver of recreational activities that support recreational fishing and ecotourism. Section 8.2.A. of the Comprehensive Growth Management Plan states, "...Commercial and sport fishing and seasonal residents (tourism) are extremely important to the Martin County economy..." The policies stated above in Chapters 8, 9 and 15 of the Comprehensive Plan support the protection of the St. Lucie estuary and recognize its positive impact on ecotourism and Martin County's economy.

Clearly, the growth in the area and investment in public infrastructure have altered the character of the area such that the change from Agricultural to Low Density residential future land use is now reasonable and consistent with area land use characteristics, land use transition policies and other CGMP policies that support economic and residential development opportunities.

The proposed request will conserve and enhance the value of existing development and provide equitable treatment to the property owner, consistent with CGMP policies, while furthering CGMP policies that support the efficient and economical use of the county's resources.

### 2.3 Urban Sprawl.

*Urban Sprawl is defined in HB 7207 as a development pattern characterized by low density, automobile-dependent development with either a single use or multiple uses that are not functionally related, requiring the extension of public facilities and services in an inefficient manner, and failing to provide a clear separation between urban and rural uses.*

The proposed land use and text amendments recognize the adjacency of the Primary Urban Service District (PUSD) and the availability of existing or planned public facilities adjacent to and surrounding the subject property. The subject property is surrounded by urban service districts on three sides that include nearby public schools, retail uses and a major employment center, which includes the adjacent 185-acre South Florida Gateway industrial park, which is currently under construction, and the future 30-acre County Operations Center. These projects create a functional relationship and provide additional consideration for housing in this area of the County. The mix of housing opportunities provided by the proposed Low Density residential future land use designations coupled with the mix of nearby Industrial, Commercial and Institutional uses minimize the potential for urban sprawl by creating a functional balance of uses where residents can live, work and play. The future project design will include collector roads that will assure interconnectivity between related land uses and create opportunities for multi-modal transportation.

*Florida Statute 163.3177(3)(a)9. states that any amendment to the future land use element shall discourage the proliferation of urban sprawl and provides thirteen indicators to judge whether a future land use amendment discourages the proliferation of urban sprawl. This proposed amendment complies with 13 out of 13 sprawl criteria that discourages the proliferation of urban sprawl.*

*Florida Statute provides an additional eight criteria, of which four must be met, in order to judge whether an amendment can be determined to discourage the proliferation of urban sprawl. This proposed amendment meets x out of x criteria that determine the application discourages urban sprawl. An evaluation of the thirteen indicators for urban sprawl and a determination on the eight additional criteria for this future land use request follows:*

## Comprehensive Plan Amendment – Future Land Use Map

*(I) Promotes, allows, or designates for development substantial areas of the jurisdiction to develop as low-intensity, low-density, or single-use development or uses.*

The mix of housing opportunities provided by the proposed Low Density residential future land use designations coupled with the mix of nearby Industrial, Commercial and Institutional uses minimize the potential for urban sprawl by creating a functional balance of uses where residents can live, work and play. The future project design will include collector roads that will assure interconnectivity between related land uses and create opportunities for multi-modal transportation. Discourages the proliferation of urban sprawl.

*(II) Promotes, allows, or designates significant amounts of urban development to occur in rural areas at substantial distances from existing urban areas while not using undeveloped lands that are available and suitable for development.*

The subject property is immediately adjacent to and surrounded on three sides by urban service districts with existing or planned public facilities and services to support the change in land use. Virtually all remaining vacant property within the existing urban areas have been developed or preserved in perpetuity. Discourages the proliferation of urban sprawl.

*(III) Promotes, allows, or designates urban development in radial, strip, isolated, or ribbon patterns generally emanating from existing urban developments.*

The proposed change to Low Density residential on the subject property emanates out from the frontage of the industrial uses along Kanner Highway and the existing and future and commercial uses at the intersection of SW Kanner Highway and SW 96<sup>th</sup> Street. Discourages the proliferation of urban sprawl.

*(IV) Fails to adequately protect and conserve natural resources, such as wetlands, floodplains, native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, rivers, shorelines, beaches, bays, estuarine systems, and other significant natural systems.*

The property was used and has operated for several decades as an active farm, first in support of citrus, which had to be eliminated due to citrus canker and greening, and then in support of various row crops. The recently acquired "Patriot Farms" parcel that fronts directly on SW 96<sup>th</sup> Street also operated first as citrus and later as a tree nursery until the 2004-2005 hurricanes, which destroyed the trees and forced the nursery business into smaller plants and shrubs. Its primary drainage outfall is Roebuck Creek, which terminates at the southern end of the property and maintains some natural wetland characteristics.

In support of agricultural production, namely citrus and row crops, all native habitat and trees on the property (except within and adjacent to Roebuck Creek) were legally cleared and irrigation and drainage systems were developed on the property. Because agriculture is exempt from standard drainage and water quality treatment requirements, the drainage system was designed to irrigate crops and discharge high volumes of nutrient-laden run-off directly into the St. Lucie Canal and eventually into the South Fork of the St. Lucie River without any pre-treatment.

Due to significant start-up costs, unavoidable risks and competitive markets worldwide, citrus or crop production is not a sustainable, economically viable alternative. The lack of substantial

## Comprehensive Plan Amendment – Future Land Use Map

native habitat or protected species and the sites high topography and existing drainage system, make the property ideally suited for conversion to urban land uses. Most importantly, conversion to urban use will require compliance with the County's strict water quality standards that significantly reduce the discharge rate and greatly improves water quality treatment prior to discharge thereby adding to the County's efforts to eliminate toxic algal blooms in the St. Lucie Estuary.

*Discourages the proliferation of urban sprawl.*

*(V) Fails to adequately protect adjacent agricultural areas and activities, including silviculture, active agricultural and silvicultural activities, passive agricultural activities, and dormant, unique, and prime farmlands and soils.*

Due to significant start-up costs, unavoidable risks and competitive markets worldwide, citrus, silviculture or crop production is not a sustainable, economically viable alternative. There are no active farmlands or agricultural activities adjacent to the subject property.

*Discourages the proliferation of urban sprawl.*

*(VI) Fails to maximize use of existing public facilities and services.*

The subject property is immediately adjacent to and surrounded on three sides by urban service districts with existing or planned public facilities and services to support the change in land use.

*Discourages the proliferation of urban sprawl.*

*(VII) Fails to maximize use of future public facilities and services.*

The subject property is immediately adjacent to and surrounded on three sides by urban service districts with existing or planned public facilities and services to support the change in land use.

*Discourages the proliferation of urban sprawl.*

*(VIII) Allows for land use patterns or timing which disproportionately increase the cost in time, money, and energy of providing and maintaining facilities and services, including roads, potable water, sanitary sewer, stormwater management, law enforcement, education, health care, fire and emergency response, and general government.*

The subject property is surrounded by urban service districts on three sides that include nearby public schools, retail uses and a major employment center, i.e., the adjacent 200-acre South Florida Gateway Industrial Park, which is currently under construction, and the future 30-acre County Operations Center. These projects create a functional relationship and provide additional consideration for housing in this area of the County. The mix of housing opportunities provided by the proposed Low Density residential future land use designations coupled with the mix of nearby Industrial, Commercial and Institutional uses minimize the potential for urban sprawl by creating a functional balance of uses where residents can live, work and play. The future project design will include collector roads that will assure interconnectivity between related land uses and create opportunities for multi-modal transportation.

*Discourages the proliferation of urban sprawl.*

*(IX) Fails to provide a clear separation between rural and urban uses.*

## Comprehensive Plan Amendment – Future Land Use Map

Urban uses and development along Kanner Highway are currently adjacent to the subject property with no clear separation between urban and rural uses. The change in land use from Agriculture to Low Density will make the subject property compatible with the adjacent urban development. The properties south and west of the subject property are part of the recently approved Three Lakes Golf, which is a private golf club with no residential units or urban development. The presence of Three Lakes Golf Club, which has a pending future land use map (FLUM) amendment request to Rural Lifestyle provides a clear separation between rural and urban uses, and an appropriate land use transition to the Agricultural lands south and west that will protect the urban boundary and prevent urban sprawl. *Discourages the proliferation of urban sprawl.*

*(X) Discourages or inhibits infill development or the redevelopment of existing neighborhoods and communities.*

As documented in the Residential Capacity Analysis prepared by GAI Consultants, practically all remaining vacant land within the urban area has been consumed by development, preserved in perpetuity or simply cannot be developed due to various development constraints. The change in land use on the subject property to Low Density will allow for the efficient use of existing and planned infrastructure without inhibiting or discourage infill or redevelopment within the existing urban service district. *Discourages the proliferation of urban sprawl.*

*XI) Fails to encourage a functional mix of use*

The proposed land use and text amendments recognize the adjacency of the Primary Urban Service District (PUSD) and the availability of existing or planned public facilities adjacent to and surrounding the subject property. The subject property is surrounded by urban service districts on three sides that include nearby public schools, retail uses and a major employment center, including the adjacent 185-acre South Florida Gateway Industrial Park, which is currently under construction, and the future 30-acre County Operations Center. These projects create a functional relationship and provide additional consideration for housing in this area of the County. The mix of housing opportunities provided by the proposed Low Density residential future land use designations coupled with the mix of nearby Industrial, Commercial and Institutional uses minimize the potential for urban sprawl by creating a functional balance of uses where residents can live, work and play. *Discourages the proliferation of urban sprawl.*

*(XII) Results in poor accessibility among linked or related land uses.*

The future project design will include collector roads that will assure interconnectivity between related land uses and create opportunities for multi-modal transportation. *Discourages the proliferation of urban sprawl.*

*(XIII) Results in the loss of significant amounts of functional open space.*

The existing future land use, Agricultural, requires a minimum 50 percent open space. The proposed future land use designation, Low Density Residential, also requires a minimum of 50 percent open space. Because agriculture is exempt from standard drainage and water quality

## Comprehensive Plan Amendment – Future Land Use Map

treatment requirements, the existing drainage system was designed to irrigate crops and discharge high volumes of nutrient-laden run-off directly into the St. Lucie Canal and eventually into the South Fork of the St. Lucie River without any pre-treatment. The conversion to urban use will require compliance with the County's strict water quality standards that significantly reduce the discharge rate and greatly improves water quality treatment prior to discharge thereby adding to the County's efforts to eliminate toxic algal blooms in the St. Lucie Estuary. *Discourages the proliferation of urban sprawl.*

*The proposed land use amendment complies with 13 of 13 criteria that discourage urban sprawl.*

### **2.3.1 Proliferation of Urban Sprawl.**

*In order for the application to be determined to discourage the proliferation of urban sprawl, the amendment must incorporate development patterns or urban forms that achieve four or more of the following:*

*(1) Directs or locates economic growth and associated land development to geographic areas of the community in a manner that does not have an adverse impact on and protects natural resources and ecosystems.*

The property is located between Kanner Highway (SR 76) and the St. Lucie Canal, south of SW 96<sup>th</sup> Street, and less than 2 miles from the SR 76/I-95 Interchange. The property was used and has operated for several decades as an active farm, first in support of citrus, which had to be eliminated due to citrus canker and greening, and then in support of various row crops. The recently acquired "Patriot Farms" parcel that fronts directly on SW 96<sup>th</sup> Street also operated first as citrus and later as a tree nursery until the 2004-2005 hurricanes, which destroyed the trees and forced the nursery business into smaller plants and shrubs. Its primary drainage outfall is Roebuck Creek, which terminates at the southern end of the property and maintains some natural wetland characteristics. In support of agricultural production, all native habitat and trees on the property (except within and adjacent to Roebuck Creek) were legally cleared and irrigation and drainage systems were developed on the property. Because agriculture is exempt from standard drainage and water quality treatment requirements, the drainage system was designed to irrigate crops and discharge high volumes of nutrient-laden run-off directly into the St. Lucie Canal and eventually into the South Fork of the St. Lucie River without any pre-treatment.

The lack of substantial native habitat or protected species and the sites high topography and existing drainage system, make the property ideally suited for conversion to urban land uses. Most importantly, conversion to urban use will require compliance with the County's strict water quality standards that significantly reduce the discharge rate and greatly improves water quality treatment prior to discharge thereby adding to the County's efforts to eliminate toxic algal blooms in the St. Lucie Estuary.

To create economic development opportunities, approximately 250 acres of Agricultural land east of the subject property along the Kanner Highway frontage was previously converted from Agricultural to Industrial future land use for the reasons noted above. A portion of these lands now support the 185-acre South Florida Gateway industrial park and the future 30-acre County Operations Center. The proposed land use amendment will complement and enhance

## Comprehensive Plan Amendment – Future Land Use Map

economic opportunities by providing needed housing near a major employment center with no adverse impact on natural resources or ecosystems.

*Discourages the proliferation of urban sprawl.*

*(II) Promotes the efficient and cost-effective provision or extension of public infrastructure and services.*

The subject property is immediately adjacent to and surrounded on three sides by urban service districts with existing or planned public facilities and services to support the change in land use.

*Discourages the proliferation of urban sprawl.*

*(III) Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that will support a range of housing choices and a multimodal transportation system, including pedestrian, bicycle, and transit, if available.*

The subject property is surrounded by urban service districts on three sides that include nearby public schools, retail uses and a major employment center, i.e., the adjacent 185-acre South Florida Gateway Industrial Park, which is currently under construction, and the future 30-acre County Operations Center. These projects create a functional relationship and provide additional consideration for housing in this area of the County. The mix of housing opportunities provided by the proposed Low Density residential future land use designations coupled with the mix of nearby Industrial, Commercial and Institutional uses minimize the potential for urban sprawl by creating a functional balance of uses where residents can live, work and play. The future project design will include collector roads that will assure interconnectivity between related land uses and create opportunities for multi-modal transportation.

*Discourages the proliferation of urban sprawl.*

*(IV) Promotes conservation of water and energy.*

The conversion to urban use will require compliance with the County's strict water quality standards that significantly reduce the discharge rate and greatly improves water quality treatment prior to discharge thereby adding to the County's efforts to eliminate toxic algal blooms in the St. Lucie Estuary. Providing housing near employment centers will reduce reliance on automobiles and reduce energy related to transportation.

*Discourages the proliferation of urban sprawl.*

*(V) Preserves agricultural areas and activities, including silviculture, and dormant, unique, and prime farmlands and soils.*

The property was used and has operated for several decades as an active farm, first in support of citrus, which had to be eliminated due to citrus canker and greening, and then in support of various row crops. The recently acquired "Patriot Farms" parcel, which fronts directly on SW 96<sup>th</sup> Street, also operated first as citrus and later as a nursery until the 2004-2005 hurricanes. Its primary drainage outfall is Roebuck Creek, which terminates at the southern end of the property and maintains some natural wetland characteristics.

In support of agricultural production, all native habitat and trees on the property (except within and adjacent to Roebuck Creek) were legally cleared and irrigation and drainage systems were developed on the property. Because agriculture is exempt from standard drainage and water

## Comprehensive Plan Amendment – Future Land Use Map

quality treatment requirements, the drainage system was designed to irrigate crops and discharge high volumes of nutrient-laden run-off directly into the St. Lucie Canal and eventually into the South Fork of the St. Lucie River without any pre-treatment.

Due to significant start-up costs, unavoidable risks and competitive markets worldwide, citrus or crop production is not a sustainable, economically viable alternative. The lack of substantial native habitat or protected species and the sites high topography and existing drainage system, make the property ideally suited for conversion to urban land uses. Most importantly, conversion to urban use will require compliance with the County's strict water quality standards that significantly reduce the discharge rate and greatly improves water quality treatment prior to discharge thereby adding to the County's efforts to eliminate toxic algal blooms in the St. Lucie Estuary. *Discourages the proliferation of urban sprawl.*

*(VI) Preserves open space and natural lands and provides for public open space and recreation needs.*

The conversion of the property from Agricultural to Low Density Residential will maintain the same minimum open space required by the Agricultural land use but also create opportunities for restoration and perpetual management of the Roebuck Creek headwaters, and public and private open space and recreation opportunities on site that would not otherwise be available under the existing Agricultural land use. *Discourages the proliferation of urban sprawl.*

*(VII) Creates a balance of land uses based upon demands of residential population for the nonresidential needs of an area.*

The proposed land use and text amendments recognize the adjacency of the Primary Urban Service District (PUSD) and the availability of existing or planned public facilities adjacent to and surrounding the subject property. The subject property is surrounded by urban service districts on three sides that include nearby public schools, retail uses and a major employment center, i.e., the adjacent 200-acre South Florida Gateway Industrial Park, which is currently under construction, and the future 30-acre County Operations Center. These projects create a functional relationship and provide additional consideration for housing in this area of the County. The mix of housing opportunities provided by the proposed Low Density residential future land use designations coupled with the mix of nearby Industrial, Commercial and Institutional uses minimize the potential for urban sprawl by creating a functional balance of uses where residents can live, work and play. *Discourages the proliferation of urban sprawl.*

*(VIII) Provides uses, densities, and intensities of use and urban form that would remediate an existing or planned development pattern in the vicinity that constitutes sprawl or if it provides for an innovative development pattern such as transit-oriented developments or new towns as defined in s. 163.3164.*

The subject property is surrounded by urban service districts on three sides that include nearby public schools, retail uses and a major employment center, i.e., the adjacent 200-acre South Florida Gateway Industrial Park, which is currently under construction, and the future 30-acre County Operations Center. These projects create a functional relationship and provide additional consideration for housing in this area of the County. The mix of housing opportunities provided by the proposed Low Density residential future land use designations coupled with the mix of nearby Industrial, Commercial and Institutional uses minimize the potential for urban

## Comprehensive Plan Amendment – Future Land Use Map

sprawl by creating a functional balance of uses where residents can live, work and play.  
*Discourages the proliferation of urban sprawl.*

Eight out of eight of the criteria have been met to determine the application discourages the proliferation of urban sprawl.

### 2.3.2 Conversion of Land.

*Conversion of Land Since the subject property is currently designated as Agricultural, the standards mentioned in Policy 4.13A.1.(2) must be considered in order to determine whether the proposed change is appropriate. The following is an excerpt from Policy 4.13A.1.(2), CGMP, Martin County, Fla. (2019), (2) Conversion of land designated Agricultural on the FLUM. Agriculturally designated land may be redesignated only by an amendment to the FLUM. The intent of this section aims to permit such an amendment upon a finding by the Board of County Commissioners that the applicant has demonstrated:*

- (a) The proposed development shall not adversely impact the hydrology of the area, or the productive capacity of adjacent farmlands not included in the amendment application in any other manner;*
- (b) The proposed land conversion is a logical and timely extension of a more intense land use designation in a nearby area, considering existing and anticipated land use development patterns; consistency with the goals and objectives of the CGMP; and availability of supportive services, including improved roads, recreation amenities, adequate school capacity, satisfactory allocations of water and wastewater facilities, and other needed supportive facilities. Such findings shall be based on soil potential analysis and agricultural site assessment.*

The property was used and has operated for several decades as an active farm, first in support of citrus, which had to be eliminated due to citrus canker and greening, and then in support of various row crops. The recently acquired "Patriot Farms" parcel that fronts directly on SW 96<sup>th</sup> Street also operated first as citrus and later as a tree nursery until the 2004-2005 hurricanes, which destroyed the trees and forced the nursery business into smaller plants and shrubs. Its primary drainage outfall is Roebuck Creek, which terminates at the southern end of the property and maintains some natural wetland characteristics.

In support of agricultural production, all native habitat and trees on the property (except within and adjacent to Roebuck Creek) were legally cleared and irrigation and drainage systems were developed on the property. Because agriculture is exempt from standard drainage and water quality treatment requirements, the drainage system was designed to irrigate crops and discharge high volumes of nutrient-laden run-off directly into the St. Lucie Canal and eventually into the South Fork of the St. Lucie River without any pre-treatment.

Due to significant start-up costs, unavoidable risks and competitive markets worldwide, citrus or crop production is not a sustainable, economically viable alternative. The continued use of the property for agricultural production will require more intense application of soil amendments that

## Comprehensive Plan Amendment – Future Land Use Map

are not only costly and labor-intensive, but also negatively impact the St. Lucie River estuary both environmentally and “economically”.

The lack of substantial native habitat or protected species and the sites high topography and existing drainage system, make the property ideally suited for conversion to urban land uses. Most importantly, conversion to urban use will require compliance with the County’s strict water quality standards that significantly reduce the discharge rate and greatly improves water quality treatment prior to discharge thereby adding to the County’s efforts to eliminate toxic algal blooms in the St. Lucie Estuary.

The proposed land conversion is logical and timely considering existing and anticipated land use development patterns; consistency with the goals and objectives of the CGMP; and the availability of supportive services, including improved roads, recreation amenities, adequate school capacity, satisfactory allocations of water and wastewater facilities and the need for housing in close proximity to employment centers.

#### 2.4 Availability of Public Facilities and Services.

*“Policy 4.1B.2. Analysis of Availability of Public Services. All requests for amendments to the FLUMS shall include a general analysis of (1) the availability and adequacy of public facilities and (2) the level of services required for public facilities in the proposed land uses...”*

All mandatory public facilities and services are currently in place or planned to be available when development occurs. The following documents are included in the application to substantiate these findings:

County’s Analysis of Public Facilities presented to the Board of County Commissioners on February 13, 2018;

Water and Sewer Availability Worksheet prepared by Kimley-Horn and Associates in coordination with the Martin County Utilities Department;

Traffic Study prepared by Susan O’Rourke, P.E.; and

School Impact Worksheet prepared by Lucido & Associates

#### 2.5 Justification Statement for Rezoning Applications

a. *Whether the proposed rezoning is consistent with all applicable Provisions of the CGMP;*

The requested rezoning to RS-5 is consistent with various zoning options designed to implement the Low Density future land use designations as directed by the applicable provisions of the CGMP and Land Development Code. However, the corresponding text amendment requires all future development to be approved by way of Planned Unit Development (PUD) Agreement.

b. *Whether the proposed rezoning is consistent with all applicable provisions of the Martin County Land Development Regulations (LDR);*

The requested rezoning to RS-5 is consistent with various zoning options designed to implement the corresponding Low Density Residential future land use designation as directed

## Comprehensive Plan Amendment – Future Land Use Map

by the applicable provisions of the CGMP and Land Development Code. Compliance with the applicable zoning district must be documented at the time of site plan application.

- c. Whether the proposed zoning district is compatible with the character of the existing land uses in the adjacent and surrounding area and the peculiar suitability of the property for the proposed zoning use;*

The requested rezoning will implement the proposed land use designations and allow for urban development consistent with the development trend that has occurred over the past 30 years. Compliance with the landscape buffering policies will maintain compatibility and enhance the character of surrounding land uses.

- d. Whether and to what extent there are documented changed conditions in the area;*

The growth in the area over the past 30 years, particularly the improvements to public infrastructure and services, and the development of commercial and residential uses along Kanner Highway, has altered the character of the area such that the proposed request is now reasonable and consistent with area land use characteristics.

- e. Whether and to what extent the proposed zoning would result in demands on public facilities;*

All required public facilities and services are in place or planned to be available to support future development.

- f. Whether and to what extent the proposed zoning would result in a logical, timely and orderly development pattern which conserves the value of existing development and is an appropriate use of the county's resources;*

The rezoning application is consistent with the pattern of growth that has occurred since the Comprehensive Growth Management Plan land use plan was originally adopted in 1982. The proposed request will conserve and enhance the value of existing development and provide equitable treatment to the property owner, consistent with CGMP policies, while furthering CGMP policies that support the efficient and economical use of the county's resources.



**O'ROURKE**  
ENGINEERING & PLANNING

**TRAFFIC ANALYSIS**  
**FOR**  
**KL WATERSIDE, LLC**  
**RESIDENTIAL LAND USE PLAN ANALYSIS**

Prepared for:

KL Waterside  
14025 Riveredge Drive, #175  
Tampa, FL 33637

Prepared by:

O'Rourke Engineering & Planning  
22 SE Seminole Street  
Stuart, Florida 34994  
(772) 781-7918

March 24, 2023

MR22121.0

<p>Prepared by: O'Rourke Engineering &amp; Planning Certificate of Authorization: #26869 22 SE Seminole Street Stuart, Florida 34994 772-781-7918</p>	<p>Professional Engineer  Susan E. O'Rourke, P.E. Date signed and sealed: 3/24/2023 License #: 42684</p>
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**O'ROURKE**  
ENGINEERING & PLANNING

March 24, 2023

Mr. Jim Harvey  
Kolter Land Partners  
14025 Riveredge Drive, #175  
Tampa, FL 33637

**Re: KL Waterside - Residential Land Use Plan Analysis**

Dear Mr. Harvey

O'Rourke Engineering & Planning has completed the traffic analysis of the proposed land use plan amendment for a change of 360.89 acres from a combination of Agricultural land use and 12.25 acres of Industrial land use to 373.14 acres of Low Density Residential land use with a maximum unit count of 1,000 units. The parcels affected by the land use plan amendment are located on SR-76 (Kanner Highway) in Martin County, Florida. The steps in the analysis and the ensuing results are presented herein.

It has been a pleasure working with you, if you have any questions or comments, please do not hesitate to contact our office.

Respectfully submitted,  
**O'ROURKE ENGINEERING & PLANNING**

Susan E. O'Rourke, P.E.  
Registered Civil Engineer – Traffic

## TABLE OF CONTENTS

INTRODUCTION	1
PROJECT DESCRIPTION	1
ROADWAY NETWORK	3
MAXIMUM ALLOWABLE USE / TRIP GENERATION	4
PROJECT ASSIGNMENT	8
STUDY AREA	8
LONG RANGE ANALYSIS – 2040/2045	8
FIVE YEAR ANALYSIS – 2028	13
CONCLUSION	13

### TABLES

TABLE 1: Project Trip Generation – Existing	5
TABLE 2: Trip Generation – Proposed Future Land Use	6
TABLE 3: Proposed FLU – Existing FLU	7
TABLE 4a: Percent Impact 2045 AM	10
TABLE 4b: Percent Impact 2045 PM	11
TABLE 5: Link Analysis 2045	12
TABLE 6: Five Year Trip Generation	14
TABLE 7a: Percent Impact 2028	15

### FIGURES

FIGURE 1: Project Location	2
FIGURE 2: Percent Assignment	9

### APPENDICES

APPENDIX A: Site Area/Roadway Network Data/Non-Motorized and Transit Data	
APPENDIX B: Martin County 2021 Roadway Level of Service Inventory Report and Martin County 2040 Roadway Level of Service Inventory Report	

## **INTRODUCTION**

O'Rourke Engineering & Planning was retained to prepare a traffic analysis for the proposed land use plan amendment of 373.14 total acres. The following components were addressed:

- Summary of the project description; existing land use and proposed land use
- Summary of road network
- Assessment of the change in trip generation
- Summary of 2028 traffic volumes
- Assessment of net change in 2040/2045 impact

Each of these components is outlined herein.

## **PROJECT DESCRIPTION**

The proposed land use plan amendment involves parcels of land located on SR-76 (Kanner Highway) in Martin County, Florida. The project location is shown in **Figure 1**.

The existing future land use designation includes 360.89-acres of land with an Agricultural land use and 12.25 acres of Industrial land use.

The future land use of the approximate total 373.14-acre parcel would be amended to Low Density Residential. Low Density Residential Zoning allows for 5 dwelling units per acre allowing a total of 1,865 dwelling units. Under the Proposed land uses there would be a cap limiting development to 1,000 single-family residential dwelling units.

The residential portion of the development will have access to SW 96<sup>th</sup> Street and SR 76.

The analysis of the project impacts in the five-year period and the long-range scenario, 2045 are discussed herein.



## **ROADWAY NETWORK**

The study area was reviewed to determine the existing number and type of lanes, and the traffic control along the roadway. Each roadway is described below.

Citrus Boulevard (CR-76A) is two-lane north/south minor arterial roadway and serving as the connection to Port St. Lucie to the north.

SW 96<sup>th</sup> Street (CR-76A) is a two-lane minor arterial with a general east/west alignment.

SR-76 (Kanner Highway) is a six-lane, divided major arterial from I-95 to US-1. From CR-711 to Locks Road it is a four-lane divided roadway. It has a generally east/west alignment from west of I-95 to I-95 and then travels in a generally north/south alignment. It is a two-lanes along the project frontage.

CR-711 is a two-lane minor arterial with a primarily north/south alignment.

SR-9 (I-95) is a six-lane freeway with a primarily north/south alignment. It is included in the cost feasible plan as an eight-lane divided roadway.

Cove Road is a two-lane major arterial with a primarily east/west alignment. It is included in the 2045 cost feasible plan as a four-lane divided roadway.

**Appendix A** includes the roadway network information to include the county CIP, the 2045 Cost Feasible and Needs Network, and the non-motorized transit facilities.

## MAXIMUM ALLOWABLE USE/TRIP GENERATION

To determine the worst-case scenario from a traffic standpoint, the trip generation for allowable uses under each existing and future land use were calculated. The Existing Future Land Use is Agricultural and Industrial. The agriculture lands allow 1 unit per 20 acres, or up to 18 single-family dwelling units. The Industrial piece has no trip generation associated with it since the 950 trips were placed in the PUD. The potential trip generation for the existing future land use is shown in **Tables 1a, 1b, and 1c** for the daily, AM peak hour and PM peak hours, respectively.

The 18 single family dwelling units on the agricultural use would generate 208 daily trips, 16 AM peak hour trips with 4 in and 12 out, and 20 PM peak hour trips with 13 in and 7 out.

The Proposed Future Land Use will be Low Density Residential, capped at 1,000 single-family dwelling units. **Tables 2a, 2b, and 2c** summarizes the trip generation for the proposed future land use for the daily, AM peak hour and PM peak hours, respectively. **Table 3** summarizes the net change in trips.

As shown, the existing future land use generates 208 daily trips; 16 AM Peak hour trips and 20 PM Peak hour trips. Under the proposed future land use, the site generates 8,393 daily trips; 606 AM Peak hour trips and 865 PM peak hour trips. The change in trips between the Proposed and Existing future land uses is an increase of 8,185 daily trips, 590 AM peak hour trips and 845 PM peak hour trips.

**Table 1 - Existing FLU Trip Generation**

**Table 1a: Daily**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	18	DU	$\text{Ln}(T) = 0.92 \text{ Ln}(X) + 2.68$	50%	50%	104	104	208
<b>TOTALS</b>							<b>104</b>	<b>104</b>	<b>208</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 1b: AM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	18	DU	$\text{Ln}(T) = 0.91 \text{ Ln}(X) + 0.12$	26%	74%	4	12	16
<b>TOTALS</b>							<b>4</b>	<b>12</b>	<b>16</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 1c: PM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	18	DU	$\text{Ln}(T) = 0.94 \text{ Ln}(X) + 0.27$	63%	37%	13	7	20
<b>TOTALS</b>							<b>13</b>	<b>7</b>	<b>20</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 2 - Proposed FLU Trip Generation**

**Table 2a: Daily**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	1,000	DU	$L_n(T) = 0.92 L_n(X) + 2.68$	50%	50%	4,197	4,196	8,393
<b>TOTALS</b>							<b>4,197</b>	<b>4,196</b>	<b>8,393</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 2b: AM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	1,000	DU	$L_n(T) = 0.91 L_n(X) + 0.12$	26%	74%	158	448	606
<b>TOTALS</b>							<b>158</b>	<b>448</b>	<b>606</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 2c: PM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	1,000	DU	$L_n(T) = 0.94 L_n(X) + 0.27$	63%	37%	545	320	865
<b>TOTALS</b>							<b>545</b>	<b>320</b>	<b>865</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 3 Trip Generation Proposed FLU - Existing FLU**

**Table 3a- Daily**

Description	Daily Net New Trips		
	In	Out	Total
Proposed FLU	4,197	4,196	8,393
Existing FLU	104	104	208
<b>Net Change</b>	<b>4,093</b>	<b>4,092</b>	<b>8,185</b>

**Table 3b- AM Peak Hour**

Description	AM Net New Trips		
	In	Out	Total
Proposed FLU	158	448	606
Existing FLU	4	12	16
<b>Net Change</b>	<b>154</b>	<b>436</b>	<b>590</b>

**Table 3c - PM Peak Hour**

Description	PM Net New Trips		
	In	Out	Total
Proposed FLU	545	320	865
Existing FLU	13	7	20
<b>Net Change</b>	<b>532</b>	<b>313</b>	<b>845</b>

## **PROJECT ASSIGNMENT**

The project traffic was distributed and assigned based on the assignment that was previously approved for the site. The resultant project percent assignment is shown in **Figure 2**.

## **STUDY AREA**

The study area was defined as the area upon which the project traffic (the net increase in traffic) represented 2% or more on the roadway link. **Tables 4a and 4b** summarize the project % impact on the 2045 long range cost feasible roadway network for the AM and PM peak hour, respectively.

## **LONG RANGE ANALYSIS - 2045**

To determine the impact of the change in traffic for the 2045 long term analysis, the projected 2040 daily volume from the Martin County 2040 Roadway Level of Service Inventory Report were converted to peak hour directional volumes using the K and D factors obtained from the FDOT for long range forecasts. The project traffic was then added to the peak hour directional volumes and compared to the cost feasible service capacities to determine the impacts of the land use plan amendment. As shown, all roads will operate at an acceptable level of service with the 2045 long range cost feasible network. **Tables 5a and 5b** summarize the 2040/2045 link analysis for the AM and PM peak hour, respectively.

**Appendix B** includes the Martin County 2040 Roadway Level of Service Inventory Report and 2045 network.

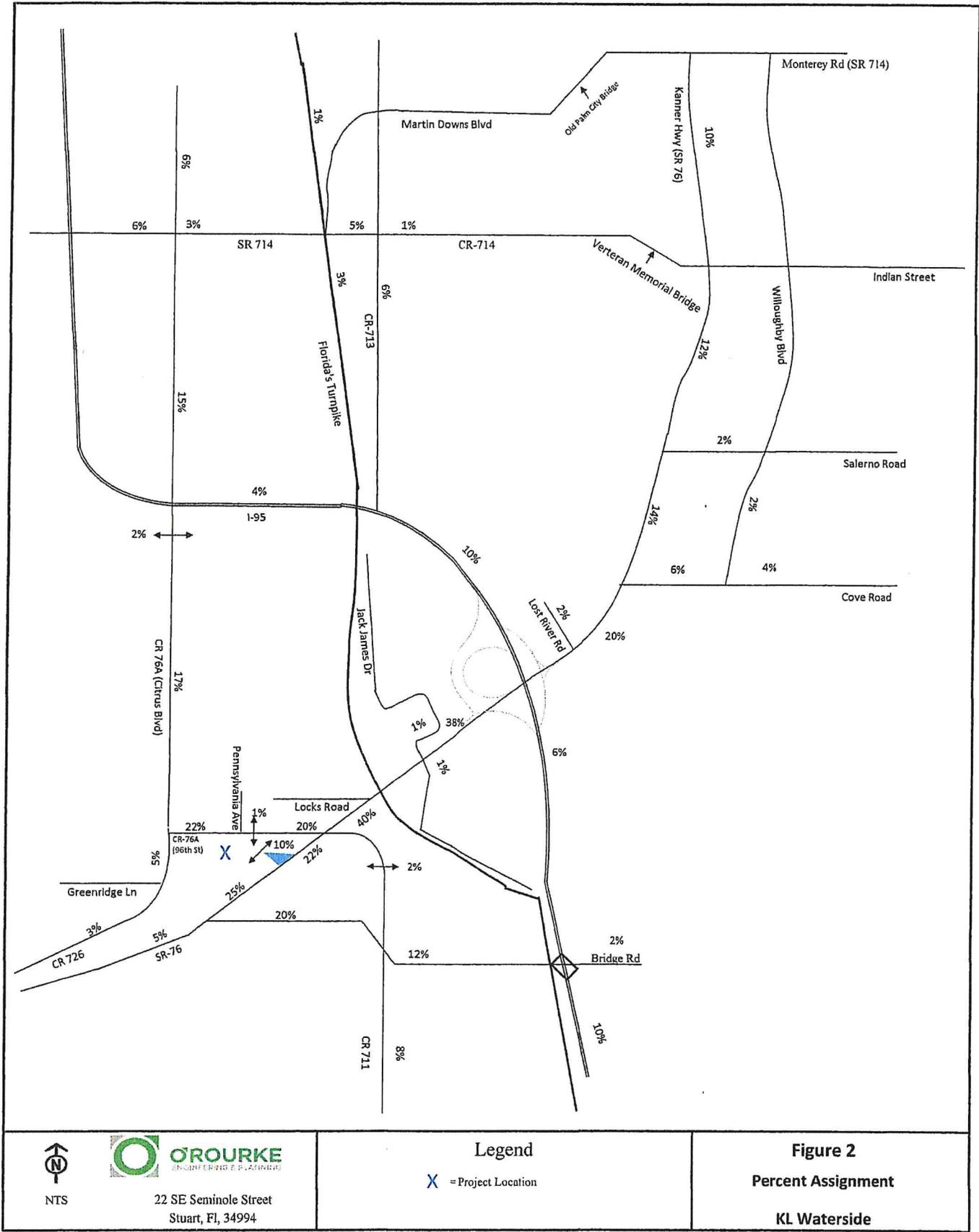


Table 4a: Percent Impact - AM Peak Hour - 2040/2045

Segment	From	To	Direction		2045 Lanes	Is Project Traffic 2% or More of Capacity?	LOS D Directional Peak Hour	Directional Peak Project Volume	Project Percent Assignment	Directional Percent Project of Capacity	
SR-76 (Kanner Hwy)	SR-710	CR-708	NB	IN	2L	no	740	8	5%	1.08%	
	SR-710	CR-708	SB	OUT	2L	yes	740	22	5%	2.97%	
	CR-708	Project Access	NB	IN	2L	yes	1,200	39	25%	3.25%	
	CR-708	Project Access	SB	OUT	2L	yes	1,200	109	25%	9.08%	
	Project Access	CR-711/CR-76A	NB	OUT	2L	yes	1,200	96	22%	8.00%	
	Project Access	CR-711/CR-76A	SB	IN	2L	yes	1,200	34	22%	2.83%	
	CR-711/CR-76A	Locks Rd	NB	OUT	4LD	yes	2,000	174	40%	8.70%	
	CR-711/CR-76A	Locks Rd	SB	IN	4LD	yes	2,000	62	40%	3.10%	
	Locks Rd	Jack James	NB	OUT	4LD	yes	2,000	174	40%	8.70%	
	Locks Rd	Jack James	SB	IN	4LD	yes	2,000	62	40%	3.10%	
	Jack James	Cove Rd	NB	OUT	6LD	yes	3,020	166	38%	5.50%	
	Jack James	Cove Rd	SB	IN	6LD	no	3,020	59	38%	1.95%	
	Jack James	I-95 SB	NB	OUT	6LD	yes	3,020	166	38%	5.50%	
	Jack James	I-95 SB	SB	IN	6LD	no	3,020	59	38%	1.95%	
	I-95 SB	I-95 NB	NB	OUT	6LD	yes	3,020	157	36%	5.20%	
	I-95 SB	I-95 NB	SB	IN	6LD	no	3,020	55	36%	1.82%	
	I-95 NB	Lost River Rd	NB	OUT	6LD	yes	3,020	113	26%	3.74%	
	I-95 NB	Lost River Rd	SB	IN	6LD	no	3,020	40	26%	1.32%	
	Lost River Rd	Cove Rd	NB	OUT	6LD	yes	3,020	87	20%	2.88%	
	Lost River Rd	Cove Rd	SB	IN	6LD	no	3,020	31	20%	1.03%	
	Cove Rd	Salerno Rd	NB	OUT	6LD	yes	3,020	61	14%	2.02%	
	Cove Rd	Salerno Rd	SB	IN	6LD	no	3,020	22	14%	0.73%	
	Salerno Rd	Indian St	NB	OUT	6LD	no	3,020	52	12%	1.72%	
	Salerno Rd	Indian St	SB	IN	6LD	no	3,020	18	12%	0.60%	
	Indian St	SR-714	NB	OUT	6LD	no	3,020	44	10%	1.46%	
	Indian St	SR-714	SB	IN	6LD	no	3,020	15	10%	0.50%	
	SR-714	SR-5	NB	OUT	6LD	no	3,020	44	10%	1.46%	
	SR-714	SR-5	SB	IN	6LD	no	3,020	15	10%	0.50%	
	CR-76A (Citrus Blvd)	CR-726	SR-714	NB	OUT	2L	yes	1,200	74	17%	6.17%
		CR-726	SR-714	SB	IN	2L	yes	1,200	26	17%	2.17%
CR-76A (96th St)	CR-726	Project Access	EB	IN	2L	yes	1,200	34	22%	2.83%	
	CR-726	Project Access	WB	OUT	2L	yes	1,200	96	22%	8.00%	
	Project Access	Pennsylvania Ave	EB	OUT/IN	2L	yes	1,200	87	20%	7.25%	
	Project Access	Pennsylvania Ave	WB	IN/OUT	2L	yes	1,200	87	20%	7.25%	
	Pennsylvania Ave	SR-76	EB	OUT/IN	2L	yes	800	87	20%	10.88%	
	Pennsylvania Ave	SR-76	WB	IN/OUT	2L	yes	800	87	20%	10.88%	
CR-726 (Citrus Blvd)	Greenridge Ln	CR-76A	NB	IN	2L	no	740	8	5%	1.08%	
	Greenridge Ln	CR-76A	SB	OUT	2L	yes	740	22	5%	2.97%	
SR-9 (I-95)	Bridge Rd	SR-76 (Kanner Hwy)	NB	IN	8LF	no	7,320	9	6%	0.12%	
	SR-76 (Kanner Hwy)	High Meadow Ave	NB	OUT	8LF	no	7,320	44	10%	0.60%	
CR-713	I-95	CR-714	NB	OUT	4LD	no	3,240	26	6%	0.80%	
	I-95	CR-714	SB	IN	4LD	no	3,240	9	6%	0.28%	
CR-714 (Martin Hwy)	CR-713	Mapp Rd	EB	IN	4LD	no	2,000	2	1%	0.10%	
	CR-713	Mapp Rd	WB	OUT	4LD	no	2,000	4	1%	0.20%	
	Florida's Turnpike	CR-713	EB	IN	4LD	no	2,000	8	5%	0.40%	
	Florida's Turnpike	CR-713	WB	OUT	4LD	no	2,000	22	5%	1.10%	
Cove Rd	SR-76	Willoughby Blvd	EB	OUT	4LD	no	1,800	26	6%	1.44%	
	SR-76	Willoughby Blvd	WB	IN	4LD	no	1,800	9	6%	0.50%	
CR-708 (Bridge Rd)	SR-76	CR-711	EB	OUT	2L	yes	740	87	20%	11.76%	
	SR-76	CR-711	WB	IN	2L	yes	740	31	20%	4.19%	
	CR-711	I-95	EB	OUT	2L	yes	740	52	12%	7.03%	
	CR-711	I-95	WB	IN	2L	yes	740	18	12%	2.43%	
	I-95	Powerline Ave	EB	OUT	2L	no	1,200	9	2%	0.75%	
CR-711 (Pratt Whitney)	Palm Beach County	CR-708	NB	IN	2L	no	740	12	8%	1.62%	
	Palm Beach County	CR-708	SB	OUT	2L	yes	740	35	8%	4.73%	
	CR-708	South Fork High School	NB	IN	2L	no	800	2	1%	0.25%	
	CR-708	South Fork High School	SB	OUT	2L	no	800	4	1%	0.50%	
	South Fork High School	SR-76	NB	IN	2L	no	800	2	1%	0.25%	
	South Fork High School	SR-76	SB	OUT	2L	no	800	4	1%	0.50%	

Residential Portion Change = 157 in/480 out

In: 154  
Out: 436

Table 4b: Percent Impact - PM Peak Hour - 2040/ 2045

Segment	From	To	Direction		2040 Lanes	Is Project Traffic 2% or More of Capacity?	LOS D Directional Peak Hour	Directional Peak Project Volume	Project Percent Assignment	Directional Percent Project of Capacity
SR-76 (Kanner Hwy)	SR-710	CR-708	NB	IN	2L	yes	740	27	5%	3.65%
	SR-710	CR-708	SB	OUT	2L	yes	740	16	5%	2.16%
	CR-708	Project Access	NB	IN	2L	yes	1,200	133	25%	11.08%
	CR-708	Project Access	SB	OUT	2L	yes	1,200	78	25%	6.50%
	Project Access	CR-711/CR-76A	NB	OUT	2L	yes	1,200	69	22%	5.75%
	Project Access	CR-711/CR-76A	SB	IN	2L	yes	1,200	117	22%	9.75%
	CR-711/CR-76A	Locks Rd	NB	OUT	4LD	yes	2,000	125	40%	6.25%
	Locks Rd	Locks Rd	SB	IN	4LD	yes	2,000	213	40%	10.65%
	Locks Rd	Jack James	NB	OUT	4LD	yes	2,000	125	40%	6.25%
	Locks Rd	Jack James	SB	IN	4LD	yes	2,000	213	40%	10.65%
	Jack James	Cove Rd	NB	OUT	6LD	yes	3,020	119	38%	3.94%
	Jack James	Cove Rd	SB	IN	6LD	yes	3,020	202	38%	6.69%
	Jack James	I-95 SB	NB	OUT	6LD	yes	3,020	119	38%	3.94%
	Jack James	I-95 SB	SB	IN	6LD	yes	3,020	202	38%	6.69%
	I-95 SB	I-95 NB	NB	OUT	6LD	yes	3,020	113	36%	3.74%
	I-95 SB	I-95 NB	SB	IN	6LD	yes	3,020	192	36%	6.36%
	I-95 NB	Lost River Rd	NB	OUT	6LD	yes	3,020	81	26%	2.68%
	I-95 NB	Lost River Rd	SB	IN	6LD	yes	3,020	138	26%	4.57%
	Lost River Rd	Cove Rd	NB	OUT	6LD	yes	3,020	63	20%	2.09%
	Lost River Rd	Cove Rd	SB	IN	6LD	yes	3,020	106	20%	3.51%
	Cove Rd	Salerno Rd	NB	OUT	6LD	no	3,020	44	14%	1.46%
	Cove Rd	Salerno Rd	SB	IN	6LD	yes	3,020	74	14%	2.45%
	Salerno Rd	Indian St	NB	OUT	6LD	no	3,020	38	12%	1.26%
Salerno Rd	Indian St	SB	IN	6LD	yes	3,020	64	12%	2.12%	
Indian St	SR-714	NB	OUT	6LD	no	3,020	31	10%	1.03%	
Indian St	SR-714	SB	IN	6LD	no	3,020	53	10%	1.75%	
SR-714	SR-5	NB	OUT	6LD	no	3,020	31	10%	1.03%	
SR-714	SR-5	SB	IN	6LD	no	3,020	53	10%	1.75%	
CR-76A (Citrus Blvd)	CR-726	SR-714	NB	OUT	2L	yes	1,200	53	17%	4.42%
CR-76A (96th St)	CR-726	SR-714	SB	IN	2L	yes	1,200	90	17%	7.50%
CR-726	Project Access	EB	IN	2L	yes	1,200	117	22%	9.75%	
CR-726	Project Access	WB	OUT	2L	yes	1,200	69	22%	5.75%	
Project Access	Pennsylvania Ave	EB	OUT/IN	2L	yes	1,200	63	20%	5.25%	
Project Access	Pennsylvania Ave	WB	IN/OUT	2L	yes	1,200	63	20%	5.25%	
Pennsylvania Ave	SR-76	EB	OUT/IN	2L	yes	800	63	20%	7.88%	
Pennsylvania Ave	SR-76	WB	IN/OUT	2L	yes	800	63	20%	7.88%	
CR-726 (Citrus Blvd)	Greenridge Ln	CR-76A	NB	IN	2L	yes	740	27	5%	3.65%
CR-726 (Citrus Blvd)	Greenridge Ln	CR-76A	SB	OUT	2L	yes	740	16	5%	2.16%
SR-9 (I-95)	Bridge Rd	SR-76 (Kanner Hwy)	NB	IN	8LF	no	7,320	32	6%	0.44%
SR-9 (I-95)	Bridge Rd	SR-76 (Kanner Hwy)	SB	OUT	8LF	no	7,320	19	6%	0.26%
SR-76 (Kanner Hwy)	High Meadow Ave	NB	OUT	8LF	no	7,320	31	10%	0.42%	
SR-76 (Kanner Hwy)	High Meadow Ave	SB	IN	8LF	no	7,320	53	10%	0.72%	
CR-713	I-95	CR-714	NB	OUT	4LD	no	3,240	19	6%	0.59%
CR-713	I-95	CR-714	SB	IN	4LD	no	3,240	32	6%	0.99%
CR-714 (Martin Hwy)	CR-713	Mapp Rd	EB	IN	4LD	no	2,000	5	1%	0.25%
CR-714 (Martin Hwy)	CR-713	Mapp Rd	WB	OUT	4LD	no	2,000	3	1%	0.15%
Florida's Turnpike	CR-713	CR-713	EB	IN	4LD	no	2,000	27	5%	1.35%
Florida's Turnpike	CR-713	CR-713	WB	OUT	4LD	no	2,000	16	5%	0.80%
Cove Rd	SR-76	Willoughby Blvd	EB	OUT	4LD	no	1,800	19	6%	1.06%
Cove Rd	SR-76	Willoughby Blvd	WB	IN	4LD	no	1,800	32	6%	1.78%
CR-708 (Bridge Rd)	SR-76	CR-711	EB	OUT	2L	yes	740	63	20%	8.51%
CR-708 (Bridge Rd)	SR-76	CR-711	WB	IN	2L	yes	740	106	20%	14.32%
CR-711	CR-711	CR-711	EB	OUT	2L	yes	740	38	12%	5.14%
CR-711	I-95	CR-711	WB	IN	2L	yes	740	64	12%	8.65%
CR-711 (Pratt Whitney)	I-95	Powerline Ave	EB	OUT	2L	no	1,200	6	2%	0.50%
CR-711 (Pratt Whitney)	Palm Beach County	CR-708	NB	IN	2L	yes	740	43	8%	5.81%
CR-711 (Pratt Whitney)	Palm Beach County	CR-708	SB	OUT	2L	yes	740	25	8%	3.38%
CR-708	South Fork High School	CR-708	NB	IN	2L	no	800	5	1%	0.63%
CR-708	South Fork High School	CR-708	SB	OUT	2L	no	800	3	1%	0.38%
CR-708	South Fork High School	SR-76	NB	IN	2L	no	800	5	1%	0.63%

Residential Portion Change = 361 in/239 out

In: 532  
Out: 313

Table 5a: Link Analysis - AM Peak Hour - 2040/2045

Segment	From	To	Direction	2045 Lanes	Is Project Traffic 2% or More of Capacity?	2040 Model AADT	K Factor	D Factor	2040 Volume Peak Hour Peak Direction	LOS D Directional Peak Hour	Directional Peak Project Volume	Project Percent Assignment	Directional Percent Project of Capacity	Total Traffic (Peak Direction)	Does Project Meet Concurrency?
SR-76 (Kanner Hwy)	SR-710	CR-708	SB	2L	Yes	4221	0.09	0.45	171	740	22	5%	2.97%	193	Yes
	CR-708	Project Access	SB	OUT	Yes	3105	0.09	0.45	126	1200	109	25%	9.08%	235	Yes
	Project Access	CR-711/CR-76A	NB	OUT	Yes	3105	0.09	0.55	154	1200	96	22%	8.00%	250	Yes
	CR-711/CR-76A	Locks Rd	NB	OUT	Yes	14021	0.09	0.55	694	2000	174	40%	8.70%	868	Yes
	Locks Rd	Jack James	NB	OUT	Yes	23296	0.09	0.55	1153	2000	174	40%	8.70%	1327	Yes
	Jack James	Cove Rd	NB	OUT	Yes	56330	0.09	0.55	2788	3020	166	38%	5.50%	2954	Yes
	Jack James	I-95 SB	NB	OUT	Yes	31169	0.09	0.55	1943	3020	166	38%	5.50%	1709	Yes
	I-95 SB	Lost River Rd	NB	OUT	Yes	39390	0.09	0.45	1595	3020	157	36%	5.20%	1752	Yes
	Lost River Rd	Cove Rd	NB	OUT	Yes	56330	0.09	0.45	2281	3020	113	26%	3.74%	2304	Yes
	Cove Rd	Salerno Rd	NB	OUT	Yes	56132	0.09	0.45	2273	3020	87	20%	2.88%	2360	Yes
CR-76A (Citrus Blvd)	Salerno Rd	Indian St	NB	OUT	Yes	43110	0.09	0.45	1746	3020	61	14%	2.02%	1807	Yes
	Indian St	SR-714	NB	OUT	Yes	37438	0.09	0.45	1516	3020	52	12%	1.72%	1568	Yes
	SR-714	SR-5	NB	OUT	Yes	35510	0.09	0.45	1438	3020	44	10%	1.46%	1482	Yes
	SR-5	SR-714	NB	OUT	Yes	34224	0.09	0.45	1386	3020	44	10%	1.46%	1430	Yes
	SR-714	Project Access	NB	OUT	Yes	5895	0.09	0.55	292	1200	74	17%	6.17%	366	Yes
	Project Access	CR-76A	WB	OUT	Yes	8088	0.09	0.55	400	1200	96	22%	8.00%	466	Yes
	CR-76A	Greenridge Ln	SB	OUT	Yes	5001	0.09	0.55	248	740	22	5%	2.97%	270	Yes
	Greenridge Ln	CR-711	EB	OUT	Yes	975	0.09	0.55	48	740	87	20%	11.76%	135	Yes
	CR-711	I-95	EB	OUT	Yes	3949	0.09	0.55	195	740	52	12%	7.03%	247	Yes
	I-95	Palm Beach County	SB	OUT	Yes	3802	0.09	0.55	188	740	35	8%	4.73%	223	Yes

Note: K & D Factors from FOOT QLOS & Project Traffic Forecasting

In: 154  
Out: 436

Table 5b: Percent Impact - PM Peak Hour - 2040/2045

Segment	From	To	Direction	2045 Lanes	Is Project Traffic 2% or More of Capacity?	2040/2045 Model AADT	K Factor	D Factor	2040/2045 Volume Peak Hour Peak Direction	LOS D Directional Peak Hour	Directional Peak Project Volume	Project Percent Assignment	Directional Percent Project of Capacity	Total Traffic (Peak Direction)	Does Project Meet Concurrency?
SR-76 (Kanner Hwy)	SR-710	CR-708	NB	2L	Yes	4221	0.09	0.450	171	740	27	5%	3.65%	198	Yes
	CR-708	Project Access	NB	IN	Yes	3105	0.09	0.450	126	1200	133	25%	11.08%	259	Yes
	Project Access	CR-711/CR-76A	SB	IN	Yes	3105	0.09	0.550	154	1200	117	22%	9.75%	271	Yes
	CR-711/CR-76A	Locks Rd	SB	IN	Yes	14021	0.09	0.550	694	2000	213	40%	10.65%	907	Yes
	Locks Rd	Jack James	SB	IN	Yes	23296	0.09	0.550	1153	2000	213	40%	10.65%	1366	Yes
	Jack James	Cove Rd	SB	IN	Yes	56330	0.09	0.550	2788	3020	202	38%	6.69%	2990	Yes
	Jack James	I-95 SB	SB	IN	Yes	31169	0.09	0.550	1943	3020	202	38%	6.69%	1745	Yes
	I-95 SB	Lost River Rd	SB	IN	Yes	39390	0.09	0.550	1950	3020	197	36%	6.36%	2142	Yes
	Lost River Rd	Cove Rd	SB	IN	Yes	56330	0.09	0.450	2281	3020	138	26%	4.57%	2419	Yes
	Cove Rd	Salerno Rd	SB	IN	Yes	56132	0.09	0.450	2273	3020	106	20%	3.51%	2379	Yes
CR-76A (Citrus Blvd)	Salerno Rd	Indian St	SB	IN	Yes	43110	0.09	0.450	1746	3020	74	14%	2.45%	1870	Yes
	Indian St	SR-714	SB	IN	Yes	37438	0.09	0.450	1516	3020	64	12%	2.12%	1580	Yes
	SR-714	SR-5	SB	IN	Yes	35510	0.09	0.450	1438	3020	53	10%	1.75%	1493	Yes
	SR-5	SR-714	SB	IN	Yes	34224	0.09	0.450	1386	3020	53	10%	1.75%	1439	Yes
	SR-714	Project Access	SB	IN	Yes	5895	0.09	0.550	292	1200	90	17%	7.50%	382	Yes
	Project Access	CR-76A	WB	IN/OUT	Yes	8088	0.09	0.550	400	1200	117	22%	7.50%	382	Yes
	CR-76A	Greenridge Ln	WB	IN/OUT	Yes	5001	0.09	0.550	248	740	106	20%	3.65%	275	Yes
	Greenridge Ln	CR-76A	WB	IN/OUT	Yes	11305	0.09	0.550	563	800	63	20%	7.88%	626	Yes
	CR-76A	CR-711	WB	IN	Yes	5001	0.09	0.550	248	740	27	5%	3.65%	275	Yes
	CR-711	I-95	WB	IN	Yes	975	0.09	0.450	48	740	106	20%	14.32%	145	Yes
CR-711 (Prait Whitney)	I-95	Palm Beach County	WB	IN	Yes	3949	0.09	0.450	160	740	64	12%	8.65%	224	Yes
	Palm Beach County	CR-708	NB	IN	Yes	3802	0.09	0.550	188	740	43	8%	5.81%	231	Yes

Note: K & D Factors from FOOT QLOS & Project Traffic Forecasting

In: 532  
Out: 313

## **FIVE YEAR ANALYSIS - 2028**

For KL Waterside, no more than 250 single family dwelling units are anticipated to occur prior to year-end of 2028. The trip generation for the 5-year analysis is shown in **Table 6a, 6b, and 6c** for the daily, AM peak hour and PM peak hours, respectively. As shown, the project could generate 2,344 daily trips, 228 AM peak hour trips, and 235 PM peak hour trips in the first five years of development.

To determine the study area for the 5-year analysis, the 5-year project traffic was compared to the existing plus committed roadway network. The study area is defined as the area upon which the project traffic (the net increase in traffic) represented 2% or more on the roadway link. **Table 7a and 7b** summarize the project % impact on the existing plus committed roadway network.

To develop total traffic estimates for 2028, existing 2021 traffic was grown to 2028 using historic growth rates. The project traffic was then added to achieve the 2028 total traffic volumes. These volumes were then compared to the capacity of the roadway network (existing plus committed network). The 2021 Martin County Roadway Level of Service Inventory Report was used as the source of the existing 2021 AADT, peak hour data and growth rate. **Table 8a and Table 8b** show the link analysis for the total traffic conditions with the proposed land use plan amendment in place in 2028. Appendix B provides the Martin County 2021 Roadway Level of Service Inventory Report.

As shown all links will operate at acceptable levels of service on the existing plus committed roadway network.

## **CONCLUSION**

The proposed land use plan amendment will not require improvements beyond the programmed and planned roadway network.

The analysis demonstrates that the roadway has sufficient infrastructure funded in the next five years and the 2045 long range to support the project. Therefore, the project satisfies the requirements for a Land Use Plan Amendment.

**Table 6 - 5-Year Trip Generation**

**Table 6a: Daily**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	650	DU	$\text{Ln}(T) = 0.92 \text{Ln}(X) + 2.68$	50%	50%	2,824	2,823	5,647
<b>TOTALS</b>							<b>2,824</b>	<b>2,823</b>	<b>5,647</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 6b: AM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	650	DU	$T = 0.91(X) + 0.12$	25%	75%	148	444	592
<b>TOTALS</b>							<b>148</b>	<b>444</b>	<b>592</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 6c: PM Peak Hour**

Land Use	ITE Code	Intensity	Units	Trip Generation Rate	Directional Split		Gross Trips		
					In	Out	In	Out	Total
Single Family Detached	210	650	DU	$\text{Ln}(T) = 0.94 \text{Ln}(X) + 0.27$	63%	37%	364	213	577
<b>TOTALS</b>							<b>364</b>	<b>213</b>	<b>577</b>

Source: ITE 11th Edition Trip Generation Rates

**Table 7: 5-Year Percent Impact - AM Peak Hour**

Segment	From	To	Lanes E+C	Is Project Traffic 2% or More of Capacity?	LOS D Directional Peak Hour (E+C)	Directional Peak Project Volume	Project Percent Assignment	Directional Percent Project of Capacity
Salerno Rd	SR - 76	Willoughby	2L	no	880	9	2%	
SR-76 (Kanner Hwy)	SR-710	CR-708	2L	yes	730	22	5%	1.02%
	CR-708	Project Access	2L	yes	1,160	111	25%	3.01%
	Project Access	CR-711/CR-76A	2L	yes	1,160	98	22%	9.57%
	CR-711/CR-76A	Locks Rd	4LD	yes	2,000	178	40%	8.45%
	Locks Rd	Jack James	4LD	yes	2,000	178	40%	8.90%
	Jack James	Cove Rd	6LD	yes	3,020	169	38%	8.90%
	Cove Rd	Salerno Rd	6LD	yes	3,020	62	14%	5.60%
	Salerno Rd	Indian St	6LD	no	3,020	53	12%	2.05%
	Indian St	SR-714	6LD	no	3,020	44	10%	1.75%
CR-76A (Citrus Blvd)	CR-726	SR-714	2L	yes	1,160	75	17%	1.46%
Citrus Blvd	CR-714	Port St. Lucie Blvd	2L	yes	1,160	27	6%	6.47%
CR-76A (96th St)	CR-726	Pennsylvania Ave	2L	yes	1,160	98	22%	2.33%
	Pennsylvania Ave	SR-76	2L	yes	800	89	20%	8.45%
CR-726 (Citrus Blvd)	Greenridge Ln	CR-76A	2L	yes	730	22	5%	11.13%
	SR-710	Greenridge Ln	2L	no	730	13	3%	3.01%
Willoughby Blvd	Cove Rd	Salerno Rd	2L	no	880	9	2%	1.78%
I-95	Bridge Rd	SR-76 (Kanner Hwy)	6LF	no	5,620	27	6%	1.02%
	SR-76 (Kanner Hwy)	High Meadow Ave	6LF	no	5,620	44	10%	0.48%
CR-713 (High Meadow Ave)	I-95	CR-714	2L	yes	1,200	27	6%	0.78%
SR-714 (Martin Highway)	I-95	Citrus Blvd	2L	yes	1,160	27	6%	2.25%
	Citrus Blvd	Florida's Turnpike	4LD	no	2,000	13	3%	2.33%
CR-714 (Martin Hwy)	CR-713	Mapp Rd	4LD	no	2,000	4	1%	0.65%
	Florida's Turnpike	CR-713	4LD	no	2,000	22	5%	0.20%
Cove Rd	SR-76	Willoughby Blvd	2L	yes	880	27	6%	1.10%
	Willoughby Blvd	SR-5	2L	yes	880	18	4%	3.07%
CR-708 (Bridge Rd)	SR-76	CR-711	2L	yes	730	89	20%	2.05%
	CR-711	I-95	2L	yes	730	53	12%	12.19%
	I-95	Powerline Rd	2L	no	1,160	9	2%	7.26%
CR-711 ( Pratt Whitney)	South Fork High School	SR-76	2L	no	800	4	1%	0.78%
								0.50%

Source: Martin County 2021 Roadway Level of Service and Inventory Report

Out: 444  
Years Grown: 7

Table 8: 5-Year Link Analysis - AM Peak Hour

Segment	From	To	Lanes E+C	Is Project Traffic 2% or More of Capacity?	2021 AADT	2021 Volume Peak Hour Peak Direction	Growth Rate	2028 Volume Peak Hour Peak Direction	LOS D Directional Peak Hour (E+C)	Directional Peak Project Volume	Project Percent Assignment	Directional Percent Project of Capacity	Total Traffic (Peak Direction)	Does Project Meet Concurrency?
SR-76 (Kanner Hwy)	SR-710	CR-708	2L	yes	3,692	190	1.012	207	730	22	5%	3.01%	229	Yes
	CR-708	Project Access	2L	yes	3,093	169	1.005	175	1160	111	25%	9.57%	286	Yes
	Project Access	CR-711/CR-76A	2L	yes	3,093	169	1.005	175	1160	98	22%	8.45%	273	Yes
	CR-711/CR-76A	Locks Rd	4LD	yes	13,064	810	1.009	862	2000	178	40%	8.90%	1040	Yes
	Locks Rd	Jack James	4LD	yes	18,816	900	1.005	932	2000	178	40%	8.90%	1110	Yes
	Jack James	Cove Rd	6LD	yes	47,218	2361	1.015	2620	3020	169	38%	5.60%	2789	Yes
	Cove Rd	Salerno Rd	6LD	yes	35,531	1581	1.018	1791	3020	62	14%	2.05%	1853	Yes
	Salerno Rd	Indian St	6LD	no	32,389	1454	1.028	1764	3020	53	12%	1.75%	1817	Yes
CR-76A (Citrus Blvd)	CR-726	SR-714	2L	yes	4,629	219	1.047	302	1160	75	17%	6.47%	377	Yes
Citrus Blvd	CR-714	Port St. Lucie Blvd	2L	yes	6,214	510	1.066	798	1160	27	6%	2.33%	825	Yes
CR-76A (96th St)	CR-726	Pennsylvania Ave	2L	yes	4,323	203	1.034	257	1160	98	22%	8.45%	355	Yes
	CR-726	SR-76	2L	yes	8,572	420	1.014	463	800	89	20%	11.13%	552	Yes
CR-726 (Citrus Blvd)	Pennsylvania Ave	Greenridge Ln	2L	yes	2,816	141	1.044	191	730	22	5%	3.01%	213	Yes
	Greenridge Ln	CR-76A	2L	no	3,039	152	1.035	193	730	13	3%	1.78%	206	Yes
CR-713 (High Meadow Ave)	I-95	CR-714	2L	yes	13,858	896	1.016	1001	1200	27	6%	2.25%	1028	Yes
SR-714 (Martin Highway)	I-95	Citrus Blvd	2L	yes	14,739	732	1.043	983	1160	27	6%	2.33%	1010	Yes
Cove Rd	SR-76	Willoughby Blvd	2L	yes	13,725	883	1.007	927	880	27	6%	3.07%	954	Yes (1)
	SR-5	Willoughby Blvd	2L	yes	15,299	694	1.005	719	880	18	4%	2.05%	737	Yes
CR-708 (Bridge Rd)	SR-76	CR-711	2L	yes	1,110	90	1.080	154	730	89	20%	12.19%	243	Yes
	CR-711	I-95	2L	yes	4,769	300	1.080	514	730	53	12%	7.26%	567	Yes

Source: Martin County 2021 Roadway Level of Service and Inventory Report

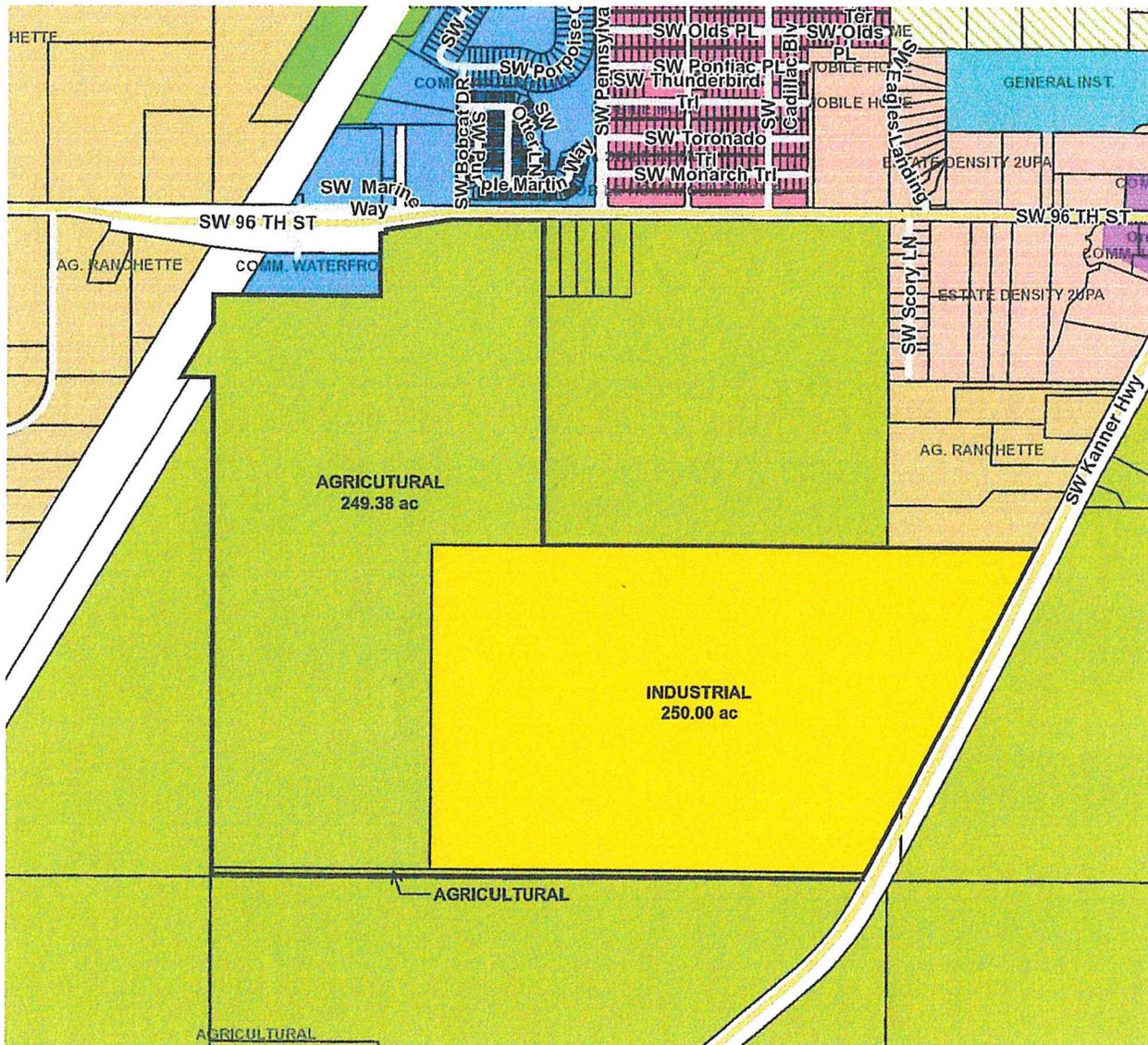
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## **APPENDIX A**

### **Roadway Network Data/Non-Motorized and Transit Data**

# Proposed Future Land Use Map



## Future Land Use Legend

- |                                  |   |
|----------------------------------|---|
| Rural Density -up to 0.5 UPA     | Commercial / Office / Residential       |
| AgTEC                            | Commercial Waterfront                   |
| Rural Heritage -up to 0.5 UPA    | Recreational                            |
| Estate Density -up to 1 UPA      | Public Conservation Area                |
| Estate Density -up to 2 UPA      | General Institutional                   |
| Low Density -up to 5 UPA         | Industrial                              |
| Medium Density -up to 8 UPA      | Agricultural                            |
| High Density -up to 10 UPA       | Agricultural Ranchette                  |
| Mobile Home Density -up to 8 UPA | Major Power Generation Facility         |
| Mixed-Use Village                | No Data (May Include Incorporated Area) |
| Commercial General               |   |
| Commercial Limited               |   |



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Neill Parcels CPA19-6

Martin County, Florida

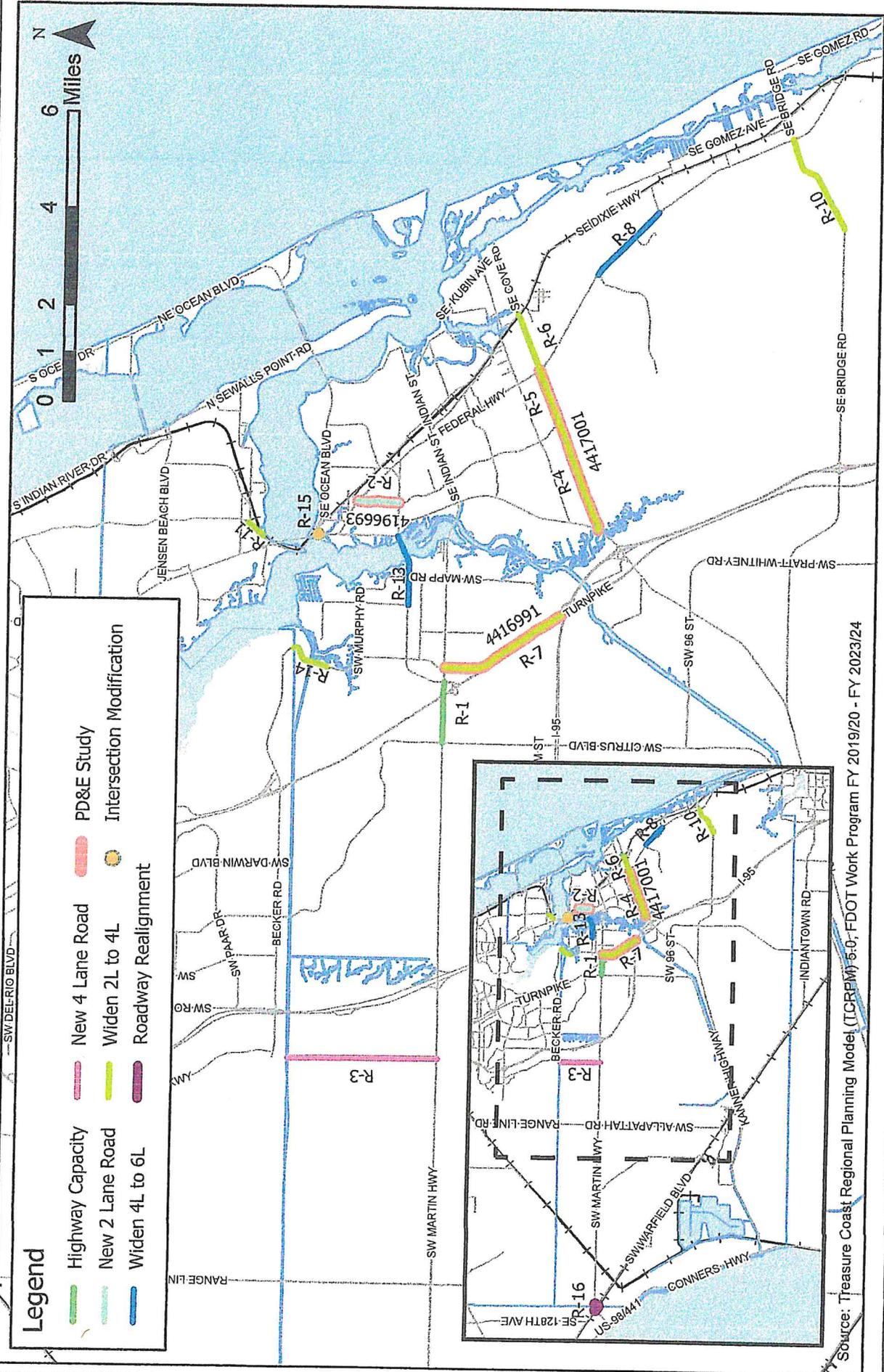


Figure 7-3

# 2045 Cost Feasible Plan Roadways Martin County

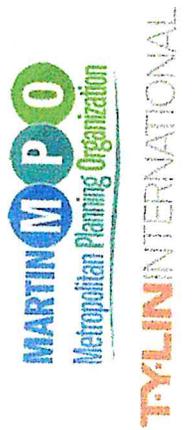


Table 7-1: Highway/Roadway Projects Prioritization

Map ID	Facility	From	To	Project Description	Existing Lanes	Future Lanes	Length (miles)	Total Score	Ranking	Priority
R-1	SR-714/Martin Highway	CR-76A/Citrus Boulevard	Martin Downs Boulevard	Highway Capacity	2	4	0.88	Under Construction	TIP	
419693	Willoughby Boulevard	SR-714/ Monterey Road	SR-5/US-1/Federal Highway	PD&E Study	-	-	0.84	Funded	TIP	Currently Funded
4417001	Cove Road	SR-76/Kanner Highway	SR-5/US-1/Federal Highway	PD&E Study	2	4	4.32	Funded	TIP	
4416991	CR-713/High Meadow Avenue	I-95	CR-714/Martin Highway	PD&E Study	-	-	2.64	Funded	TIP	
R-3	Village Parkway Extension	SR-714/Martin Highway	St. Lucie County Line	New 4 Lane Road	0	4	3.00	Privately Funded	2	Not Applicable
R-5	Cove Road	Willoughby Boulevard	SR-5/US-1/Federal Highway	Widen from 2L to 4L	2	4	1.07	39	1	
R-6	Cove Road	SR-5/US-1/Federal Highway	CR-A1A	Widen from 2L to 4L	2	4	1.12	39	1	
R-4	Cove Road <sup>1</sup>	SR-76/Kanner Highway	Willoughby Boulevard	Widen from 2L to 4L	2	4	2.13	35	2	Tier 1
R-15	SR-5/US-1 <sup>2</sup>	at SW Joan Jefferson Way		Intersection Modification	-	-	-	-	-	
R-16	CR-714/Martin Highway <sup>3</sup>	Approximately 1200 feet east of SR-710	SE126th Blvd. (Okeechobee County)	Roadway Realignment	-	-	-	-	-	
R-2	Willoughby Boulevard	SR-714/ Monterey Road	SR-5/US-1/Federal Highway	New 2 Lane Road	0	2	0.84	36	2	
R-7	CR-713/High Meadow Avenue	I-95	CR-714/Martin Highway	Widen from 2L to 4L	2	4	2.64	36	2	Tier 2
R-8	Federal Highway/US 1	SE Seabranh Blvd	SE Osprey St	Widen from 4L to 6L	4	6	1.15	36	2	
R-10	SE Bridge Rd	Powerline Ave	US-1/Federal Highway	Widen from 2L to 4L	2	4	2.00	33	3	
R-11	SE Green River Pkwy	NW Wright Blvd	NW Dixie Hwy	Widen from 2L to 4L	2	4	0.37	33	3	Tier 3
R-13	SW Martin Downs Blvd	SW Matheson Ave	SW Palm City Rd	Widen from 4L to 6L	4	6	1.33	33	3	
R-14	SW Murphy Rd	Whisper Bay Terrace	North County Line	Widen from 2L to 4L	2	4	0.35	32	4	
R-9	S Ocean Dr	North County Line	NE Causeway Blvd	Widen from 2L to 4L	2	4	1.40	30	4	Tier 4
R-12	Martin Highway	SW Mapp Rd	Kanner Hwy	Widen from 4L to 6L	4	6	1.42	29	4	

Notes:

- <sup>1</sup> Moved from Tier 2 to Tier 1 since the project, R-4 is contiguous with R-5. Further, construction projects on Cove Road and would be implemented in synchronization.
- <sup>2</sup> SR-5/US-1 at SW Joan Jefferson Way (FM # 4383452) included in Martin MPO's TIP, FY 2020/21 - FY2024/25 is one of top priority projects (Tier 1).
- <sup>3</sup> CR-714/Martin Highway realignment project to enhance safety is one of top priority projects (Tier 1) for Martin MPO. Florida Department of Transportation (FDOT), District One completed SR-710 PD&E Study from US 441 to SW Martin Highway in Okeechobee and Martin Counties in 2010 and amended in Nov, 2018.

Prioritization Methodology

1. Project prioritized using a total 15 criteria relative to the goals and objectives of the 2045 L RTP.
2. Each project was assigned points on a scale of 1 to 4, with 1 being the lowest and 4 indicating the highest. In all cases a higher score indicated better performance compared to a lower score.
3. Projects overlapping with hurricane evacuation route(s), those in vulnerable areas as it relates to extreme weather events, King tides and sea level rise (SLR), and affecting Community Redevelopment Areas (CRAs) were assigned extra points.

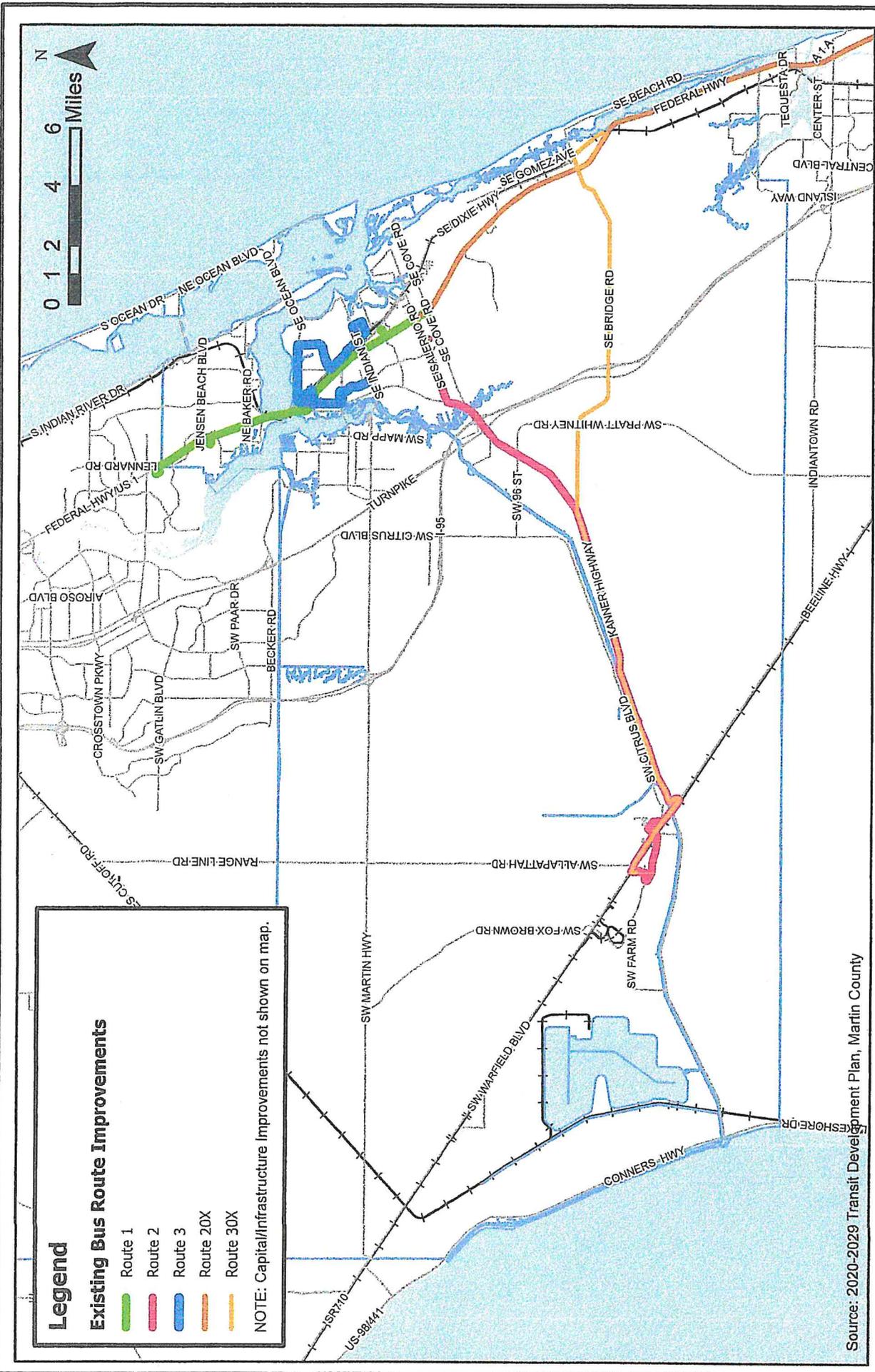
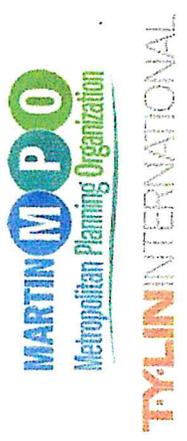


Figure 7-2

# 2045 Cost Feasible Plan Transit Projects Martin County



Source: 2020-2029 Transit Development Plan, Martin County

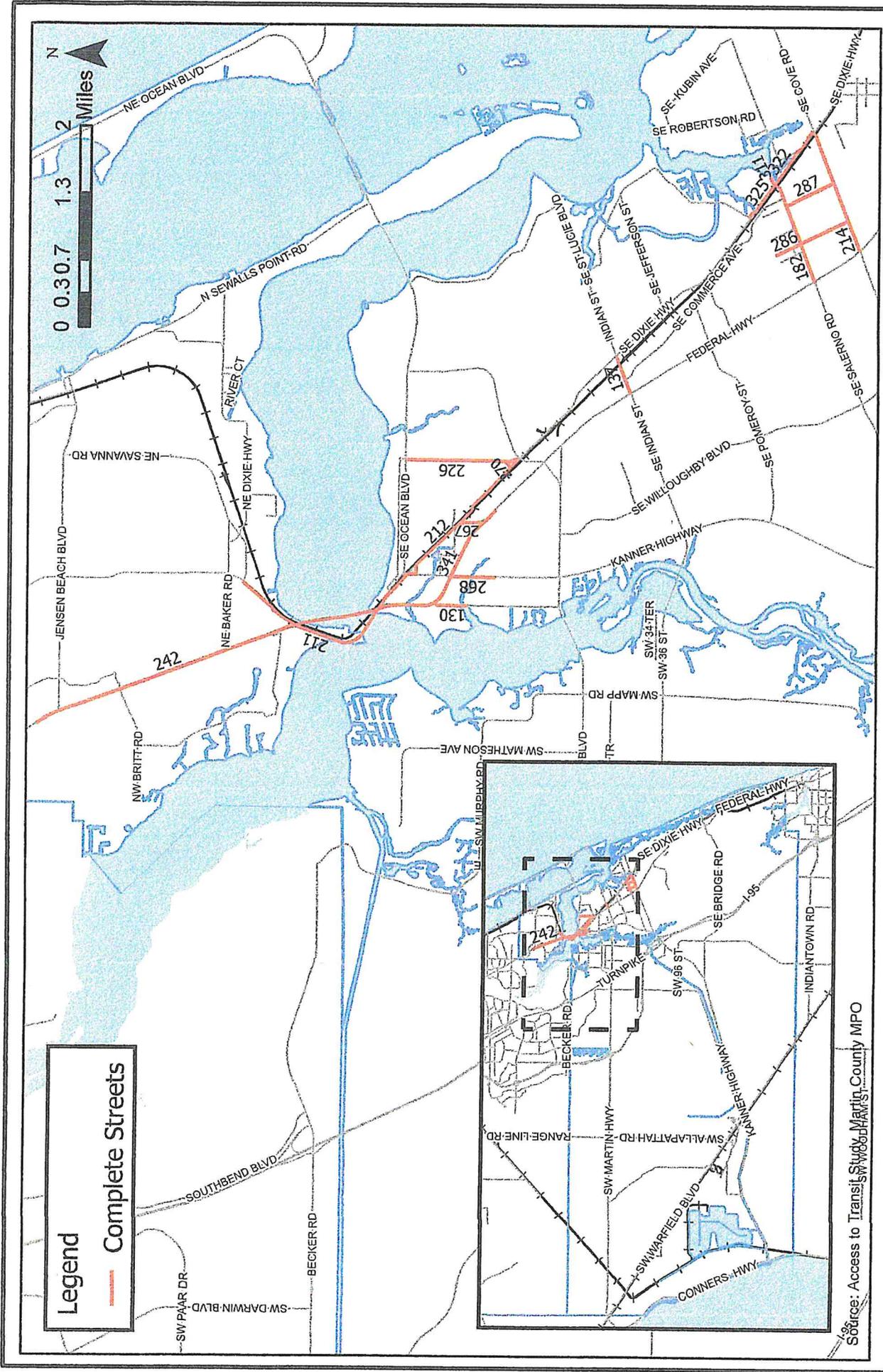
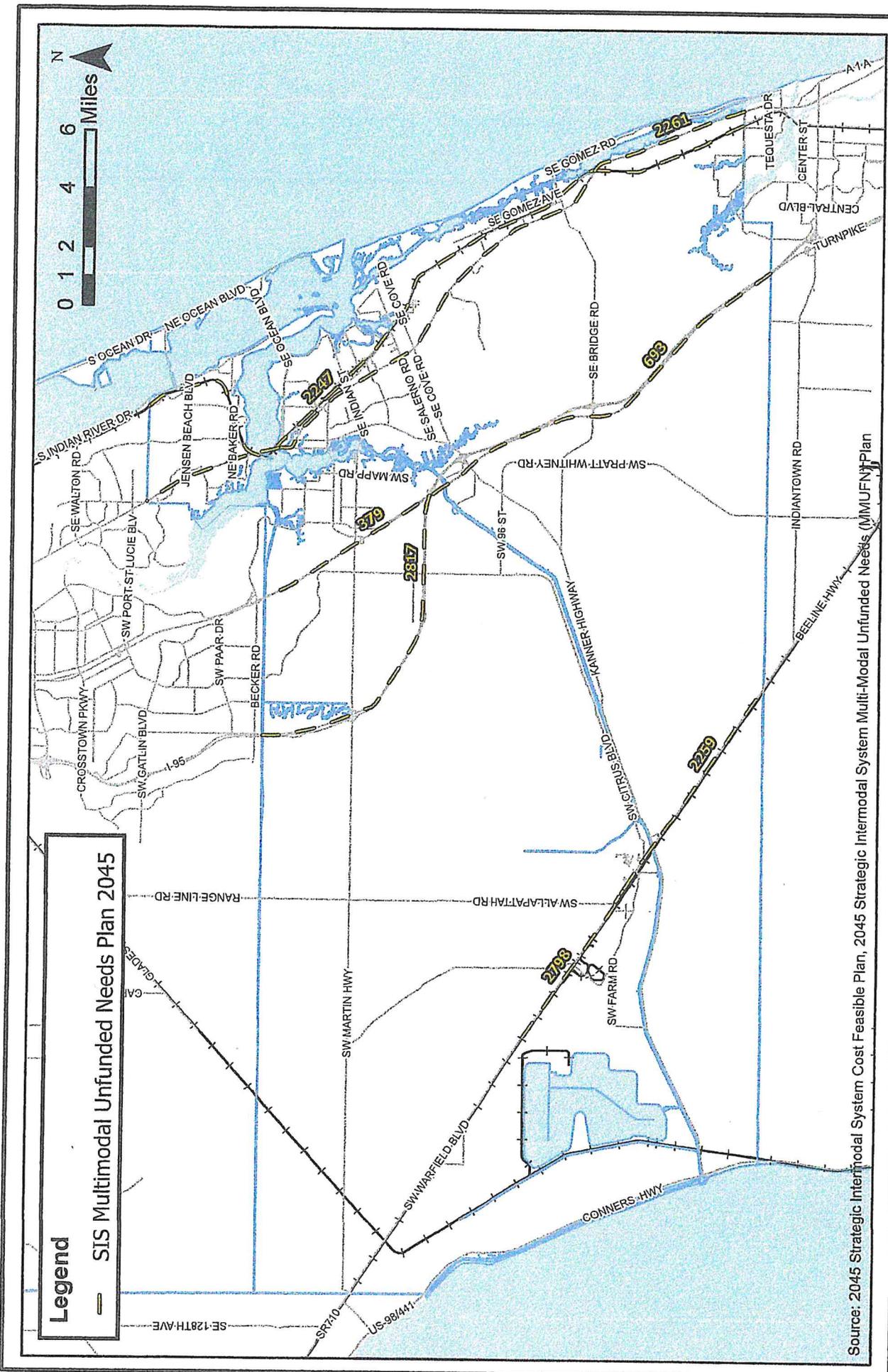


Figure 7-8

# 2045 Cost Feasible Plan Complete Streets Martin County



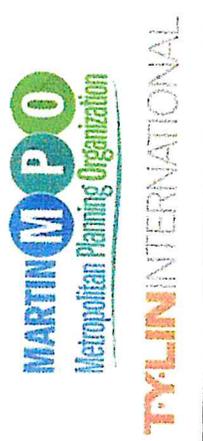
Source: Access to Transit Study, Martin County MPO



**Legend**  
 — SIS Multimodal Unfunded Needs Plan 2045

0 1 2 4 6 Miles

Source: 2045 Strategic Intermodal System Cost Feasible Plan, 2045 Strategic Intermodal System Multi-Modal Unfunded Needs (MMUFN) Plan



# 2045 SIS Multimodal Unfunded Needs Strategic Intermodal System Projects Martin County



Figure 7-12

**APPENDIX B**

**Martin County 2040  
Roadway Level of Service Inventory Report  
and  
Martin County 2021  
Roadway Level of Service Inventory Report**

**Martin County 2021 Roadway Level of Service Inventory Report**

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
Baker Rd	SR-5	CR-723	Class II: 2-Ln Undivided	750	4,838	233	C	0.9%
Berry Ave	Golden Bear Wy	CR-714	Class II: 2-Ln Undivided	750	3,506	182	C	0.6%
Berry Ave	CR-714	Sunset Tr	Class II: 2-Ln Undivided	750	1,832	97	C	0.5%
Britt Rd	Pine Lake Dr	SR-5	Class II: 2-Ln Undivided	750	4,356	210	C	0.5%
Citrus Blvd.	CR-714 (Martin Hwy)	Port St. Lucie Blvd.	Transitional 2-Ln Uninter /Undivided Flow	1160	6,214	510	A/B	6.6%
Commerce Ave	Salerno Rd	Monroe St	Class II: 2-Ln Undivided	750	7,672	643	D	5.0%
Commerce Ave	Monroe St	Indian St	Class II: 2-Ln Undivided	750	5,946	390	D	0.5%
Country Club Dr	Palm Beach County	Island Way	Class II: 2-Ln Undivided	750	2,986	135	C	1.4%
Country Club Dr	Island Way	Little Club Dr	Class II: 2-Ln Undivided	750	3,772	177	C	2.9%
County Line Rd	Little Club Dr	SR-5	Class II: 2-Ln Undivided	750	2,750	127	C	1.4%
Cove Rd	SR-76	Willoughby Blvd	Class I: 2-Ln Undivided	880	13,725	883	F	0.7%
Cove Rd	Willoughby Blvd	SR-5	Class I: 2-Ln Undivided	880	15,299	694	C	0.5%
Cove Rd	CR-A1A	End	2-Ln Undivided Non-State	675	5,259	239	C	0.8%
CR-609 (Allapattah Rd)	SR-710	CR-714	Uninterrupted Rural Hwy: 2-Ln Undivided	730	1,970	105	A/B	2.7%
CR-609 (Allapattah Rd)	CR-714	St Lucie County	Uninterrupted Rural Hwy: 2-Ln Undivided	730	1,868	114	A/B	1.4%
CR-707 (Beach Rd)	Palm Beach County	CR-708	2-Ln Undivided Non-State	675	1,801	123	C	2.6%
CR-707 (Indian River Dr)	CR-707 (Dixie Hwy)	CR-707A (Jensen Beach Blvd.)	2-Ln Undivided Non-State	675	10,965	666	D	0.5%
CR-707 (Indian River Dr)	SR-732	St. Lucie County	2-Ln Undivided Non-State	675	5,987	272	C	5.3%
CR-707A (Jensen Beach Blvd)	CR-723	Skyline Dr	Class II: 4-Ln Divided	1630	21,151	909	D	1.9%
CR-707A (Jensen Beach Blvd)	Skyline Dr	Pineapple Way	Class II: 4-Ln Divided	1630	19,355	849	D	0.5%
CR-707A (Jensen Beach Blvd)	Pineapple Wy	CR-707	2-Ln Undivided Non-State	675	8,923	375	D	0.5%

Segments with shaded LOS require additional analysis. The peaks are: Cove Rd (AM/EB) and Murphy Rd (PM/MB).

## Martin County 2021 Roadway Level of Service Inventory Report

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
CR-708 (Bridge Rd)	SR-76	CR-711	Uninterrupted Rural Hwy: 2-Ln Undivided	730	1,110	90	A/B	8.0%
CR-708 (Bridge Rd)	CR-711	I-95	Uninterrupted Rural Hwy: 2-Ln Undivided	730	4,769	300	C	8.0%
CR-708 (Bridge Rd)	I-95	Powerline Ave	Transitional 2-Ln Uninter /Undivided Flow	1160	9,391	562	C	3.4%
CR-708 (Bridge Rd)	Powerline Ave	SR-5	Class I: 2-Ln Undivided	880	10,771	627	C	2.9%
CR-708 (Bridge Rd)	Gomez Ave	CR-707	Class II: 2-Ln Undivided	750	4,633	272	C	0.6%
CR-711 (Pratt Whitney Rd)	Palm Beach County	CR-708	Uninterrupted Rural Hwy: 2-Ln Undivided	730	3,820	336	C	2.7%
CR-711 (Pratt Whitney Rd)	CR-708	South Fork High School	Class I: Transitional 2-Ln Undivided	800	4,564	315	C	0.6%
CR-711 (Pratt Whitney Rd)	South Fork High School	SR-76	Class I: Transitional 2-Ln Undivided	800	5,922	283	C	3.4%
CR-713 (High Meadow Ave)	I-95	CR-714	2-Ln Uninter /Undivided Flow	1200	13,858	896	D	1.6%
CR-713 (High Meadow Ave)	CR-714	SR-714	Class I: 2-Ln Undivided	880	10,703	528	C	1.9%
CR-713 (High Meadow Ave)	SR-714	Murphy Rd	2-Ln Uninter /Undivided Flow	1200	11,617	734	C	1.4%
CR-714 (Martin Hwy)	SR-710	Fox Brown Rd	Uninterrupted Rural Hwy: 2-Ln Undivided	730	3,585	160	A/B	3.5%
CR-714 (Martin Hwy)	Fox Brown Rd	CR-609	Uninterrupted Rural Hwy: 2-Ln Undivided	730	3,990	201	A/B	6.1%
CR-714 (Martin Hwy)	CR-609	I-95	Uninterrupted Rural Hwy: 2-Ln Undivided	730	6,145	282	C	4.3%
CR-714 (Martin Hwy)	Florida's Turnpike	CR-713	Class I: 4-Ln Divided	2000	21,701	1,439	C	0.5%
CR-714 (Martin Hwy)	CR-713	Mapp Rd	Class I: 4-Ln Divided	2000	22,972	1,172	C	2.8%
CR-714 (Veteran's Memorial Bridge)	Mapp Rd	SR-76	Class I: 4-Ln Divided	2000	24,349	1,430	C	1.6%
CR-723 (Savanna Rd)	CR-707	NE 24th St	Class I: 2-Ln Undivided	880	8,458	383	C	0.5%
CR-723 (Savanna Rd)	NE 24th St	CR-707A (Jensen Beach Blvd.)	Class I: 2-Ln Undivided	880	9,388	446	C	0.5%
CR-726 (Citrus Blvd)	SR-710	Greenridge Ln	Uninterrupted Rural Hwy: 2-Ln Undivided	730	3,039	152	A/B	3.5%
CR-726 (Citrus Blvd)	Greenridge Ln	CR-76A	Uninterrupted Rural Hwy: 2-Ln Undivided	730	2,816	141	A/B	4.4%

Segments with shaded LOS require additional analysis.  
The peaks are: Cove Rd (AM/EB) and Murphy Rd (PM/NB).

**Martin County 2021 Roadway Level of Service Inventory Report**

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
CR-76A (Citrus Blvd.)	CR-726	SR-714	Transitional 2-Ln Uninter /Undivided Flow	1160	4,629	219	A/B	4.7%
CR-76A (SW 96th St)	CR-726	Pennsylvania Ave	Transitional 2-Ln Uninter /Undivided Flow	1160	4,323	203	A/B	3.4%
CR-76A (SW 96th St)	Pennsylvania Ave	SR-76	Class I: Transitional 2-Ln Uninter /Undivided	800	8,572	420	C	1.4%
CR-A1A (Dixie Hwy)	SR-5	CR-708	Class II: 2-Ln Uninter /Undivided	750	3,747	183	C	2.9%
CR-A1A (Dixie Hwy)	CR-708	Osprey St	Class I: 2-Ln Uninter /Undivided	880	7,350	465	C	1.8%
CR-A1A (Dixie Hwy)	Osprey St	Heritage Blvd	2-Ln Uninter /Undivided Flow	1200	6,620	369	A/B	0.7%
CR-A1A (Dixie Hwy)	Heritage Blvd	Cove Rd	2-Ln Uninter /Undivided Flow	1200	7,140	345	A/B	0.9%
CR-A1A (Dixie Hwy)	St Lucie Blvd	Jefferson St	Class II: 2-Ln Uninter /Undivided	750	13,729	686	D	0.5%
CR-A1A (Dixie Hwy)	Indian St	SR-714	Class I: 4-Ln Divided	2000	14,613	737	C	1.5%
CR-A1A (Dixie Hwy)	SR-714	SE Fifth St	2-Ln Uninter /Undivided Non-State	675	6,657	338	D	0.5%
Farm Rd	Dr Martin Luther King Jr Dr	Palm Wy	Class II: 2-Ln Uninter /Undivided	750	3,099	160	C	4.8%
Fox Brown Rd	SR-710	CR-714	Uninterrupted Rural Hwy: 2-Ln Uninter /Undivided	730	495	27	A/B	4.1%
Goldenrod Rd	Britt Rd	SR-732	Class II: 4-Ln Divided	1630	4,905	259	A/B	0.5%
Goldenrod Rd	SR-732	SR-5	Class II: 2-Ln Uninter /Undivided	750	6,788	352	C	1.4%
Goldenrod Rd	SR-5	Westmoreland Blvd	Class II: 2-Ln Uninter /Undivided	750	4,337	280	C	0.5%
Gomez Ave	CR-708	Crossrip St	Class II: 2-Ln Uninter /Undivided	750	3,563	181	C	0.7%
Gomez Ave	Crossrip St	Osprey St	Class II: 2-Ln Uninter /Undivided	750	1,142	65	C	0.5%
Green River Parkway	Dixie Hwy	Baker Rd	Class II: 2-Ln Uninter /Undivided	750	7,952	574	D	3.5%
Green River Parkway	Baker Rd	SR-732	Class I: 2-Ln Uninter /Undivided	880	8,553	602	C	2.2%
Green River Parkway	SR-732	St. Lucie County	2-Ln Uninter /Undivided Flow	1200	9,012	461	A/B	0.9%
Horseshoe Point Rd	CR-A1A	Kubin Ave	2-Ln Uninter /Undivided Non-State	675	5,578	268	C	0.5%

Segments with shaded LOS require additional analysis.  
The peaks are: Cove Rd (AM/EB) and Murphy Rd (PM/MB).

**Martin County 2021 Roadway Level of Service Inventory Report**

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
Indian St	SR-76	Willoughby Blvd	Class I: 4-Ln Divided	2000	30,495	1,644	C	2.7%
Indian St	Willoughby Blvd	SR-5	Class I: 4-Ln Divided	2000	28,241	1,400	C	1.3%
Indian St	SR-5	Commerce Ave	Class I: 4-Ln Divided	2000	24,880	1,258	C	0.5%
Indian St	Commerce Ave	CR-A1A	Class I: 4-Ln Divided	2000	23,644	1,070	C	0.5%
Indian River Dr	Palmer St	CR-707	Class II: 2-Ln Undivided	750	7,526	414	D	0.7%
Island Way	Palm Beach County	Jupiter Road	Transitional 2-Ln Uninter /Undivided Flow	1160	4,756	267	A/B	3.1%
Island Way	Jupiter Road	Country Club Dr	Class II: 2-Ln Undivided	750	5,389	252	C	8.0%
Jack James Rd	SR-76	Blue Water Wy	Class II: 2-Ln Undivided	750	4,095	245	C	3.7%
Lares St	CR-708	CR-A1A	2-Ln Undivided Non-State	675	2,598	147	C	0.5%
Little Club Wy	Country Club Dr	Wooden Bridge Wy	2-Ln Undivided Non-State	675	2,397	109	C	0.5%
Locks Rd	Canal St	SR-76	2-Ln Undivided Non-State	675	3,706	155	C	1.0%
MacArthur Blvd	Sailfish Point	SR-A1A	2-Ln Undivided Non-State	675	5,635	313	C	5.3%
Mapp Rd	South End	CR-714	Class II: 2-Ln Undivided	750	5,051	231	C	0.5%
Mapp Rd	SR-714	Matheson Ave	Class II: 2-Ln Undivided	750	4,531	231	C	0.5%
Mapp Rd	Matheson Ave	North End	Class II: 2-Ln Undivided	750	7,412	344	C	0.5%
Market Pl	SR-5	Commerce Ave	Class II: 2-Ln Undivided	750	5,192	266	C	3.8%
Matheson Ave	SR-714	Mapp Rd	Class II: 2-Ln Undivided	750	6,177	337	C	0.6%
Monroe St	SR-5	Commerce Ave	Class II: 2-Ln Undivided	750	2,338	128	C	6.8%
Murphy Rd	Mapp Rd	High Meadow Ave	Class II: 2-Ln Undivided	750	5,103	304	C	2.3%
Murphy Rd	High Meadow Ave	St Lucie County	Class II: 2-Ln Undivided	750	8,442	797	E	1.7%
Ocean Blvd	Flagler Ave	Palm Beach Rd	Class II: 2-Ln Divided	790	9,014	514	D	0.5%

Segments with shaded LOS require additional analysis.  
The peaks are: Cove Rd (AM/EB) and Murphy Rd (PM/NB).

**Martin County 2021 Roadway Level of Service Inventory Report**

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
Ocean Blvd	Palm Beach Rd	SR-714	4-Ln Divided Non-State	1465	14,331	663	D	0.6%
Osprey St	SR-5	CR-A1A	Class II: 2-Ln Undivided	750	4,794	207	C	1.2%
Osprey St	CR-A1A	Gomez Ave	Class II: 2-Ln Undivided	750	2,042	111	C	0.5%
Palm Beach Rd	SR-714	Ocean Blvd	2-Ln Divided Non-State	710	7,493	361	D	0.5%
Palm City Rd	SR-714	SR-5	Class II: 2-Ln Undivided	750	6,893	408	D	1.9%
Palmer St	CR-707	Indian River Dr	Class II: 2-Ln Undivided	750	3,254	244	C	1.7%
Pineapple Wy	CR-707A(Jensen Beach Blvd.)	SR-732	Class II: 2-Ln Undivided	750	11,208	509	D	0.5%
Pomeroy St	SR-76	Willoughby Blvd	Class II: 2-Ln Divided	790	9,042	436	D	0.5%
Pomeroy St	Willoughby Blvd	SR-5	Class II: 2-Ln Divided	790	8,766	415	D	1.0%
Salerno Rd	SR-76	Willoughby Blvd	Class I: 2-Ln Undivided	880	7,618	397	C	0.8%
Salerno Rd	Willoughby Blvd	SR-5	Class II: 2-Ln Divided	790	8,749	509	D	0.5%
Salerno Rd	Commerce Ave	CR-A1A	Class II: 2-Ln Undivided	750	7,758	376	D	0.5%
Seabranh Blvd	Doubletree Dr	SR-5	Class I: 4-Ln Divided	2000	6,011	313	C	0.5%
Sewalls Pt Rd	SR-A1A	Palmer St	2-Ln Undivided Non-State	675	9,874	469	D	3.7%
Skyline Dr	CR-707A	CR-707	2-Ln Undivided Non-State	675	1,780	82	C	0.5%
SR-5 (US-1)	Palm Beach County	CR-A1A	Transitional 4-Ln Uninter /Divided Flow	3120	21,041	974	A/B	1.1%
SR-5 (US-1)	CR-A1A	CR-708	Class I: 4-Ln Divided	2000	18,214	1,190	C	1.4%
SR-5 (US-1)	CR-708	Osprey St	Class I: 4-Ln Divided	2000	24,897	1,405	C	1.0%
SR-5 (US-1)	Osprey St	Seabranh Blvd	Class I: 4-Ln Divided	2000	23,633	1,330	C	0.5%
SR-5 (US-1)	Seabranh Blvd	Cove Rd	Class I: 6-Ln Divided	3020	29,876	1,397	C	0.5%
SR-5 (US-1)	Cove Rd	Salerno Rd	Class I: 6-Ln Divided	3020	31,597	1,450	C	0.5%

Segments with shaded LOS require additional analysis.  
The peaks are: Cove Rd (AM/EB) and Murphy Rd (PM/NB).

**Martin County 2021 Roadway Level of Service Inventory Report**

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
SR-5 (US-1)	Salerno Rd	Monroe St	Class I: 6-Ln Divided	3020	39,541	1,772	C	0.5%
SR-5 (US-1)	Monroe St	Indian St	Class I: 6-Ln Divided	3020	41,523	1,758	C	0.5%
SR-5 (US-1)	Indian St	SR-714	Class I: 6-Ln Divided	3020	44,715	2,228	C	0.5%
SR-5 (US-1)	SR-714	SR-5A	Class I: 6-Ln Divided	3020	36,179	1,811	C	0.5%
SR-5 (US-1)	SR-5A(Cut-off Rd)	SR-76	Class I: 6-Ln Divided	3020	35,674	1,492	C	0.5%
SR-5 (US-1)	SR-76	Palm City Rd	Class II: 6-Ln Divided	2520	46,838	1,936	D	0.5%
SR-5 (US-1)	Palm City Rd	Joan Jefferson Wy	Class II: 6-Ln Divided	2520	54,328	2,244	D	0.5%
SR-5 (US-1)	Joan Jefferson Wy	Wright Blvd	Class I: 6-Ln Divided	3020	58,367	2,942	D	0.5%
SR-5 (US-1)	Wright Blvd	Baker Rd	Class I: 6-Ln Divided	3020	49,301	2,071	C	0.5%
SR-5 (US-1)	Baker Rd	Britt Rd	Class I: 6-Ln Divided	3020	46,774	2,182	C	0.5%
SR-5 (US-1)	Britt Rd	SR-732	Class I: 7-Ln Divided	3530	54,949	2,708	C	0.5%
SR-5 (US-1)	SR-732	Westmoreland Blvd	Class I: 8-Ln Divided	4040	64,467	2,992	C	0.5%
SR-5 (US-1)	Westmoreland Blvd	St Lucie County	Class I: 8-Ln Divided	4040	62,434	2,565	C	0.5%
SR-710 (Warfield Blvd)	Okeechobee County	Fox Brown Rd	Uninterrupted Rural Hwy: 2-Ln Undivided	670	7,023	341	C	3.2%
SR-710 (Warfield Blvd)	Fox Brown Rd	CR-609 (Allapattah)	2-Ln Uninter /Undivided Flow	890	8,333	344	A/B	3.2%
SR-710 (Warfield Blvd)	CR-609 (Allapattah)	Van Buren	Class I: 2-Ln Undivided	870	13,345	764	C	3.4%
SR-710 (Warfield Blvd)	Van Buren	CR-726 (Citrus)	Class II: 4-Ln Divided	1710	13,345	764	D	3.4%
SR-710 (Warfield Blvd)	CR-726	SR-76 (Kanner)	Transitional 4-Ln Uninter /Divided Flow	2470	11,931	581	A/B	3.4%
SR-710 (Warfield Blvd)	SR-76	Palm Beach County	Transitional 4-Ln Uninter /Divided Flow	2470	8,867	434	A/B	4.4%
SR-714 (Martin Hwy)	I-95	CR-76A (Citrus)	Transitional 2-Ln Uninter /Undivided Flow	1160	14,739	732	C	4.3%
SR-714 (Martin Hwy)	CR-76A (Citrus)	Florida's Turnpike	Class I: 4-Ln Divided	2000	22,526	1,209	C	4.3%

Segments with shaded LOS require additional analysis. The peaks are: Cove Rd (AM/EB) and Murphy Rd (PM/NB).

**Martin County 2021 Roadway Level of Service Inventory Report**

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
SR-714 (Martin Downs Blvd)	Florida's Tumpike	CR-713	Class I: 4-Ln Divided	2000	21,933	1,200	C	1.0%
SR-714 (Martin Downs Blvd)	CR-713	Matheson Ave	Class I: 4-Ln Divided	2000	24,856	1,262	C	0.5%
SR-714 (Martin Downs Blvd)	Matheson Ave	Mapp Rd	Class I: 4-Ln Divided	2000	31,964	1,694	C	0.5%
SR-714 (Palm City Bridge)	Mapp Rd	SR-76	Class I: 4-Ln Divided	2000	34,006	1,809	C	0.5%
SR-714 (Monterey Rd)	SR-76	Willoughby Blvd	Class I: 4-Ln Divided	2000	22,348	1,353	C	0.5%
SR-714 (Monterey Rd)	Willoughby Blvd	Monterey Extension	Class I: 4-Ln Divided	2000	24,222	1,184	C	0.5%
SR-714 (Monterey Rd)	Monterey Extension	SR-5	Class I: 4-Ln Divided	2000	18,597	931	C	1.1%
SR-714 (Monterey Rd)	SR-5	CR-A1A	Class II: 4-Ln Divided	1630	21,659	1,076	D	0.5%
SR-714 (Monterey Rd)	CR-A1A	SR-A1A	Class I: 4-Ln Divided	1910	18,954	870	C	4.4%
SR-732 (Causeway Blvd)	CR-707	SR-A1A	2-Ln Uninter /Undivided Flow	1200	13,844	734	C	0.6%
SR-732 (Jensen Beach Blvd)	SR-5	Green River Pkwy	Class I: 4-Ln Divided	2000	25,451	1,259	C	0.5%
SR-732 (Jensen Beach Blvd)	Green River Pkwy	CR-723	Class I: 4-Ln Divided	2000	27,587	1,069	C	1.4%
SR-76 (Kanner Hwy)	SR-15	SR-710	Uninterrupted Rural Hwy: 2-Ln Undivided	730	2,244	109	A/B	2.2%
SR-76 (Kanner Hwy)	SR-710	CR-708	Uninterrupted Rural Hwy: 2-Ln Undivided	730	3,692	190	A/B	1.2%
SR-76 (Kanner Hwy)	CR-708	CR-711/CR-76A	Transitional 2-Ln Uninter /Undivided Flow	1160	3,093	169	A/B	0.5%
SR-76 (Kanner Hwy)	CR-711/CR76A	Locks Rd	Class I: 4-Ln Divided	2000	13,064	810	C	0.9%
SR-76 (Kanner Hwy)	Locks Rd	Jack James	Class I: 4-Ln Divided	2000	18,816	900	C	0.5%
SR-76 (Kanner Hwy)	Jack James	Cove Rd	Class I: 6-Ln Divided	3020	47,218	2,361	C	1.5%
SR-76 (Kanner Hwy)	Cove Rd	Salerno Rd	Class I: 6-Ln Divided	3020	35,531	1,581	C	1.8%
SR-76 (Kanner Hwy)	Salerno Rd	Indian St	Class I: 6-Ln Divided	3020	32,389	1,454	C	2.8%
SR-76 (Kanner Hwy)	Indian St	SR-714	Class I: 6-Ln Divided	3020	23,296	1,102	C	1.1%

Segments with shaded LOS require additional analysis.  
The peaks are: Cove Rd (AM/EB) and Murphy Rd (PM/ND).

**Martin County 2021 Roadway Level of Service Inventory Report**

Road Name	From	To	Type	Generalized Service Capacity	2021 Average Annual Daily Traffic	2021 Peak Hour Directional Volume	2021 Generalized LOS	Avg. Annual Growth Rate
SR-76 (Kanner Hwy)	SR-714	SR-5	Class I: 6-Ln Divided	3020	24,660	986	C	0.5%
SR-A1A (Ocean Blvd)	SR-714	St Lucie Blvd	Class II: 4-Ln Divided	1630	20,251	1,104	D	1.7%
SR-A1A (Ocean Blvd)	St Lucie Blvd	Sewalls Point Rd	Class I: 4-Ln Divided	2000	22,826	1,165	C	0.5%
SR-A1A (Ocean Blvd)	Sewalls Point Rd	MacArthur Blvd	Class I: 2-Ln Divided	925	13,192	599	C	1.4%
SR-A1A (Ocean Blvd)	MacArthur Blvd	SR-732	2-Ln Uninter /Undivided Flow	1200	8,198	398	A/B	1.0%
SR-A1A (Ocean Blvd)	SR-732	St Lucie County	2-Ln Uninter /Undivided Flow	1200	15,360	845	C	0.5%
St Lucie Blvd	CR-A1A	Indian St	2-Ln Undivided Non-State	675	3,610	187	C	1.2%
St Lucie Blvd	Indian St	SR-A1A	2-Ln Undivided Non-State	675	6,476	353	D	1.7%
Westmoreland Blvd	St Lucie County	SR-5	Class II: 2-Ln Divided	790	11,223	531	D	0.5%
Willoughby Blvd	Cove Rd	Salerno Rd	Class I: 2-Ln Undivided	880	3,862	206	C	4.0%
Willoughby Blvd	Salerno Rd	Pomeroy St	Class I: 2-Ln Undivided	880	8,072	432	C	2.7%
Willoughby Blvd	Pomeroy St	Indian St	Class I: 4-Ln Divided	2000	9,833	462	C	7.7%
Willoughby Blvd	Indian St	SR-714	Class I: 4-Ln Divided	2000	10,075	497	C	0.8%
Wright Blvd	SR-5	Dixie Highway	Class II: 2-Ln Undivided	750	10,236	464	D	2.7%

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March County 2010 Roadway Level of Service Inventory Report

Using March County  
Inventory

Road Name	From	To	Class for			Road	Type	2008 Type	2008			2009			2010			Annual Roadway Growth Rate	Annual Roadway Growth Rate (30 Year)	Roadway Inventory	Projected 2010 Inventory	VC	
			1	2	U				2008	2009	2010	2008	2009	2010	2008	2009	2010						
State R4	SR-3	CR-73	1	2	U	Urban	2-U, Urban, 1	1000	473	408	434	395	492	473	478	450	0.0%	3.17	12,400	12,400	1,000	753	0.45
State Ave	Colton Blvd W	CR-74	1	2	U	Urban	2-U, Urban, 1	1000	203	200	200	210	210	210	204	170	0.0%	0.0%	NA	NA	NA	312	0.21
State Ave	CR-74	State R7	1	2	U	Urban	2-U, Urban, 1	1000	1,274	1,710	1,820	1,800	1,845	1,821	1,820	1,820	0.0%	4.1	4,700	4,700	4,700	4,700	0.22
State	First Lane Dr	SR-3	1	2	U	Urban	2-U, Urban, 1	1000	4,888	4,882	4,771	4,662	4,600	4,700	4,180	4,000	-0.0%	2.5	4,600	4,600	4,600	4,600	0.01
State Blvd	CR-74 (Main Hwy)	State R4	1	2	U	Urban	2-U, Urban, 1	1000	3,465	3,443	3,443	3,421	3,421	3,421	3,421	3,421	0.0%	5.72	13,315	13,315	13,315	13,315	0.31
Commerce Ave	State R4	State R4	1	2	U	Urban	2-U, Urban, 1	1000	6,261	6,028	6,028	6,171	6,000	6,171	6,000	6,171	-0.1%	9.15	14,774	14,774	14,774	14,774	0.30
Commerce Ave	Wayne St	State R4	1	2	U	Urban	2-U, Urban, 1	1000	6,135	6,240	6,117	6,000	6,200	6,117	6,000	6,200	0.0%	11.9	14,774	14,774	14,774	14,774	0.30
Commerce Ave	Phin Station Quarry	State R4	1	2	U	Urban	2-U, Urban, 1	1000	2,070	2,052	2,445	4,574	2,780	2,445	2,445	2,445	-0.0%	10.7	14,774	14,774	14,774	14,774	0.30
Commerce Ave	Black Way	State R4	1	2	U	Urban	2-U, Urban, 1	1000	3,170	3,094	3,289	5,403	5,274	3,311	3,100	3,000	0.0%	10.7	14,774	14,774	14,774	14,774	0.30
Commerce Ave	Leah Oak Dr	State R4	1	2	U	Urban	2-U, Urban, 1	1000	2,850	2,719	2,641	4,725	4,600	2,641	2,641	2,641	-0.1%	10.7	14,774	14,774	14,774	14,774	0.30
Commerce Ave	State R4	State R4	1	2	U	Urban	2-U, Urban, 1	1000	710	720	600	600	600	600	614	611	-0.2%	NA	NA	NA	NA	0.04	
Commerce Ave	Whispering Bend	State R4	1	2	U	Urban	2-U, Urban, 1	1000	10,000	12,400	11,000	12,400	12,400	12,400	12,400	12,400	0.0%	4.67	10,015	10,015	10,015	10,015	1.00
Commerce Ave	SR-3	State R4	1	2	U	Urban	2-U, Urban, 1	1000	13,221	13,741	13,741	13,741	13,741	13,741	13,741	13,741	0.0%	12.3	22,900	22,900	22,900	22,900	1.00
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	12,075	12,461	12,010	11,720	11,720	11,720	11,720	11,720	-0.1%	11.56	21,918	21,918	21,918	21,918	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	5,174	5,171	5,255	4,772	5,141	5,120	5,015	5,010	-0.2%	5.9	22,900	22,900	22,900	22,900	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	1,738	1,733	1,777	1,779	1,725	1,733	1,737	1,737	0.0%	2.01	22,900	22,900	22,900	22,900	0.21
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	1,244	1,245	1,245	1,241	1,241	1,241	1,241	1,241	0.0%	10.0	22,900	22,900	22,900	22,900	0.21
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	1,600	1,600	1,615	1,584	1,615	1,584	1,615	1,615	-0.1%	2.08	22,900	22,900	22,900	22,900	0.21
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	2,250	2,174	2,200	2,100	2,200	2,100	2,100	2,100	-0.1%	2.08	22,900	22,900	22,900	22,900	0.21
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	12,614	12,607	11,800	10,700	10,700	10,700	10,700	10,700	-0.4%	6.00	22,900	22,900	22,900	22,900	0.21
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	6,119	6,104	6,000	6,000	6,000	6,000	6,000	6,000	0.0%	6.00	22,900	22,900	22,900	22,900	0.21
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	5,011	5,021	5,415	5,140	5,141	5,021	5,021	5,021	0.0%	6.00	22,900	22,900	22,900	22,900	0.21
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	21,425	21,250	20,800	20,400	21,300	21,000	21,000	21,000	0.0%	13.55	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	0.0%	10.00	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	10,000	11,440	10,177	9,783	9,400	9,000	9,000	9,000	-0.4%	6.00	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	83	743	616	616	616	616	616	616	0.0%	6.00	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	2,407	2,400	2,400	2,400	2,400	2,400	2,400	2,400	0.0%	11.84	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	1,552	1,510	1,510	1,510	1,510	1,510	1,510	1,510	0.0%	11.19	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	6,000	6,011	6,079	6,033	6,079	6,079	6,079	6,079	0.0%	11.19	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	9,200	9,100	9,100	9,200	9,200	9,200	9,200	9,200	0.0%	11.19	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	2,550	2,520	2,515	2,500	2,500	2,500	2,500	2,500	-0.0%	7.11	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	4,000	4,001	4,000	4,000	4,000	4,000	4,000	4,000	-0.0%	4.53	10,000	10,000	10,000	10,000	0.30
Commerce Ave	CR-74	State R4	1	2	U	Urban	2-U, Urban, 1	1000	2,140	2,140	2,140	2,140	2,140	2,140	2,140	2,140	0.0%	4.56	10,000	10,000	10,000	10,000	0.30

Level of Service values have been rounded up or down to nearest whole number for consistency across all projects. Statewide inventory data is based on 2008 data and includes additional analysis.



Multi-County 2010 Population Level of Capital Investment Record

Working Multi-County  
Investment

Project Name	From	To	State	County	City	Zip	Urban	Rural	Water	Electric	Gas	Other	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500																																																																																	
SR 105 (S-1)	SR 714	CR 1A	3	1	D	Urban	Urban	Urban	Urban	Urban	Urban	Urban	2000	4,075	4,175	33,711	37,643	37,647	37,650	37,653	37,656	37,659	37,662	37,665	37,668	37,671	37,674	37,677	37,680	37,683	37,686	37,689	37,692	37,695	37,698	37,701	37,704	37,707	37,710	37,713	37,716	37,719	37,722	37,725	37,728	37,731	37,734	37,737	37,740	37,743	37,746	37,749	37,752	37,755	37,758	37,761	37,764	37,767	37,770	37,773	37,776	37,779	37,782	37,785	37,788	37,791	37,794	37,797	37,800	37,803	37,806	37,809	37,812	37,815	37,818	37,821	37,824	37,827	37,830	37,833	37,836	37,839	37,842	37,845	37,848	37,851	37,854	37,857	37,860	37,863	37,866	37,869	37,872	37,875	37,878	37,881	37,884	37,887	37,890	37,893	37,896	37,899	37,902	37,905	37,908	37,911	37,914	37,917	37,920	37,923	37,926	37,929	37,932	37,935	37,938	37,941	37,944	37,947	37,950	37,953	37,956	37,959	37,962	37,965	37,968	37,971	37,974	37,977	37,980	37,983	37,986	37,989	37,992	37,995	37,998	38,001	38,004	38,007	38,010	38,013	38,016	38,019	38,022	38,025	38,028	38,031	38,034	38,037	38,040	38,043	38,046	38,049	38,052	38,055	38,058	38,061	38,064	38,067	38,070	38,073	38,076	38,079	38,082	38,085	38,088	38,091	38,094	38,097	38,100	38,103	38,106	38,109	38,112	38,115	38,118	38,121	38,124	38,127	38,130	38,133	38,136	38,139	38,142	38,145	38,148	38,151	38,154	38,157	38,160	38,163	38,166	38,169	38,172	38,175	38,178	38,181	38,184	38,187	38,190	38,193	38,196	38,199	38,202	38,205	38,208	38,211	38,214	38,217	38,220	38,223	38,226	38,229	38,232	38,235	38,238	38,241	38,244	38,247	38,250	38,253	38,256	38,259	38,262	38,265	38,268	38,271	38,274	38,277	38,280	38,283	38,286	38,289	38,292	38,295	38,298	38,301	38,304	38,307	38,310	38,313	38,316	38,319	38,322	38,325	38,328	38,331	38,334	38,337	38,340	38,343	38,346	38,349	38,352	38,355	38,358	38,361	38,364	38,367	38,370	38,373	38,376	38,379	38,382	38,385	38,388	38,391	38,394	38,397	38,400	38,403	38,406	38,409	38,412	38,415	38,418	38,421	38,424	38,427	38,430	38,433	38,436	38,439	38,442	38,445	38,448	38,451	38,454	38,457	38,460	38,463	38,466	38,469	38,472	38,475	38,478	38,481	38,484	38,487	38,490	38,493	38,496	38,499	38,502	38,505	38,508	38,511	38,514	38,517	38,520	38,523	38,526	38,529	38,532	38,535	38,538	38,541	38,544	38,547	38,550	38,553	38,556	38,559	38,562	38,565	38,568	38,571	38,574	38,577	38,580	38,583	38,586	38,589	38,592	38,595	38,598	38,601	38,604	38,607	38,610	38,613	38,616	38,619	38,622	38,625	38,628	38,631	38,634	38,637	38,640	38,643	38,646	38,649	38,652	38,655	38,658	38,661	38,664	38,667	38,670	38,673	38,676	38,679	38,682	38,685	38,688	38,691	38,694	38,697	38,700	38,703	38,706	38,709	38,712	38,715	38,718	38,721	38,724	38,727	38,730	38,733	38,736	38,739	38,742	38,745	38,748	38,751	38,754	38,757	38,760	38,763	38,766	38,769	38,772	38,775	38,778	38,781	38,784	38,787	38,790	38,793	38,796	38,799	38,802	38,805	38,808	38,811	38,814	38,817	38,820	38,823	38,826	38,829	38,832	38,835	38,838	38,841	38,844	38,847	38,850	38,853	38,856	38,859	38,862	38,865	38,868	38,871	38,874	38,877	38,880	38,883	38,886	38,889	38,892	38,895	38,898	38,901	38,904	38,907	38,910	38,913	38,916	38,919	38,922	38,925	38,928	38,931	38,934	38,937	38,940	38,943	38,946	38,949	38,952	38,955	38,958	38,961	38,964	38,967	38,970	38,973	38,976	38,979	38,982	38,985	38,988	38,991	38,994	38,997	39,000	39,003	39,006	39,009	39,012	39,015	39,018	39,021	39,024	39,027	39,030	39,033	39,036	39,039	39,042	39,045	39,048	39,051	39,054	39,057	39,060	39,063	39,066	39,069	39,072	39,075	39,078	39,081	39,084	39,087	39,090	39,093	39,096	39,099	39,102	39,105	39,108	39,111	39,114	39,117	39,120	39,123	39,126	39,129	39,132	39,135	39,138	39,141	39,144	39,147	39,150	39,153	39,156	39,159	39,162	39,165	39,168	39,171	39,174	39,177	39,180	39,183	39,186	39,189	39,192	39,195	39,198	39,201	39,204	39,207	39,210	39,213	39,216	39,219	39,222	39,225	39,228	39,231	39,234	39,237	39,240	39,243	39,246	39,249	39,252	39,255	39,258	39,261	39,264	39,267	39,270	39,273	39,276	39,279	39,282	39,285	39,288	39,291	39,294	39,297	39,300	39,303	39,306	39,309	39,312	39,315	39,318	39,321	39,324	39,327	39,330	39,333	39,336	39,339	39,342	39,345	39,348	39,351	39,354	39,357	39,360	39,363	39,366	39,369	39,372	39,





## **2019 RESIDENTIAL CAPACITY EXPANSION ANALYSIS**

**Martin County Board of County Commissioners**

February 26, 2019

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## **TABLE OF CONTENTS**

Introduction  
Prior Planning Studies  
Current State Statutes and Local Comprehensive Plan Requirements  
Updated Capacity Data  
Mapping Analysis of Vacant Residential Land  
Planning Options  
Challenges to Increasing Capacity

## **LIST OF FIGURES**

Figure 1: North County Vacant Land  
Figure 2: Hutchinson Island  
Figure 3: Central County  
Figure 4: Hobe Sound  
Figure 5: Poinciana Gardens  
Figure 6: South County  
Figure 7: Palm City  
Figure 8: Urban Service District with Public Land  
Figure 9: Urban Service Districts with Surrounding Subdivisions  
Figure 10: Urban Service Districts with Surrounding Subdivisions (Aerial)

## **INTRODUCTION**

Martin County residents care deeply about the character of future development. County residents, elected officials and staff have worked hard to protect the County's Urban Service Districts. Numerous studies have been conducted over the years analyzing growth and development patterns to create a community vision. There are also annual population and growth studies that are required through the Comprehensive Growth Management Plan (Plan).

State Statute requires local government to maintain a minimum amount of land to accommodate future population projections. In addition, the County's Plan Policy 4.1D.5 requires the County to produce a residential capacity analysis every five years. The Residential Capacity Analysis projects the amount of land needed for residential development based on expected increases in population. It also calculates the existing supply of vacant land available to accommodate that growth.

Policy 4.1D.6. of the Comprehensive Growth Management Plan requires the County to start planning for expansion at the 15-year threshold, and to expand capacity when the urban service districts have no more than 10 years capacity. State Statute requires local government to maintain a minimum amount of land to accommodate future population projections. In addition, the County's Plan Policy 4.1D.5 requires the County to produce a residential capacity analysis every five years. The Residential Capacity Analysis projects the number of residential units needed based on expected projected population. It also calculates the existing supply of vacant land available to accommodate that growth.

In February 2018, the County Commission reviewed the 2018 Residential Capacity and Vacant Land Analysis, and the 2018 Residential Demand Analysis. Based on that analysis, the County Commission directed staff to begin planning for expansion of capacity. This Study provides an overview of prior studies, current State Statute and Martin County Plan requirements for such studies. It updates the 2018 residential capacity analysis, provides a mapping analysis of vacant land, and provides options for addressing the future demand for residential development, and conclusions.

## **PRIOR PLANNING STUDIES**

In 1997, the County conducted a Sustainable Communities Visioning Process, funded by the State of Florida. One of the conclusions of that process was that "residents support current policies regarding the Urban Services Boundary, Wetland Impacts, Upland Habitat Protection and the Four Story Height Limitation" (Martin County Sustainable Communities Vision Process, Final Report, July 13, 1999). In 2000, the County received an Achievement Award from the National Association of Counties for its *2020 Vision for a Sustainable Martin County*. One of the goals of that vision was to

contain development through the continued use of the County's Urban Services District policies and in the Community Redevelopment Areas.

In 2003, a consultant hired by the County completed an analysis of the residential capacity within the Urban Service Districts (Vacant Land Inventory, EDAW Inc, 01/13/03). That study concluded that the County's Future Land Use Map could accommodate projected population through 2016.

Between 2005 and 2007, the Board of County Commissioners established a strategic objective and embarked on the Development Patterns Study to create recommendations regarding how the County will grow. There was an enhanced public participation component to the Study. The Study provided a series of recommendations that focused on different patterns of development: 20-acre lots, 5-acre lots, cluster, urban infill, urban pattern, suburban pattern and urban settlement pattern. Among the many recommendations, one was to require any expansion of the Urban Service District to be developed with an urban settlement pattern. Urban settlement development provides an area for coordinated mixed-use development which is comprised of a variety of residential housing types, a neighborhood center, recreational space and a mixed-use center that includes commercial, office, public/civic uses, schools and public space.

From 1994 through 2010, the seven (now six due to the incorporation of the Village of Indiantown) Community Redevelopment Areas (CRA) have undergone Vision Planning. Because of the concurrent nature of the CRA planning and the 2020 Vision Plan, each of the CRA plans is an extension of recommendations and issues discussed in the 2020 Vision for a Sustainable Martin County. Each CRA Plan represents hundreds of hours of effort by residents and business owners on Neighborhood Advisory Committees (NAC) and larger groups of citizens that attended public meetings during the plans development for each CRA. In 2010, the CRAs conducted the Vision NOW (Neighborhood Opportunities Workshop) sessions in each of the seven redevelopment areas to identify current community needs.

## **CURRENT STATE STATUTE AND LOCAL COMPREHENSIVE PLAN REQUIREMENTS**

State Statute requires local governments to maintain a minimum amount of land to accommodate future population projections.

Florida State Statute ch. 163.3177(1)(f)3. states that:

*The comprehensive plan shall be based upon permanent and seasonal population estimates and projections, which shall either be those published by the Office of Economic and Demographic Research or generated by the local government based upon a professionally acceptable methodology. **The plan must be based on at least the minimum amount of land required to accommodate the medium***

***projections as published by the Office of Economic and Demographic Research for at least a 10-year planning period unless otherwise limited under s. 380.05, including related rules of the Administration Commission. Absent physical limitations on population growth, population projections for each municipality, and the unincorporated area within a county must, at a minimum, be reflective of each area's proportional share of the total county population and the total county population growth.***

In addition, State Statute 163.3177(6)(a)4 states that:

*The amount of land designated for future land uses should allow the operation of real estate markets to provide adequate choices for permanent and seasonal residents and business and may not be limited solely by the projected population.*

A local comprehensive plan is developed for the particular jurisdiction. Therefore any residential capacity that may be present in incorporated areas of the County is not part of Martin County's analysis. Because the Village of Indiantown incorporated in December 2017, that required removing all of the residential capacity contained in the western Primary and Secondary Urban Service districts and included in previous studies. Martin County's analysis does not include any potential capacity that might exist in the City of Stuart, Village of Indiantown or the Town of Ocean Breeze Park, the municipalities that have some vacant land slated for new development.

As part of analyzing the Urban Service Districts over time and thus the amount of land required by State Statute, the County has monitored the amount of land available for residential development through its Residential Capacity Analysis. Policy 4.1D.5 of the Comprehensive Growth Management Plan requires the County to produce a residential capacity analysis every five years. The Residential Capacity Analysis projects the number of units needed for residential development based on projected increases in population. It also calculates the existing supply of vacant land available to accommodate that growth.

On February 13, 2018, Growth Management staff presented the 2018 Residential Capacity and Vacant Land Analysis and the 2018 Residential Demand Analysis. The analysis concluded that the Primary and Secondary Urban Service Districts have 187% of the capacity needed in the 10-year planning period and 125% of the 15-year planning period. Since 1990, the County has used 125% as its capacity measure. The Board of County Commissioners approved the two 2018 Analysis reports. Based on the results of the analysis, the Board directed staff to begin a planning analysis to expand residential capacity in accordance with Policy 4.1D.6. and other applicable policies.

Policy 4.1D.6 states:

*Policy 4.1D.6 The residential capacity analysis will determine if the future demand for residential units exceeds the supply for residential units as provided in the residential capacity analysis.*

*When the undeveloped residential acreage within either the Primary Urban Service District or the Secondary Urban Service District no longer provides for projected population growth for the **fifteen** year planning period, planning for expansion of residential capacity shall commence. When the undeveloped acreage within either the Primary Urban Service District or the Secondary Urban Service District provides for no more than **10 years** of projected population growth, the County is required to expand capacity.*

Policy 4.1D.6. requires the County to start planning for capacity expansion at the 15-year threshold and requires the County to expand capacity when the urban service districts have no more than 10 years capacity. The 15-year period provides time to plan, identify and develop the additional capacity necessary.

Staff has conducted the planning analysis as directed by the Board in February, 2018. However, the approval of the Pineland Prairie Mixed-Use Village Plan amendments (adopted August 21, 2018) has increased the residential capacity by 4,200 units over the amount of capacity identified in the 2018 residential capacity analysis. As noted in the next section, the addition of the 4,200 units raises the availability of vacant residential land to 262% in the PUSD for the 10-year planning period and 175% for the 15-year planning period. Therefore, expanding residential capacity to meet the future population growth does not need to occur as quickly as indicated in February 2018.

## UPDATED CAPACITY DATA

Following the February 13, 2018 presentation, staff analyzed the land available for infill development within the existing PUSD and Secondary Urban Service District (SUSD). In August 2018, the Board adopted a major change to the Future Land Use Map and a related expansion of the Primary Urban Service District (PUSD) for the Pineland Prairie Mixed-Use Village. The following tables and Figures 1 - 6 reflect the decreasing supply of land available for residential development inside the PUSD and SUSD and the increased capacity from the 4,200 units approved through the Pineland Prairie plan amendments.

The demand data in the following tables is the same as presented on February 13, 2018. The supply data has been updated to reflect the addition of the Pineland Prairie units and a decrease in the supply within the Urban Service Districts. The addition of the 4,200 units raises the availability of vacant residential land to 262% of projected need in the PUSD for the 10-year planning period and 175% of projected need for the 15-year planning period.

Table 1. 2016 – 2025 Analysis of Supply versus Demand

Urban Service Districts	2025 Demand	2018 Unit Supply	2019 Unit Supply	Updated Percent of Need in the 10-year planning period
Primary	4,240	6,919	11,119	262%
Secondary	154	1,022	1,022	664%
Total	4,394	7,941	12,141	276%

Table 2. 2016 – 2030 Analysis of Supply versus Demand

Urban Service District	2030 Demand	2018 Unit Supply	2019 Unit Supply	Updated Percent of Need in the 15-year planning period
Primary	6,360	6,919	11,119	175%
Secondary	231	1,022	1,022	442%
Total	6,591	7,941	12,141	184%

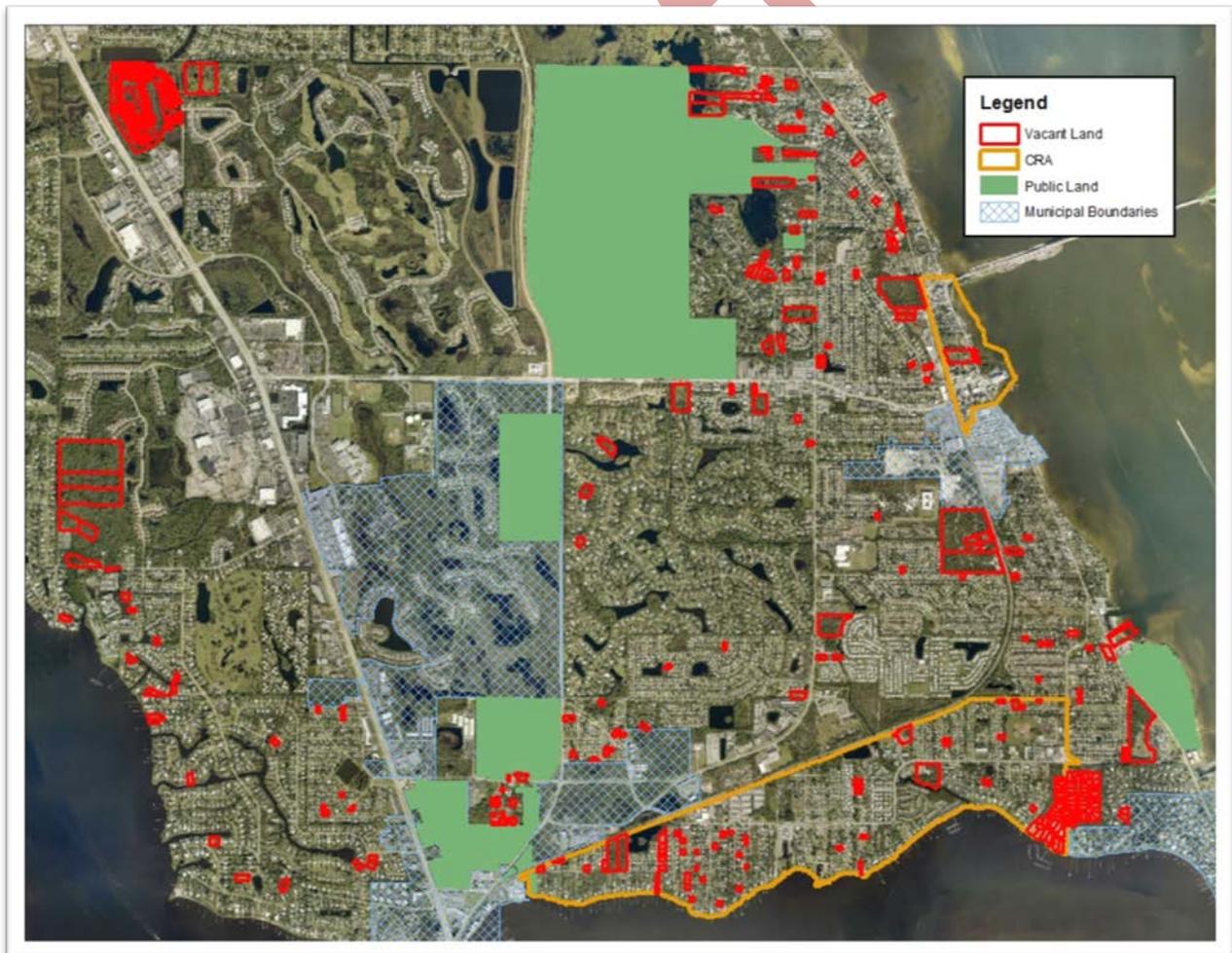
Sources: Demand data is from the Vacant Residential Capacity Analysis approved by the Board of County Commissioners on February 13, 2018. 2019 Supply data is from the Pineland Prairie Comprehensive Plan Amendment, 2018 aerial photography, and updated Certificates of Occupancy data.

## MAPPING ANALYSIS OF VACANT RESIDENTIAL LAND

The figures below show the residential land available for development inside the USDs and publicly owned land that is not available for development inside and outside the USDs. As illustrated in the figures, most of the available vacant land can be considered infill lots. There are not many properties that are available for larger projects that can develop at the maximum density permitted by the Future Land Use Map.

### Figures of Vacant Land

Figure 1: North County



Though shown as one red polygon, the individual lots of Langford Landing were counted along with the numerous individual infill lots in Figure 1.

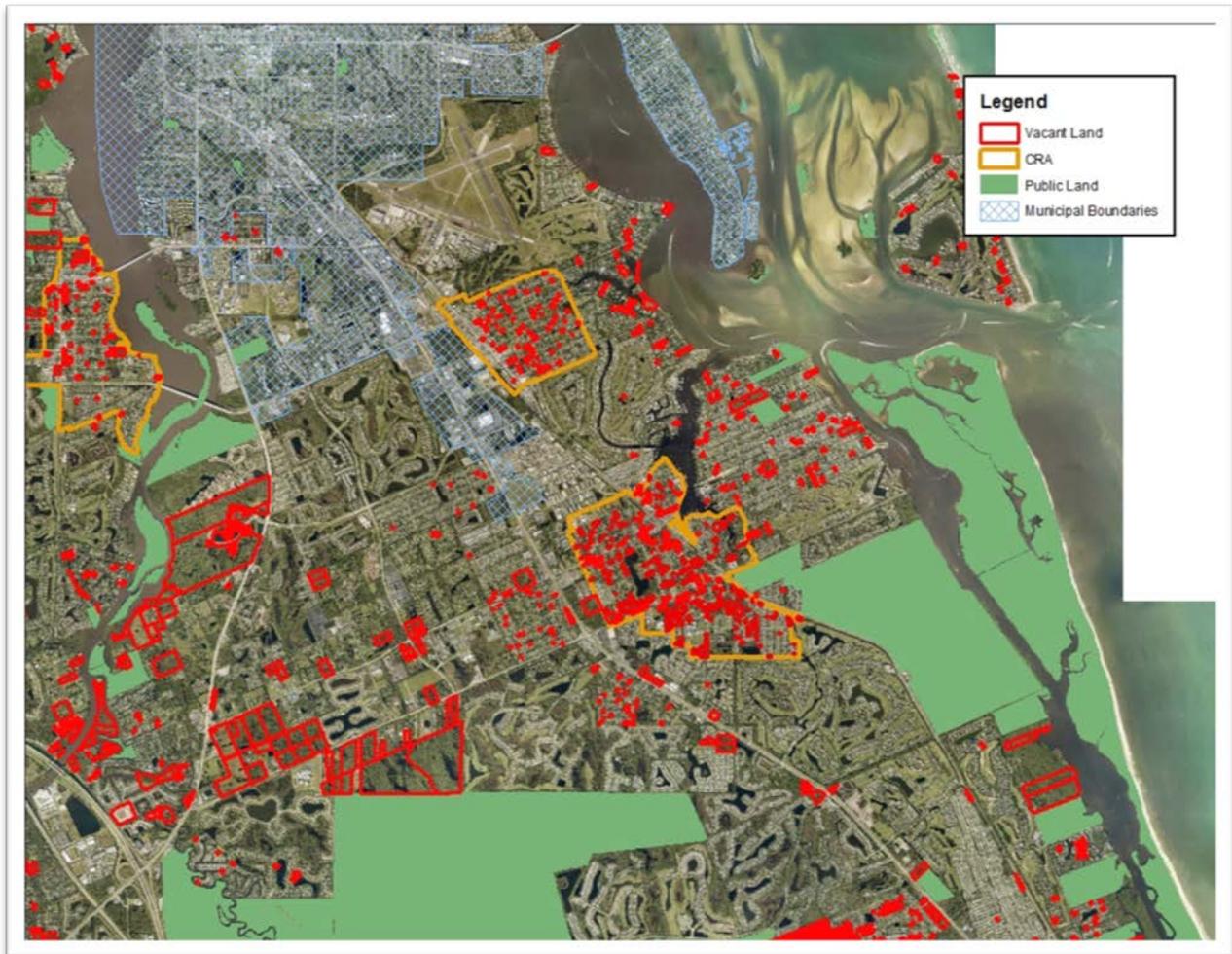
33

Figure 2: Hutchinson Island



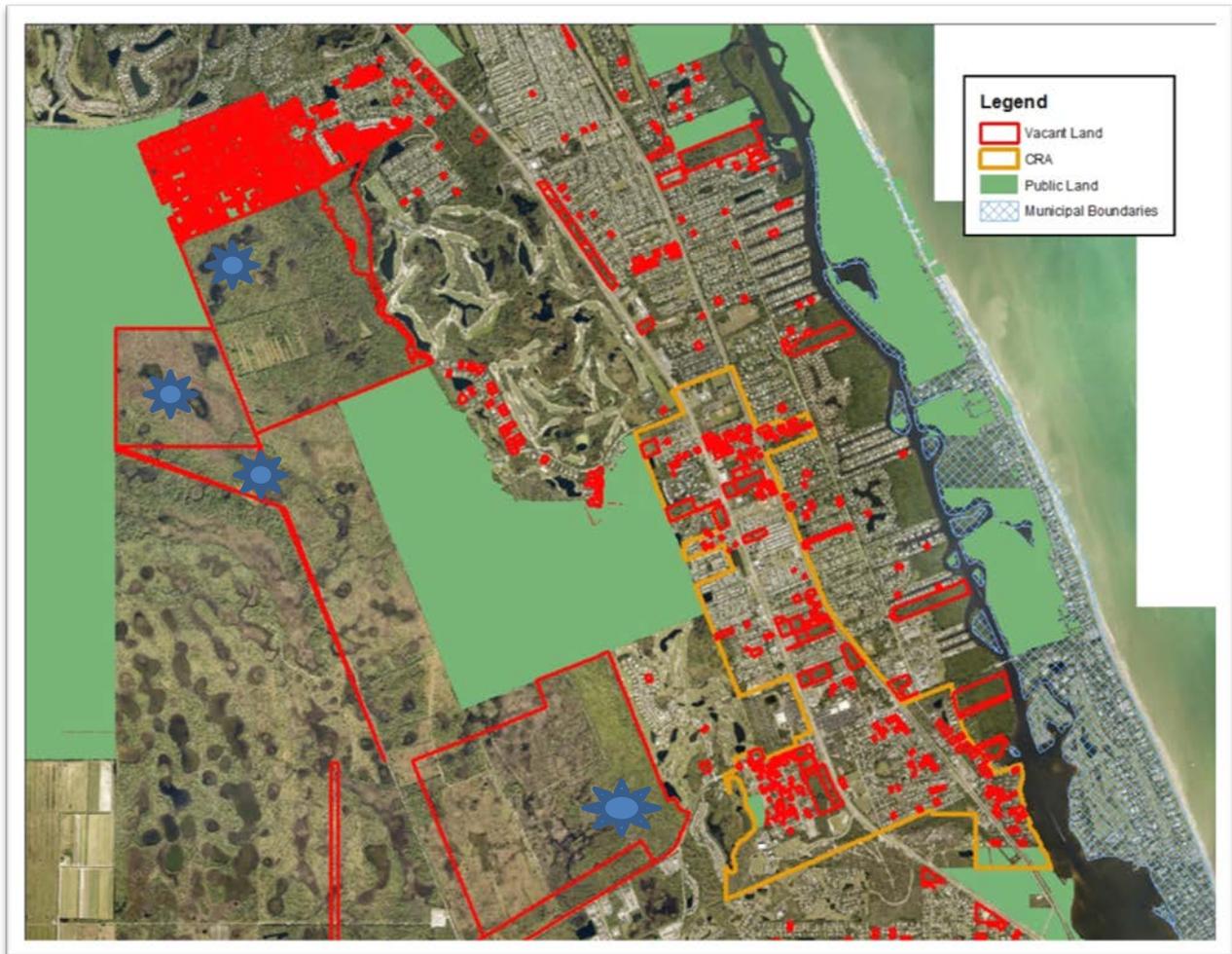
Parcels outlined in red on Hutchinson Island are limited to detached single family residential units.

Figure 3: Central County



One highlight of Figure 3 is the sizable number of individual vacant residential lots evident within the Old Palm City, Golden Gate and Port Salerno CRAs.

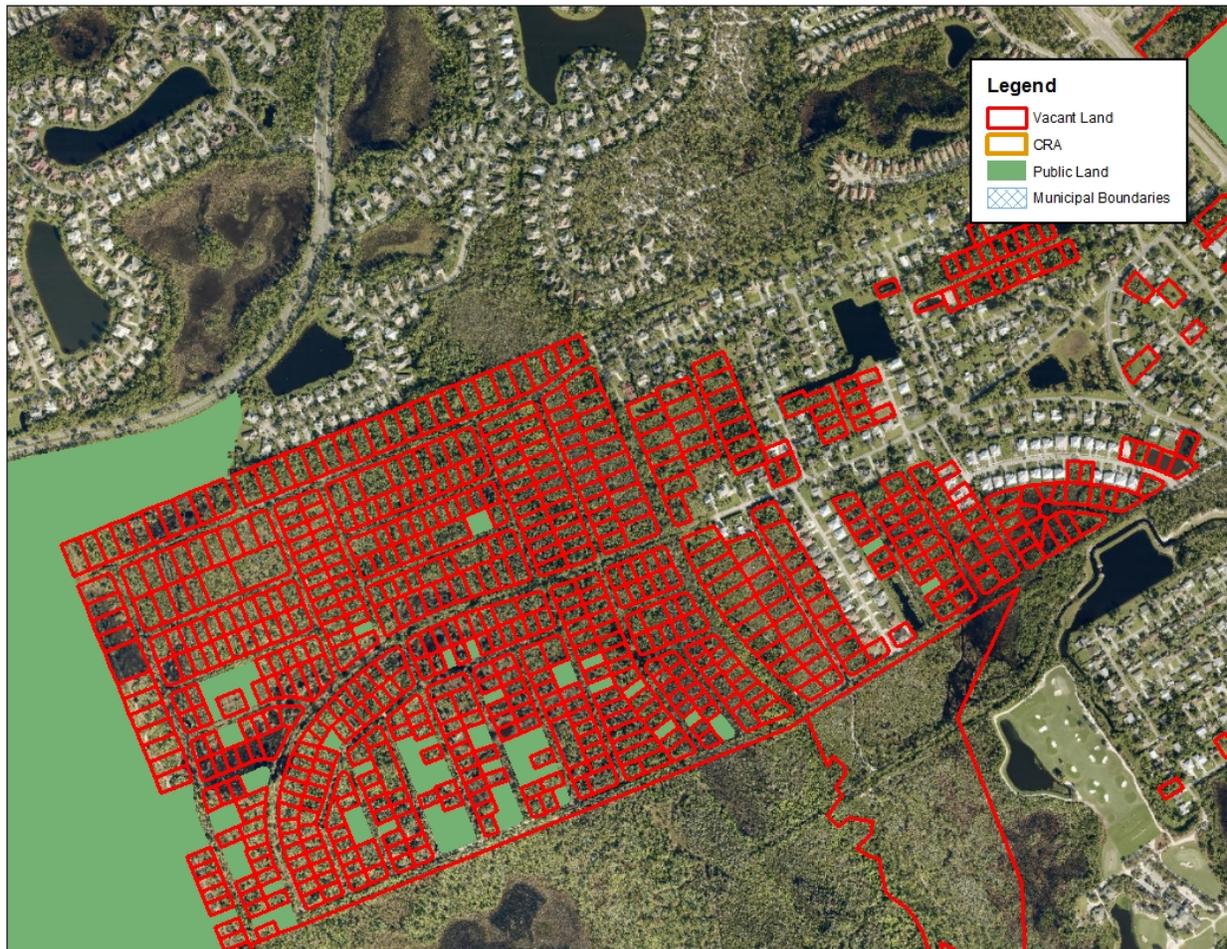
Figure 4: Hobe Sound



The area outlined in orange represents the Hobe Sound Community Redevelopment Area (CRA). The large parcels west of the CRA (identified with blue stars) are within the Secondary Urban Service District and are the largest undeveloped parcels remaining within the Secondary Urban Service District. They have a Rural Density future land use designation (allowing one unit per two acres) and are not permitted to have water and sewer service. The options for increasing capacity, discussed later in this report, will refer to these large parcels within the Secondary Urban Service District.

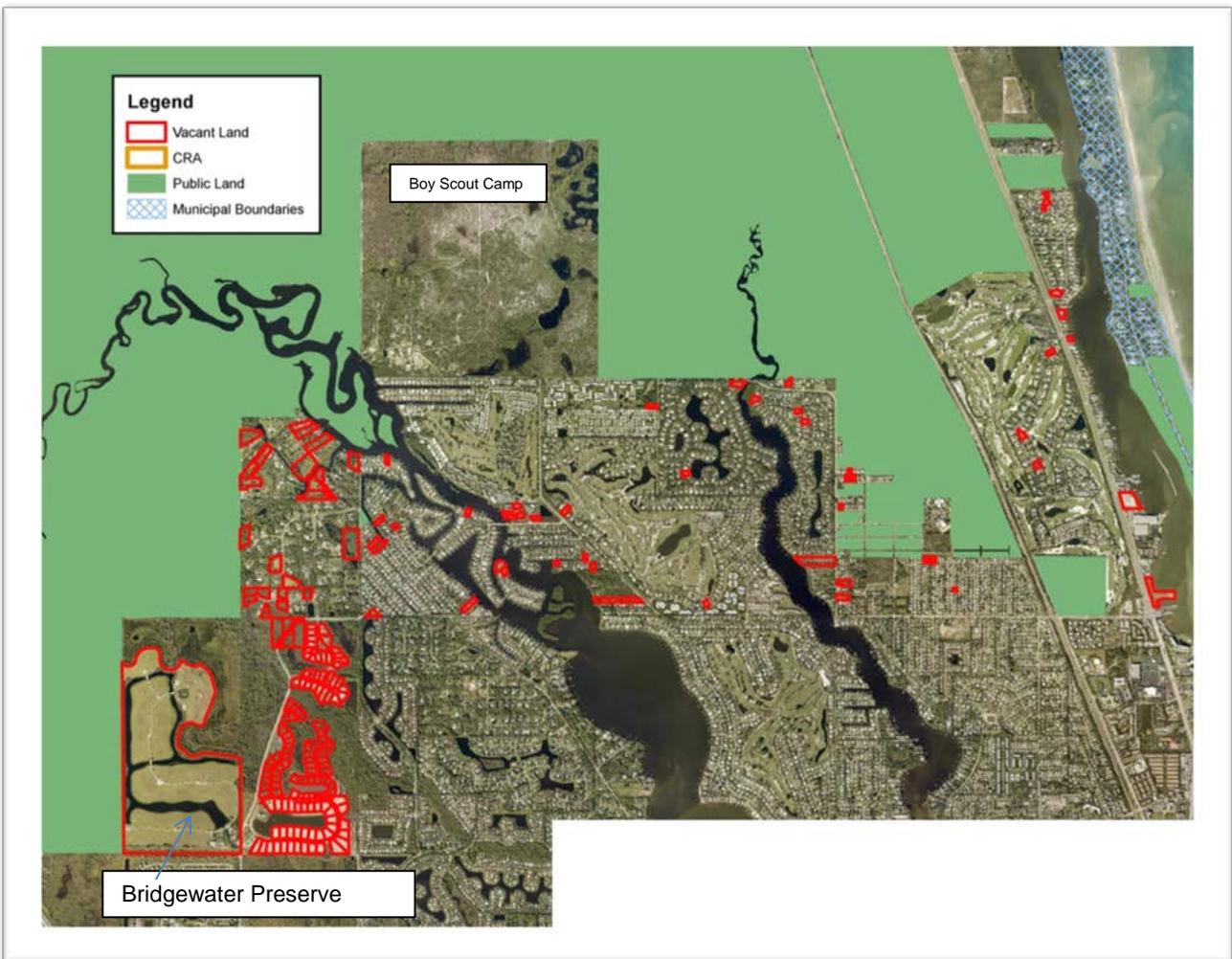
The solid red area near the top of the picture is the undeveloped portion of the Poinciana Gardens Subdivision inside the PUSD. Please see Figure 5 for an enlargement of the Poinciana Gardens area.

Figure 5: Poinciana Gardens



The Poinciana Gardens lots are platted lots of record pre-1982 and are not subject to site planning. As platted lots of record they are counted in the supply of lots available to meet the demand in the next 15 years. However, the western portion of the subdivision has never been developed. It does not have roads constructed within the right-of-way shown on the plat and may have extensive wetlands. County regulations prohibit the issuance of building permits to lots that are not on an open road. In order to develop these lots, road opening permits must be approved by the County so that building permits may be issued to lots on an open road. This is an example of the challenges limiting infill development on some of the remaining vacant lands in the PUSD and the SUSD.

Figure 6: South County

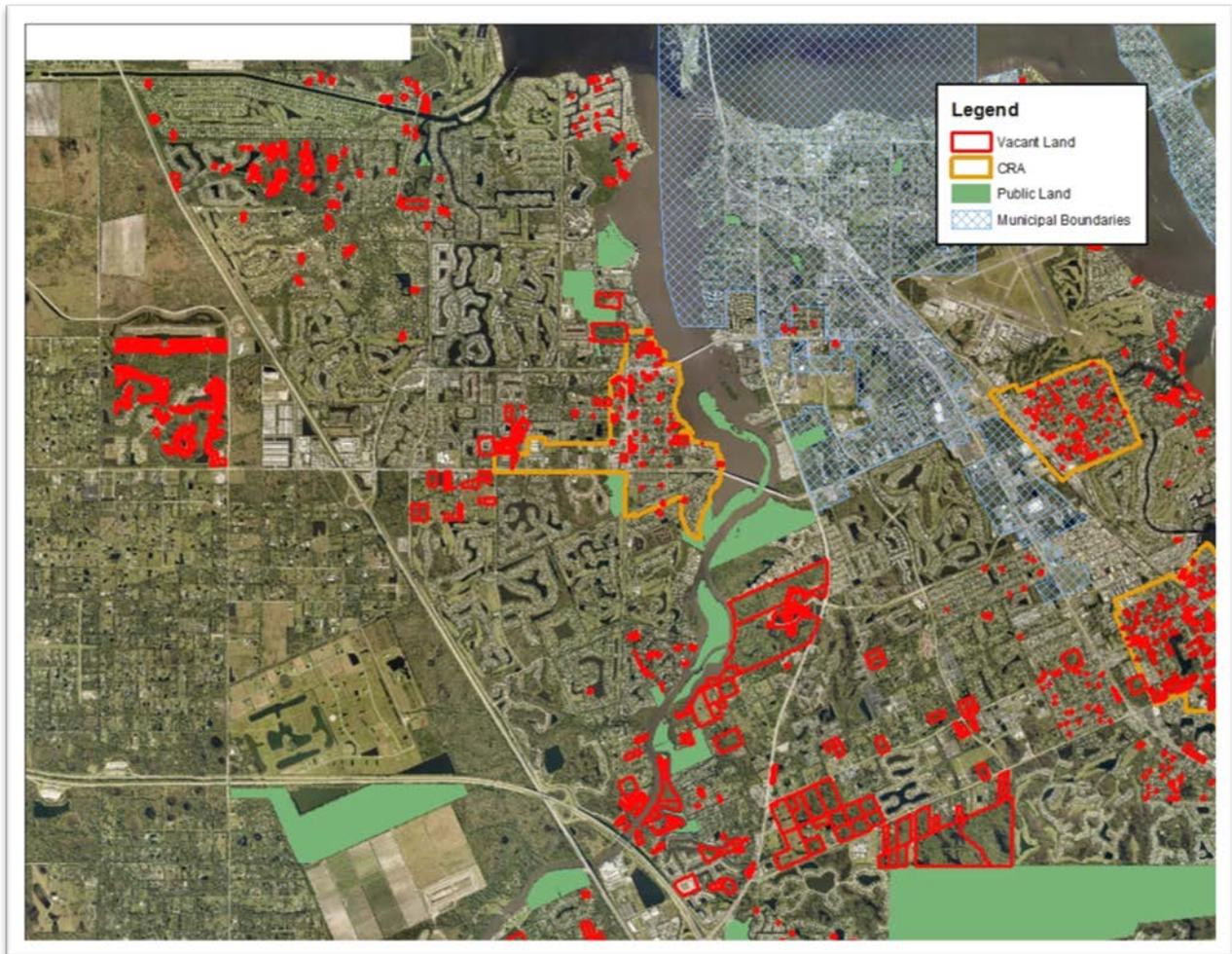


Though not within the Secondary Urban Service District, Bridgewater Preserve is shown in the figure above and has a Rural Density future land use designation. The existing 36 unit site plan may be revised pursuant to Policy 4.7A.3.(5) below.

*Policy 4.7A.3. Exceptions to location in the Primary Urban Service District. All future development of a use or intensity that requires public urban facilities, including water and sewer, will be permitted only in the Primary Urban Service District. The only exceptions are for the currently approved developments below:*

*(5) Bridgewater Preserve as recorded in Plat Book 16, Pages 033-001 to 033-007, Public Records of Martin County, Florida. Any increase in residential density shall require approval by the Board of County Commissioners for a PUD Zoning Agreement and revised master/final site plan which is consistent with the Rural Density future land use designation and requires that the project connect to the existing potable water and sanitary sewer lines.*

Figure 7: Palm City



The focus of this map is on the Palm City area west of the St. Lucie River. Most of the parcels outlined in red are lots of record. Only a small handful of larger parcels shown in Palm City are not platted lots of record.

## PLANNING OPTIONS

As the mapping analysis indicates, much of the PUSD is developed and much of the land available for infill has infrastructure and environmental challenges that may yield less than the maximum density allowed by the Future Land Use designation and fewer units than found in the updated supply data.

Policy 4.1D.6 requires the County to begin planning when residential land does not accommodate population growth for the 15-year planning horizon. The calculation of residential capacity indicates no action is necessary at this time. However, given the infrastructure needs and environmental challenges on infill parcels, the need for more capacity could arise sooner than projected.

In the future, the Board can choose to increase capacity. This can be accomplished in two ways: Increase densities inside the Primary and Secondary Urban Service Districts, or expand the Urban Service District. Both options may be implemented through Comprehensive Plan changes, land development regulation changes, or amendments of approved development orders. All options are described in the following sections, along with constraints that may limit the use of the options.

### 1. Increase Capacities Inside the PUSD/SUSD

There are several options for increasing capacities inside the Primary and Secondary Urban Service Districts.

*a. Increase Density Inside The PUSD.*

This option can be chosen during the review of private map amendments submitted by applicants when it is demonstrated that the areas of the PUSD may be appropriate for increased densities. Additional analysis about this option can be found later in this report.

*b. Increase Density Inside The SUSD.*

Plan policies have identified the SUSD as (i) a possible expansion area for the PUSD, and (ii) a transition area between urban and agricultural lands that are environmentally sensitive areas. The Rural Density future land use, permitting a maximum of one unit per two acres, minimizes the density.

Increasing densities in the SUSD may have limited benefit. Some areas of the SUSD that previously received water and sewer service have developed. Density increases in these areas will yield little or no additional capacity. The largest portions of the SUSD that are not developed (and not within the Atlantic Ridge State Park) appear to have a high probability of wetlands.

Increasing densities on such lands may not yield much capacity while increasing the potential for impacts to the environment.

The following chart illustrates two possible scenarios for increasing residential capacity by increasing density on undeveloped land in the SUSD. The first scenario does not require expanding the PUSD into the SUSD. Changing the future land use from Rural Density to Residential Estate Density (one unit per acre) in Scenario 1 adds only 614 units of capacity. It would theoretically provide a total of 1,229 units.

If the density were changed to Low Density Residential (5 units per acre) in Scenario 2, the maximum potential units would increase to 6,146 units.

However, the table below indicates over 594 acre of the undeveloped land in the SUSD may contain wetlands. The largest undeveloped area of the Secondary Urban Service District is found west of Hobe Sound and north of Bridge Road as illustrated in Figure 4.

Future Land Use	Units per Acre	Total	Wetland Probability Acreage	Acres less wetlands	Dwelling Units	Wetland Density Transfer	Units at Maximum Density (Rounded)
<u>Rural Density (currently assigned)</u>	0.5	1,526.41	594.35	932.06	466.03	148.59	615
<u>Residential Estate Density (Scenario 1)</u>	1	1,526.41	594.35	932.06	932	297.18	1,229
<u>Low Density Residential (Scenario 2)</u>	5	1,526.41	594.35	932.06	4660.03	1,485.88	6,146

In December of 2014, the Board adopted Ordinance 965 that eliminated the ability to receive water and sewer services in the SUSD. Several reasons were cited to justify this prohibition, including the combination of environmental resources and constraints within the SUSD and the need to invest in water and sewer services within the PUSD. Since services are not available in the SUSD, with the exception of specifically noted properties, the BCC may consider eliminating the SUSD. Eliminating the SUSD would not require changing the future land use designations or reducing density.

The SUSD could also be eliminated by initiating a Plan amendment expanding the PUSD in areas where water and sewer have been provided and are largely developed. At the same time the SUSD could be removed from those areas environmentally unsuitable for expansion of the PUSD.

c. *Allow Mixed-use Development in Commercial Areas.*

The Plan contains two policies below for Mixed-use and Traditional Neighborhood Development. However the County has not adopted Land Development Regulations (LDRs) to implement these policies.

*Policy 4.9A.2. Mixed-use developments outside CRAs. Martin County shall establish Land Development Regulations to guide mixed-use development in commercial areas outside CRAs.*

*Policy 4.3B.1. Criteria for Traditional Neighborhood Development. At a minimum, the location of the Traditional Neighborhood shall:*

- (1) Be appropriate for new in-fill development and redevelopment projects in the Urban Service District;*
- (2) Allow redevelopment of underused shopping centers into mixed-use communities;*
- (3) In the case of redevelopment in CRAs, require the involvement of an active citizen's organization that is representative of area residents, business people and landowners;*
- (4) In no case shall the Traditional Neighborhood Development Regulations be used to allow strip commercial or highway-dependent commercial uses or to allow inappropriate intensity in existing neighborhoods that would disrupt rather than unify them.*

Implementing these policies through the LDRs could add residential units in existing commercial areas. It has the potential to add residential capacity inside the existing urban service districts while having a minimum impact on existing residential neighborhoods. It also has the potential to increase the variety of housing options while locating housing in close proximity to commercial areas thereby limiting the impact new residential units have on the road network.

Additionally, when the Martin County Fairgrounds move to Indiantown, the Board can consider encouraging mixed-use development on the existing fairgrounds land the County owns.

*d. Convert underutilized Golf Courses*

As the use of golf courses have declined in popularity, the redevelopment of golf courses may be an option. Golf course redevelopment options include:

- Partial redevelopment of some portion of a golf course with residential units to allow funding to rehabilitate and stabilize the existing golf facility;
- Private/public partnerships to convert some portion of the golf course to residential development and a remaining portion set aside as public park;
- Complete redevelopment of a golf course with a mixture of residential and nonresidential uses.

Any redevelopment of golf course land should contain a requirement for environmental restoration or habitat restoration. In order to implement this option, plan amendments may be required to increase densities, such as in option 1a. In recent years, residents have expressed concerns when these options have been suggested.

*e. Establish a Transfer of Development Rights Program.*

*Policy 4.7C.3. Determination of need to increase the urban service district. Consistent with policies supporting Goal 4.7., Martin County shall determine if there is any need to increase the County's Primary or Secondary Urban Service Districts. If such a need is determined, Martin County will investigate ways to address those needs, including expansion of the district, transfer of development rights or other techniques.*

A transfer of development rights program identifies areas appropriate for development beyond the currently approved density through the transfer of development rights from an area that is unsuitable for development, usually because of environmental value. Developers can purchase the development rights of certain parcels within a designated "sending district" and transfer the rights to another "receiving district" to increase the density of their new development. Sending districts are commonly made up of areas with desirable traits that are at risk of being developed such as agricultural lands or wilderness areas, but may also be newly designated historic sites. Receiving districts are typically located in urban areas that are ripe for development.

f. *Acknowledge Municipal Development*

The County can recognize that capacity exists within the City of Stuart, Ocean Breeze, and the Village of Indiantown. This option may require some changes to the County's Plan, to its residential capacity methodology to include the municipalities.

## 2. Challenges To Increasing Capacity

a. *Density Transition*

Most of the existing vacant land in the Primary and Secondary Urban Service Districts are composed of infill parcels. In addition to the other constraints discussed, increasing density in other areas within existing neighborhoods may be challenging due to the Plan's density transition policies 4.1F.1. and 2.

*Policy 4.1F.1. Projects directly adjacent to lands used or designated for higher intensity use may be given maximum density.*

*Policy 4.1F.2. Projects immediately adjacent to lands used or designated for lower density use should be given less than maximum density.*

- (1) *In all such cases the project with higher density shall provide for reduced density next to the existing lower density residential area.*
- (2) *Within the urban service districts where lot sizes in the existing residential development are two acres or less and density is more than 1 unit per 2 acres, the following shall apply:*

*For the residential portion of said project abutting the existing development or area of lesser density, a density transition zone of comparable density and compatible dwelling unit types shall be established in the new project for a depth from the shared property line that is equivalent to the depth of the first tier of the adjoining development's lower density (i.e., the depth of the first block of single-family lots).*

b. *Infrastructure Needs*

As noted on Figure 3, the CRA areas contain areas of vacant land that have capacity that cannot be fully utilized until public services are in place to serve these areas. Currently, State and local policy allows detached single-family residences to be constructed on platted lots of record with service from on-site well and septic. However, given the environmental concerns over the use of septic tanks, the lack of regional water and sanitary sewer infrastructure poses an obstacle to the in-fill development and redevelopment envisioned for the CRAs.

Significant Tax Increment Financing (TIF), along with other County funds and Community Development Block Grant funds, have provided for installation of wastewater infrastructure including lift stations, transmission lines and collection lines. However, available TIF revenue falls far short of the investment needed to install regional water and wastewater treatment systems and the Hobe Sound CRA is not located within the Martin County Utility Service District. The 2019 County CIP includes Project 3556 (\$6.5 million to construct 36,500 feet of 12-inch and 16-inch force mains) that will enable sanitary sewer service to the Golden Gate and Port Salerno CRAs, and surrounding areas. Additionally, septic-to-sewer conversion projects are currently being designed for the Golden Gate and Old Palm City CRA. Finally, in January 2019, the Board of County Commissioners approved up to \$4 million annually with the goal of completing the septic-to-sewer program within 10 years. These projects will enable in-fill development and redevelopment on the vacant residential lots in the CRAs.

While the previous two paragraphs have focused on the CRA areas, the lack of infrastructure does exist in other areas of the PUSD. The options for increasing, or reaching, the projected capacity inside the Primary Urban Service District will have limited potential for additional units until the septic-to-sewer conversion occurs throughout the Primary Urban Service Districts.

### 3. Expand the Urban Service Districts

The following section of this report will consider the potential for expanding the PUSD consistent with Plan policies. The following mapping analysis is provided to illustrate areas where expansion may be possible and to show the constraints in selecting areas to expand.

Figure 8 below depicts the Primary and Secondary Urban Service Districts and Conservation areas that are publicly owned.

Most of the area shown in white, outside the Primary and Secondary Urban Service Districts, has an Agricultural future land use allowing one unit per 20 acres or an Agricultural Ranchette future land use designation allowing one unit per five acres. The areas in white, contiguous to the Primary and Secondary, are considered appropriate for “orderly expansion” of the Primary and Secondary Urban Service Districts. Policy 4.7C.2 shown below states that orderly expansion shall be on land contiguous to an existing USD.

*Policy 4.7C.2. Orderly Expansion of the Primary or Secondary Urban Service District. Martin County shall not establish new, isolated, Primary or Secondary Urban Service Districts. Orderly expansion shall be on land **contiguous to an existing Primary or Secondary Urban Service District**, if a determination of need is made consistent with policies supporting Objective 4.7A. or Objective 4.7B., respectively.*

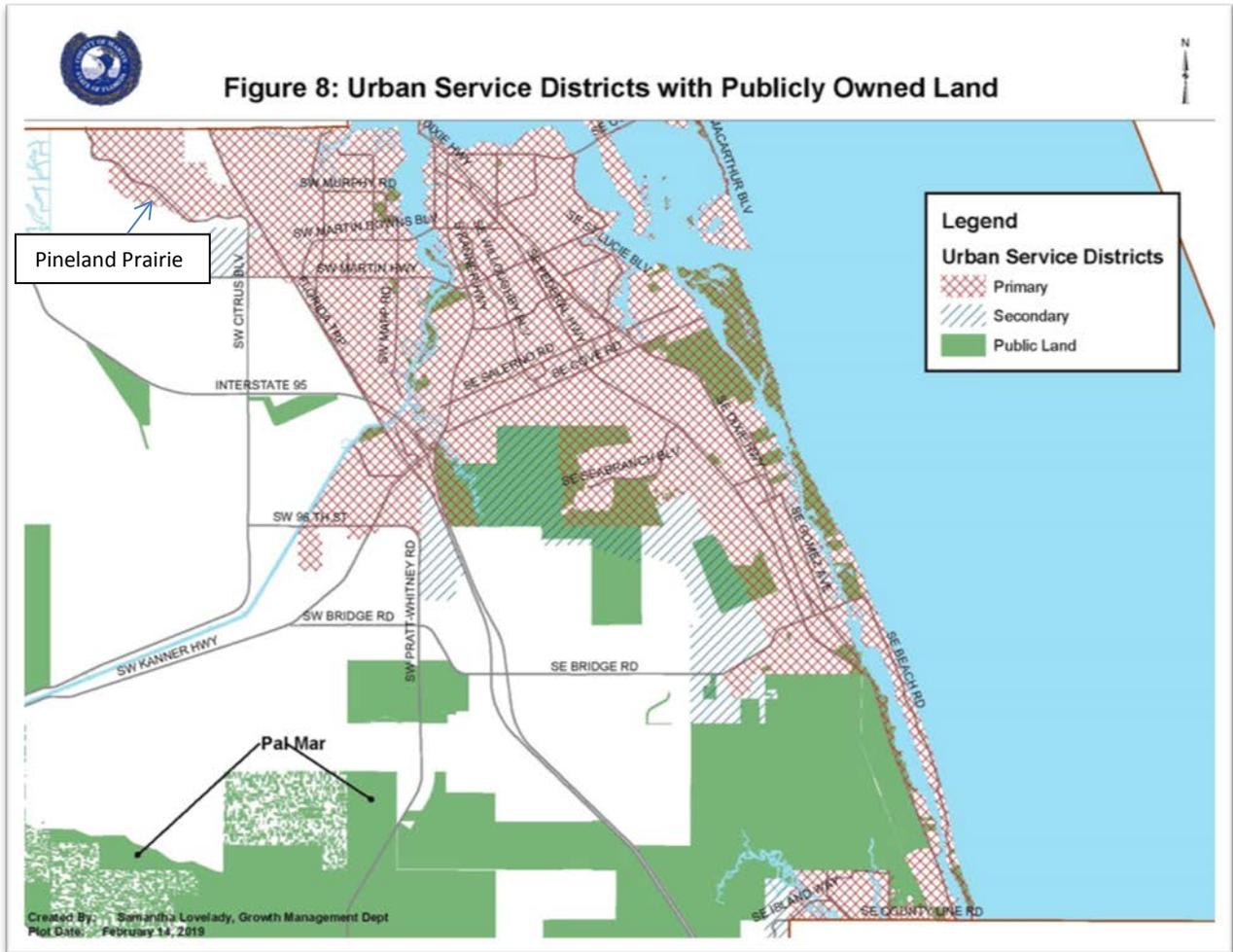


Figure 9 shows the Primary and Secondary Urban Service Districts with public land shown in green. Existing plats and divisions of Agricultural or Agricultural Ranchette lands are shown in purple. Palm City Farms is the largest example of an existing plat shown in purple. Approved Agricultural subdivisions are shown in violet. Many of the areas in white that are contiguous to the Primary and Secondary Urban Service Districts may also be in agricultural production but are not identified as having plats or approved subdivisions. Figure 10 is the same map over 2018 aerial photography.

Any conversion of lands with Agricultural, Agricultural Ranchette or Rural designations to urban development must also comply with Policy 4.13A.1.(2). Though the following criteria are considered during the review of a Future Land Use Map amendment, paragraph (b) may be useful when examining the areas contiguous to the Primary Urban Service District (PUSD) and the Secondary Urban Service District (SUSD).

Paragraph (b) requiring the conversion be a logical and timely extension of a more intense designation is consistent with Policy 4.7C.2. requiring an expansion be contiguous to the existing PUSD and SUSD. The text requires the amendment to consider existing and anticipated land use development patterns; consistency with the goals and objectives of the CGMP; and availability of supportive services, including improved roads, recreation amenities, adequate school capacity, satisfactory allocations of water and wastewater facilities, and other needed supportive facilities.

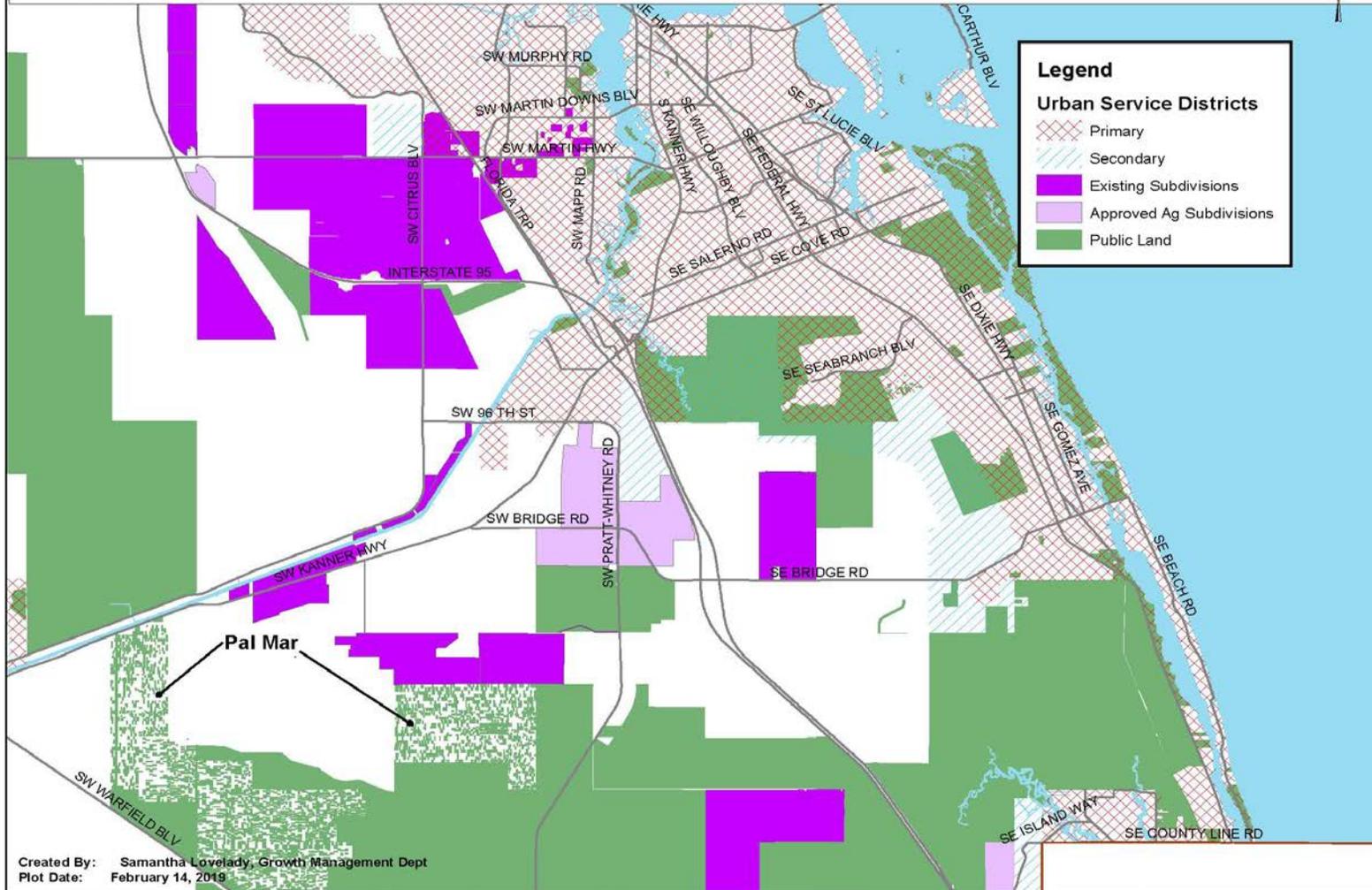
*“Conversion of land designated Agricultural on the FLUM. Agriculturally designated land may be redesignated only by an amendment to the FLUM. The intent of this section aims to permit such an amendment upon a finding by the Board of County Commissioners that the applicant has demonstrated:*

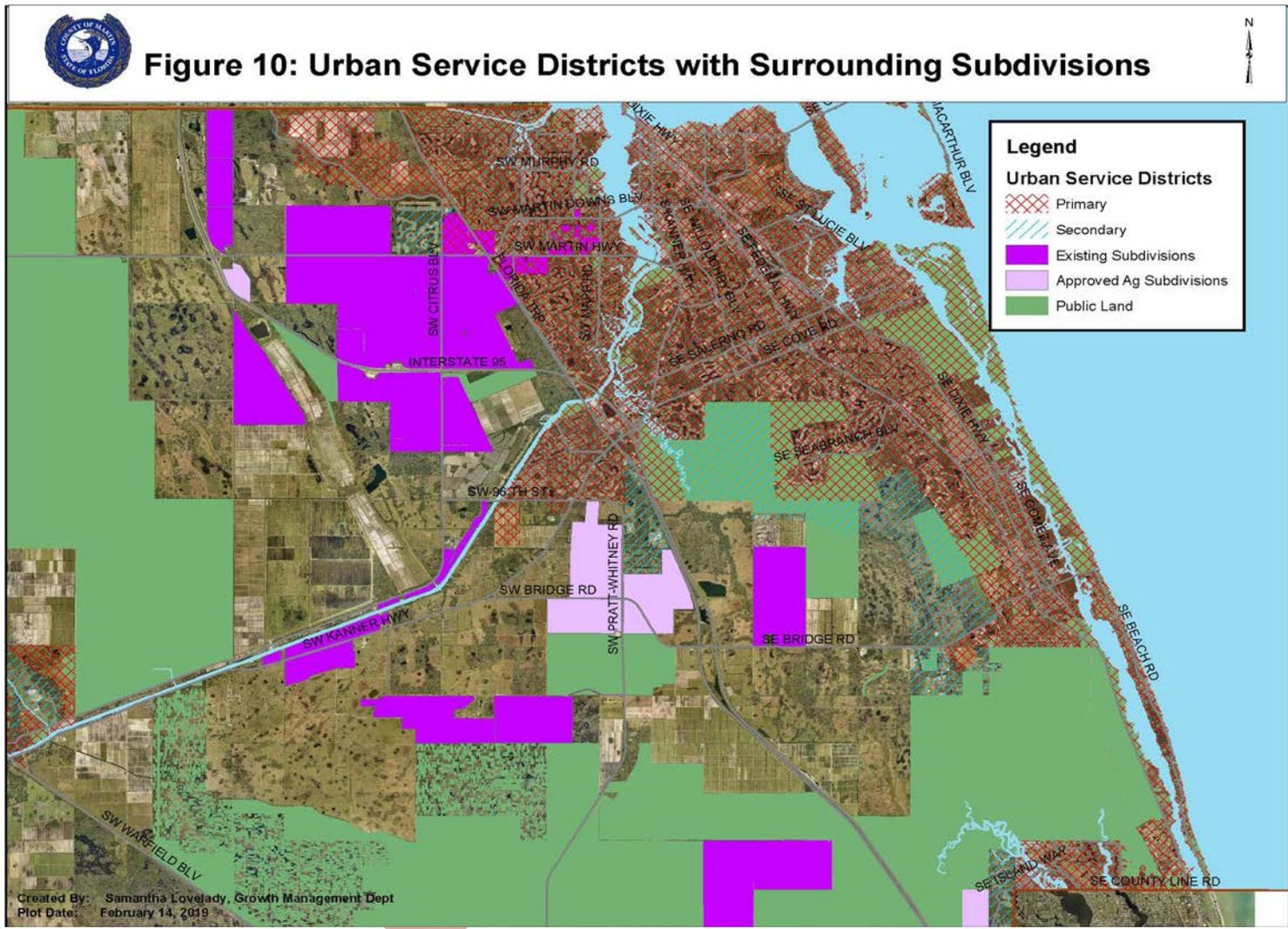
*(a) The proposed development shall not adversely impact the hydrology of the area or the productive capacity of adjacent farmlands not included in the amendment application in any other manner;*

*(b) The proposed land conversion is a logical and timely extension of a more intense land use designation in a nearby area, considering existing and anticipated land use development patterns; consistency with the goals and objectives of the CGMP; and availability of supportive services, including improved roads, recreation amenities, adequate school capacity, satisfactory allocations of water and wastewater facilities, and other needed supportive facilities. Such findings shall be based on soil potential analysis and agricultural site assessment.”*



**Figure 9: Urban Service Districts with Surrounding Subdivisions**





Should the Board consider altering the Urban Service District Boundaries, the Policy 4.7A.7 below provides criteria.

*Policy 4.7A.7. Allowed alterations to the Primary Urban Service District boundary. The Primary Urban Service District boundaries delineated on Figure 4-2 (Urban Services District Boundary Map) are intended to separate urban from nonurban areas. The land uses and intensity of development permitted in the Primary Urban Service District and development in the district must have all public facilities and services at adopted LOS standards. Therefore, during consideration of any expansion, creation or contraction of these boundaries through the plan amendment process, the Board of County Commissioners must find that the requested alteration to the Primary Urban Service District boundary will:*

- (1) Not create any internal inconsistency with other elements of the adopted CGMP;*
- (2) Not result in incompatibilities with adjacent land uses;*
- (3) Not adversely impact environmental, natural, historical or archaeological resources, features or systems to a degree that is inconsistent with this Plan;*
- (4) Be consistent with Goal 4.9 relating to appropriate residential land use capacities;*
- (5) Demonstrate that reasonable capacity does not exist on suitable land in the existing Primary Urban Service District for the 15-year planning period. For the purpose of this subsection, "reasonable" means available for development from the standpoint of environmental concerns, efficient use and expansion of public facilities and services, or availability of development sites in relationship to the projected needs of the population;*
- (6) Demonstrate that the land affected is suitable for urban uses; at a minimum, unsuitable uses include environmentally sensitive areas (to the degree they are protected by this Plan), prime agricultural areas, prime groundwater recharge areas and critical habitat for endangered or threatened species. This criterion is not intended to preclude development of surrounding lands provided that the unsuitable areas are fully protected;*
- (7) Demonstrate that the full range of urban public facilities and services can be economically and efficiently supplied at the adopted LOS standards; and*
- (8) Be consistent with the adopted Capital Improvements Element.*

Since Florida Statute 163.3177 indicates that population projections may not be the only factor to consider in the amount of land for future land uses, Policies 4.7C.2 and 4.7A.7 are examples of Plan policies the Board must consider when considering an expansion of an Urban Service District.

## CONCLUSION

Based on this report, the County Commission may wish to engage in further review of Martin County's future development and the pattern of that development. This report, based on current State Statute and Martin County Plan requirements, has provided an updated capacity analysis, a mapping analysis of vacant land, and options for addressing the future demand for residential development. Expanding residential capacity to meet the future population growth does not need to occur as quickly as indicated in February 2018. However, given the density transition policies, infrastructure needs and environmental challenges, the need for more capacity could arise sooner than projected.

Staff would recommend that the Board Continue consideration of Future Land Use Map amendments inside the PUSD. When considering plan amendments that propose expanding the PUSD, give consideration to those amendments that provide a balance of uses that foster vibrant, viable communities and economic development opportunities and address outdated development patterns.

Staff would also recommend the following options:

- Eliminate or convert the SUSD to PUSD;
- Adopt Land Development Regulations for mixed-uses in commercial areas outside of the CRAs; and
- Complete the infrastructure (water and sewer services) within the CRAs and throughout the PUSD.

**Sources:**

CRA Vision Now, Martin County Community Development Department, 2010  
Martin County Development Patterns Study, Glatting Jackson, February 2007  
Sustainable Communities Visioning Process, Final Report, July 13, 1999  
Vacant Land Inventory, EDAW Inc, 01/13/03)

DRAFT



**BOARD OF COUNTY COMMISSIONERS**

**ACTION SUMMARY**  
**2/26/19 9:00 AM**

**BOCC MEETING AGENDA COMMISSION CHAMBERS**  
**2401 SE MONTEREY ROAD, STUART, FLORIDA 34996**

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**COUNTY COMMISSIONERS**

*Edward V. Ciampi, Chairman*  
*Harold E. Jenkins II, Vice Chairman*  
*Doug Smith*  
*Stacey Hetherington*  
*Sarah Heard*

*Taryn Kryzda, County Administrator*  
*Krista A. Storey, Acting County Attorney*  
*Carolyn Timmann, Clerk of the Circuit Court and Comptroller*

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**PRESETS**

- 9:05 AM** - Public Comment  
**1:30 PM** - CRA Code Project Update by Treasure Coast Regional Planning Council  
**1:45 PM** - Discussion of CPA 18-10, CRA Text Amendments  
**2:30 PM** - Update on Harbor Branch Oceanographics Institute (HBOI): Florida Center for Coastal and Human Health and Related Activities  
**5:05 PM** - Public Comment

**CALL TO ORDER AT 9:05 AM**

- 1. INVOCATION** - Moment of Silence
- 2. PLEDGE OF ALLEGIANCE**
- 3. ADDITIONAL ITEMS** – [The Additional Items of CNST-12, CNST-13, and DEPT-5 were added to the Agenda.](#)
- 4. APPROVAL OF AGENDA** – [The Agenda was approved.](#)
- 5. APPROVAL OF CONSENT AGENDA** – [The Consent Agenda was approved minus CNST-13.](#)

Consent Agenda items are considered routine and are enacted by one motion and will have no action noted, but the "Recommendation" as it appears on the Board item is the approved action.

**PROCLAMATIONS AND SPECIAL PRESENTATIONS**

**PROC-1 ACKNOWLEDGE THOSE CITIZENS WHO HAVE PARTICIPATED IN CLASS 57 OF THE MARTIN CARES PROGRAM**

Class 57 brings the number of residents to experience the Citizens' Academy to just over 2,500. The Martin CARES program is offered two times per fiscal year. This is the first class for FY19. The next class begins on February 28, 2019.

Agenda Item: 19-0273

**ACTION TAKEN:** [The Board acknowledged those citizens who participated in Class 57 of the CARES Program.](#)

**PROC-2 PRESENT A PROCLAMATION PREVIOUSLY APPROVED VIA THE CONSENT AGENDA**

The Chairman will present the proclamation to the recipient.

Agenda Item: 19-0313

**ACTION TAKEN:** The Board presented a proclamation declaring Wildfire Community Preparedness Day.

**COMMENTS**

1. **PUBLIC** - PLEASE LIMIT COMMENTS TO THREE MINUTES.
2. **COMMISSIONERS** – The Board directed staff to pursue getting a traffic light and turning lanes in front of South River.
3. **COUNTY ADMINISTRATOR**

**CONSENT ADMINISTRATION**

**CNST-1 CONTRACTS THAT MEET THE THRESHOLD FOR BOARD APPROVAL**

This item is a placeholder on all Board meeting agendas in an effort to streamline the process for items that meet the Board approval threshold. Specific items requiring approval, if any, will be provided by Supplemental Memorandum. If there are no items, a Supplemental Memorandum will not be attached.

Agenda Item: 19-0233 **Supplemental Memo (1 item)**

**CNST-2 BOARD OF COUNTY COMMISSIONERS' APPROVAL OF WARRANT LIST FOR DISBURSEMENT VIA CHECKS AND ELECTRONIC PAYMENTS TO COMPLY WITH STATUTORY REQUIREMENTS**

Pursuant to Chapter 136.06, Florida Statutes, checks and electronic payments issued by the Board of County Commissioners are to be recorded in the Board meeting minutes. In compliance with statutory requirements, the Warrant List is added to the Consent Agenda for approval by the Board of County Commissioners. This Warrant List is for disbursements made between January 26, 2019 and February 8, 2019. Additional details related to these disbursements may be viewed in the office of the Martin County Clerk of Court and Comptroller or on the Clerk's website.

Agenda Item: 19-0236

**CNST-3 NOTED ITEMS**

Noted items are documents for the Board's information that must be a part of the record but do not require any action.

Agenda Item: 19-0242

**CNST-4 BOARD OF COUNTY COMMISSION MINUTES TO BE APPROVED**

The Board is asked to approve Minutes from the February 12, 2019 Board of County Commission meeting.

Agenda Item: 19-0351

**[CNST-5](#) EMERGENCY MEDICAL SERVICES ADVISORY COUNCIL APPOINTMENTS**

The Board is asked to confirm appointments to the Emergency Medical Services Advisory Council.

Agenda Item: 19-0247

[RESOLUTION NO. 19-2.9](#)

**[CNST-6](#) ADOPT PROCLAMATIONS TO BE PRESENTED ON MARCH 19, 2019**

The Board is asked to adopt the following proclamations: Declaring Children's Week and Surveyors and Mappers Week in Martin County, Florida.

Agenda Item: 19-0277

**[CNST-12](#) AGRICULTURE AND NATURAL RESOURCES ADVISORY COMMITTEE APPOINTMENTS**

The Board is asked to confirm appointments to the Agriculture and Natural Resources Advisory Committee.

Agenda Item: 19-0272 [Additional Item](#)

[RESOLUTION NO. 19-2.10](#)

**[CNST-13](#) ADOPT A RESOLUTION TO ESTABLISH AN INTENT TO REIMBURSE CERTAIN EXPENDITURES IN CONNECTION WITH FINANCED CAPITAL PROJECTS**

On February 12, 2019 the Board of County Commissioners (Board) approved staff's recommendation to proceed with financing for major capital improvement projects. A bond issue will yield the most favorable results for financing options. Staff is proceeding with architectural and design services prior to receiving proceeds from the bond. This resolution allows for expenditures that have been made for the capital improvements prior to receiving the bond proceeds to be reimbursed.

Agenda Item: 19-0357 [Additional Item](#)

[RESOLUTION NO. 19-2.39](#)

[ACTION TAKEN:](#) The Board adopted a Resolution establishing its intent to reimburse certain expenditures in connection with various capital projects described within the Resolution.

**FIRE RESCUE**

**[CNST-7](#) CONSIDERATION OF AN AGREEMENT WITH THE VILLAGE OF INDIANTOWN AND MARTIN COUNTY FOR FIRE MARSHAL SERVICES**

The Village of Indiantown has requested an interlocal agreement with Martin County for the provision of Fire Marshal services by Martin County Fire Rescue to the Village of Indiantown.

Agenda Item: 19-0294

[RESOLUTION NO. 19-2.11](#)

**PUBLIC WORKS**

**[CNST-8](#) ADOPT A RESOLUTION REDUCING THE SPEED LIMIT ON CR-A1A (SE DIXIE HIGHWAY), BETWEEN SE LARES AVENUE AND SE CROSS RIP STREET, FROM 45 MPH TO 40 MPH**

Residents of the Pettway Community have requested a reduction of the posted speed on CR-A1A (SE Dixie Highway), between SE Lares Avenue and SE Washington Street South, from 45 MPH to 35 MPH. Staff is recommending a reduction of the posted speed from 45 MPH to 40 MPH to between SE Lares Avenue SE Cross Rip Street.

Agenda Item: 19-0295

[RESOLUTION NO. 19-2.48](#)

**CNST-9 REQUEST THAT THE COUNTY GRANT A UTILITY EASEMENT TO FLORIDA POWER & LIGHT COMPANY (FPL) FOR ELECTRICAL SERVICE TO FEED THE NEW CHILLER PLANT FOR THE HOLT CORRECTIONAL FACILITY**

FPL has requested an easement for service to feed the new chiller plant and related equipment located at the Holt Correctional Facility.

Agenda Item: 19-0306

**CNST-10 APPROVAL OF A CONTRACT FOR THE ACQUISITION OF LOTS 20, 21, 22, 23 AND 24, BLOCK 3, DIXIE PARK SUBDIVISION AND ADOPTION OF A RESOLUTION APPROVING AND ACCEPTING A WARRANTY DEED FROM ANDREW PETER ANDRUSHKO**

This is a request for the approval of a contract for the acquisition of five (5) vacant lots in Dixie Park Subdivision for additional right of way needed for an upcoming bridge facility replacement and utility project and adoption of a resolution approving and accepting a Warranty Deed from Andrew Peter Andrushko.

Agenda Item: 19-0314

[RESOLUTION NO. 19-2.12](#)

**CNST-11 ADOPTION OF A RESOLUTION APPROVING AND ACCEPTING A NON-EXCLUSIVE EASEMENT FROM STUART YACHT CORPORATION, A FLORIDA CORPORATION (STUART YACHT) FOR UTILITY RELATED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, WATER SERVICE LINE AND PIPING**

This is a request for the adoption of a Resolution accepting and approving a Non-Exclusive Easement from Stuart Yacht, located south of SW Salerno Road and east of SW Chase Court, for the installation of a water line and piping for an adjacent homeowner, William and Geraldine Miller, to connect their water line. Stuart Yacht has agreed to this non-exclusive easement.

Agenda Item: 19-0317

[RESOLUTION NO. 19-2.13](#)

**PUBLIC HEARINGS**

**PH-1 FUND BALANCE ADJUSTMENTS THAT ARE NECESSARY FOR FISCAL YEAR 2019**

Each year staff reviews fund balance, monies which are not expended at the end of each fiscal year and amends the budget accordingly. These adjustments are for projects which were planned and approved in Fiscal Year 2018, but not completed prior to September 30, 2018. Funds that are remaining that are not for a specific project in Fiscal Year 2019 will be placed in reserves.

Agenda Item: 19-0280 [Supplemental Memo](#)

**ACTION TAKEN:** The Board adopt various budget resolutions to amend the various taxing authorities and non-taxing authority funds to allocate available monies from the adopted fund balance and other revenue sources in the FY19 budget.

[RESOLUTION NOS. 19-2.14 through 19-2.38](#)

**PH-2 PUBLIC HEARING TO CONSIDER ADOPTION OF AN ORDINANCE AMENDING ARTICLE 7, DEVELOPMENT AGREEMENTS, LAND DEVELOPMENT REGULATIONS**

Article 7, Development Agreements, Land Development Regulations is based, in part, on the Florida Local Government Development Agreement Act, Sections 163.3220 - 163.3243, Florida Statutes. Article 7 is not consistent with the current version of the statute and conflicts with other portions of the Land Development Regulations. The Board is asked to consider adoption of an ordinance which would provide the necessary revisions.

Agenda Item: 19-0334

**ORDINANCE NO. 1098**

**ACTION TAKEN:** The Board adopted the Ordinance amending Article 7, Development Agreements.

**PUBLIC HEARING QUASI-JUDICIAL**

**PHQJ-1 NORTH RIVER SHORES TENNIS CLUB INC. REQUEST AMENDMENT TO SPECIAL EXCEPTION(N046-002)**

Request for approval of Amendment to Special Exception for the North River Shores Tennis Club. The 6.27-acre subject property is located on the north side of NW Britt Road approximately 200 feet east of NW Everglades Boulevard.

Agenda Item: 19-0200

**RESOLUTION NO. 19-2.40**

**ACTION TAKEN:** The Board received and filed the Agenda Item Summary and all its attachments including the staff report and approved the request for Amendment to Special Exception for the North River Shores Tennis Club.

**PHQJ-2 REQUEST FOR APPROVAL OF A PUD ZONING AGREEMENT AND MASTER SITE PLAN FOR BRIDGEWATER PRESERVE (P115-006)**

Request approval for a master site plan and Planned Unit Development (PUD) Zoning Agreement to increase the number of single family lots from 36 to 107 in the existing Bridgewater Preserve residential subdivision. The approximate 215-acre parcel is located on the west side of SE Island Way adjacent to the Palm Beach County line in southern Martin County. Included with this application is a Deferral of Public Facilities Reservation.

Agenda Item: 19-0293 **Supplemental Memo**

**RESOLUTION NO. 19-2.41**

**ACTION TAKEN:** The Board received and filed the Agenda Item Summary and all its attachments including the staff report and approved the request for PUD zoning and the master plan for Bridgewater Preserve.

**PHQJ-3 REQUEST FOR ABANDONMENT OF A 10-FOOT-WIDE UTILITY EASEMENT, LOCATED ON LOTS 17 AND 18, LYING WITHIN THE LIMITS OF BAY SHORE VILLAGE**

This is a request for the Board to consider a Petition to Abandon a 10-foot-wide Utility Easement located in Bay Shore Village, Rocky Point, and further described in the attached petition for abandonment. No abandonment of right-of-way, or other fee ownership, is being requested under this Petition.

Agenda Item: 19-0304

**RESOLUTION NO. 19-2.42**

**ACTION TAKEN:** The Board received and filed the Agenda Item Summary and all its attachments including the staff report; agreed to waive the privilege fee, finding good cause shown by the Petitioner since the Abandonment involves only a Utility Easement; and adopted the Resolution for Abandonment of the Utility Easement with the following condition: Publication one time within 30 days of a Notice of Adoption of this Resolution in a newspaper of general circulation published in Martin County.

**REQUESTS AND PRESENTATIONS**

**R&P-1 UPDATE ON HARBOR BRANCH OCEANOGRAPHICS INSTITUTE (HBOI): FLORIDA CENTER FOR COASTAL AND HUMAN HEALTH AND RELATED ACTIVITIES**

Dr. Sullivan will present information on work being performed by the newly established Florida Center for Coastal and Human Health at the Harbor Branch Oceanographic Institute (HBOI) and related activities at HBOI impacting the region.

Agenda Item: 19-0279

**ACTION TAKEN:** The Board heard the presentation.

**R&P-2 CRA CODE PROJECT UPDATE BY TREASURE COAST REGIONAL PLANNING COUNCIL**

The Community Redevelopment Agency (CRA) signed a contract with the Treasure Coast Regional Planning Council (TCRPC) for the development and establishment of new land development regulations in each of the six CRA areas to assist in the implementation of the vision and recommendations contained in each of the CRA Plans. This presentation provides a project update for review and discussion.

Agenda Item: 19-0319

**ACTION TAKEN:** The Board heard the presentation.

**DEPARTMENTAL ADMINISTRATION**

**DEPT-1 OFFICE OF MANAGEMENT AND BUDGET ITEMS WHICH REQUIRE BOARD APPROVAL**

This is a placeholder on all Board meeting agendas to streamline the process for grant applications, awards, budget resolutions, budget transfers from reserves, and CIP amendments. Specific items requiring approval, if any, will be provided by Supplemental Memorandum.

Agenda Item: 19-0239 **Supplemental Memo (6 items)**

**ACTION TAKEN:**

1. **PERMISSION TO APPLY FOR FLORIDA INLAND NAVIGATION DISTRICT GRANT FOR PHIPPS PARK SHORELINE STABILIZATION -** The Board authorized the Parks and Recreation Department to apply for the Florida Inland

Navigation District Waterways Assistance Program grant approved the Resolution.  
RESOLUTION NO. 19-2.44

2. PERMISSION TO APPLY FOR TRANSPORTATION ALTERNATIVE PROGRAM (TAP) GRANT FUNDING FOR FY22-23 THROUGH THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR THE SE SALERNO ROAD (SE WILLOUGHBY BOULEVARD TO SE CABLE DRIVE) SIDEWALK PROJECT - The Board authorized the Public Works Department to apply for funding through FDOT's Transportation Alternatives Program (TAP) for the SE Salerno Road (SE Willoughby Boulevard to SE Cable Drive) Sidewalk project.
3. PERMISSION TO APPLY FOR SMALL COUNTY OUTREACH PROGRAM (SCOP) GRANT FUNDING FOR FY24-25 THROUGH THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR THE FOX BROWN ROAD (SW WARFIELD BOULEVARD TO SW MARTIN HIGHWAY) RESURFACING PROJECT - The Board authorized the Public Works Department to apply for funding through the FDOT's Small County Outreach Program (SCOP) for the Fox Brown Road (SW Warfield Boulevard to SW Martin Highway) Resurfacing project.
4. PERMISSION TO APPLY FOR SMALL COUNTY OUTREACH PROGRAM (SCOP) GRANT FUNDING FOR FY24-25 THROUGH THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR THE ARUNDEL BRIDGE REHABILITATION PROJECT - The Board authorized the Public Works Department to apply for funding through the FDOT's Small County Outreach Program (SCOP) for the Arundel Bridge Rehabilitation project.
5. PERMISSION TO APPLY FOR THE FLORIDA DEPARTMENT OF CHILDREN & FAMILIES CRIMINAL JUSTICE, MENTAL HEALTH AND SUBSTANCE ABUSE REINVESTMENT GRANT - The Board authorized Health & Human Services to apply for the Florida Department of Children & Families Criminal Justice, Mental Health and Substance Abuse Reinvestment Grant.
6. REQUEST PERMISSION TO ACCEPT THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION (FEMA) PUBLIC ASSISTANCE GRANT ADMINISTERED BY FLORIDA DEPARTMENT OF EMERGENCY MANAGEMENT (FDEM) - The Board approved Contract Z0730 for FEMA Public Assistance Grant, adopted the Budget Resolution, and adopted the Resolution of Delegation of Authority. RESOLUTION NOS. 19-2.45 and 19-2.46

#### **DEPT-5 COMMERCIAL USE OF MARTIN COUNTY OWNED BOAT RAMPS**

On February 12, 2019 the Board of County Commissioners (BOCC) directed staff to return with an agenda item regarding the commercial use of County owned boat ramps.

Agenda Item: 19-0356 Additional Item

ACTION TAKEN: The Board directed that staff to create an agreement with the input of the constituents and return to the Board for approval and everything can go back to business as usual.

## **GROWTH MANAGEMENT**

### **DEPT-2 DISCUSSION OF CPA 18-10, CRA TEXT AMENDMENTS**

On December 12, 2017, the Board of County Commissioners adopted Resolution 17-12.3, initiating a Comprehensive Growth Management Plan (CGMP) text amendment to strengthen Goals, Policies and Objectives that encourage in-fill development and redevelopment in the Community Redevelopment Areas. Today's staff update on its initial work is designed to obtain further input and direction from the Board prior to finalizing its analysis and recommendations and scheduling public hearings on the proposed amendments to the CGMP.

Agenda Item: 19-0292

**RESOLUTION NO. 19-2.43**

**ACTION TAKEN:** The Board heard the presentation and directed staff to bring back a residential transition discussion Agenda Item with additional options. The Board adopted a resolution regarding shoreline protection and asked staff to move forward with policies that affect areas within and outside the CRAs.

### **DEPT-3 2019 RESIDENTIAL CAPACITY PLANNING ANALYSIS**

On February 13, 2018 the Board directed staff to begin a planning analysis in accordance with Policy 4.1D.6. and other applicable policies of the Comprehensive Growth Management Plan. The 2019 Residential Capacity Planning Analysis will be presented to the Board of County Commissioners.

Agenda Item: 19-0329 **2 Supplemental Memos**

**ACTION TAKEN:** The Board asked staff to return with an Agenda Item on what they feel is the most appropriate method, incorporating best management practices, so there is an accurate count on buildable lots.

## **PUBLIC WORKS**

### **DEPT-4 REQUEST APPROVAL AND ADOPTION OF A RESOLUTION ACCEPTING DRAINAGE EASEMENTS FOR A DRAINAGE IMPROVEMENT PROJECT FROM SW FEROE AVENUE TO SW REILLEY AVENUE AND BETWEEN SW 34TH TERRACE AND SW 35TH STREET, OLD PALM CITY**

Staff is requesting that the Board approve and adopt a resolution accepting 10' drainage easements from property owners for a drainage project that will run from SW Feroe Avenue to SW Reilley Avenue and between SW 34th Terrace and SW 35th Street in Old Palm City.

Agenda Item: 19-0291

**RESOLUTION NO. 19-2.47**

**ACTION TAKEN:** The Board adopted the Resolution accepting and approving ten-foot Drainage Easements from property owner from SW Feroe Avenue to and SW Reilley Avenue between SW 34<sup>th</sup> Terrace and SW 35<sup>th</sup> Street.

**PUBLIC - PLEASE LIMIT COMMENTS TO THREE MINUTES.**

## **ADJOURNED AT 6:05 PM**

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**BOARD OF COUNTY COMMISSIONERS**

**FINAL MINUTES**  
**2/26/2019 9:00 AM**

**MINUTES**  
**COMMISSION CHAMBERS**  
**2401 SE MONTEREY ROAD, STUART, FLORIDA 34996**

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**COUNTY COMMISSIONERS**

*Edward V. Ciampi, Chairman*

*Harold E. Jenkins II, Vice Chairman*

*Doug Smith*

*Stacey Hetherington*

*Sarah Heard*

*Taryn Kryzda, County Administrator*

*Krista A. Storey, Acting County Attorney*

*Carolyn Timmann, Clerk of the Circuit Court and*

*Comptroller*

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**CALL TO ORDER**

**Present:** 5 - Chairman Edward V. Ciampi  
Vice Chairman Harold E. Jenkins II  
Commissioner Doug Smith  
Commissioner Stacey Hetherington  
Commissioner Sarah Heard

**1. INVOCATION - Moment of Silence**

**2. PLEDGE OF ALLEGIANCE**

**3. ADDITIONAL ITEMS**

- (a) MCHS Sophomore Emma Gardner sang the Star Spangled Banner.
- (b) Chairman Ciampi recognized Chris and Kelly Wilson, who were named Foster Family of the Year by Place of Hope.
- (c) Chairman Ciampi recognized Florida Oceanographic Society Executive Director Mark Perry for his 40 years of service to the residents of Martin County and the Treasure Coast.
- (d) MCTV Multi-Media Specialist Ralph Villani spoke about "Farmer" Fred Burkey and presented a memorial video.

#### **4. APPROVAL OF AGENDA**

MOTION: A motion was made by Commissioner Smith, seconded by Vice Chairman Jenkins, to approve the agenda [and the consent agenda] with the additional items of CNST-12, CNST-13, and DEPT-5, and the consent pull of CNST-13. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

#### **5. APPROVAL OF CONSENT AGENDA**

### **PROCLAMATIONS AND SPECIAL PRESENTATIONS**

#### **PROC-1 ACKNOWLEDGE THOSE CITIZENS WHO HAVE PARTICIPATED IN CLASS 57 OF THE MARTIN CARES PROGRAM**

Class 57 brings the number of residents to experience the Citizens' Academy to just over 2,500. The Martin CARES program is offered two times per fiscal year. This is the first class for FY19. The next class begins on February 28, 2019.

Agenda Item: 19-0273

Assistant County Administrator George Stokus presented the item and introduced CARES Class 57.

Pam and John Loving addressed the Board on behalf of their class.

#### **PROC-2 PRESENT A PROCLAMATION PREVIOUSLY APPROVED VIA THE CONSENT AGENDA**

The Chairman will present the proclamation to the recipient.

Agenda Item: 19-0313

Fire Marshall Doug Killane, Community Risk Reduction Specialist Maria Torres, and Ecosystems Restoration and Management Manager John Meahl accepted the proclamation for Wildfire Community Preparedness Day.

### **COMMENTS**

#### **1. PUBLIC - PLEASE LIMIT COMMENTS TO THREE MINUTES.**

The following South River Condo residents addressed the Board in support of the proposed traffic light at their entrance: Betty Mulholland, Ross LeRoy, Robert Spuhler, Michael Koverman, and Gunars Ozols.

Tina McSoley spoke in opposition to the Treasure Coast Classical Academy's plan to use Cross Church (on SW 34th Street) as a temporary location, and voiced concerns about the potential impacts to the neighborhood and to Palm City Elementary School traffic.

Tom Pine spoke about the selective enforcement of code violations, specifically advertisements in easements.

John Sprague (Marine Industries Association) and Bill Biggs (Riverwatch Marina) spoke about the issue of commercial use of County boat ramps (item DEPT-5).

John Meeks, Stan Kurtz, and John Green voiced concerns about the proposed special exemption for the North River Shores Tennis Club (item PHQJ-1).

## **2. COMMISSIONERS**

### AM

Commissioner Heatherington spoke about the need for a traffic light at the South River Condo entrance. She also spoke about the passing of former CapTec Engineer Rhett Keene.

**MOTION:** A motion was made by Commissioner Hetherington, seconded by Commissioner Smith, for this Board to direct staff to pursue a parallel track of getting this traffic light in front of South River; and review turning lane options entering South River. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

## **2. COMMISSIONERS**

### AM

Commissioner Jenkins complimented his fellow commissioners for their comments at the Lake Okeechobee Regulation Schedule public meeting, and complimented County Administrator Taryn Kryzda and staff for the success of the State of the County address. He spoke about his recent meeting with representatives of the Police Athletic League announced he would be donating District 3 funds to support their outreach in his district.

Commissioner Smith also spoke about the Police Athletic League and the need to help kids gain access to those types of programs.

Commissioner Heard spoke about the Army Corps recent meeting to accept public comment and praised residents for their knowledgeable comments. She recognized Jacqui Thurlow-Lippisch for being named to the South Florida Water Management District's Governing Board, and congratulated Governor DeSantis for his dedication to resolving water resource problems statewide.

Chairman Ciampi pledged to donate to the Police Athletic League for activities in his district. He announced that the Sheriff was holding community barbeque events throughout the county. He also announced his use of District 5 funds for the Indiantown Hoedown at Timer Powers Park.

## **2. COMMISSIONERS**

### PM

Commissioner Jenkins spoke about an upcoming presentation in Indiantown for a proposed Workforce Commuter project.

Chairman Ciampi announced he use of District 5 funds for SPAM/MAPS and a swimming pool/recreation area in Palm City.

### 3. COUNTY ADMINISTRATOR

#### CONSENT

#### ADMINISTRATION

##### CNST-1 **CONTRACTS THAT MEET THE THRESHOLD FOR BOARD APPROVAL**

This item is a placeholder on all Board meeting agendas in an effort to streamline the process for items that meet the Board approval threshold. Specific items requiring approval, if any, will be provided by Supplemental Memorandum. If there are no items, a Supplemental Memorandum will not be attached.

Agenda Item: 19-0233

This item was approved by the first motion of the meeting.

Supplemental Memo (1 item)

##### CNST-2 **BOARD OF COUNTY COMMISSIONERS' APPROVAL OF WARRANT LIST FOR DISBURSEMENT VIA CHECKS AND ELECTRONIC PAYMENTS TO COMPLY WITH STATUTORY REQUIREMENTS**

Pursuant to Chapter 136.06, Florida Statutes, checks and electronic payments issued by the Board of County Commissioners are to be recorded in the Board meeting minutes. In compliance with statutory requirements, the Warrant List is added to the Consent Agenda for approval by the Board of County Commissioners. This Warrant List is for disbursements made between January 26, 2019 and February 8, 2019.

Additional details related to these disbursements may be viewed in the office of the Martin County Clerk of Court and Comptroller or on the Clerk's website.

Agenda Item: 19-0236

This item was approved by the first motion of the meeting.

##### CNST-3 **NOTED ITEMS**

Noted items are documents for the Board's information that must be a part of the record but do not require any action.

Agenda Item: 19-0242

This item was approved by the first motion of the meeting.

##### CNST-4 **BOARD OF COUNTY COMMISSION MINUTES TO BE APPROVED**

The Board is asked to approve Minutes from the February 12, 2019 Board of County Commission meeting.

Agenda Item: 19-0351

This item was approved by the first motion of the meeting.

##### CNST-5 **EMERGENCY MEDICAL SERVICES ADVISORY COUNCIL APPOINTMENTS**

The Board is asked to confirm appointments to the Emergency Medical Services Advisory Council.

Agenda Item: 19-0247

**RESOLUTION NO. 19-2.9**

This item was approved by the first motion of the meeting.

**CNST-6 ADOPT PROCLAMATIONS TO BE PRESENTED ON MARCH 19, 2019**

The Board is asked to adopt the following proclamations: Declaring Children's Week and Surveyors and Mappers Week in Martin County, Florida.

Agenda Item: 19-0277

This item was approved by the first motion of the meeting.

**CNST-12 AGRICULTURE AND NATURAL RESOURCES ADVISORY COMMITTEE APPOINTMENTS**

The Board is asked to confirm appointments to the Agriculture and Natural Resources Advisory Committee.

Agenda Item: 19-0272

**RESOLUTION NO. 19-2.10**

This item was approved by the first motion of the meeting.

Additional Item

**CNST-13 ADOPT A RESOLUTION TO ESTABLISH AN INTENT TO REIMBURSE CERTAIN EXPENDITURES IN CONNECTION WITH FINANCED CAPITAL PROJECTS**

On February 12, 2019 the Board of County Commissioners (Board) approved staff's recommendation to proceed with financing for major capital improvement projects. A bond issue will yield the most favorable results for financing options. Staff is proceeding with architectural and design services prior to receiving proceeds from the bond. This resolution allows for expenditures that have been made for the capital improvements prior to receiving the bond proceeds to be reimbursed.

Agenda Item: 19-0357

**RESOLUTION NO. 19-2.39**

County Administrator Taryn Kryzda and Budget Manager Jennifer Manning presented the item to the Board.

MOTION: A motion was made by Commissioner Smith, seconded by Commissioner Hetherington, for approval of the item. The motion carried by the following vote:

**Aye:** 4 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, and Commissioner Hetherington

**Nay:** 1 - Commissioner Heard

Additional Item

**FIRE RESCUE**

**CNST-7 CONSIDERATION OF AN AGREEMENT WITH THE VILLAGE OF INDIANTOWN AND MARTIN COUNTY FOR FIRE MARSHAL SERVICES**

The Village of Indiantown has requested an interlocal agreement with Martin County for

the provision of Fire Marshal services by Martin County Fire Rescue to the Village of Indiantown.

Agenda Item: 19-0294

**RESOLUTION NO. 19-2.11**

This item was approved by the first motion of the meeting.

**PUBLIC WORKS**

**CNST-8 ADOPT A RESOLUTION REDUCING THE SPEED LIMIT ON CR-A1A (SE DIXIE HIGHWAY), BETWEEN SE LARES AVENUE AND SE CROSS RIP STREET, FROM 45 MPH TO 40 MPH**

Residents of the Pettway Community have requested a reduction of the posted speed limit on CR-A1A (SE Dixie Highway), between SE Lares Avenue and SE Washington Street South,

from 45 MPH to 35 MPH. Staff is recommending a reduction of the posted speed limit from 45 MPH to 40 MPH to between SE Lares Avenue SE Cross Rip Street.

Agenda Item: 19-0295

**RESOLUTION NO. 19-2.48**

This item was approved by the first motion of the meeting.

**CNST-9 REQUEST THAT THE COUNTY GRANT A UTILITY EASEMENT TO FLORIDA POWER & LIGHT COMPANY (FPL) FOR ELECTRICAL SERVICE TO FEED THE NEW CHILLER PLANT FOR THE HOLT CORRECTIONAL FACILITY**

FPL has requested an easement for service to feed the new chiller plant and related equipment located at the Holt Correctional Facility.

Agenda Item: 19-0306

This item was approved by the first motion of the meeting.

**CNST-10 APPROVAL OF A CONTRACT FOR THE ACQUISITION OF LOTS 20, 21, 22, 23 AND 24, BLOCK 3, DIXIE PARK SUBDIVISION AND ADOPTION OF A RESOLUTION APPROVING AND ACCEPTING A WARRANTY DEED FROM ANDREW PETER ANDRUSHKO**

This is a request for the approval of a contract for the acquisition of five (5) vacant lots in Dixie Park Subdivision for additional right of way needed for an upcoming bridge facility replacement and utility project and adoption of a resolution approving and accepting a Warranty Deed from Andrew Peter Andrushko.

Agenda Item: 19-0314

**RESOLUTION NO. 19-2.12**

This item was approved by the first motion of the meeting.

**CNST-11 ADOPTION OF A RESOLUTION APPROVING AND ACCEPTING A NON-EXCLUSIVE EASEMENT FROM STUART YACHT CORPORATION, A FLORIDA CORPORATION (STUART YACHT) FOR UTILITY RELATED EQUIPMENT, INCLUDING BUT NOT LIMITED TO, WATER SERVICE LINE AND PIPING**

This is a request for the adoption of a Resolution accepting and approving a Non-Exclusive Easement from Stuart Yacht, located south of SW Salerno Road and east of SW Chase Court, for the installation of a water line and piping for an adjacent homeowner, William and Geraldine Miller, to connect their water line. Stuart Yacht has agreed to this non-exclusive easement.

Agenda Item: 19-0317

**RESOLUTION NO. 19-2.13**

This item was approved by the first motion of the meeting.

**PUBLIC HEARINGS**

**PH-1 FUND BALANCE ADJUSTMENTS THAT ARE NECESSARY FOR FISCAL YEAR 2019**

Each year staff reviews fund balance, monies which are not expended at the end of each fiscal year, and amends the budget accordingly. These adjustments are for projects which were planned and approved in Fiscal Year 2018, but not completed prior to September 30, 2018. Funds that are remaining that are not for a specific project in Fiscal Year 2019 will be placed in reserves.

Agenda Item: 19-0280

**RESOLUTION NOs. 19-2.14 through 19-2.38**

Budget Manager Jennifer Manning presented the item to the Board.

MOTION: A motion was made by Commissioner Smith, seconded by Vice Chairman Jenkins, for approval of PH-1. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

Supplemental Memo

**PH-2 PUBLIC HEARING TO CONSIDER ADOPTION OF AN ORDINANCE AMENDING ARTICLE 7, DEVELOPMENT AGREEMENTS, LAND DEVELOPMENT REGULATIONS**

Article 7, Development Agreements, Land Development Regulations is based, in part, on the Florida Local Government Development Agreement Act, Sections 163.3220 - 163.3243, Florida Statutes. Article 7 is not consistent with the current version of the statute and conflicts with other portions of the Land Development Regulations. The Board is asked to consider adoption of an ordinance which would provide the necessary revisions.

Agenda Item: 19-0334

**ORDINANCE NO. 1098**

Acting County Attorney Krista Storey presented the item to the Board. Growth Management Director Nicki van Vonno assisted with Board questions.

MOTION: A motion was made by Commissioner Smith, seconded by Commissioner Hetherington, for approval of item PH-2. The motion carried by the following vote:

**Aye:** 4 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, and Commissioner Hetherington

**Nay:** 1 - Commissioner Heard

**PUBLIC HEARING QUASI-JUDICIAL**

**PHQJ-1 NORTH RIVER SHORES TENNIS CLUB INC. REQUEST AMENDMENT TO SPECIAL EXCEPTION (N046-002)**

Request for approval of Amendment to Special Exception for the North River Shores Tennis Club. The 6.27 acre subject property is located on the north side of NW Britt Road approximately 200 feet east of NW Everglades Boulevard.

Agenda Item: 19-0200

**RESOLUTION NO. 19-2.40**

Ex parte communications were disclosed by all five commissioners. The proof of notification was filed by the applicant. There were no interveners. The participants were sworn in by the deputy clerk.

COUNTY: Development Review Administrator Paul Schilling provided the staff's presentation to the Board. Growth Management Director Nicki van Vonno assisted with Board questions.

The following County Exhibits were entered into the record: (1) agenda item/staff report, (2) Paul Schilling resume.

APPLICANT: Attorney Mack Stuckey addressed the Board on behalf of the applicant, North River Shores Tennis Club, Inc.

Chairman Ciampi solicited public comment; none was heard.

MOTION: A motion was made by Commissioner Hetherington, seconded by Commissioner Smith, for approval of the item. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

**PHQJ-2 REQUEST FOR APPROVAL OF A PUD ZONING AGREEMENT AND MASTER SITE PLAN FOR BRIDGEWATER PRESERVE (P115-006)**

Request approval for a master site plan and Planned Unit Development (PUD) Zoning Agreement to increase the number of single family lots from 36 to 107 in the existing Bridgewater Preserve residential subdivision. The approximate 215 acre parcel is located on the west side of SE Island Way adjacent to the Palm Beach County line in southern Martin County. Included with this application is a Deferral of Public Facilities Reservation.

Agenda Item: 19-0293

**RESOLUTION NO. 19-2.41**

Ex parte communications were disclosed by all five commissioners. The proof of notification was turned in at the LPA meeting. There were no interveners. The participants were sworn in by the deputy clerk.

COUNTY: Principal Planner Peter Walden provided the staff's presentation to the Board. Growth Management Director Nicki van Vonno assisted with Board questions.

The following County Exhibits were entered into the record: (1) agenda item/staff report, (2) Peter Walden resume.

APPLICANT: Attorney Bob Raynes provided the applicant's presentation to the Board.

The following Applicant Exhibit was entered into the record: (1) agenda item/staff report [same as County Exhibit #1].

Chairman Ciampi solicited public comment; none was heard.

MOTION: A motion was made by Vice Chairman Jenkins II, seconded by Commissioner Smith, for approval of staff's recommendation. The motion carried by the following vote:

**Aye:** 4 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, and Commissioner Hetherington

**Nay:** 1 - Commissioner Heard

Supplemental Memo

**PHQJ-3 REQUEST FOR ABANDONMENT OF A 10 FOOT WIDE UTILITY EASEMENT, LOCATED ON LOTS 17 AND 18, LYING WITHIN THE LIMITS OF BAY SHORE VILLAGE**

This is a request for the Board to consider a Petition to Abandon a 10-foot-wide Utility Easement located in Bay Shore Village, Rocky Point, and further described in the attached petition for abandonment. No abandonment of right-of-way, or other fee ownership, is being requested under this Petition.

Agenda Item: 19-0304

**RESOLUTION NO. 19-2.42**

Ex parte communications were disclosed by all five commissioners. There were no notices required [proof of publication filed]. There were no interveners. The participants were sworn in by the deputy clerk.

COUNTY: County Surveyor Tom Walker provided the staff's presentation to the Board. Assistant County Attorney Elizabeth Lenihan assisted with Board questions.

The following County Exhibits were entered into the record: (1) agenda item/staff report, (2) Tom Walker resume, (3) proof of publication.

APPLICANT: Attorney Tyson Waters addressed the Board on behalf of the applicant.

Chairman Ciampi solicited public comment; none was heard.

MOTION: A motion was made by Commissioner Smith, seconded by Commissioner Hetherington, for approval of the item. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

## **REQUESTS AND PRESENTATIONS**

### **R&P-1 UPDATE ON HARBOR BRANCH OCEANOGRAPHICS INSTITUTE (HBOI): FLORIDA CENTER FOR COASTAL AND HUMAN HEALTH AND RELATED ACTIVITIES**

Dr. Sullivan will present information on work being performed by the newly established Florida Center for Coastal and Human Health at the Harbor Branch Oceanographic Institute (HBOI) and related activities at HBOI impacting the region.

Agenda Item: 19-0279

Coastal Engineer Kathy Fitzpatrick and Ecosystem Restoration & Management Manager John Maehl introduced the item. FAU Harbor Branch Executive Director Dr. Jim Sullivan provided the presentation to the Board.

During the discussion of the Florida Center for Coastal and Human Health studying the correlation between liver disease and algal bloom clusters, Commissioner Smith requested that the Chairman send a letter to Cleveland Clinic/Martin Health System requesting that they prioritize the issue.

### **R&P-2 CRA CODE PROJECT UPDATE BY TREASURE COAST REGIONAL PLANNING COUNCIL**

The Community Redevelopment Agency (CRA) signed a contract with the Treasure Coast Regional Planning Council (TCRPC) for the development and establishment of new land development regulations in each of the six CRA areas to assist in the implementation of the vision and recommendations contained in each of the CRA Plans. This presentation provides a project update for review and discussion.

Agenda Item: 19-0319

Community Development Manager Susan Kores introduced the item. TCRPC Urban Design Director Dana Little provided the presentation to the Board.

The following member of the public addressed the Board on this item: Julie Preast.

## **DEPARTMENTAL**

### **ADMINISTRATION**

#### **DEPT-1 OFFICE OF MANAGEMENT AND BUDGET ITEMS WHICH REQUIRE BOARD APPROVAL**

This is a placeholder on all Board meeting agendas to streamline the process for grant applications, awards, budget resolutions, budget transfers from reserves, and CIP amendments. Specific items requiring approval, if any, will be provided by Supplemental Memorandum.

Agenda Item: 19-0239

#### **RESOLUTION NOS. 19-2.44, 19-2.45, and 19-2.46**

Director of Office of Management & Budget Jennifer Manning presented the six items to the Board.

MOTION: A motion was made by Commissioner Heard, seconded by Commissioner Smith, for approval of DEPT-1. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

Supplemental Memo (6 items)

#### **DEPT-5 COMMERCIAL USE OF MARTIN COUNTY OWNED BOAT RAMPS**

On February 12, 2019 the Board of County Commissioners (BOCC) directed staff to return with an agenda item regarding the commercial use of County owned boat ramps.

Agenda Item: 19-0356

Assistant County Attorney George Stokus presented the item to the Board. Assistant County Attorney Elizabeth Lenihan assisted with Board questions.

The following members of the public addressed the Board on this item: Steve English (Port Salerno Commercial Dock Association), April Price (MIATC), Chris Loudon, Butch Olsen Jr. (MIATC), Jody Foster (MIATC), Butch Olsen Sr., Butch Bayley (Sailfish Marina), Gail Byrd (MIATC), Scott Szafranski, Danna Small (DLS Environmental Services), and Helen McBride.

MOTION: A motion was made by Vice Chairman Jenkins, seconded by Commissioner Hetherington, that [based on] this discussion, that staff goes and creates/crafts an agreement with our constituents sitting in this audience right here, with their input, to come back to us for approval; and that they can go back to business as usual right now. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

Additional Item

**GROWTH MANAGEMENT**

**DEPT-2 DISCUSSION OF CPA 18-10, CRA TEXT AMENDMENTS**

On December 12, 2017, the Board of County Commissioners adopted Resolution 17-12.3, initiating a Comprehensive Growth Management Plan (CGMP) text amendment to strengthen Goals, Policies and Objectives that encourage in-fill development and redevelopment in the Community Redevelopment Areas. Today's staff update on its initial work is designed to obtain further input and direction from the Board prior to finalizing its analysis and recommendations and scheduling public hearings on the proposed amendments to the CGMP.

Agenda Item: 19-0292

**RESOLUTION NO. 19-2.43**

Senior Planner Irene Szedlmayer provided the presentation to the Board. Growth Management Director Nicki van Vonno assisted with Board questions.

The following member of the public addressed the Board on this item: Attorney Bob Raynes.

MOTION [Residential Transition]: A motion was made by Commissioner Smith, seconded by Vice Chairman Jenkins, that staff bring back the residential transition discussion with additional options, and maybe how all that links together with the performance standards and what the zoning codes might look like. The motion carried by the following vote:

**Aye:** 4 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, and Commissioner Hetherington

**Nay:** 1 - Commissioner Heard

Agenda Item: 19-0292

MOTION [Shoreline Protection]: A motion was made by Commissioner Smith, seconded by Commissioner Hetherington, to adopt the resolution presented to ask staff to move forward with policies that affect inside the CRA and outside the CRA. The motion carried by the following vote:

**Aye:** 4 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, and Commissioner Hetherington

**Nay:** 1 - Commissioner Heard

**DEPT-3 2019 RESIDENTIAL CAPACITY PLANNING ANALYSIS**

On February 13, 2018 the Board directed staff to begin a planning analysis in accordance with Policy 4.1D.6. and other applicable policies of the Comprehensive Growth Management Plan. The 2019 Residential Capacity Planning Analysis will be

presented to the Board of County Commissioners.

Agenda Item: 19-0329

Growth Management Director Nicki van Vonno, Comprehensive Planning Administrator Clyde Dulin, and Principal Planner Samantha Lovelady presented the item to the Board.

Commissioner Smith suggested that the Board ask the Treasure Coast Regional Planning Council to do an assessment, at the regional level, of what's happening in our region regarding land conversions [ex: converting retail into mixed-use, etc.].

The following members of the public addressed the Board on this item: Lucido and Associates Senior Vice President Morris Crady and Attorney Bob Raynes, who suggested deleting the formula from the code.

MOTION: A motion was made by Commissioner Smith, seconded by Vice Chairman Jenkins, to ask staff to come back with an agenda item that works toward deleting the formula from the Comprehensive Plan and then, also from staff, a recommendation as to how we address the formula as a whole and how we deal with it. Commissioner Smith later withdrew this motion.

MOTION: A motion was made by Vice Chairman Jenkins and seconded by Commissioner Hetherington to ask staff to utilize all of the resources available to them to come back with best management practices to come up with a methodology that is most appropriate and accurate, that accurately describes the properties that are legitimately buildable in our community [restated: to ask staff to come back, after they've done their research on what they feel is the most appropriate methodology, incorporating best management practices, so that we have the most accurate count of what is genuinely a buildable lot]. The motion carried by the following vote:

**Aye:** 4 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, and Commissioner Hetherington

**Nay:** 1 - Commissioner Heard

Supplemental Memo

## **PUBLIC WORKS**

### **DEPT-4 REQUEST APPROVAL AND ADOPTION OF A RESOLUTION ACCEPTING DRAINAGE EASEMENTS FOR A DRAINAGE IMPROVEMENT PROJECT FROM SW FEROE AVENUE TO SW REILLEY AVENUE AND BETWEEN SW 34TH TERRACE AND SW 35TH STREET, OLD PALM CITY**

Staff is requesting that the Board approve and adopt a resolution accepting 10' drainage easements from property owners for a drainage project that will run from SW Feroe Avenue to SW Reilley Avenue and between SW 34th Terrace and SW 35th Street in Old Palm City.

Agenda Item: 19-0291

**RESOLUTION NO. 19-2.47**

Real Estate Coordinator Colleen Holmes, Capital Projects Manager George Dzama, and Assistant County Attorney Elizabeth Lenihan presented the item to the Board.

MOTION: A motion was made by Commissioner Smith, seconded by Vice Chairman Jenkins, for approval of the item. The motion carried by the following vote:

**Aye:** 5 - Chairman Ciampi, Vice Chairman Jenkins II, Commissioner Smith, Commissioner Hetherington, and Commissioner Heard

**PUBLIC - PLEASE LIMIT COMMENTS TO THREE MINUTES.**

**ADJOURN**

The Board of County Commissioners meeting of February 26, 2019 adjourned at 6:04 p.m.

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Carolyn Timmann, Clerk of the  
Circuit Court and Comptroller  
/mkv

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Edward V. Ciampi, Chairman  
Board of County Commissioners

Minutes approved:

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# MARTIN COUNTY **RESIDENTIAL CAPACITY ANALYSIS**

MARTIN COUNTY, FLORIDA | MARCH 2023



# MARTIN COUNTY RESIDENTIAL CAPACITY ANALYSIS

MARTIN COUNTY, FLORIDA | MARCH 2023

GAI's Community Solutions Group (CSG) is a cross-functional team of professionals who help create sustainable, livable places. We plan and design public spaces, sculpt landscapes and parks, reimagine streets and roads, and provide the regulatory and economic insight necessary to bring projects to life.

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## ACKNOWLEDGMENTS

**Joshua I. Long, AICP** | Vice President of Planning & Entitlements, *Kolter Land*  
**Morris A. Crady, AICP** | Senior Partner, *Lucido & Associates*

Kolter Land Partners, LLC  
1204 S. Congress, Suite 200  
Austin, Texas 78704  
(310) 617.0800

## GAI CONTACTS

**Owen Beitsch, PhD, FAICP, CRE** | Senior Advisor  
**Laura Smith, MPA, FRA-RA** | Project Manager  
**Natalie Frazier, MBA** | Senior Analyst

GAI Consultants' Community Solutions Group  
618 East South Street, Suite 700  
Orlando, FL 32801  
(321) 319.3088



COMMUNITY  
SOLUTIONS  
GROUP

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GAI Consultants, Inc. on behalf of Kolter  
Land Partners LLC.

**KOLTERLAND**

# TABLE OF CONTENTS

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<b>Summary of Major Findings</b> .....	<b>2</b>
Projections.....	2
Housing Demand .....	2
Residential Supply.....	3
Major Findings .....	3
<b>Project Introduction &amp; Background</b> .....	<b>4</b>
Introduction.....	4
Limitations.....	5
Residential Capacity Analysis.....	6
<b>Section One: Population Projections</b> .....	<b>7</b>
Historic Population .....	7
Population Projections.....	8
<b>Section Two: Housing Demand</b> .....	<b>10</b>
Terminology.....	10
2018 Residential Demand Analysis	
Observations .....	12
Housing Unit Demand.....	12
Vacancy Consideration.....	13
Distribution of Housing Unit Demand.....	15
<b>Section Three: Residential Supply</b> .....	<b>16</b>
Methodology.....	16
Reconciliation of Residential Demand	
With Supply .....	22
<b>Section Four: Other Considerations,</b>	
<b>Observations &amp; Conclusions</b> .....	<b>23</b>
Employment .....	23
Pace of Residential Production.....	24
Annexation Activity.....	25
Population Estimates and Projections	
Generally .....	25
Conclusions.....	25

## Contents Continued: Figures & Tables

### Figures

<b>Figure 1.</b> Urban Service District Map .....	5
<b>Figure 2.</b> Residential Capacity Process.....	6
<b>Figure 3.</b> Wetlands and Parcels with 50%+ Wetlands.....	18
<b>Figure 4.</b> Future Land Use, Primary USD.....	19
<b>Figure 5.</b> Future Land Use, Secondary USD .....	20

### Tables

<b>Table 1.</b> Historical Total Population, 2010-2021 .....	7
<b>Table 2.</b> Historical Population in Occupied Housing Units or Households, 2010-2021.....	8
<b>Table 3.</b> Total Population Estimates and Projections, 2022-2036 .....	9
<b>Table 4.</b> Population in Occupied Housing Units or Household Estimates and Projections, 2022-2036.....	10
<b>Table 5.</b> Census Reported Measures of Change .....	12
<b>Table 6.</b> Household Estimates and Projections, 2022-2036.....	13
<b>Table 7.</b> Rotational Vacancy in Martin County .....	13
<b>Table 8.</b> Seasonal Vacant Housing Units as a Percent of Total Housing Units .....	14
<b>Table 9.</b> Unincorporated County Projected Housing Unit Demand (5-, 10-, and 15-Year).....	14
<b>Table 10.</b> Unincorporated County Projected Housing Unit Demand Increase (5-, 10-, and 15-Year) .....	15
<b>Table 11.</b> Units Built Per Year by Urban Service Boundary, 2010-2021.....	15
<b>Table 12.</b> Allocation of Unit Demand by Location, 2026-2031 .....	15
<b>Table 13.</b> Potential Units in Primary Urban Service District.....	19
<b>Table 14.</b> Potential Units in Secondary Urban Service District.....	20
<b>Table 15.</b> Vacant Housing, Not in Seasonal Use and Rotational Vacancy, 2010-2021.....	21
<b>Table 16.</b> Allocation of Excess Vacant Housing Units by USD .....	21
<b>Table 17.</b> Summary of the Supply of Potential Units .....	22
<b>Table 18.</b> 2022-2036 Analysis of Supply versus Demand.....	22
<b>Table 19.</b> Historical Employment in Martin County. 2010-2019.....	24
<b>Table 20.</b> Annexations in Martin County.....	25





# SUMMARY OF MAJOR FINDINGS

GAI Consultants' Community Solutions Group was retained by Kolter Land to evaluate the capacity of residential lands, with a focus on the unincorporated portion of Martin County, Florida ("County") to accommodate future residential demand. The Client has proposed a residential development called "Waterside" that is located on vacant land immediately adjacent to the Primary Urban Service District in unincorporated Martin County. The proposed Waterside PUD is directly behind the recently acquired Martin County Operations Center, which comprises approximately 30 acres, and the hugely successful South Florida Gateway PUD on approximately 200 acres. Both of these projects are located within a Free-Standing Industrial Urban Service District adjacent to SW Kanner Highway. At buildout, the South Florida Gateway PUD, which is currently under construction, will consist of approximately 3,000,000 square feet ("SF") of light industrial and limited retail uses, and the proposed Waterside PUD will consist of approximately 1,000 residential units on 375 acres.

A Residential Capacity Analysis is not required as part of any application(s) for amendment to the County's Comprehensive Plan. However, the County has not produced a Residential Capacity and Vacant Land Analysis since 2018 and is not expected to conduct another iteration or update until fiscal year 2023/2024. Due to the age of the data contained in the 2018 Residential Capacity and Vacant Land Analysis, the Client desires to include a current 2022 Residential Capacity Analysis with the amendment application(s) materials.

The 2022 Capacity Analysis consists of the following process:



## PROJECTIONS

Martin County's overall population is expected to increase 3.4% over the next 5 years, 2022 through 2026; 6.5% over the next 10 years, 2022 through 2031; 9.3% over the next 15 years, 2022 through 2036. Comparatively, the major focus of this 2022 Residential Capacity Analysis, Unincorporated County, is projected to see total population increases of 3.4% over the next 5 years, 6.5% in the next 10 years, and 9.2% over the next 15 years, from an estimated population of 132,913 in 2022 to 145,139 in 2036.

Total population includes both the population residing within *Occupied Housing Units* or *Households* and the population residing in *Group Quarters*, as defined by the U.S. Census. The distinction between total population and the population residing in *Occupied Housing Units* or *Households* is important in the context of estimating future housing unit demand—e.g., the portion of the population residing in *Group Quarters* do not require *Housing Units*; therefore, that portion of the population does not contribute to future housing unit demand.

For the County as a whole, population in *Occupied Housing Units* or *Households* is expected to increase 2.9% over the next 5 years, 2022 through 2026; 4.9% over the next 10 years, 2022 through 2031; and 7.6% over the next 15 years, 2022 through 2036. Comparatively, Unincorporated County is projected to see population in *Occupied Housing Units* or *Households* increase 6.1% over the next 5 years, 8.1% in the next 10 years, and 10.9% over the next 15 years, from an estimate of 133,296 in 2022 to 147,863 in 2036.

## HOUSING DEMAND

Relying upon the projection of population in *Occupied Housing Units* or *Households* and the 2010-2020 American Community Survey estimates of average household size, presented as average persons per household, for the County and the incorporated places within the County, projections of number of *Households* indicate that in 2022, the County, including all incorporated places within, contains an estimated 66,719 *Households*. The County's overall *Households* are expected to



Image Source: Martin County, FL

increase 3.6% over the next 5 years, 2022 through 2026; 5.6% over the next 10 years, 2022 through 2031; and 8.3% over the next 15 years, 2022 through 2036. Comparatively, Unincorporated County is projected to see *Households* increase 5.3% over the next 5 years, 7.3% in the next 10 years, and 10.1% over the next 15 years, from an estimated 55,461 *Households* in 2022 to 61,062 in 2036.

While the projection of *Households* described above estimates the number of *Housing Units* necessary to accommodate the projected population in *Occupied Housing Units* or *Households*, the calculation of total future housing unit demand must also account for the fact that some amount of *Housing Units* will always be in various states of vacancy condition, and some amount of *Housing Units* will be eliminated due to demolition or conversion to non-residential use(s). Taking into consideration various states of vacancy, the table below reflects the current and projected estimates for future housing unit demand in the 5-, 10- and 15-year planning periods beginning in 2022.

	Total Units	Cumulative Increase
2022	65,123	—
2026	68,534	3,411
2031	72,460	3,926
2036	76,604	4,144
<b>Total Increase (2022 –2036)</b>		<b>11,481</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants.

## RESIDENTIAL SUPPLY

The *Housing Units* needed, or future housing unit demand, over the 5-, 10-, and 15-year period must be compared to the residential supply (vacant land

and vacant units) to determine if there is adequate residential capacity to accommodate future growth. Taking into account the ability of vacant land to accommodate residential development, the presence of wetlands, limitations of parcel configuration and ownership, and the fact that a portion of total vacant *Housing Units* must be retained in the market for operational purposes, the supply of *Housing Units* within the Unincorporated County, whether existing today in some state of vacancy or as potential *Housing Units* that could be built on vacant lands, totals 7,140 *Housing Units*.

## MAJOR FINDINGS

The County does not currently have adequate supply in the 10- or 15-year planning periods to meet the increasing demand for housing within either of the defined Urban Service Districts. Thus, the Unincorporated County as a whole is lacking adequate supply to meet future housing unit demand. These results starkly contrast with those presented in the County’s 2018 Capacity Analysis, which concluded that the Unincorporated County has adequate housing supply to meet demand through 2030.

This 2022 Capacity Analysis illustrates there are at least 1,592 units that could currently be developed on vacant residential land located outside either of the USDs, to accommodate a portion of future housing unit demand. However, these potential units are not taken into consideration as supply in the calculation of residential capacity, because the vacant land is located outside of the USDs. Therefore, the County will need to either convert commercial lands to accommodate residential uses, increase residential densities within the USDs, or expand its USDs to address the growing residential demand.

# PROJECT INTRODUCTION & BACKGROUND

## INTRODUCTION

GAI Consultants' Community Solutions Group ("GAI" or "CSG") was retained by Kolter Land ("Client") to evaluate the capacity of residential lands focusing on the unincorporated portion of Martin County, Florida ("County") to accommodate future residential demand. The Client has proposed a residential development called "Waterside" that is located on vacant land immediately adjacent to the Primary Urban Service District in unincorporated Martin County. The proposed Waterside PUD is directly behind the recently acquired Martin County Operations Center, which comprises approximately 30 acres, and the hugely successful South Florida Gateway PUD on approximately 200 acres. Both of these projects are located within a Free-Standing Industrial Urban Service District adjacent to SW Kanner Highway. At buildout, the South Florida Gateway PUD, which is currently under construction, will consist of approximately 3,000,000 SF of light industrial and limited retail uses, and the proposed Waterside PUD will consist of approximately 1,000 residential units on 375 acres.

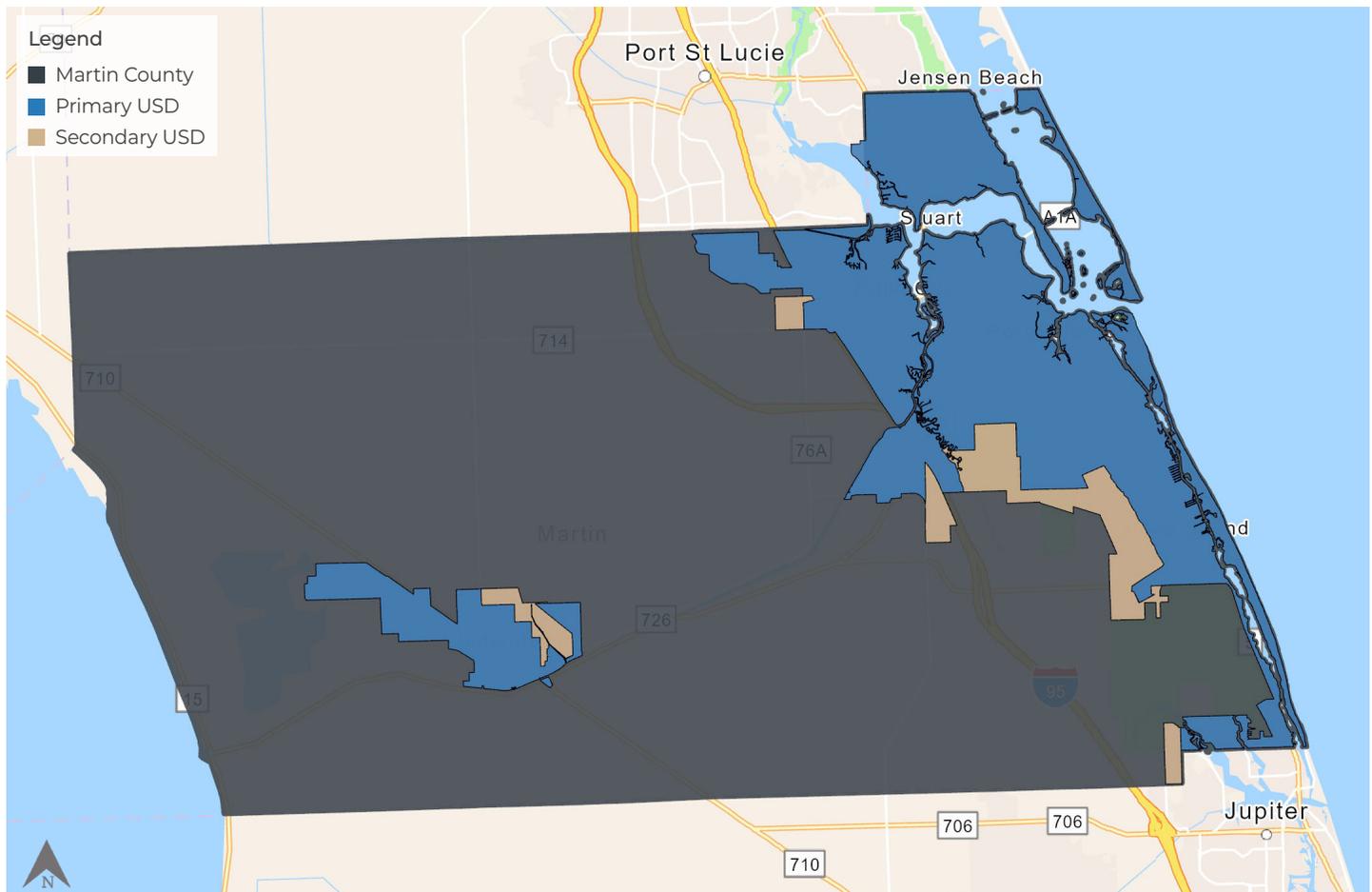
Securing approval for the Project requires an amendment to the County's Comprehensive Growth Management Plan ("Comprehensive Plan"). Therefore, the Client is preparing support materials to accompany the necessary application(s) for submittal to the County for consideration. A Residential Capacity Analysis is not required as part of any application(s) for amendment to the County's Comprehensive Plan. However, the County has not produced a Residential Capacity and Vacant Land Analysis since 2018 and is not expected to conduct another iteration or update until the County conducts its next Evaluation and Appraisal Report ("EAR") in fiscal year 2023/2024. Due to the age of the data contained in the 2018 Residential Capacity and

Vacant Land Analysis ("2018 Capacity Analysis"), the Client desires to include a current 2022 Residential Capacity Analysis ("2022 Capacity Analysis") with the amendment application(s) materials.

*Objective 4.1D* of the County's Comprehensive Plan states "...County shall continue to collect and monitor development and population data to ensure sufficient land to address projected population needs". The 2022 Capacity Analysis is intended to determine whether sufficient residential capacity exists within the Urban Service Districts ("USDs") by comparing the residential *Housing Units* necessary in a specified projection period to the supply of vacant land and vacant *Housing Units*.

The County contains both a Primary Urban Service District ("PUSD") and a Secondary Urban Service District ("SUSD"). The PUSD consists of industrial, commercial, and higher-density residential development, while the SUSD consists of rural lands geographically located adjacent to the PUSD. The County's website states that the purpose of both the PUSD and the SUSD is to mitigate urban sprawl by directing growth in a timely and efficient manner to areas with urban public facilities and services, with these facilities and services programmed to be available at adopted levels of service. The purpose of the SUSD, specifically, is to accommodate lower-density rural and suburban residential development at the perimeter of urban development. The map on the following page illustrates the PUSD and the SUSD within Martin County (see **Figure 1**).

**Figure 1. Urban Service District Map**



## LIMITATIONS

In conducting this 2022 Capacity Analysis, CSG first evaluated the 2018 Capacity Analysis and its supporting documents. These include the 2017 Population Technical Bulletin (“2017 Bulletin”) and 2018 Residential Demand Analysis (“2018 Demand Analysis”). *Policy 4.1D.2* of the County’s Comprehensive Plan stipulates “Martin County shall annually produce a population technical bulletin based on data provided by the Office of Economic and Demographic Research (“EDR”). CSG submitted a formal request to the County for the most recent annual population technical bulletin. The County responded by providing copies of Bureau of Economic and Business Research (“BEBR”) *Projections of Florida Population by County* for each of the years following 2017. However, the aforementioned BEBR publication does not contain the same data sources as the 2017 Bulletin produced by the County. More specifically, the 2017 Bulletin produced by the

County contained estimates and projections of population, *Housing Units*, and *Households* for the Unincorporated portion of the County; as well as planning area and municipalities within the County. Whereas, the BEBR publication provides only estimates and projections of population for the County. Per *Policy 4.1D.3* of the County’s Comprehensive Plan, “...demand for future residential *Housing Units* in the unincorporated area shall be based on the percentage increase in permanent population projected by the Population Technical Bulletin”. The 2017 Bulletin, and its required annual updates, are the foundation upon which the County’s process for calculating and projecting future housing unit demand relies.

As will be described in further detail throughout this 2022 Capacity Analysis and its accompanying appendices, fully replicating the specific procedures of the 2018 Capacity Analysis, 2018 Demand

Analysis, and 2017 Bulletin is not possible due to dataset deficiencies and/or inconsistencies. For example, *Policy 4.1D.4* of the County’s Comprehensive Plan states “...[the] percentage of residential housing demand that will be met outside the Urban Service Districts shall be based on the average number of certificates of occupancy for the preceding five years.” CSG submitted a formal request to the County for Certificates of Occupancy (2017–2021) by location (i.e., PUSD,

SUSD, outside the USD). However, the County responded to the request stating, “County is not able to provide the information based upon on the requested districts and we have no records showing this information”. Similar deficiencies and/or inconsistencies related to data sources were reconciled and/or replicated by CSG using alternative data sources, which are referenced and/or described within the relevant sections and/or appendices of this report.

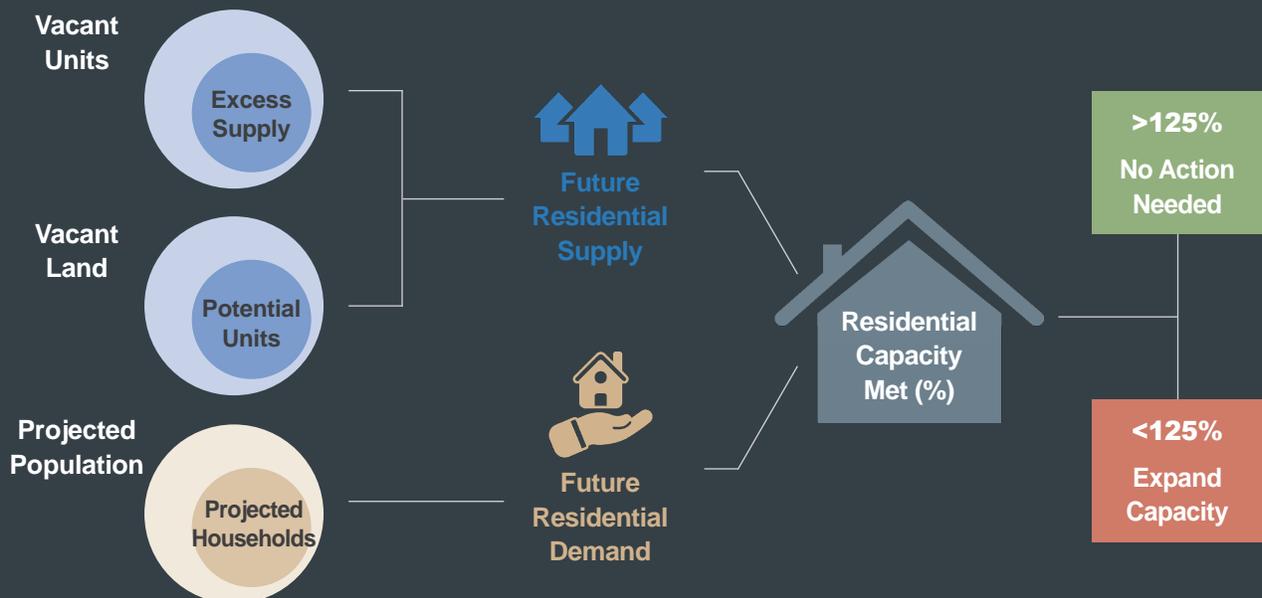
## RESIDENTIAL CAPACITY ANALYSIS

This 2022 Residential Capacity Analysis requires use of a variety of population, housing, employment, and parcel data. This data and the sources from which it was collected are contained within the Appendix. The process for the calculation of residential capacity for the purposes of this 2022 Capacity Analysis is substantively different from that followed by the County for their 2018 Capacity Analysis. Some of these differences stem from policy changes that render certain calculations no longer relevant, while other differences

arise from the data deficiencies and/or inconsistencies. These differences, as they arise or become material to the approach or conclusions, are described in greater detail throughout this report and/or its accompanying appendices.

The 2022 Capacity Analysis contains three parts: (1) population projections; (2) projection of *Housing Units* necessary to accommodate projected population; and (3) calculation of residential housing supply, as depicted in the figure below (see **Figure 2**).

**Figure 2. Residential Capacity Process**



# SECTION ONE POPULATION PROJECTIONS

## HISTORIC POPULATION

In the absence of a more recent population technical bulletin than the 2017 Bulletin produced by the County, this 2022 Capacity Analysis replicated the 2017 Bulletin using available 2020–2022 datasets from consistently reported and statistically reliable sources (e.g., U.S. Census Bureau, American Community Survey, BEBR, ESRI), to the greatest extent possible given previously noted constraints. Detailed description(s) of the approach, methodology, and calculations utilized to produce the population projections prepared for this 2022 Capacity Analysis are provided in Appendix C for additional reference.

Total population in the County has grown at a Compound Annual Growth Rate (“CAGR”) of 0.70% since 2010, as illustrated in **Table 1** below. The largest share of the County’s total population is in Stuart and the Unincorporated County, which combined account for over 93% of the total population of the County in 2020 and nearly 50% in County-wide population growth from 2010 to 2020. While the County overall has experienced growth, population has slightly decreased in Indiantown and Jupiter Island, and has remained relatively stable in Sewall’s Point. Ocean Breeze, while small in the context of the broader County, has seen rapid growth in the past five years, at a CAGR of 16.9%.

**Table 1. Historical Total Population, 2010–2021**

	Martin County						
	Indiantown <sup>(1)</sup>	Jupiter Island	Ocean Breeze	Sewall’s Point	Stuart	Unincorporated	TOTAL
<b>2010 <sup>(2)</sup></b>	–	817	355	1,996	15,593	127,557	<b>146,318</b>
<b>2011</b>	–	504	392	1,882	15,644	128,311	<b>146,733</b>
<b>2012</b>	–	523	332	1,906	15,653	128,840	<b>147,254</b>
<b>2013</b>	–	816	301	2,013	15,814	129,133	<b>148,077</b>
<b>2014</b>	–	816	95	1,998	15,972	129,704	<b>148,585</b>
<b>2015</b>	–	810	95	2,000	16,110	131,047	<b>150,062</b>
<b>2016</b>	–	812	100	2,026	16,148	131,784	<b>150,870</b>
<b>2017</b>	–	809	134	2,044	16,183	133,852	<b>153,022</b>
<b>2018</b>	6,707	826	163	2,078	16,425	129,357	<b>155,556</b>
<b>2019</b>	6,728	829	303	2,090	16,504	132,144	<b>158,598</b>
<b>2020 <sup>(2)</sup></b>	6,560	804	301	1,991	17,425	131,350	<b>158,431</b>
<b>2021</b>	6,633	879	292	1,984	17,269	131,996	<b>159,053</b>
<b>CAGR (2010-2021)</b>	–	<b>0.6%</b>	<b>(1.6%)</b>	<b>(0.1%)</b>	<b>0.9%</b>	<b>0.3%</b>	<b>0.7%</b>

Source: U.S. Census Bureau and University of Florida, Bureau of Economic and Business Research, 2011-2022; GAI Consultants. Note: (1) Indiantown was incorporated on December 31, 2017. (2) Reflects data from the Decennial Census.

While **Table 1** depicts total population, the total population includes both the population residing within *Occupied Housing Units* or *Households* and the population residing in *Group Quarters*, which the U.S. Census Bureau defines as places such as college residence halls, residential treatment centers, skilled nursing facilities, group homes, military barracks, correctional facilities, workers' dormitories, and facilities for people experiencing homelessness. The distinction between total

population and the population residing in *Occupied Housing Units* or *Households* is important in the context of estimating future housing unit demand. The portion of the population residing in *Group Quarters* do not require *Housing Units*; therefore, that portion of the population does not contribute to future housing unit demand. **Table 2** below illustrates the historical population in *Occupied Housing Units* or *Households*.

**Table 2. Historical Population in Occupied Housing Units or Household, 2010–2021**

	Martin County						
	Indiantown <sup>(1)</sup>	Jupiter Island	Ocean Breeze	Sewall's Point	Stuart	Unincorporated	TOTAL
<b>2010</b> <sup>(2)</sup>	–	746	355	1,996	15,168	124,120	<b>142,385</b>
<b>2011</b>	–	437	353	1,743	14,982	124,844	<b>142,358</b>
<b>2012</b>	–	466	298	1,764	15,018	125,402	<b>142,949</b>
<b>2013</b>	–	482	271	1,726	15,120	126,738	<b>144,337</b>
<b>2014</b>	–	533	232	1,842	15,238	128,142	<b>145,987</b>
<b>2015</b>	–	524	217	1,905	15,726	129,693	<b>148,065</b>
<b>2016</b>	–	551	193	1,987	15,898	131,264	<b>149,892</b>
<b>2017</b>	5,195	543	211	1,922	15,882	128,005	<b>151,758</b>
<b>2018</b>	6,299	590	154	1,944	15,754	129,173	<b>153,915</b>
<b>2019</b>	6,415	549	176	1,940	15,833	129,955	<b>154,867</b>
<b>2020</b>	6,486	608	266	1,985	15,956	131,036	<b>156,337</b>
<b>2021</b>	6,520	643	308	1,941	17,138	132,043	<b>158,593</b>
<b>CAGR (2010-2021)</b>	–	<b>(1.2%)</b>	<b>(1.2%)</b>	<b>(0.2%)</b>	<b>1.0%</b>	<b>0.5%</b>	<b>0.9%</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants. Note: (1) Indiantown was incorporated on December 31, 2017. (2) Reflects data from the Decennial Census.

## POPULATION PROJECTIONS

The County's overall population is expected to increase 3.4% over the next 5 years, 2022 through 2026; 6.5% over the next 10 years, 2022 through 2031; and 9.3% over the next 15 years, 2022 through 2036, as illustrated in **Table 3** below.

Focusing on the County's two largest concentrations of population, Stuart and Unincorporated County, Stuart is projected to increase 2.2% over the next 5 years, 4.7% in the next 10 years, and 6.9% over the next 15 years, from an estimated population of 17,417 in 2022

to 18,617 in 2036. Comparatively, Unincorporated County is projected to increase 3.4% over the next 5 years, 6.5% in the next 10 years, and 9.2% over the next 15 years, from an estimated population of 132,913 in 2022 to 145,139 in 2036.



**Table 3. Total Population Estimates and Projections, 2022–2036**

	Martin County						
	Indiantown	Jupiter Island	Ocean Breeze	Sewall's Point	Stuart	Unincorporated	TOTAL
2022 <sup>(1)</sup>	6,679	884	287	1,983	17,417	132,913	160,163
2023	6,758	898	282	2,032	17,397	133,808	161,176
2024	6,833	943	285	2,057	17,533	135,073	162,725
2025	6,910	988	288	2,082	17,671	136,351	164,290
2026	6,977	1,028	291	2,104	17,792	137,476	165,668
2027	7,034	1,062	294	2,123	17,896	138,438	166,847
2028	7,085	1,091	296	2,140	17,987	139,282	167,881
2029	7,130	1,119	298	2,155	18,070	140,053	168,825
2030	7,175	1,145	300	2,170	18,149	140,793	169,731
2031	7,219	1,171	302	2,184	18,230	141,538	170,644
2032	7,264	1,197	304	2,199	18,310	142,287	171,561
2033	7,308	1,223	306	2,214	18,390	143,026	172,467
2034	7,351	1,249	308	2,228	18,468	143,755	173,359
2035	7,393	1,274	310	2,242	18,544	144,462	174,226
2036	7,434	1,298	311	2,255	18,617	145,139	175,055
<b>CAGR (2022–2036)</b>	<b>0.7%</b>	<b>2.6%</b>	<b>0.5%</b>	<b>0.9%</b>	<b>0.5%</b>	<b>0.6%</b>	<b>0.6%</b>

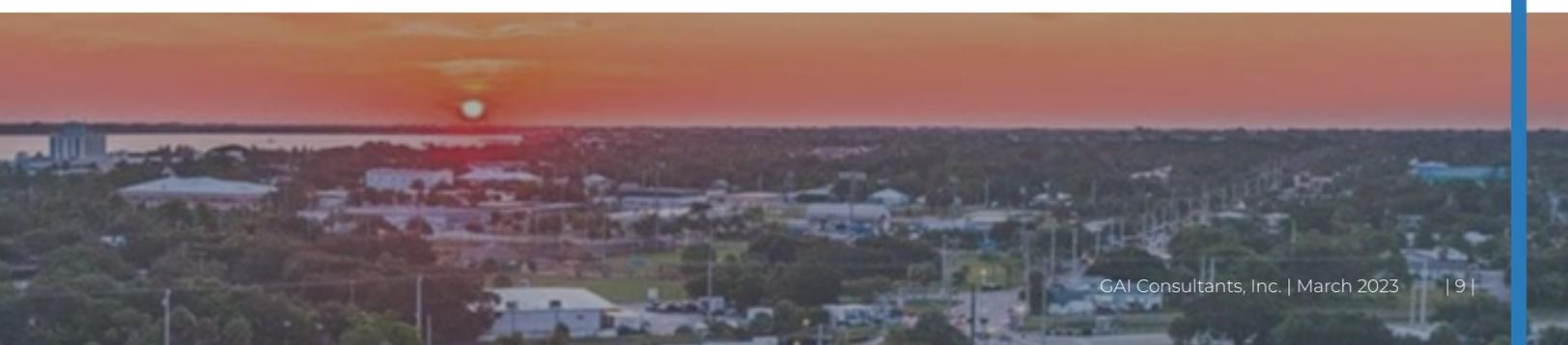
Source: U.S. Census Bureau and University of Florida, Bureau of Economic and Business Research, 2022-2036; GAI Consultants. Note: (1) 2022 reflects estimates.

Relying upon counts of total *Households* and average household size as reported by the U.S. Census Bureau for the County and each incorporated place therein, projections for the population in *Occupied Housing Units* or *Households* rely on a calculation of average historical capture of household population as a percent of total population, which is then applied against projections of total population for the County and each incorporated place therein. These projections are displayed in **Table 4** below.

For reference, per the most current household population data provided by the U.S. Census Bureau for the County as a whole, population in *Occupied Housing Units* or *Households* is expected to increase 2.9% over the next 5 years,

2022 through 2026; 4.9% over the next 10 years, 2022 through 2031; and 7.6% over the next 15 years, 2022 through 2036, as illustrated in the following table.

Focusing on the County’s two largest concentrations of population, Stuart and Unincorporated County, Stuart is projected to increase 0.3% over the next 5 years, 2.2% in the next 10 years, and 4.9% over the next 15 years, from an estimate of 17,252 in 2022 to 18,093 in 2036. Comparatively, Unincorporated County is projected to increase 3.4% over the next 5 years, 5.4% in the next 10 years, and 8.1% over the next 15 years, from an estimate of 133,296 in 2022 to 144,149 in 2036.



**Table 4. Population in Occupied Housing Units or Households Estimates and Projections, 2022–2036**

	Martin County						
	Indiantown	Jupiter Island	Ocean Breeze	Sewall's Point	Stuart	Unincorporated	TOTAL
2022 <sup>(1)</sup>	6,580	661	292	1,976	17,252	133,296	160,058
2023	6,419	602	275	2,027	16,834	134,119	160,275
2024	6,480	607	277	2,046	16,996	135,408	161,816
2025	6,543	613	280	2,066	17,159	136,711	163,372
2026	6,598	618	282	2,083	17,303	137,857	164,742
2027	6,575	616	281	2,076	17,244	137,390	164,183
2028	6,616	620	283	2,089	17,351	138,241	165,201
2029	6,653	624	285	2,101	17,449	139,018	166,130
2030	6,689	627	286	2,112	17,542	139,764	167,021
2031	6,725	630	288	2,124	17,637	140,516	167,919
2032	6,761	634	289	2,135	17,732	141,271	168,822
2033	6,797	637	291	2,146	17,825	142,017	169,713
2034	6,832	640	292	2,157	17,917	142,752	170,591
2035	6,866	644	294	2,168	18,007	143,466	171,444
2036	6,899	647	295	2,178	18,093	144,149	172,260
<b>CAGR (2022–2036)</b>	<b>0.3%</b>	<b>(0.2%)</b>	<b>0.1%</b>	<b>0.7%</b>	<b>0.3%</b>	<b>0.5%</b>	<b>0.5%</b>

Source: U.S. Census, American Community Survey 2010-2021; BEBR; GAI Consultants. Note: (1) 2022 reflects estimates.

## SECTION TWO HOUSING DEMAND

### TERMINOLOGY

It is important to note the significance of terminology when discussing the topic of Housing. For example, terms such as *Housing Unit* and *Household*, are often mistakenly used interchangeably, which can result in the misuse or misrepresentation of data related to discretely different variables. In its most basic interpretation, a *Household* is simply an *Occupied Housing Unit*. Definitions procured from the U.S. Census Bureau and used for its reporting and tabulations are provided below for clarification of terminology used consistently throughout this analysis.

**Housing Unit** – A housing unit is a house, an apartment, a mobile home, a group of rooms, or a single room that is occupied or intended for occupancy as separate living quarters.

**Occupied Housing Unit** – A housing unit is occupied if a person or group of persons is living in it at the time of the interview or if the occupants are only temporarily absent, as for example, on vacation. The persons living in the unit must consider it their usual place of residence or have no usual place of residence elsewhere. The count of *Occupied Housing Units* is the same as the count of *Households*.

**Vacant Housing Unit** – A housing unit is vacant if no one is living in it at the time... unless its occupants are only temporarily absent. In addition, a vacant unit may be one which is entirely occupied by persons who have a usual residence elsewhere.

**Vacant Units for Rent** – This group contains vacant units offered for rent and those [which may also be] offered both for rent and sale.

**Vacant Units for Sale Only** – This group is limited to units for sale only; it excludes units both for rent and sale. If a unit was located in a multi-unit structure which was for sale as an entire structure and if the unit was not for rent, it was reported as “held off market.” However, if the individual unit was intended to be occupied by the new owner, it was reported as “for sale.”

**Vacant Units Rented or Sold** – This group consists of...vacant units which have been rented or sold but the new renters or owners have not moved in...

**Vacant Units held off the Market** – Included in this category are units held for occasional use, temporarily occupied by persons with usual residence elsewhere, and vacant for other reasons.

**Seasonal Vacant Units** – Seasonal Housing Units are those intended for occupancy only during certain seasons of the year and are found primarily in resort areas. Housing units held for occupancy by migratory labor employed in farm work during the crop season are tabulated as seasonal.

**Household** – The related family members and all the unrelated people, if any, such as lodgers, foster children, wards, or employees who share the housing unit.

**Group Quarters** – A Group Quarters (“GQ”) is a place where people live or stay in a group living arrangement that is owned or managed by an entity or organization providing housing and/or services for the residents. These services may include custodial or medical care, as well as other types of assistance, and residency is commonly restricted to those receiving these services. This is not a typical household-type living arrangement. People living in GQs usually are not related to each other. GQs include such places as college residence halls, residential treatment centers, skilled nursing facilities, group homes, military barracks, correctional facilities, workers’ dormitories, and facilities for people experiencing homelessness.

The County’s 2018 Demand Analysis created its own unique variables by aggregating data topics reported by the U.S. Census Bureau, definitions of

these unique variables are provided below. However, some of the variables created by the 2018 Demand Analysis misrepresent Census reported data, and when these newly created unique variables are fed into the formulas established by *Policy 4.1D.3* of the County’s Comprehensive Plan, the data is treated improperly resulting in flawed methodology.

One notable example is related to the calculation of *Seasonal Population* (see definition from 2018 Demand Analysis below). The calculation for *Seasonal Population* essentially multiplies *Vacant Seasonal Housing Units* (see definition from 2018 Demand Analysis below) by average persons per household. The issue with this is twofold: (1) The definition of *Vacant Seasonal Housing Units* misrepresents the data sourced from the U.S. Census Bureau, as it dissects specific categories of Census-reported *Vacant Housing Units* out of the calculation but fails to acknowledge categories of Census-reported *Vacant Housing Units* which are universally reported jointly or added into the calculation such as “seasonal, recreational, or occasional use” and “other vacant”; and (2) Applying average persons per household, which is a characteristic of *Households* not *Housing Units*, as a characteristic of *Vacant Seasonal Housing Units* mischaracterizes these unrelated data topics.

**Housing Units in Actual Use** – The number of residential *Housing Units* occupied by permanent residents as classified by the U.S. Census, plus the number of *Vacant Seasonal Housing Units*. *Housing units in actual use equals the Occupied Housing Units plus Vacant Seasonal Housing Units.*

**Seasonal Population** – The number of residents living in residential *Housing Units* who spend less than six months in Martin County. The seasonal population in terms of the demand for residential *Housing Units* is calculated by multiplying the persons per *Household*, *Unincorporated Area*, by the “*Vacant Seasonal Housing Units*” as classified by the U.S. Census and defined in this chapter.

**Vacant Seasonal Housing Units** – The decennial Census count for residential *Housing Units* that are occupied, but for less than six months of the year. This definition excludes the following vacant categories used by the U.S. Census: *For rent; Rented, not occupied; For sale only; Sold, not occupied; and For migrant workers.*

## 2018 RESIDENTIAL DEMAND ANALYSIS OBSERVATIONS

*Policy 4.1D.3* of the County’s Comprehensive Plan stipulates the process for calculation of future residential housing unit demand. In short, it states that *Housing Unit* demand projections be based on the percentage of increase in permanent population projected by the population technical bulletin.

As previously noted, in the absence of a more recent population technical bulletin than the 2017 Bulletin, this 2022 Capacity Analysis replicated the 2017 Bulletin to the greatest extent possible, given previously noted constraints and using available 2020–2022 datasets from reliable sources (e.g., U.S. Census Bureau, American Community Survey, BEBR, ESRI) that can be found in Appendix C. However, establishing a multiplier by relying upon percent change in population and applying that multiplier against *Housing Units in Actual Use* to estimate future residential *Housing Unit* demand is another example of the misuse of data characteristics which are otherwise unrelated.

To demonstrate this point further, **Table 5** below presents measures of change using Census-reported data sets, including total population, total *Housing Units*, population in *Occupied Housing Units*, and *Occupied Housing Units* in Unincorporated Martin County over the 10-year period from 2010–2020.

**Table 5. Census-Reported Measures of Change**

	2010	2020	Change (2010- 2020)
<b>Total Population</b>			
Unincorporated	127,557	131,350	<b>1.03</b>
County Total	146,318	158,431	<b>1.08</b>
<b>Total Housing Units</b>			
Unincorporated	64,346	67,572	<b>1.05</b>
County Total	78,131	81,371	<b>1.04</b>
<b>Population in Occupied Housing Units (Households)</b>			
Unincorporated	124,120	130,204	<b>1.05</b>
County Total	142,385	156,337	<b>1.10</b>
<b>Occupied Housing Units (Households)</b>			
Unincorporated	49,346	54,268	<b>1.10</b>
County Total	59,203	64,870	<b>1.10</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants.

The result was percent change multipliers ranging from 1.03 to 1.10 across the various measures of change for Unincorporated County. This variation in rates itself confirms that applying a population change-based multiplier to estimate future housing unit demand is a flawed methodology. The method used in the 2018 Capacity Analysis compounds errors. It would be incorrect to provide these kinds of measures against future years. Given the intent of the prior method, an alternative means to project future housing unit demand was created for this 2022 Capacity Analysis.

## HOUSING UNIT DEMAND

Consistent with the County’s Comprehensive Plan, the process described below estimates the *Housing Units* needed in the 10- and 15-year projection periods to determine whether future housing unit demand can be satisfied by the supply of vacant land and/or vacant *Housing Units*—ultimately concluding whether there is sufficient residential capacity within the USDs through 2036.

Relying upon the projection of population in *Households* contained in **Table 2** from the prior section and the 2010–2020 American Community Survey estimates of average household size, presented as average persons per household for the County and the incorporated places within the County, projections of number of *Households* can be calculated for the County and the incorporated places within the County.

In 2022, the County, including all incorporated places, was estimated to contain 66,719 *Households*. The County’s overall *Households* are expected to increase 3.7% over the next 5 years, 2022 through 2026; 8.6% over the next 10 years, 2022 through 2031; and 13.7% over the next 15 years, 2022 through 2036, as illustrated in **Table 6** on the following page.

Focusing on the County’s two largest concentrations of population, Stuart and Unincorporated County, *Households* in Stuart are projected to increase 0.6% over the next 5 years, 5.4% in the next 10 years, and 10.3% over the next 15 years. Comparatively, *Households* in Unincorporated County are projected to increase 4.4% over the next 5 years, 9.3% in the next 10 years, and 14.5% over the next 15 years.

**Table 6. Household Estimates and Projections, 2022–2036**

	Martin County						
	Indiantown	Jupiter Island	Ocean Breeze	Sewall's Point	Stuart	Unincorporated	TOTAL
<b>2022</b> <sup>(1)</sup>	1,982	360	154	934	7,828	55,461	66,719
<b>2023</b>	1,926	348	138	926	7,662	56,334	67,335
<b>2024</b>	1,944	351	139	935	7,733	56,854	67,957
<b>2025</b>	1,962	355	140	943	7,805	57,380	68,584
<b>2026</b>	1,980	358	142	952	7,877	57,909	69,218
<b>2027</b>	1,998	361	143	961	7,949	58,444	69,857
<b>2028</b>	2,017	365	144	970	8,023	58,984	70,502
<b>2029</b>	2,035	368	146	979	8,097	59,529	71,153
<b>2030</b>	2,054	371	147	988	8,172	60,079	71,810
<b>2031</b>	2,073	375	148	997	8,247	60,633	72,474
<b>2032</b>	2,092	378	150	1,006	8,323	61,193	73,143
<b>2033</b>	2,112	382	151	1,015	8,400	61,759	73,818
<b>2034</b>	2,131	385	152	1,025	8,478	62,329	74,500
<b>2035</b>	2,151	389	154	1,034	8,556	62,905	75,188
<b>2036</b>	2,171	392	155	1,044	8,635	63,486	75,883
<b>CAGR (2022–2036)</b>	<b>0.6%</b>	<b>0.6%</b>	<b>0.1%</b>	<b>0.7%</b>	<b>0.7%</b>	<b>0.9%</b>	<b>0.9%</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants. Note: (1) 2022 reflects estimates.

## VACANCY CONSIDERATION

While the projection of *Households* illustrated above estimates the residential units necessary to accommodate the projected population in *Occupied Housing Units* or *Households* as depicted in **Table 4**, the calculation of total future housing unit demand must also account for the fact that some amount of *Housing Units* will always be in various states of vacancy condition, and some amount of *Housing Units* will be eliminated due to demolition or conversion to non-residential use(s). One specific set of vacancy conditions is *Housing Units* that are (1) rented but not occupied, (2) sold but not occupied, (3) for migrant workers, or (4) classified as “other vacant” units by the U.S. Census Bureau.

For the purposes of this 2022 Capacity Analysis, the sum of this specific set of vacancy conditions is referred to as “Rotational Vacancy”. Estimates for this value are based on Census data, which is presented in **Table 7**.

**Table 7. Rotational Vacancy in Martin County**

	Unincorporated	Total County
<b>2010</b>	3.4%	3.2%
<b>2011</b>	1.9%	1.6%
<b>2012</b>	1.9%	1.5%
<b>2013</b>	2.3%	1.9%
<b>2014</b>	3.1%	2.8%
<b>2015</b>	3.0%	2.7%
<b>2016</b>	4.0%	3.5%
<b>2017</b>	5.3%	5.0%
<b>2018</b>	6.2%	6.1%
<b>2019</b>	6.9%	7.0%
<b>2020</b>	7.9%	7.9%
<b>2021</b>	2.6%	1.8%
<b>Average</b>	<b>3.8%</b>	<b>4.0%</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants.

One observation that should be noted, is that rotational vacancy gradually increased from 2015 to 2020 before declining to pre-2015 levels in 2021. As demonstrated in Appendix A, this was driven by an increase in *Other Vacant* housing units during this period. The U.S. Census Bureau defines *Other Vacant* as “year-round units which were vacant for reasons other than those mentioned above (i.e., for rent; for sale, only; rented, not occupied; sold, not occupied; and seasonal, recreational, and occasional use). For example, held for settlement of an estate, held for personal reasons, or held for repairs.”

Other examples of *Other Vacant Housing Units* include units that are vacant due to foreclosures, personal or family reasons, legal proceedings, being prepared for rent or sale, being held for storage of household furniture, needing repairs, currently being repaired and/or renovated, specific use housing (e.g., military housing, employee/ corporate housing, student housing, etc.), extended absence, abandoned or possibly to be demolished or condemned, or other unknown reasons. Thus, there are a wide variety of potential causes for the observed increase in *Other Vacant Housing Units*.

As discussed in Appendix A, national data from the Components of Inventory Change (CINCH) regarding housing unit losses due to demolitions and conversions to non-residential uses estimated that between 2009 and 2017, 0.33% of total *Housing Units* nationwide were lost due to demolitions, and 0.06% were lost due to conversions to non-residential uses. Thus, approximately 0.39% of the total housing stock is lost due to conversions or demolitions every 2 years, the equivalent of roughly 0.20% per year. The following reflects the projection estimates for the 10-year period of 2022–2031 and the 15-year period of 2022–2036:

- 5-Year Estimate of Percentage of Housing Unit Losses to Conversions/ Demolitions: **0.99%**
- 10-Year Estimate of Percentage of Housing Unit Losses to Conversions/ Demolitions: **1.98%**
- 15-Year Estimate of Percentage of Housing Unit Losses to Conversions/ Demolitions: **2.96%**

The percentage of all *Housing Units* in the County for seasonal, recreational, or occasional use (e.g., *Vacant units held off the market, Seasonal Vacant Units*) is illustrated in **Table 8** below.

**Table 8. Seasonal Vacant Housing Units as a Percent of Total Housing Units**

	Unincorporated	Total County
2010	9.8%	9.6%
2011	16.6%	16.8%
2012	17.1%	17.1%
2013	16.7%	17.0%
2014	15.5%	15.8%
2015	14.9%	15.1%
2016	13.2%	13.4%
2017	11.2%	11.7%
2018	10.7%	11.0%
2019	9.7%	9.9%
2020	9.1%	9.1%
2021	10.7%	10.6%
<b>Average</b>	<b>12.9%</b>	<b>13.1%</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants.

As previously mentioned, some amount of *Housing Units* will always be in various states of vacancy condition, and some amount of housing units will be eliminated due to demolition or conversion to non-residential use(s). **Table 9** depicts how these conditions are applied to projected *Households* for 2026, 2031, and 2036 to project future housing unit demand.

**Table 9. Unincorporated County Projected Housing Unit Demand (5-, 10-, and 15-Year)**

	2026	2031	2036
<b>Household Demand</b>	57,909	60,633	63,486
<b>Rotational Vacancy</b>	60,084	62,910	65,870
<b>Conversion/ Demolition</b>	60,677	64,153	67,822
<b>Seasonal Vacant Units</b>	68,534	72,460	76,604

Source: U.S. Census, American Community Survey 2010-2021; CINCH; GAI Consultants.

**Table 10** below reflects the projected estimates for housing unit demand in 2026, 2031, and 2036.

**Table 10. Unincorporated County Projected Housing Unit Demand Increase (5-, 10-, and 15-Year)**

	Total Units	Cumulative Increase
2022	65,123	–
2026	68,534	3,411
2031	72,460	3,926
2036	76,604	4,144
<b>Total Increase (2022–2036)</b>		<b>11,481</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants.

## DISTRIBUTION OF HOUSING UNIT DEMAND

*Policy 4.1D.4* of the County’s Comprehensive Plan states, “The percentage of residential housing demand that will be met outside the Urban Service Districts shall be based on the average number of Certificates of Occupancy for the preceding five years. The number of Certificates of Occupancy outside the Urban Service Districts shall be divided by the total number of Certificates of Occupancy for the unincorporated area to determine the appropriate percentage. The remainder of residential housing demand must be met within the Primary and Secondary Urban Service Districts.”

In the absence of Certificate of Occupancy (“CO”) data, this 2022 Capacity Analysis relies upon the number of units built per year within the PUSD and SUSD within the Unincorporated County, as illustrated in **Table 11**. These figures closely resemble the percentages used by the County in their 2018 Capacity Analysis, which are shown in Appendix A for reference. The data from **Table 11** will be relied upon to disaggregate projected *Housing Unit* demand across the USDs.

**Table 11. Units Built Per Year by Urban Service Boundary, 2010–2021**

	PUSD	SUSD	Outside USD	TOTAL
<b>2010</b>	179	5	13	<b>197</b>
<b>2011</b>	170	1	14	<b>185</b>
<b>2012</b>	268	0	14	<b>282</b>
<b>2013</b>	307	3	11	<b>321</b>
<b>2014</b>	311	8	12	<b>331</b>
<b>2015</b>	380	27	28	<b>435</b>
<b>2016</b>	357	21	17	<b>395</b>
<b>2017</b>	213	33	22	<b>268</b>
<b>2018</b>	252	20	33	<b>305</b>
<b>2019</b>	337	48	33	<b>418</b>
<b>2020</b>	90	3	3	<b>96</b>
<b>2021</b>	7	0	3	<b>10</b>
<b>12-Year Total</b>	<b>2,871</b>	<b>169</b>	<b>203</b>	<b>3,243</b>
<b>% Capture</b>	<b>88.5%</b>	<b>5.2%</b>	<b>6.3%</b>	<b>100.0%</b>

Source: Martin County Final 2022 Tax Roll; GAI Consultants.

Using the data from the table above, the projected *Housing Unit* demand across both the Primary USD and Secondary USD is disaggregated and distributed across the respective geographic areas as shown in **Table 12** below.

**Table 12. Allocation of Unit Demand by Location, 2026–2031**

	Capture % <sup>(1)</sup>	2026	2031	2036
PUSD	88.5%	3,020	3,475	3,669
SUSD	5.2%	178	205	216
<b>Total USD</b>	<b>93.7%</b>	<b>3,197</b>	<b>3,680</b>	<b>3,885</b>
Outside USD	6.3%	214	246	259
<b>TOTAL</b>	<b>100.0%</b>	<b>3,411</b>	<b>3,926</b>	<b>4,144</b>

Source: Martin County Final 2022 Tax Roll; GAI Consultants. Note: (1) Represents for the % Capture of Units Built Per Year by Urban Service Boundary shown in Table 11.

The projected *Housing Unit* demand can now be compared to the estimated supply of units in the Primary and Secondary USDs to determine residential capacity over the 5-, 10-, and 15-year planning periods.

# SECTION THREE

# RESIDENTIAL SUPPLY

## METHODOLOGY

The *Housing Units* needed, or future housing unit demand, over the 5-, 10-, and 15-year periods must be compared to the residential supply (vacant land and vacant units) to determine if there is adequate residential capacity in the USDs to accommodate future growth. The process for determining the supply of land and units is found in *Policy 4.1D.5* of the County's Comprehensive Plan.

According to *Policy 4.1D.5* of the County's Comprehensive Plan, residential supply consists of:

*(1) Vacant property that allows residential use according to the Future Land Use Map. The maximum allowable density shall be used in calculating the number of available units on vacant acreage. For the purpose of this calculation, the maximum allowable density for wetlands shall be one-half the density of a given future land use designation.*

*(2) Subdivided single family and duplex lots. The following lot types shall be included in the residential capacity calculation:*

*a. Vacant single family or duplex lots of record as of 1982 developed prior to the County's tracking of development approvals.*

*b. Vacant single family or duplex lots of record platted after 1982.*

*(3) Potential for residential development in Mixed Use Overlays.*

*(4) Excess vacant housing not in use by permanent or seasonal residents. Excess vacant Housing Units is a vacancy rate higher than 3% of the number of Housing Units in actual use.*

The County's procedures for exploring future residential capacity acknowledge that wetlands must be treated differently than other vacant lands for the purposes of calculating residential supply. However, the treatment of wetlands in the calculation of residential supply as stated in Section 4.3 of the County's Comprehensive Plan "for the purpose of this calculation, the maximum allowable density for wetlands shall be one-half the density of a given future land use designation" is contradictory to the County's Comprehensive Plan Policy 9.1G.1.C, which states "All wetlands in Martin County shall be protected. Negative impacts shall not be allowed in wetlands or within the buffer surrounding the wetland. All development shall be consistent with the wetland protection requirements of the CGMP and Florida Statutes. Inconsistent and/or incompatible future land uses shall be directed away from wetland areas." Additionally, Section 4.2.F of the County's Comprehensive Plan addresses rights of property owners to transfer density to upland areas on any site which contains wetlands, and states that "resulting

residential density of the upland property shall be no greater than 15 dwelling units per acre". The capacity of such wetlands to accommodate future activity materiality overstate their potential, ignoring the ownership, accessibility, size, upland character, scale, quality, locational, and mitigation obstacles or issues associated with intrusion into wetlands, or development activity adjacent to wetlands. Given recent hurricane, flood and insurance concerns, some wetland areas may be totally removed from any practical considerations of deployment or development.

This 2022 Capacity Analysis addresses the inconsistent and contradictory treatment of wetlands noted in the above sections of the County's Comprehensive Plan by identifying all parcels which are more than 50% inundated by wetlands but only calculating the maximum allowable density for the given future land use designation for the non-wetland portion of the parcel. While this 2022 Capacity Analysis respects the one-half, or 50%,



Image Source: Martin County, FL

density yield for properties containing less than 50% wetlands, the factors mentioned would likely be major barriers to achieving a fraction of this potential. The above-described treatment of wetlands is reflected in the calculation of Net Density. The discussion on wetland areas addresses the challenges of including certain parcels for areas of future development, basic ownership positions, business interests, size, and general character of parcels will constrain the deployment of much vacant land for development.

It is simply not practical for planning purposes—especially given Florida’s favorable tax treatment to certain vacant lands—to assume all parcels and holdings are equally available or suitable to accommodate future housing demand opportunities. Some will remain in family ownership as a matter of legacy, while some parcels or lots are simply inadequate or poorly configured to become residential sites. Further, some parcels are saddled with legal entanglements while others will be withheld from the market for varying reasons precluding their availability to satisfy residential demand in an imminent or serviceable time frame. Ultimately, although a vacant property may allow for residential use according to the Future Land Use Map, it may not physically meet the requirement of the County’s Land Development Regulations to accommodate the construction of housing.

Vacant lands or properties that are designated on the Future Land Use Map for residential use do not universally translate to supply in terms of potential units. They could be years away from practically or strategically being converted into residential production.

Further, lands classified as *Agricultural* by the Martin County Property Appraiser, while often perceived as vacant lands, are defined in the Florida Administrative Code (FAC), Rule 12D-5.001(2), “...as the pursuit of an agricultural activity for a reasonable profit or at least upon a reasonable expectation of meeting investment cost and realizing a reasonable profit.” Florida Statute (F.S.), Section 193.461(3), states “...only lands that are used primarily for bona fide agricultural purposes shall be classified agricultural. The term “bona fide agricultural purposes” means good faith commercial agricultural use of the land.” F.S., Section 193.461(3)(b)2, then explains “Offering

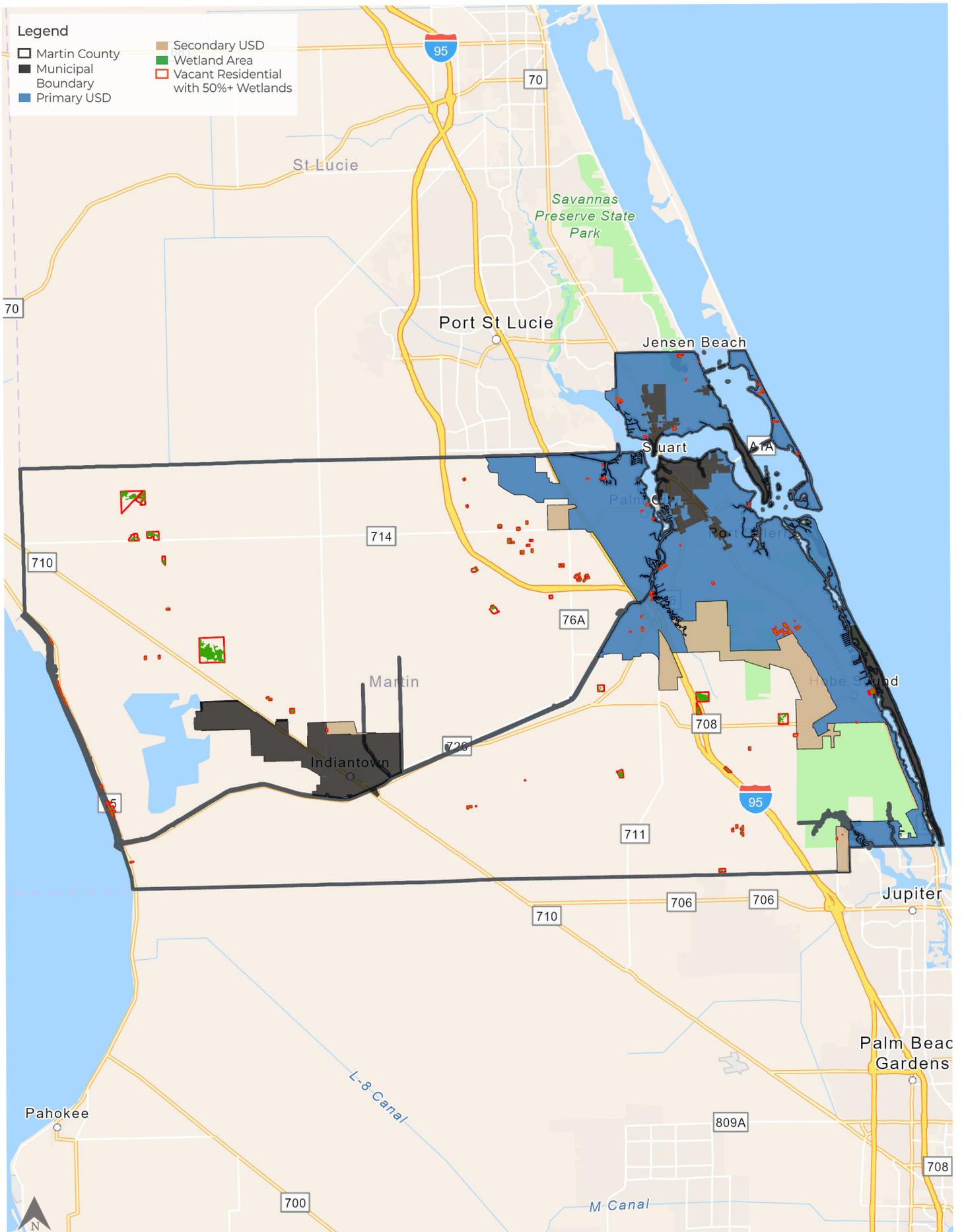
property for sale does not constitute a primary use of land and may not be the basis for denying an agricultural classification if the land continues to be used primarily for bona fide agricultural purposes...”. Finally, F.S., Section 193.461(4) states, “The property appraiser shall reclassify the following lands as nonagricultural: (a) Land diverted from an agricultural to a nonagricultural use (b) Land no longer being utilized for agricultural purposes.”

To these points, the project known as Newfield, (previously known as Pineland Prairie), has a Future Land Use Designation of Mixed-Use Village, and Planned Mixed-Use Village (“PMUV”) Zoning. When the Comprehensive Plan Amendment and Zoning for Newfield were approved in 2018, the changes it contemplated 4,200 residential dwelling units which Martin County Growth Management has been including in the calculation of residential capacity for the PUSD since Newfield’s approval in 2018. To-date, no units have been built on the Newfield lands, and no land development in preparation for residential construction has occurred. The Newfield land continues to be used for agriculture related activities which is evidenced by the various agriculture related Department of Revenue (“DOR”) and Property Use Codes, which classify the use of the property in the Martin County Tax Roll. According to the 2022 Martin County Tax Roll, all but 23.2 acres of the Newfield properties are in active agriculture related use. Those portions of the Newfield lands in active agriculture related use are practically and functionally something other than vacant land, and therefore should not be counted towards the supply of potential units within the PUSD.

In an effort to at least marginally address some of the issues identified above, this 2022 Capacity Analysis excluded all vacant properties that failed to meet the smallest minimum lot area requirement of any zoning district from this calculation of supply, consistent with their respective Future Land Use designation.

The following pages display the number of potential units in the County’s USDs for each Future Land Use category containing vacant lands that allow for residential use according to the County’s Comprehensive Plan (see **Tables 13–14** and **Figures 4–5**).

**Figure 3. Wetlands and Parcels with 50%+ Wetlands**

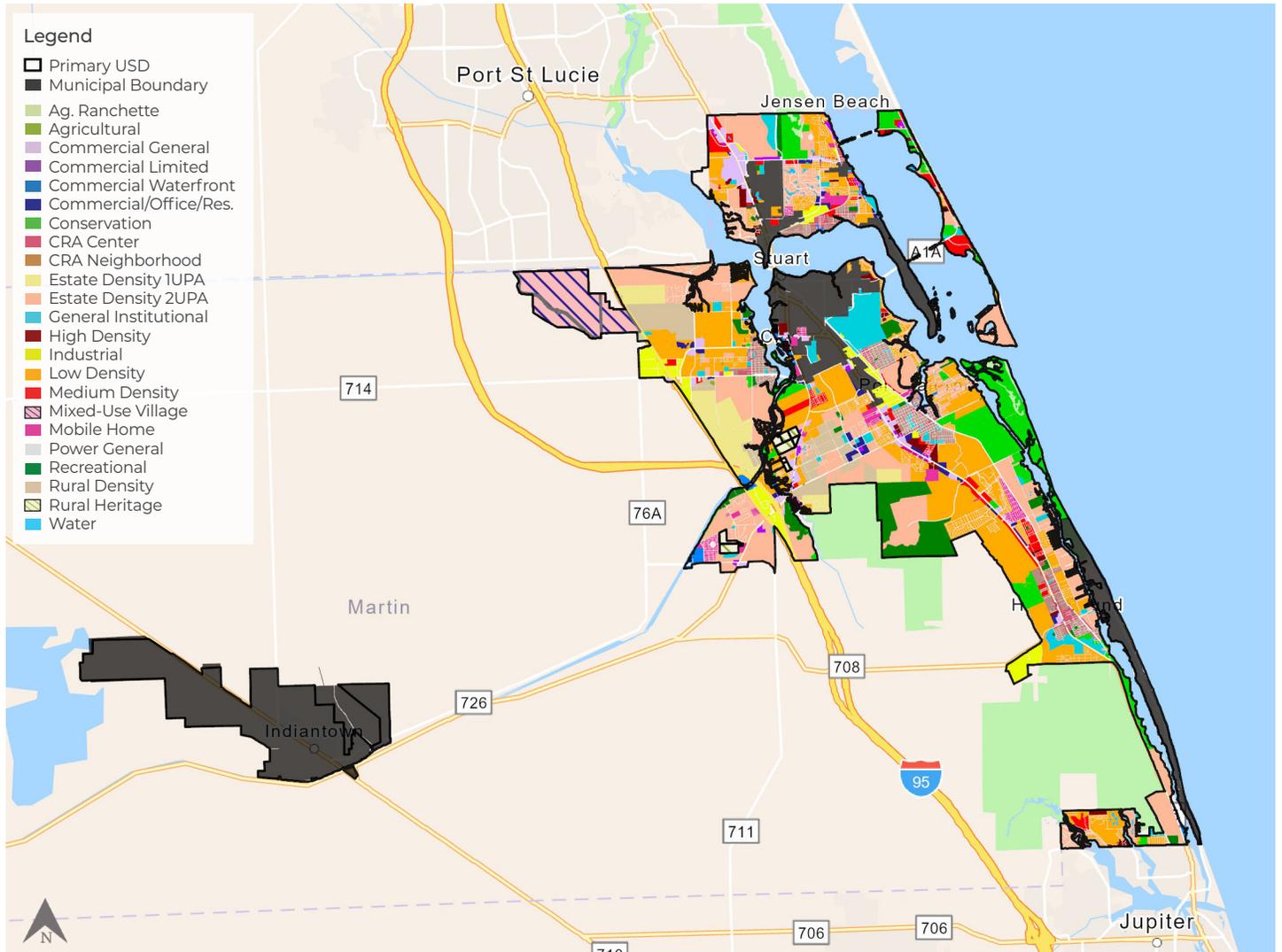


**Table 13. Potential Units in Primary Urban Service District (PUSD)**

Future Land Use	Maximum Allowable UPA <sup>(1)</sup>	Total Acres	Wetland Probable Acres	Total Acres less Wetlands	Gross Density	Net Density
Commercial/Office/Res.	10.0	48.0	0.0	47.9	479.5	479.4
Estate Density 1UPA	1.0	6.5	0.2	6.3	6.5	6.4
Estate Density 2UPA	2.0	250.7	81.9	168.8	501.4	348.7
Low Density	5.0	426.4	62.4	364.0	2,131.8	1,847.6
Medium Density	8.0	24.2	0.6	23.6	193.8	189.4
High Density	10.0	5.9	0.0	5.9	58.6	58.6
Mobile Home	8.0	10.9	0.1	10.9	87.3	87.1
Rural Density	0.5	104.1	21.3	82.8	52.0	45.4
Mixed-Use Village	32.0	23.2	7.4	15.9	743.4	625.5
CRA Neighborhood	10.0	143.9	13.4	130.5	1,439.1	1,315.8
<b>TOTAL</b>		<b>1,043.7</b>	<b>187.3</b>	<b>856.4</b>	<b>5,693.4</b>	<b>5,003.9</b>

Sources: Florida Department of Revenue (FDOR) Parcel Boundaries 2022; Martin County Property Appraiser 2022 Final Tax Roll; GAI Consultants. Note: Totals may not add due to rounding. <sup>(1)</sup> UPA represents Units per Acre. For the purposes of this 2022 Residential Capacity Analysis, vacant lands include all properties which meet the minimum lot size requirements stipulated by the County's Land Development Regulations, and are limited to the following DOR Use Codes: 0 (Vacant Res) and 63 (Grazing land soil capability class IV/Grazing land – non-productive).

**Figure 4. Future Land Use, Primary USD**

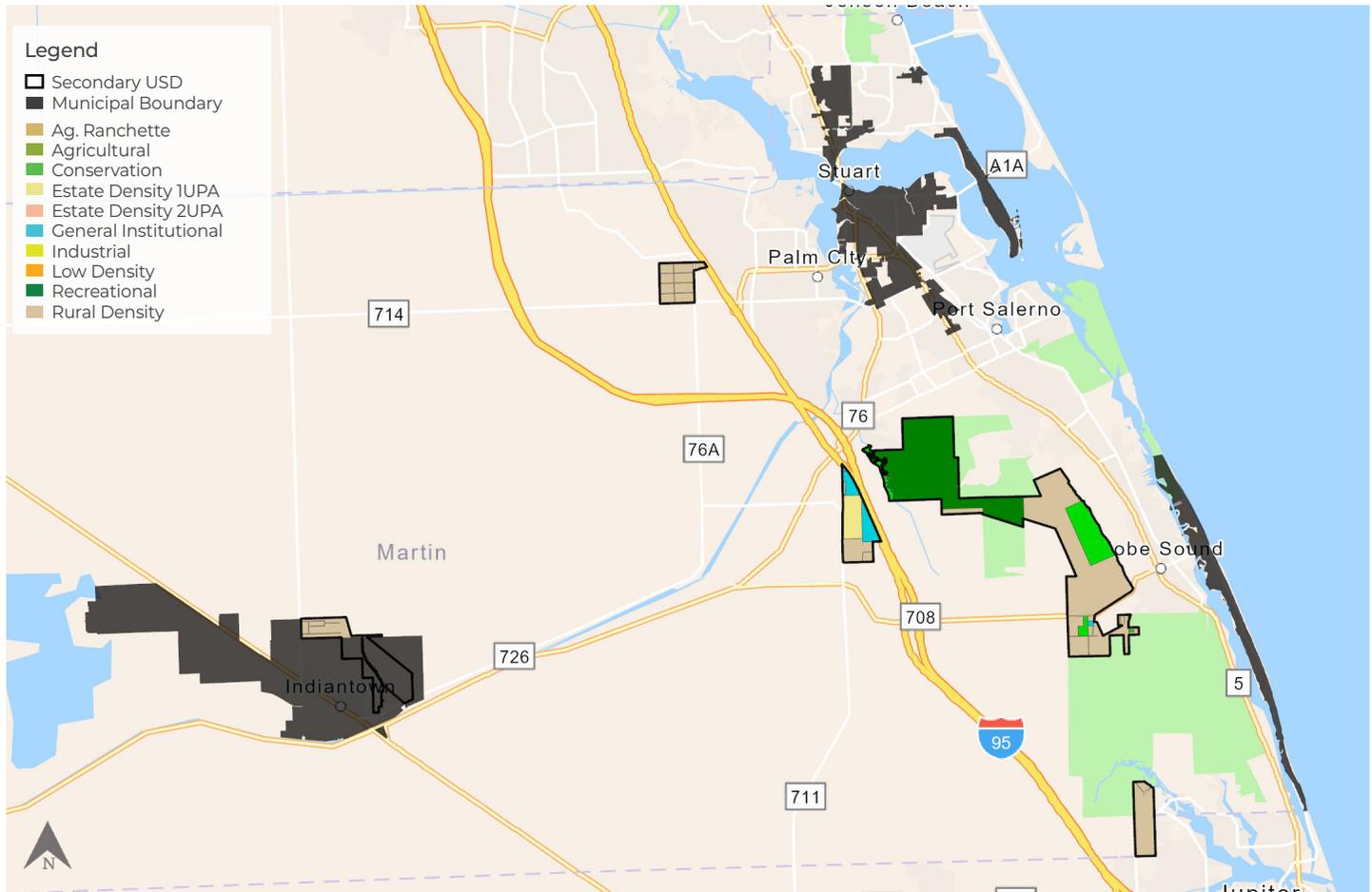


**Table 14. Potential Units in Secondary Urban Service District (SUSD)**

Future Land Use	Maximum Allowable UPA <sup>(1)</sup>	Total Acres	Wetland Probable Acres	Total Acres less Wetlands	Gross Density	Net Density
Rural Density	0.5	959.2	328.1	631.1	479.6	238.2
<b>TOTAL</b>		<b>959.2</b>	<b>328.1</b>	<b>631.1</b>	<b>479.6</b>	<b>238.2</b>

Sources: Florida Department of Revenue (FDOR) Parcel Boundaries 2022; Martin County Property Appraiser 2022 Final Tax Roll; GAI Consultants. Note: Totals may not add due to rounding. (1) UPA represents Units per Acre. For the purposes of this 2022 Residential Capacity Analysis, vacant lands include all properties which meet the minimum lot size requirements stipulated by the County's Land Development Regulations, and are limited to the following DOR Use Codes: 0 (Vacant Res) and 63 (Grazing land soil capability class IV/Grazing land – non-productive).

**Figure 5. Future Land Use, Secondary USD**



The County's Comprehensive Plan stipulates that residential supply include both current subdivided single family and duplex lots and those lots of record which were developed prior to 1982. However, given that vacant property allowing residential use according to the Future Land Use Map is already included in residential supply, the addition of subdivided single family or duplex lots of record would result in an over-counting of residential supply. Additionally, it is highly unlikely that single family or duplex lots of record developed prior to 1982 that have not had *Housing Units* built in the over 30 years since being developed will see new *Housing Unit(s)* built on them in the foreseeable future.

The County's 2018 Capacity Analysis includes unbuilt multi-family units with approved final site plan in the calculation of residential supply. Similar to single family and duplex lots of record, vacant property allowing residential use according to the Future Land Use Map is already included in residential supply; therefore, the addition of unbuilt multi-family units with approved final site plan would result in an over-counting of residential supply.

The County's 2018 Capacity Analysis calculated potential for residential development in Mixed-Use overlays; however, the County's Land Development Regulations have since been amended, and

Mixed-Use overlays are no longer referenced. Additionally, all parcels within Community Redevelopment Areas (“CRA”), where mixed-use overlays were prominent in the past, are located within the Unincorporated County and the PUS; such as, they do not require scrutiny beyond that afforded to all other vacant parcels and/or lands located within the PUSD. As reflected in Table 13, parcels and/or lands within a CRA are subject to specific Future Land Use Designations including but not limited to, CRA Center, CRA Neighborhood, and CRA Core. Additionally, each CRA is subject to its own unique set of Land Development Regulations which are best described as form-based code. Therefore, for the purposes of this 2022 Capacity Analysis, vacant lands and/or parcels within CRAs do not require specialized consideration or analysis from all other vacant parcels and/or lands within the PUSD.

While the County’s Comprehensive Plan stipulates that excess vacant housing be included in the calculation of residential supply, it relies upon a vacancy rate of 3% to establish market turn-over conditions. Both the rate and the approach are an oversimplification of a complex means for estimating occupied units and residents. Some additional vacant units on the market are necessary to accommodate the mobility of the larger number of *Households* and choosing among options in the housing stock on a continuing basis. Estimating this increase in vacant units involves determining the natural vacancy rate. The natural vacancy tends to change over time and must be updated based on current vacancy trends.

This 2022 Capacity Analysis examined the vacancy conditions occurring from 2010–2021 and determined the percentage of excess vacant *Housing Units* that needs to be maintained for mobility of households and housing stock is 6.4%. The natural vacancy rate of 6.4% is a blended average largely driven by the ratio of vacant for-sale units to owner-occupied units and the ratios of vacant for-rent units to renter-occupied units. The excess vacant *Housing Units* are calculated by subtracting rotational vacancy from the number of vacant *Housing Units* not in seasonal, recreational, or occasional use, with 6.4% of the difference deducted to account for the

natural vacancy rate. Since housing unit vacancy can fluctuate each year, the number of units are averaged as illustrated in the following **Table 15**.

**Table 15. Vacant Housing, Not in Seasonal Use and Rotational Vacancy, 2010–2021**

	Vacant, not seasonal	Rotational Vacancy	Excess Vacant
2010	4,957	2,067	2,558
2011	4,049	1,046	2,764
2012	3,681	983	2,498
2013	3,619	1,252	2,195
2014	4,115	1,797	2,158
2015	3,804	1,776	1,899
2016	4,040	2,315	1,628
2017	5,166	3,285	1,750
2018	5,593	4,095	1,414
2019	6,215	4,816	1,340
2020	3,958	5,317	(1,304)
2021	5,090	1,198	3,746
<b>Average Annual</b>	<b>4,524</b>	<b>2,496</b>	<b>1,898</b>

Source: U.S. Census, American Community Survey 2010-2021; GAI Consultants.

In accordance with *Policy 4.1D.4* of the County’s Comprehensive Plan, the 1,898 excess vacant units identified in **Table 15** are assigned to the Primary and Secondary USDs or outside the USDs based on the allocation of units built per year detailed in **Table 11**.

Calculating the percentages of the allocation of units built in the past 5 years from **Table 11**, the excess vacant housing is allocated into the Primary and Secondary USDs or outside the USDs, as illustrated in **Table 16** below.

**Table 16. Allocation of Excess Vacant Housing Units by USD**

	% Capture <sup>(1)</sup>	Excess Vacant Units
Primary USD	88.5%	1,680
Secondary USD	5.2%	99
Outside USD	6.3%	119
<b>TOTAL</b>	<b>100.0%</b>	<b>1,898</b>

Source: U.S. Census, American Community Survey 2010-2021; Martin County; GAI Consultants. Note: (1) Represents for the % Capture of Units Built Per Year by Urban Service Boundary shown in Table 11.

To summarize the components of the County’s Comprehensive Plan *Policy 4.1D.5, Table 17* estimates of the total *Housing Units* available to accommodate future housing unit demand.

**Table 17. Summary of the Supply of Potential Units**

	Primary USD Units	Secondary USD Units
Vacant Land	5,004	238
Excess Vacancies	1,680	99
<b>TOTAL</b>	<b>6,684</b>	<b>337</b>

Source: U.S. Census, American Community Survey 2010-2021; FDOR Parcel Boundaries 2022; Martin County; GAI Consultants.

**RECONCILIATION OF RESIDENTIAL DEMAND WITH SUPPLY**

*Policy 4.1D.5* of the County’s Comprehensive Plan states:

*The 15-year planning period for residential capacity began with the 2010 Census and shall be updated to a new 15-year planning period every 5 years. The residential capacity analysis showing the total residential supply within the Primary and the Secondary Urban Service Districts shall be compared to the projected residential demand as outlined in Policy 4.1D.3 and 4.1D.4...[and] shall show demand and supply comparisons for a ten-year period as well as for the 15-year planning period.*

In accordance with *Policy 4.1D.5*, residential demand for a 5-, 10-, and 15-year planning periods are compared to the amount of land available to accommodate that demand. **Table 18** displays these comparisons.

**Table 18. 2022–2036 Analysis of Supply versus Demand**

	PUSD	SUSD	TOTAL
Existing Supply (2022)	6,684	337	<b>7,022</b>
5-Year Demand	3,020	178	<b>3,197</b>
% Capture	221%	190%	<b>220%</b>
10-Year Demand	6,495	382	<b>6,877</b>
% Capture	103%	88%	<b>102%</b>
15-Year Demand	10,164	598	<b>10,762</b>
% Capture	66%	56%	<b>65%</b>

Source: U.S. Census, American Community Survey 2010-2021; FDOR Parcel Boundaries 2022; Martin County; GAI Consultants.

Section 4.2.A(9) of the County’s Comprehensive Plan states:

*When the undeveloped residential acreage within either the Primary Urban Service District or the Secondary Urban Service District no longer provides for projected population growth for the 15-year planning period, planning for expansion of residential capacity shall commence. When the undeveloped acreage within either the Primary Urban Service District or the Secondary Urban Service District provides for no more than 10 years of projected population growth, the County is required to expand capacity.*

While the County’s Comprehensive Plan does not explicitly state a threshold for what constitutes “providing for projected population”, the procedure established in the County’s Comprehensive Plan for comparing supply and demand would suggest that if the percentage of future housing unit demand met by supply is less than 125% for either the 10- or 15-year planning periods, then the USDs no longer provide adequate residential acreage to accommodate projected population growth. As indicated from the data presented in **Table 19**, neither the PUSD nor the SUSD provide adequate vacant residential acreage to accommodate projected population growth in the 10- or 15-year planning periods.

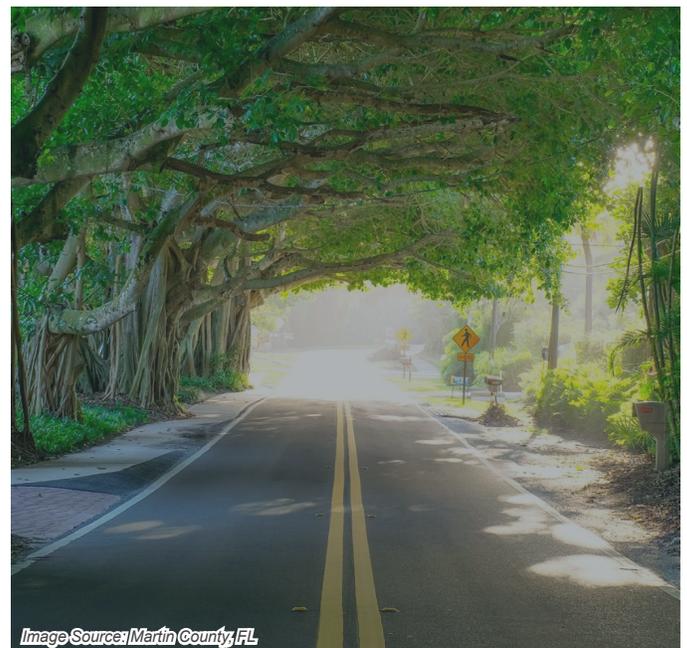


Image Source: Martin County, FL

## SECTION FOUR

# OTHER CONSIDERATIONS, OBSERVATIONS & CONCLUSIONS

The dynamics of population growth and change stem from the interaction of many complex variables and events. Only some of these are given detailed study in the present analysis, primarily because they are not a procedural requirement of the County's Comprehensive Plan. However, if these additional variables or some dimensions of them were addressed, they would further underscore the highly conservative nature of our calculations and ultimate conclusions. In effect a variety of other factors or influences suggest Martin County's future residential capacity is much more constrained than our estimates indicate. Several of the more pertinent issues or considerations are described below, providing additional context to the quantification of the County's future residential capacity needs.

### EMPLOYMENT

While it is true that certain areas of Florida exhibit different patterns of change, it is a well-accepted axiom of regional dynamics that population growth is substantively driven by the inflow of capital and income stemming from job creation.

As employment grows in a particular area, there is movement to settle closer to that employment. Although the correlation is not a perfect one, increased employment induces housing development, then driving population growth, which itself induces secondary employment. What is seen in the current circumstances is a growing pattern of workers commuting into Martin County from nearby counties, evidencing the power of Martin County as an employment center. Physically connected in part by the road system, Martin County is also economically linked to its neighbors, which displays an obvious trend for its populations to work in Martin County.

As various documents and plans show, Martin County supports job growth, so this emphasis on economic expansion or intensification reinforces this trend and direction. The proposed Waterside PUD is directly behind the recently acquired Martin County Operations Center, which comprises approximately 30 acres, and the hugely successful South Florida Gateway PUD on approximately 200 acres. Both of these projects are located within a Free-Standing Industrial Urban Service District adjacent to SW Kanner Highway. At buildout, the South Florida Gateway PUD, which is currently under construction, will consist of approximately 3,000,000 SF of light industrial and limited retail uses. While this prospective employment activity is not itself pivotal to this 2022 Capacity Analysis, it supports the general patterns of growth and change that underlie future residential demand.

**Table 19** on the following page displays total employment data sourced from the U.S. Census Bureau Longitudinal Employer-Household Dynamics ("LEHD"). Total employment in Martin County has grown at a CAGR of 3.5% between 2010 and 2019, with 2019 being the most recent year in which data is available. As with population, the largest concentrations of employment are in Stuart and Unincorporated Martin County, with Jupiter Island and Sewall's Point experiencing slight declines in total employment over the same period. However, Ocean Breeze has seen significant growth in employment, with a CAGR of 19.7%.

**Table 19. Historical Employment in Martin County, 2010–2019**

	Martin County						
	Indiantown <sup>(1)</sup>	Jupiter Island	Ocean Breeze	Sewall's Point	Stuart	Unincorporated	TOTAL
<b>2010</b>	–	574	66	376	23,251	27,321	<b>51,588</b>
<b>2011</b>	–	548	137	334	25,199	29,321	<b>55,539</b>
<b>2012</b>	–	545	107	293	24,662	28,823	<b>54,430</b>
<b>2013</b>	–	550	111	281	24,426	29,814	<b>55,182</b>
<b>2014</b>	–	542	134	284	25,435	31,934	<b>58,329</b>
<b>2015</b>	–	617	180	289	27,357	33,687	<b>62,130</b>
<b>2016</b>	–	497	215	346	28,595	36,926	<b>66,579</b>
<b>2017</b>	–	520	215	324	28,741	36,946	<b>66,746</b>
<b>2018</b>	917	529	254	295	29,334	38,922	<b>70,251</b>
<b>2019</b>	1,033	521	400	349	29,793	40,464	<b>72,560</b>
<b>CAGR (2010-2019)</b>	–	<b>(1.0%)</b>	<b>19.7%</b>	<b>(0.7%)</b>	<b>2.5%</b>	<b>4.0%</b>	<b>3.5%</b>

Source: U.S. Census Bureau, LEHD OnTheMap Designation 2010-2019; GAI Consultants. Note: (1) Indiantown was incorporated on December 31, 2017.

Inflow/outflow data reveals that the share of people employed in the County but living elsewhere has increased at a CAGR of 4.5% between 2010 and 2019, with 65.1% of people employed in Martin County living outside the County itself as of 2019. The share of people living in Martin County but employed outside the County has grown at a CAGR of 1.7% since 2010. The number of people living and employed within the County has also increased at a CAGR of 1.8%; this is a notable since it is a higher rate of growth than people who live in the County but are employed outside of the County itself.

The inflow/outflow data also reveals trends regarding the relationship between employment, population growth, and housing supply. The number of people living within Martin County but employed outside of the County has not grown nearly as much as the number of people employed in the County but living elsewhere, which is an important consideration in the context of housing demand. Comparing Martin County’s employment growth to that of its surrounding counties, Palm Beach County grew at a CAGR of 2.5% over the 10 years from 2010–2019. Similarly St. Lucie grew at a CAGR of 2.6%, while Okeechobee declined at a CAGR of 0.4 %. Martin County, with a CAGR of 3.5%, grew at the highest rate of all neighboring counties. Further discussion of employment trends can be found in Appendix D.

### **PACE OF RESIDENTIAL PRODUCTION**

Martin County Growth Management has failed to consider or even acknowledge the pace of residential development within the County respective to the supply of vacant land approved for residential use. Regardless of the volume of vacant land approved for residential use within the USDs, to assume that the maximum permissible density will be achievable on those vacant lands and that the permissible units will be produced or delivered within the 10-year, or 15-year planning period(s) is inconsistent with historical data. Over the past 20 years, housing unit production has declined substantially both in Martin County as a whole, and specifically within Unincorporated Martin County. Countywide, housing unit production has exhibited a negative CAGR of 0.69% from 2002–2022, while Unincorporated Martin County has also seen a negative CAGR of 5.22% during the same period.

Examination of a number of Developments of Regional Impact (DRI) within Martin County illustrate this situation, specifically five (5) DRIs in Martin County revealed average annual production of just 53 residential units per year, representing an average of 34 years to complete land development and production of residential units. Further, only one (1) of the five (5) DRIs examined built all of the residential units which

their DRI permitted, with an average of just 69% of permitted residential units actually being produced. A detailed discussion of past residential production can be found in Appendix A.

### ANNEXATION ACTIVITY

Aggressive patterns of annexation sponsored by Martin County’s incorporated areas might ease pressures on the County to urbanize in certain locations, mitigating the need for the County to add residential capacity. A generalized look at the data—especially in the context of population estimates for the unincorporated area—suggests the County’s municipalities have a relatively limited capacity for accommodating added growth within their jurisdictional boundaries so this will shift population in the County.

Much of the relatively recent annexation activity is occurring around the edges of the northern and southern boundary limits of the City of Stuart. Each of Stuart’s annexations are located within the PUSD. Indiantown’s only annexation consisted of 57.7 acres and was on the North end of their municipal boundary, bordering the PUSD.

**Table 20** on the following page details all annexations that have occurred in Martin County’s incorporated places over the past 10 years. Maps depicting the location of annexations which have occurred in the past 10 years can be found in Appendix E.

**Table 20 Annexations in Martin County**

Municipality	Ordinance Number	Acres
Stuart	2327–2016	24.37
Stuart	2337–2017	29.16
Stuart	2345–2017	9.45
Stuart	2348–2017	14.86
Stuart	2352–2017	13.57
Stuart	2367–2018	1.87
Stuart	2376–2018	65.23
Stuart	2377–2018	65.79
Stuart	2378–2018	26.61
Stuart	2381–2018	0.80
Stuart	2415–2019	15.79
Stuart	2452–2021	42.46
Indiantown	04–2020	57.72

Source: Martin County Agenda Items database; Martin County Property Appraiser; GAI Consultants.

### POPULATION ESTIMATES AND PROJECTIONS GENERALLY

Without debating the value and merit of BEBR’s forecasts as a planning tool, they are often misunderstood or misapplied to many issues. Despite the general application of the medium data set to support planning decisions, the actual numbers reflect a range of possible outcomes from low to high. This range is a statistical calculation of actual population—although it will have a strong probability of falling within that range, it could also fall below or above the range. In Florida, many counties have experienced significant growth above that higher statistical range because of external influences not adequately explained in the model.

To keep local projections in context, Florida has long been one of the states gaining the *most* population, but it is now also the *fastest* growing state. While it is certainly speculative to posit how this pace will impact Martin County’s own growth trajectory, it is not unreasonable for policy to recognize the limitations of the data in use. To that point in particular, it is also not unreasonable to anticipate change at, or above, the higher end of the range. To be clear, BEBR remains among the most credible and highly regarded sources of population information; however, its output as a legislative and administrative *ceiling* for growth is not without problems, especially absent an informed understanding of its real limitations.

### CONCLUSIONS

The County does not currently have adequate supply in the 10- or 15-year planning periods to meet the increasing demand for housing within either the PUSD or the SUSD. Thus, the Unincorporated County as a whole is lacking adequate supply to meet future housing unit demand. These results starkly contrast with those presented in the County’s 2018 Capacity Analysis, which concluded that the Unincorporated County has adequate housing supply to meet demand through 2030. This 2022 Capacity Analysis illustrates that there are at least 1,592 units that could currently be developed on vacant land, which allows for residential use according to the Future Land Use Map, located outside the USDs to accommodate a portion of future housing unit demand. However, these potential

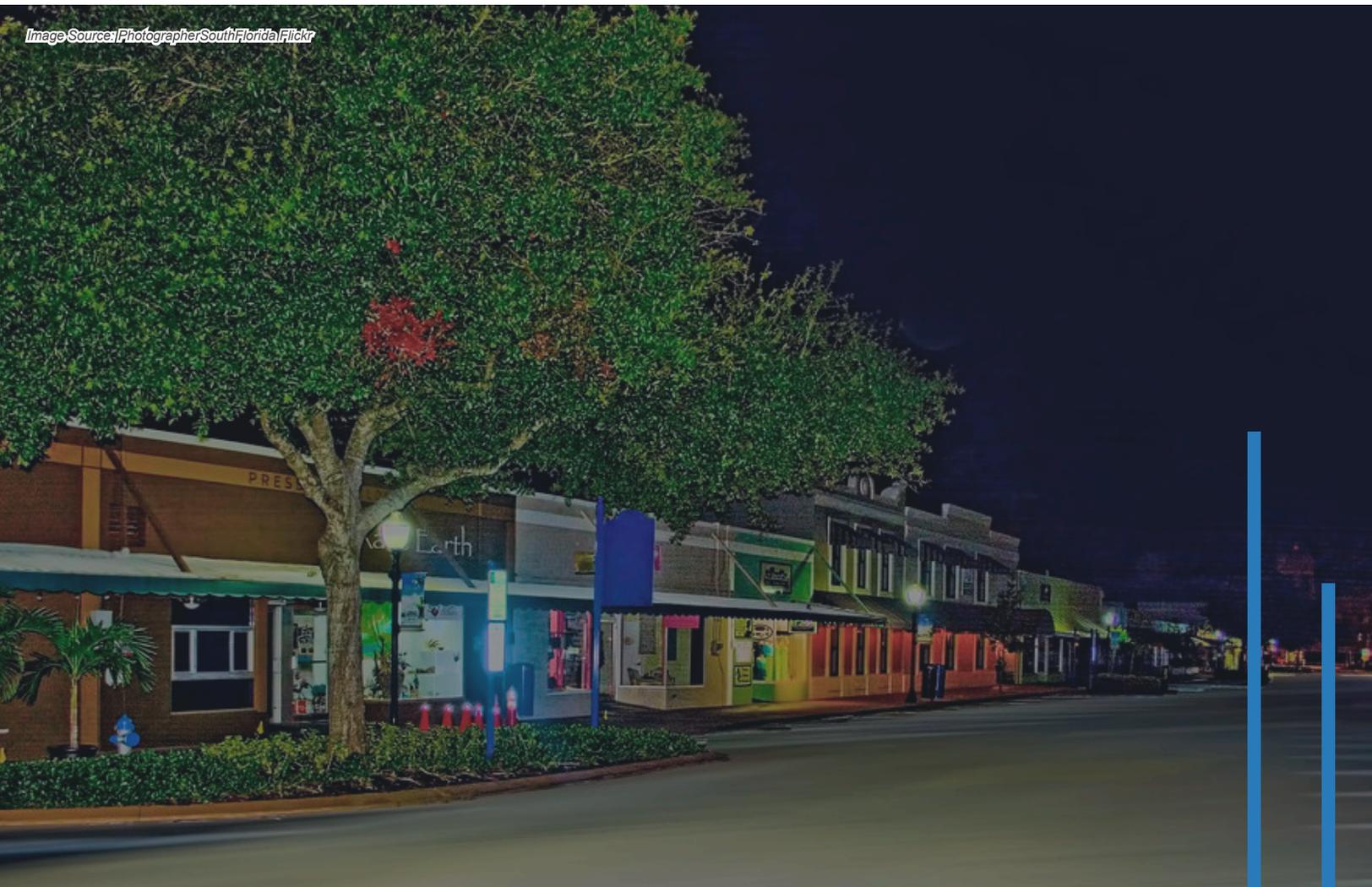
units are not taken into consideration as supply in the calculation of residential capacity, because the vacant land is located outside of the USDs. Therefore, the County will need to either convert commercial lands to accommodate residential uses, increase residential densities within the USD, or expand its Urban Service Districts to address the growing residential demand.

The 375-acre Waterside development (“Project”), as proposed, is located adjacent to the PUSD and currently designated Agricultural according on the County’s Future Land Use Map. Assuming the same seasonal and vacancy considerations contained in the supply and demand calculations, the Project’s 1,000 proposed units will provide at least 770 *Occupied Housing Units* or *Households*. In total, if the Project as proposed were included within the PUSD and assigned an appropriate Future Land Use designation, then

residential capacity would increase from 103% to approximately 115% for the PUSD in the 10-year planning period, and would increase from approximately 66% to 75% for the PUSD in the 15-year planning period. While the proposed Project alone will not absolve the County from their obligation to expand residential capacity, it can accommodate a significant portion of future residential demand.

Without regard to the particulars of the Project, this analysis is a very conservative one. It reflects the County’s required procedures, while identifying other issues that would suggest the numbers, certainly, could be much higher than projected. The implications of this conservative analysis are that the County will be substantively behind in its residential capacity to support new residential development, unless studies such as this one, take steps to become more timely and dynamic.

Image Source: Photographer South Florida Flickr



## APPENDIX A: EXISTING CONDITIONS

### Single-Family Inventory

According to the Martin County Tax Roll, Martin County currently has 82,120 units, 155,124,808 square feet of total living area, and 1,387,572,013 square feet of total land area. Over 96% of the County's single-family properties are in Unincorporated Martin County and Stuart. In terms of density, the average FAR is 0.11, and there are about 3 units per acre. Over 64% of the County's single-family properties were built before 1990. Less than 20% of Martin County's single-family properties were built in 2000 or later. **Table A1** displays the distribution of single-family properties by decade built for each jurisdiction in Martin County.

**Table A1. Single-Family Units by Decade Built in Martin County**

	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED	TOTAL COUNTY
<b>Before 1940</b>	18	79	-	7	187	240	<b>636</b>
<b>1940-1949</b>	15	40	-	5	80	249	<b>559</b>
<b>1950-1959</b>	173	68	-	20	407	1,857	<b>2,774</b>
<b>1960-1969</b>	149	101	-	52	578	3,189	<b>4,189</b>
<b>1970-1979</b>	353	87	-	285	2,709	13,509	<b>17,512</b>
<b>1980-1989</b>	163	131	-	255	1,557	22,409	<b>22,229</b>
<b>1990-1999</b>	161	107	-	150	259	14,408	<b>13,653</b>
<b>2000-2009</b>	141	84	-	120	1,193	11,876	<b>12,506</b>
<b>2010-2021</b>	108	81	23	53	185	4,098	<b>4,129</b>

Sources: Martin County 2021 Final Tax Roll; GAI Consultants.

### Multi-Family Inventory

According to the Martin County Tax Roll, Martin County currently has 8,130 units, 6,880,041 square feet of total living area, and 38,062,237 square feet of total land area. In terms of density, the average FAR is 0.18, and there are about 9 units per acre. The average unit square footage across all properties in Martin County is about 971 square feet. Averaged across all properties in Martin County, the vacancy rate is about 4.3% and the average effective rate per unit is about \$1,589. Only 16.2% of multi-family properties across all of Martin County contain 100 or more units, and the average effective rent per unit of these relatively high-density properties is \$2,128. 45.8% of Martin County's multi-family properties contain fewer than 10 units, suggesting that most of Martin County's multi-family inventory is relatively low-to-moderate density. The average effective rent of these low-to-moderate density properties is \$987 (based on a very limited sample size of 5 properties with data available). Regarding rent type, 72.5% of Martin County's multi-family properties are market-rate, whereas 7.7% offer affordable housing and 4.9% offer a mixture of both market-rate and affordable housing units. 52.1% of Martin County's multi-family properties were built before 1980. Only 12.7% of multi-family properties were built in 2000 or later. 95.1% of multi-family properties are in Unincorporated Martin County and Stuart, although there is also a sizable presence of multi-family properties in Indiantown as well.

### Vacant Lands

Across all of Martin County, there are nearly 204,191 acres of vacant land. Of this total, about 3.1% is vacant residential land. 97.1% of this vacant residential land is in Unincorporated Martin County. Notably, nearly 88.7% of Martin County's vacant land is unimproved agriculture. 97.5% of this total is in Unincorporated Martin County. Indiantown also has a substantial amount of land (over 4,535 acres) designated as unimproved agriculture.

## Residential Units by Year Built Trends

As shown in **Table A2**, Martin County experienced a gradual increase in the total number of residential units built per year from 2011 to 2015. Since 2015, however, Martin County has seen substantial fluctuations in the number of residential units built per year. In Unincorporated Martin County, the number of residential units built per year increased after 2011 for a few years before trending back downwards beginning in 2016. The steep drop-off in Unincorporated Martin County between 2020 and 2021 is noteworthy as well. In Stuart and Jupiter Island the number of residential units built per year has remained relatively constant and low throughout the entirety of the observed period. In Indiantown, the number of residential units built per year increased in the latter half of the decade but does not represent a major source of housing production within the County overall. Taking a broader look, **Table A3** depicts the age of housing units by year built over the last several decades.

**Table A2. Housing Units by Year Built (2010-2021)**

	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED	TOTAL COUNTY
2010	5	1	-	1	10	255	272
2011	1	2	-	2	21	259	285
2012	1	4	-	5	13	354	377
2013	4	5	-	4	37	401	451
2014	7	5	-	3	29	433	477
2015	5	19	-	11	16	523	574
2016	20	13	-	5	9	496	543
2017	16	6	-	6	13	365	406
2018	22	14	-	7	18	377	438
2019	20	7	21	7	14	551	620
2020	7	4	2	2	2	122	139
2021	20	1	-	-	437	11	469

Sources: Martin County 2021 Final Tax Roll; GAI Consultants.

**Table A3. Housing Units by Decade Built**

	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED	TOTAL COUNTY
Built 2020 or later	0	0	0	3	10	20	33
Built 2010 to 2019	10	70	158	38	366	3,143	3,627
Built 2000 to 2009	120	94	4	246	1,501	10,108	12,069
Built 1990 to 1999	678	75	2	125	932	11,345	13,155
Built 1980 to 1989	637	134	10	286	2,100	21,707	24,864
Built 1970 to 1979	617	66	22	278	2,974	14,238	18,173
Built 1960 to 1969	113	65	27	45	576	3,683	4,482
Built 1950 to 1959	53	80	7	0	630	2,335	3,098
Built 1940 to 1949	0	27	0	0	145	242	414
Built 1939 or earlier	37	62	0	18	408	629	1,154
<b>Total</b>	<b>2,265</b>	<b>673</b>	<b>230</b>	<b>1,039</b>	<b>9,642</b>	<b>67,450</b>	<b>81,069</b>

Sources: U.S. Census American Community Survey 2021; GAI Consultants. Notes: The data from this table reflects a snapshot of Martin County's housing stock in 2021. Discrepancies between the data in this table and Table 20 are due to the fact that the data were collected from different sources.

According to **Table A3**, over 64% of Martin County's housing stock was built before 1990, and housing production in the County has markedly lagged since then. The two largest concentrations of housing production, unsurprisingly, are Unincorporated Martin County and Stuart, with the former comprising over 83% of the total housing stock. Building permit data provides further insight into housing production trends over time.

## Total Housing Unit Building Permit Trends

**Table A4** shows that the number of residential building permits issued annually in Martin County has fluctuated quite a bit over the past 10 years, following a period of significantly greater permit activity between 2002 and 2006 and a steep drop-off in permit activity in the ensuing five years. **Tables A5-A9** illustrate the residential building permits issued annually by incorporated places within Martin County from 2002 to 2006; whereas **Table A10** illustrates the residential building permits issued annually in Unincorporated Martin County during this same time period.

**Table A4. Housing Unit Building Permits in Martin County, by Year (2002-2022)**

	UNITS			PERCENT	
	SF UNITS	MF UNITS	TOTAL	SF UNITS	MF UNITS
2002	1,440	37	1,477	97%	3%
2003	1,390	616	2,006	69%	31%
2004	1,243	216	1,459	85%	15%
2005	1,120	886	2,006	56%	44%
2006	926	28	954	97%	3%
2007	314	48	362	87%	13%
2008	170	50	220	77%	23%
2009	113	14	127	89%	11%
2010	167	32	199	84%	16%
2011	205	19	224	92%	8%
2012	299	21	320	93%	7%
2013	474	11	485	98%	2%
2014	366	66	432	85%	15%
2015	314	89	403	78%	22%
2016	291	94	385	76%	24%
2017	292	46	338	86%	14%
2018	338	44	382	88%	12%
2019	353	4	357	99%	1%
2020	392	15	407	96%	4%
2021	403	127	530	76%	24%
2022 <sup>(1)</sup>	403	875	1,278	32%	68%

Sources: State of Cities Data Systems (SOCDS) Building Permits Database; GAI Consultants. Note: (1) 2022 data does not yet reflect year-end totals.

**Table A5. Housing Unit Building Permits in Indiantown, by Year (2018-2022)**

	UNITS			PERCENT	
	SF UNITS	MF UNITS	TOTAL	SF UNITS	MF UNITS
2018 <sup>(1)</sup>	6	0	6	100%	0%
2019	11	0	6	100%	0%
2020	8	0	8	100%	0%
2021	5	10	15	33%	67%
2022 <sup>(2)</sup>	4	16	20	20%	80%

Sources: State of Cities Data Systems (SOCDS) Building Permits Database; GAI Consultants. Notes: (1) There is no data available prior to 2018. (2) 2022 data does not yet reflect year-end totals.

**Table A6: Housing Unit Building Permits in Jupiter Island, by Year (2002-2022)**

	UNITS			PERCENT	
	SF UNITS	MF UNITS	TOTAL	SF UNITS	MF UNITS
2002	10	0	10	100%	0%
2003	10	0	10	100%	0%
2004	12	0	12	100%	0%
2005	5	0	5	100%	0%
2006	5	0	5	100%	0%
2007	11	0	11	100%	0%
2008	7	0	7	100%	0%
2009	9	0	9	100%	0%
2010	6	0	6	100%	0%
2011	5	0	5	100%	0%
2012	3	0	3	100%	0%
2013	10	0	10	100%	0%
2014	11	0	11	100%	0%
2015	0	0	0	-	-
2016	0	0	0	-	-
2017	0	0	0	-	-
2018	0	0	0	-	-
2019	0	0	0	-	-
2020	0	0	0	-	-
2021	0	0	0	-	-
2022 <sup>(1)</sup>	5	0	5	-	-

Sources: State of Cities Data Systems (SOCDS) Building Permits Database; GAI Consultants. Note: (1) 2022 data does not yet reflect year-end totals.

**Table A7. Housing Unit Building Permits in Ocean Breeze, by Year (2002-2022)**

	UNITS			PERCENT	
	SF UNITS	MF UNITS	TOTAL	SF UNITS	MF UNITS
2002	0	0	0	-	-
2003	0	0	0	-	-
2004	0	0	0	-	-
2005	0	0	0	-	-
2006	0	0	0	-	-
2007	0	0	0	-	-
2008	0	0	0	-	-
2009	0	0	0	-	-
2010	0	0	0	-	-
2011	0	0	0	-	-
2012	0	0	0	-	-
2013	0	0	0	-	-
2014	0	0	0	-	-
2015	0	0	0	-	-
2016	0	0	0	-	-
2017	0	0	0	-	-
2018	0	0	0	-	-
2019	0	0	0	-	-
2020	0	0	0	-	-
2021	4	0	4	100%	0%
2022 <sup>(1)</sup>	0	0	0	-	-

Sources: State of Cities Data Systems (SOCDS) Building Permits Database; GAI Consultants. Note: (1) 2022 data does not yet reflect year-end totals.

**Table A8. Housing Unit Building Permits in Sewall's Point, by Year (2002-2022)**

	UNITS			PERCENT	
	SF UNITS	MF UNITS	TOTAL	SF UNITS	MF UNITS
2002	7	0	7	100%	0%
2003	8	0	8	100%	0%
2004	10	0	10	100%	0%
2005	10	0	10	100%	0%
2006	5	0	5	100%	0%
2007	6	0	6	100%	0%
2008	4	0	4	100%	0%
2009	3	0	3	100%	0%
2010	2	0	2	100%	0%
2011	4	0	4	100%	0%
2012	4	0	4	100%	0%
2013	7	0	7	100%	0%
2014	7	0	7	100%	0%
2015	0	0	0	-	-
2016	0	0	0	-	-
2017	0	0	0	-	-
2018	0	0	0	-	-
2019	0	0	0	-	-
2020	0	0	0	-	-
2021	4	0	4	100%	0%
2022 <sup>(1)</sup>	12	0	12	100%	0%

Sources: State of Cities Data Systems (SOCDS) Building Permits Database; GAI Consultants. Note: (1) 2022 data does not yet reflect year-end totals.

**Table A9. Housing Unit Building Permits in Stuart, by Year (2002-2022)**

	UNITS			PERCENT	
	SF UNITS	MF UNITS	TOTAL	SF UNITS	MF UNITS
2002	110	0	110	100%	0%
2003	101	502	603	17%	83%
2004	71	38	109	65%	35%
2005	32	519	551	6%	94%
2006	8	8	16	50%	50%
2007	13	0	13	100%	0%
2008	2	0	2	100%	0%
2009	0	0	0	-	-
2010	16	0	16	100%	0%
2011	13	0	13	100%	0%
2012	20	0	20	100%	0%
2013	35	11	46	76%	24%
2014	20	0	20	100%	0%
2015	0	0	0	-	-
2016	0	0	0	-	-
2017	0	0	0	-	-
2018	0	0	0	-	-
2019	0	0	0	-	-
2020	0	0	0	-	-
2021	0	0	0	-	-
2022 <sup>(1)</sup>	91	712	803	11%	89%

Sources: State of Cities Data Systems (SOCDS) Building Permits Database; GAI Consultants. Note: (1) 2022 data does not yet reflect year-end totals.

**Table A10: Housing Unit Building Permits in Unincorporated Martin County, by Year (2002-2022)**

	UNITS			PERCENT	
	SF UNITS	MF UNITS	TOTAL	SF UNITS	MF UNITS
2002	1,313	37	1,350	97%	3%
2003	1,271	114	1,385	92%	8%
2004	1,150	178	1,328	87%	13%
2005	1,073	367	1,440	75%	25%
2006	908	20	928	98%	2%
2007	284	48	332	86%	14%
2008	157	50	207	76%	24%
2009	101	14	115	88%	12%
2010	143	32	175	82%	18%
2011	183	19	202	91%	9%
2012	272	21	293	93%	7%
2013	422	0	422	100%	0%
2014	328	66	394	83%	17%
2015	314	89	403	78%	22%
2016	291	94	385	76%	24%
2017	292	46	338	86%	14%
2018	332	44	376	88%	12%
2019	342	4	346	99%	1%
2020	384	15	399	96%	4%
2021	390	117	507	77%	23%
2022 <sup>(1)</sup>	291	147	438	66%	34%

Sources: State of Cities Data Systems (SOCDS) Building Permits Database; GAI Consultants. Note: (1) 2022 data does not yet reflect year-end totals.

Virtually all the incorporated places within Martin County exhibit no clear trend in permit activity, with many years of scant, if any permits issued. Indiantown, since being incorporated in December 2017, has seen relatively constant permit activity, while Jupiter Island and Sewall’s Point went from experiencing relatively constant permit activity from 2002 to 2014 to having virtually none since. Ocean Breeze has seen virtually no permit activity since 2002. Stuart experienced relatively high permit activity between 2002 and 2005, relatively low activity between 2006 and 2014, no activity from 2015 to 2021, and a substantial spike in activity in 2022. Activity in Unincorporated Martin County reflects that described for the County as a whole.

**Single- and Multi-Family Housing Unit Building Permit Trends**

As demonstrated in **Table A4**, in every year observed except 2022 Martin County saw significantly higher numbers of single-family building permits than multi-family building permits. This pattern is largely reflected within each of the incorporated places as well as Unincorporated Martin County (see **Tables A4-A10**). In fact, Jupiter Island, Ocean Breeze, and Sewall’s Point saw zero multi-family permits issued in the observed period. Indiantown has experienced low permit activity since its incorporation in 2017, but it is potentially noteworthy that in the past two years there have been more multi-family permits issued than single-family permits. Stuart occasionally sees spikes in multi-family permit activity, such as in 2003, 2005, and 2022.

**Housing Unit Growth Per Capita of Population Change**

It is also useful to consider how housing unit production compares to population growth over time. **Table A11** shows how housing unit production in Martin County consistently lags behind population growth.

**Table A11: Housing Unit Growth Per Capita of Population Change in Martin County (2010-2021)**

	MARTIN COUNTY	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED
2010	0.49	-	0.00	-	-	0.20	0.34
2011	0.40	-	0.11	-	0.08	2.33	0.49
2012	0.37	-	0.01	-	0.05	0.08	1.21
2013	0.73	-	-	-	-	0.23	0.70
2014	0.25	-	-	-	1.50	0.21	0.32
2015	0.58	-	9.50	-	0.42	0.42	0.71
2016	0.20	-	-	-	0.28	0.26	0.24
2017	0.12	-	0.35	-	0.18	0.05	0.17
2018	0.12	1.05	4.67	-	0.58	0.23	0.14
2019	-	-	-	-	-	0.02	-
2020	0.18	0.35	-	0.08	0.33	0.01	0.38
2021	0.18	2.00	-	0.00	0.00	0.40	0.01

Sources: Martin County Final 2021 Tax Roll; 2010 U.S. Census, ACS; BEBR; GAI Consultants. Note: Cells populated with a dash are excluded from this table when the respective jurisdiction experienced negative population growth.

**Pace of Housing Production within Developments of Regional Impact (DRI)**

Pursuant to Section 380.06(1), Florida Statutes (F.S.), a Development of Regional Impact (DRI) is defined as "any development which, because of its character, magnitude, or location, would have a substantial effect upon the health, safety or welfare of citizens of more than one county." Because of the nature of DRIs, they can be indicative of conditions within a region which may not be as evident in a narrower geographical context. In the case of Martin County, we examined five (5) of the more well-known DRIs within the County to determine if the pace of development of these DRIs was consistent with the declining housing production described in **Table A4** and **Table A10**. As is shown in **Table A12**, this examination revealed average annual production for the selected DRIs of just 53 residential units per year, representing an average of 34 years to complete land development and production of the DRIs permitted residential units. Further, only one (1) of the five (5) DRIs examined built all of the residential units which their DRI permitted, with an average of just 69% of permitted residential units actually being produced.

**Table A12. DRI Pace of Production – Martin County**

DRI	YEAR APPROVED	LAND AREA (ACRES)	APPROVED RESIDENTIAL UNITS	RESIDENTIAL UNITS BUILT TO DATE	YEAR COMPLETE	YEARS OF PRODUCTION TO DATE	AVERAGE ANNUAL RESIDENTIAL UNIT PRODUCTION
Martin Downs	1980	2,418	5,500	3,955	2008	28	141
West Jensen	1988	1,156	1,615	1,245	2022	34	37
Willoughby	1985	660	3,156	881	2009	24	37
Sailfish Point*	1979	553	765	538	n/a	43	13
Mariner Sands	1974	717	1,615	1,615	2016	42	38
<b>AVERAGE</b>						<b>34</b>	<b>53</b>

Sources: Department of Economic Opportunity DRI Repository; GAI Consultants. Note(s): \*Sailfish Point has platted residential lots which remain undeveloped, as of year-end 2022, there were six (6) vacant platted lots remaining within Sailfish Point.

**Housing Unit Losses to Conversions and Demolitions**

It is important to note that housing supply can shrink from losses due to demolitions and conversions. Housing removal due to demolitions involves the destruction of existing housing units, whereas housing removal due to conversions entails changing the use of an existing structure from residential to non-residential. These types of data have historically been collected as part of the Components of Inventory Change (CINCH) report conducted every two years by the Office of Policy Development and Research, which is part of the U.S. Department of Housing and Urban Development (HUD). The data for these reports comes from the American Housing Survey (AHS), which is also sponsored by HUD and conducted by the U.S. Census Bureau. The CINCH report was last published in 2017. Therefore, historical trends in housing removal are considered as the average percentage of the total housing stock lost due to demolitions and conversions from the most recent nine-year period of available data. We display our findings in **Table A13**.

**Table A13. Housing Unit Losses to Conversions and Demolitions, Nationwide (2009-2017)**

YEARS	CONVERSIONS	% OF TOTAL HOUSING STOCK	DEMOLITIONS	% OF TOTAL HOUSING STOCK	TOTAL HOUSING STOCK
2009-2011	100,000	0.08%	519,000	0.40%	130,112,000
2011-2013	98,000	0.07%	470,000	0.35%	132,419,000
2015-2017	53,300	0.04%	325,000	0.24%	134,790,000
<b>AVERAGE</b>		<b>0.06%</b>		<b>0.33%</b>	

Sources: CINCH; GAI Consultants.

### Density Trends

In terms of densities, we can examine how the average units per acre for a parcel of improved residential land has changed over time by grouping properties by year built. In **Table A14**, we can see that single-family densities in Martin County were particularly low in the 1970s and particularly high in the 1980s, 1990s, and 2000s. Also, densities steeply decreased from 2010 to 2021. Trends are similar for Unincorporated Martin County, although it is notable that before 1940 the average units per acre for single-family units was 0.87 lower than that of the County as a whole. Stuart, on the other hand, experienced relatively high single-family densities before 1940 and from 1990 to 1999, but it saw relatively low densities in the 1980s, 2000s, and 2010s.

Examining multi-family density trends in **Table A15**, we can see that the average units per acre in Martin County was relatively high through the 1940s but significantly decreased in the subsequent decades. Unincorporated Martin County reflects similar trends but tends to run below the County overall in most decades. Densities in Stuart, however, run higher than the County overall in most decades, particularly from 1960 onwards.

**Table A14. Average Units Per Acre by Decade Built, Single-Family**

	TOTAL COUNTY	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED
<b>Before 1940</b>	4.56	4.68	1.78	-	1.53	6.39	3.69
<b>1940-1949</b>	5.03	5.90	1.53	-	2.24	5.74	5.04
<b>1950-1959</b>	4.71	5.35	1.87	-	2.41	4.74	4.65
<b>1960-1969</b>	4.97	4.62	1.55	-	2.36	6.82	4.64
<b>1970-1979</b>	3.18	5.89	1.53	-	2.35	1.77	3.42
<b>1980-1989</b>	6.75	6.75	1.51	-	2.18	0.59	7.74
<b>1990-1999</b>	5.78	7.57	1.51	-	1.97	7.55	6.01
<b>2000-2009</b>	9.06	5.90	1.34	-	1.89	2.62	8.97
<b>2010-2021</b>	4.39	6.50	1.12	1.57	1.64	2.93	4.25

Sources: Martin County Final 2021 Tax Roll; GAI Consultants.

**Table A15. Average Units Per Acre by Decade Built, Multi-Family**

	TOTAL COUNTY	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED
<b>Before 1940</b>	22.24	-	-	-	-	27.79	16.30
<b>1940-1949</b>	20.32	26.09	-	-	-	19.41	18.47
<b>1950-1959</b>	11.97	7.91	-	-	-	12.36	12.01
<b>1960-1969</b>	13.96	27.54	-	-	-	17.64	10.39
<b>1970-1979</b>	9.76	10.37	-	-	-	11.63	9.70
<b>1980-1989</b>	9.44	8.24	-	-	-	14.85	9.53
<b>1990-1999</b>	9.87	9.72	-	-	-	15.78	8.88
<b>2000-2009</b>	9.71	6.45	-	-	-	19.79	9.31
<b>2010-2021</b>	11.46	40.82	-	-	-	15.80	8.63

Sources: Martin County Final 2021 Tax Roll; GAI Consultants.

## Rental and Ownership Trends

With regards to rental and ownership products, **Table A16** shows that the percentage of owner-occupied housing units has remained consistently higher than the percentage of renter-occupied units since 2010. This further supports the suggestion that single-family units have remained predominant in Martin County for quite some time.

**Table A16. Percentage of Households by Renters and Owners in Martin County (2010-2021)**

	RENTED	OWNED
2010	19%	74%
2011	21%	79%
2012	23%	77%
2013	24%	76%
2014	24%	76%
2015	24%	76%
2016	24%	76%
2017	23%	77%
2018	22%	78%
2019	22%	78%
2020	19%	75%
2021	21%	79%

Sources: U.S. Census, ACS; GAI Consultants.

## Vacancy Trends

It is also important to consider vacancy rates when determining the amount of housing units necessary to accommodate future growth. **Table A17** displays vacancy rates from 2010 to 2022 in Martin County and each of its jurisdictions. The overall vacancy rate in Martin County has been in the range of 18-24% for most of the past decade. Vacancy rates are relatively high in the wealthy town of Jupiter Island and the mobile-home town of Ocean Breeze, but in the County's other incorporated places the vacancy rate has ranged between 10% and 28%. Notably, there appears to have been a slight decrease in vacancy rates in Stuart, Unincorporated Martin County, Jupiter Island, and the County overall after 2019. This correlates with our finding in Table A2 that Martin County experienced a significant decrease in housing production from 2019 to 2020.

**Table A17. Vacancy Rates in Martin County (2010-2022)**

	TOTAL COUNTY	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED
2010	18%	11%	44%	43%	11%	22%	17%
2011	24%	17%	65%	44%	24%	28%	23%
2012	24%	17%	62%	50%	26%	26%	23%
2013	23%	18%	62%	56%	21%	27%	22%
2014	23%	19%	61%	61%	14%	24%	22%
2015	21%	17%	60%	59%	13%	22%	21%
2016	20%	20%	61%	56%	10%	23%	19%
2017	20%	23%	61%	54%	11%	24%	19%
2018	20%	19%	58%	53%	10%	24%	19%
2019	19%	-	57%	39%	10%	23%	19%
2020	16%	10%	50%	48%	11%	17%	15%
2021	18%	13%	48%	30%	12%	19%	18%
2022*	15%	9%	50%	47%	10%	18%	15%

Source: U.S. Census, ACS; ESRI; GAI Consultants.

**Table A18** depicts the types of vacancy statuses in Unincorporated Martin County. These vacancy statuses include For rent; Rented, not occupied; For sale, only; Sold, not occupied; and For migrant workers. The category capturing all other vacant units in the County spiked from 2017 to 2020, reaching a value of 46% in 2020 before falling back down to 9% in 2021. We will now separately discuss the final type of vacancy status: seasonal, recreational, or occasional use.

**Table A18. Vacancy Statuses in Unincorporated Martin County (2010-2021)**

	FOR RENT	RENTED, NOT OCCUPIED	FOR SALE, ONLY	SOLD, NOT OCCUPIED	SEASONAL, RECREATIONAL, OCCASIONAL	FOR MIGRANT WORKERS	OTHER VACANT	TOTAL VACANT
<b>2010<sup>(1)</sup></b>	15%	1%	13%	3%	56%	0%	15%	<b>11,242</b>
<b>2011</b>	8%	1%	12%	3%	72%	0%	3%	<b>14,690</b>
<b>2012</b>	8%	1%	10%	3%	75%	0%	2%	<b>14,678</b>
<b>2013</b>	8%	1%	8%	3%	75%	0%	4%	<b>14,420</b>
<b>2014</b>	8%	2%	8%	3%	71%	0%	7%	<b>14,238</b>
<b>2015</b>	8%	2%	7%	2%	72%	0%	9%	<b>13,569</b>
<b>2016</b>	8%	1%	6%	2%	68%	0%	14%	<b>12,697</b>
<b>2017</b>	9%	1%	6%	2%	59%	0%	23%	<b>12,615</b>
<b>2018</b>	7%	2%	6%	2%	56%	0%	28%	<b>12,714</b>
<b>2019</b>	6%	1%	6%	2%	52%	0%	33%	<b>12,929</b>
<b>2020<sup>(1)</sup></b>	6%	5%	6%	2%	61%	0%	46%	<b>10,111</b>
<b>2021</b>	5%	3%	6%	2%	59%	0%	9%	<b>12,281</b>

Source: U.S. Census, ACS; GAI Consultants. Note: (1) Represents census data.

### Seasonal Unit Trends

The percentage of vacant units that are used seasonally, recreationally, or occasionally in Unincorporated Martin County and each of its jurisdictions is displayed in **Table A18**. This figure has remained over 50% since 2010, and it was over 70% from 2011 to 2015. Unincorporated Martin County captures over 80% of the overall County's housing units, so the considerable share of vacant units that are used seasonally, recreationally, or occasionally may have impacted the total inventory of housing and the total lands needed to support production within Martin County.

## APPENDIX B: DEVELOPMENT ACTIVITY

### Proposed Developments Overview

Across Martin County and each of its respective incorporated jurisdictions, there are currently 5,405 new units on about 5,178 acres of land that have been proposed for residential or mixed-use development. Only 60 of these units are proposed for development in Stuart, whereas the rest are proposed in Unincorporated Martin County. The units proposed for Unincorporated Martin County are relatively evenly spread across four of its five taxing districts, with only District 2 lagging significantly behind the others. Only 38 of these 5,405 proposed units have been built thus far, and most of the projects that have been approved have not yet begun construction of units. Only two projects are currently under construction, and only one project has fully completed construction. 22 projects were still in review. The 60 units proposed in Stuart have not yet been built, and the status of the corresponding project is unknown at this time.

### Proposed Developments, Approved and Pending Construction

Out of the 5,405 units that have been proposed across all of Martin County, 3,807 of them have been approved but have yet to see any units constructed. These 3,807 units, as proposed, sit on over 2,741 acres of land. All these units are in Unincorporated Martin County, with the highest concentration of units contained within District 5 and District 3. **Table B.1** provides a listing of all residential and mixed-use projects in Martin County that have been approved but have yet to begin construction.

**Table B1. Unincorporated Martin County Proposed Developments, Approved and Pending Construction**

PROJECT NAME	ACRES	TOTAL UNITS	UNITS BUILT	USE	PROJECT STATUS
Cove Salerno Partners PUD Zoning & Major Master Site Plan	47.12	216	0	Residential	Approved
Algozzini Place Minor Final Site Plan	6.43	20	0	Residential	Approved
Banyan Bay PUD Phase 3 Revised Master Final Site Plan	185.12	72	0	Residential	Approved
Banyan Bay PUD Revised Master & Phasing Plan 9 <sup>th</sup> PUD Amendment & Ph2c Final Site Plan	12.9	36	0	Residential	Approved
Beacon 21 PUD Zoning Master and Final Site Plan	4.84	29	0	Residential	Approved
Cottages At Coconut Cay (Summerland Place) Minor Final Site Plan	1.99	20	0	Residential	Approved
Cove Royale PUD Revised Major Master & Final Site Plan & PUD Zoning & Master Site	97.13	118	0	Residential	Approved
Crystal Cove Revised Minor Final Site Plan	1.94	16	0	Residential	Approved
Discovery PUD Zoning and Master Site Plan	1,530	317	0	Residential/ Recreational	Approved
Highpointe (Pulte at Christ Fellowship) Major Final Site Plan	175	94	0	Residential	Approved
Hunter Lake, Minor Final	9.4	20	0	Residential	Approved
Kanner 5601, LLC Major Final Site and Kanner Lake	26.02	65	0	Residential	Approved
Kanner Oaks Minor Final Site Plan	16.89	28	0	Residential	Approved
Newfield (Pineland Prairie) Major Master Site Plan	139	1,250	0	Residential	Approved
Palm City Ga Homes (Palm Bluff Townhomes) PUD Final Site Plan	3.57	28	0	Residential	Approved
Pentalago Rev Maj Master & Ph 1 Final	212.1	42	0	Residential	Approved
Pulte PUD At Christ Fellowship PUD Zoning & Master Site Plan	20	313	0	Residential/ Recreational	Approved
Rio Marine Village Revised Master Site Plan	15.46	198	0	Residential	Approved
Sabal Point (Jensen Dunes) Major Master & Final Site Plan	30.26	68	0	Residential	Approved
Showcase PUD (Cove Salerno) Ph1 PUD Final Site Plan	35.84	79	0	Residential	Approved
Altis Minor Final Site Plan-Mixed Use Residential	0.29	4	0	Residential/ Commercial	Approved
Oaks (Mapp Road Parcel) Minor Final Site Plan	11.59	24	0	Residential	Approved
Preserve at Rio Marine Village Major Master Site Plan	8.95	145	0	Residential	Approved
Reserve at Jensen Beach (Savannah Apartments) Revised Major Master & Final Site Plan	22.03	197	0	Residential	Approved
Tradewinds Of Hobe Sound Major Final Site Plan	12.96	177	0	Residential	Approved
Via Claudia PUD Zoning Master & Final Site Plan	96.18	114	0	Residential	Approved
Willoughby Townhomes Major Final Site Plan & PUD Final Site Plan	18.5	117	0	Residential	Approved

Sources: Martin County Proposed Development Projects database; GAI Consultants.

## Proposed Developments, Approved and Under Construction

Only two of the proposed developments can be confirmed to currently be in the process of constructing new units. These two projects are Bridgewater Reserve PUD, which is located in District 3 of Unincorporated Martin County and has completed three units on the project's 107 plats of land, and Floridian Golf Club PUD, which is located in District 5 of Unincorporated Martin County and has 14 units completed out of the project's total of 36 units. These projects are being built on about 337 acres of land. **Table B2** provides a listing all residential and mixed-use projects in Martin County that have been approved but are still under construction.

**Table B2. Unincorporated Martin County Proposed Developments, Approved and Under Construction**

PROJECT NAME	ACRES	TOTAL UNITS	UNITS BUILT	USE	PROJECT STATUS
Bridgewater Preserve PUD Revised PUD Agreement Master & Final Site Plan and PUD Rezoning & Master	215	107	3	Residential	Approved
Floridian Golf Club PUD Phase 4 Administrative Amendment & 6 <sup>th</sup> PUD Amendment Phase 3 & 4	122	36	14	Residential/ Recreational	Approved

Sources: Martin County Proposed Development Projects database; GAI Consultants.

## Proposed Developments, In Review

Out of the 5,405 units that have been proposed across all of Martin County, 1,434 of them have been approved but have yet to see any units begin to be constructed. These 1,434 units are proposed to sit on over 269 acres of land. 1,374 of these units are in Unincorporated Martin County, with the highest concentration of units contained within District 4. The remaining 60 units are proposed to be built in Stuart. **Table B4** provides a listing all residential and mixed-use projects in Martin County that are currently in review.

**Table B4. Unincorporated Martin County Proposed Developments, In Review**

PROJECT NAME	ACRES	TOTAL UNITS	UNITS BUILT	USE	PROJECT STATUS
Glades Crossing Minor Final Site Plan	14.18	10	0	Residential	In Review
Hobe Lakes Estates Minor Final Site Plan	60	12	0	Residential	In Review
I-95 Riverside PUD 9 <sup>th</sup> Amend Rev Master and Ph Iv Final Site Plan	12.33	98	0	Residential	In Review
Jupiter Bay Holdings Multi-Family Minor Final Site Plan	0.92	14	0	Residential	In Review
Jupiter Narrows PUD Revised PUD Zoning Master and Final Site Plan	-	-	-	Residential/ Recreational	In Review
Loggerhead Estates II Minor Final Site Plan	4.54	23	0	Residential	In Review
Martin Hwy Multi-Family Major Final Site Plan	6.09	90	0	Residential	In Review
Paddock Palm City PUD Major Master Final Site Plan	8.29	60	0	Residential	In Review
Pepperwood Assemblage PUD Zoning Master & Final Site Plan	29.23	43	0	Residential	In Review
Port Cove PUD	4.84	29	0	Residential	In Review
Pulte Aquarius PUD	35.04	272	0	Residential	In Review
Riverside Major Master Site Plan	7.73	95	0	Residential/ Commercial	In Review
Sand Pine Ridge Minor Final Site Plan	4.27	56	0	Residential	In Review
Showcase PUD Ph II	10.52	88	0	Residential	In Review
Solana PUD (Armellini Ave) PUD Rezoning & Final Site Plan	11.2	98	0	Residential	In Review
Sunset Trail Estates	11.7	28	0	Residential	In Review
The Cove at Hobe Sound Minor Final Site Plan	4.88	38	0	Residential	In Review
The Cove Minor Final Site Plan	2.32	48	0	Residential	In Review
The Martin Apartments Minor Final Site Plan	1.25	24	0	Residential	In Review
The Preserve at Salerno PUD Zoning Master Final Site Plan	8.81	79	0	Residential	In Review
West Jensen PUD 14 <sup>th</sup> PUD Amendment Phase 1b Master & Final Site Plan	26	169	0	Residential	In Review

Sources: Martin County Proposed Development Projects database; GAI Consultants.

## **Approved (Pending Construction) Project Descriptions**

*Cove Salerno Partners PUD Zoning & Major Master Site Plan* – On July 14, 2020, the Board of County Commissioners approved of a rezoning to a planned unit development (PUD) and a PUD zoning agreement including a master site plan and phasing plan for the Showcase PUD Project. The project consists of 54 two-story townhomes and 162 duplex units on an approximate 47.12-acre parcel located between SE Cove Road and SE Salerno Road just east of SW Kanner Highway in Stuart.

*Algozzini Place Minor Final Site Plan* – In 2020, the Board of County Commissioners approved a 20-unit multi-family residential development located on an approximate 6.43-acre parcel located between US Highway 1 and SE Dixie Highway approximately one-half mile north of SE Bridge Road in Hobe Sound.

*Banyan Bay PUD Phase 3 Revised Master Final Site Plan* – On August 16, 2022, the Board of County Commissioners approved a request by the Farrell Building Company for the 10<sup>th</sup> Amendment to the Banyan Bay Planned Unit Development (PUD) Zoning Agreement. The amendment consists of a revised master plan and the Phase 3 final site plan. Banyan Bay received master plan and PUD zoning approval on November 9, 2004. The residential development is situated on an approximate 251-acre parcel located on the west side of SW Kanner Highway and is accessed at the signalized intersection with SE Pomeroy Street in Stuart. The Phase 3 final site plan consists of 72 multi-family residential units and the associated infrastructure on approximately 12 undeveloped acres of the Banyan Bay development. The proposed apartment units are housed in three buildings, which are each three stories in height. The Banyan Bay project has a total of 293 residential units resulting in a density of 1.17 units per acre.

*Banyan Bay PUD Revised Master and Phasing Plan 9th PUD Amendment And Ph 2c Final Site Plan* – On September 29, 2020, the Board of County Commissioners approved a request by Banyan Bay Macks, LLC for the 9<sup>th</sup> Amendment to the PUD zoning agreement including a revised master and phasing plan and Phase 2C final site plan approval for the Banyan Bay PUD. The main entrance to the project is located at the intersection of SW Kanner Highway (SR 76) and SE Pomeroy Street in Stuart. The 251-acre property is an existing residential PUD located between South Kanner Highway and the South Fork of the St. Lucie River in Stuart. The approved PUD Master Plan allows for 305 dwelling units in five phases with an overall project completion deadline in 2027. The final site plan for Phase 1 was approved in 2005 and the Phase 1 plat was approved in 2008. Phase 1, which includes the main entrance, the Preserve Area Management Plan (PAMP) for the entire site and 74 detached single family homesites has been completed and Phase 2A and 2B are under construction (although no units have been built thus far). The proposed 9<sup>th</sup> PUD Amendment is solely limited to reducing the number of units and changing the product type in Phase 2C from 48 duplex units to 36 single family units, thereby reducing the total residential units in the development to 293. Phase 2C consists of 36 residential units on approximately 12.93 acres.

*Beacon 21 PUD Zoning Master and Final Site Plan* – On September 27, 2022, the Board of County Commissioners approved a request by Oskjn Jensen, LLC for a Planned Unit Development (PUD) Zoning Agreement including Master/Final Site Plan and Preserve Area Management Plan (PAMP) approval. This is the 6<sup>th</sup> amendment to the PUD zoning agreement for Beacon 21 and consists of 29 residential townhome units on an approximately 4.84-acre parcel, resulting in a residential density of 5.99 units per acre. The site is located on the south side of NE Dixie Highway about 1.2 miles from NE Palmer Street in Rio. The subject property is currently included in the Beacon 21 PUD and has a future land use designation of Medium Density. The site received prior approval of a master site plan for the construction of 32 residential units in

2007. That application as proposed as Phase 4 of the Beacon 21 PUD, which was established in the late 1970s and has since been amended five times. Phase 4 was never built, though. All prior development orders for the subject property expired in 2009.

*Cottages At Coconut Cay (Summerland Place) Minor Final Site Plan* – This was a request by Summerland Place, LLC that received approval for a final site plan to develop 20 dwelling units and supporting infrastructure on 2.0 acres, resulting in a gross residential density of 10 units per acre. The undeveloped site is located on the west side of SE Morningside Dr, which is approximately 600 feet southwest of SE Federal Highway in Stuart.

*Cove Royale PUD Revised Major Master & Final Site Plan* – On May 5, 2020, the Board of County Commissioners approved a request by TLH-82 DOT, LLC for the First Amendment to the Cove Royale Planned Unit Development (PUD) Zoning Agreement in order to phase the development of the 118-unit single-family development. The Board also approved the Phase 1 final site plan consisting of 81 single family detached homes and the associated infrastructure. The PUD Zoning Agreement including a master and final site plan was approved on March 26, 2019. The project is situated on an approximate 97-acre parcel located on the south side of SE Cove Road approximately 1.75 miles west of US Highway 1 in Stuart. The projects' buildout would have a density of 1.22 units per acre. On November 14, 2017, the Board approved a future land use designation change from Rural Density on one unit per two acres to Residential Estate density, allowing up to two units per acre.

*Cove Royale PUD Zoning and Master Site* – On March 26, 2019, the Board of County Commissioners approved a zoning district change from A-1, Small Farms District, to PUD, Planned Unit Development District. The Board also approved a concurrent request for a PUD Zoning Agreement and master final site plan approval of 118 single family residential lots on approximate 97-acre undeveloped parcel. The project is located on the south side of SE Cove Road approximately 1.75 miles west of US Highway 1 and about 1.4 miles east of SW Kanner Highway in Stuart. The subject property received approval for a future land use amendment from Rural Density (one unit per two acres) to Estate Density (two units per acre) on November 14, 2017. The future land uses in the area are a mix of Rural Density and Estate Density, allowing up to two units per acre.

*Crystal Cove Revised Minor Final Site Plan* – A request by Crystal Cove Waterway, LLC was approved for a minor development, revised final site plan for a residential development. This project consists of 16 townhomes in three buildings on 1.92 acres, resulting in a gross residential density of 8.33 units per acre. The site is located on the east side of SE Federal Highway approximately 475 feet north of SE County line Road in Tequesta.

*Discovery PUD Zoning And Master Site Plan* – This was a request by Becker B-14 Grove, Ltd. and Hobe sound Equestrian LLC for PUD Zoning and Master site plan for the development of 317 residential lots, an 18-hole golf course, golf and recreation club and polo facilities and the associated infrastructure on a previously developed approximate 1,530-acre site located on the north side of SE Bridge Road and approximately 1 mile east of the I-95 interchange. This request is currently under a final review.

*Highpointe (Pulte at Christ Fellowship) Major Final Site Plan* – On September 28, 2021, the Board of County Commissioners approved a request for Phase 1 final site plan for the Highpointe PUD (Pulte at Christ Fellowship). The final site plan includes 94 single family lots and the associated infrastructure on approximately 175 acres of the 321-acre project. Phase 1 also includes the 10-acre site proposed for

donation to Operation 300. The Highpointe project is located on the east side of SW Pratt Whitney Road approximately one mile east of SW Kanner Highway in Stuart. The Highpointe PUD project received zoning and master site plan approval on April 27, 2021. Phase 1 of the Highpointe PUD project will include 94 single family lots on an approximate 175-acre portion of the overall 321-acre project, as well as construction of the main entrance into the project.

*Hunter Lake, Minor Final* – A request was approved for a minor development final site plan proposing a residential subdivision consisting of 20 single family lots on approximately 9.4 acres and resulting in a gross residential density of 2.13 units per acre. The undeveloped site is located on the north side of SE Salerno Rd. approximately 750 feet west of SE Federal Highway.

*Kanner 5601, LLC Major Final Site* – On August 21, 2018, the Board of County Commissioners approved a request by Kanner 5601, LLC for a major final site plan for a proposed residential subdivision consisting of 65 single family lots with associated infrastructure and preserve areas, resulting in a gross residential density of 2.49 units per acre. The subject site is approximately 26.02 acres and is located on the east side of Kanner Highway approximately 100 feet south of SW Linden Street in Stuart.

*Kanner Lake* – On March 16, 2021, the Board of County Commissioners approved a request by Kanner 5601, LLC for a revised final site plan that addressed minor boundary adjustments that became clear during preparation of the plat. This is part of the Kanner 5601, LLC Major Final Site project listed above.

*Kanner Oaks Minor Final Site Plan* – A request was approved for a minor final site plan, which entails the development of 28 detached single-family homes and the associated infrastructure. It is located on an approximate 16.86-acre undeveloped parcel on the west side of S Kanner Highway approximately a quarter mile south of SW Locks Road in Stuart.

*Newfield (Pineland Prairie) Major Master Final Site Plan* – On December 15, 2020, the Board of County Commissioners approved a request for master site plan approval for the Crossroads Neighborhood, Phase 1 of the Newfield development. The Crossroads Neighborhood comprises approximately 139.5 acres and is located east of and adjacent to SW Citrus Boulevard about 1.5 miles west of SW Boat Ramp Road in Palm City. Newfield is a planned community to be developed on an approximate 3,411-acre parcel of land located west of and adjacent to the Florida turnpike, north of SW Martin Highway (State Road 714) and south of and adjacent to the C-23 Canal, which acts as the border with St. Lucie County. The future land use designation for the Newfield development is Mixed-Use Village (MUV), which is specific to the development. The Planned Mixed-Use Village (PMUV) zoning district classification is also unique to Newfield.

*Palm City Ga Homes (Palm Bluff Townhomes) PUD Final Site Plan* – On June 16, 2020, the Board of County Commissioners approved a request by Palm City GA Homes, LLC for a PUD Zoning Agreement and master/final site plan for a residential, 28-unit townhome development within 14 two-story buildings. The project also includes a community pool, supporting infrastructure, and upland preserve on approximately 3.57 acres, and the project would achieve a gross residential density of 7.8 units per acre if carried out as planned. The site consists of two parcels and is located at 2810 SW Martin Hwy, specifically on the south side of SW Martin Hwy approximately 1,500 feet east of SW High Meadow in Palm City. The project site has a land use designation of Medium Density Residential and a zoning of RM-8, Medium Density Residential District.

*Pentalago Rev Maj Master & Ph 1 Final* – On August 14, 2018, the Board of County Commissioners approved a request for a Revised Major Master and Ph 1 Final Site Plan on 212.1 acres. Phase 1 consists of 26 lots and the associated infrastructure. The project, in total, consists of 42 five-acre lots and originally received master/final site plan approval on January 20, 2009. The final site plan was rescinded on June 16, 2009, but the master site plan has been kept valid. The site is located on the east side of Citrus Boulevard, north of and adjacent to I-95. The Future Land Use Designation on the property is Agricultural Ranchette and the zoning district designation is AR-5A.

*Pulte PUD At Christ Fellowship PUD Zoning and Master Site Plan* – On April 27, 2021, the Board of County Commissioners approved a request by Christ Fellowship Church for a zoning district change from the current RE-2A, Rural Estate District to the Planned Unit Development (PUD) District through the Highpointe PUD Zoning Agreement, including a master site plan and phasing plan with a Deferral of Public Facilities Reservation. The project comprises of a 313-unit single family subdivision, including amenities, a sales center, and a non-profit campground. The 20-acre site will be incorporated into the master plan of the existing church development for the Christ Fellowship, which is a 321-acre property. The site is located at 10205 Pratt Whitney Road in Hobe Sound, adjacent to the Florida Turnpike and approximately 1 mile east of SW Kanner Highway in Stuart.

*Rio Marine Village Revised Master Site Plan* – On February 1, 2022, the Board of County Commissioners approved a request for a revised master site approval for a mixed-use waterfront village. The project includes 198 residential units, two restaurants housed in two buildings, marine and retail buildings, refurbished boat basins and marinas, and the associated infrastructure. The site is approximately 15.46 acres in size and is located on the south side of NE Dixie Highway about one-half mile east of NE Savannah Road in the Rio CRA. A master plan for the eastern portion of the project was approved on June 12, 2018. The project is in the Rio Redevelopment Zoning District. There are two future land use designations on the site: Commercial Waterfront and CRA Center.

*Sabal Point (Jensen Dunes) Major Master/final Site Plan* – On March 23, 2021, the Board of County Commissioners approved a request by Constance Haire and Anthony and Vanessa Palma for a final site plan proposing a residential subdivision. The project consists of 68 single-family lots with associated infrastructure and preserve areas, for a gross residential density of 2.31 units per acre. The site is 30.26 acres in size and is located approximately 2,500 feet east of NE Savannah Road at the end of the NE Cedar Street right-of-way in Jensen Beach. The property has a zoning designation of R-2, Single-Family Residential District and a future land use designation of Low Density allowing up to 5 units per acre.

*Showcase PUD (Cove Salerno) Ph1 PUD Final Site Plan* – On December 7, 2021, the Board of County Commissioners approved a request for the First Amendment to the Showcase Planned Unit Development (PUD) Zoning Agreement. This amendment included a revised master site plan and phasing plan and approval of the phase one final site plan. Phase One includes 79 single family homes and the associated infrastructure on approximately 35 acres of the 47-acre project. The Showcase PUD is located between SE Salerno Road and SE Cove Road approximately a quarter mile east of SW Kanner Highway. The project received master site plan approval on July 14, 2020, for 167 single family and townhome units. The property has a future land use designation of Low Density Residential allowing up to 5 residential units per acre and Planned Unit Development (PUD) zoning.

*The Altis Minor Final Site Plan-Mixed Use Residential* – A request was approved for a minor site plan for a mixed-use development consisting of 4 residential units and 4,930 square feet of office space in two buildings. The parcel is 0.29 acres in size and located on the west side of SE Dixie Highway in Hobe Sound. The property is in the A1A Corridor Zoning overlay and the Hobe Sound CRA.

*The Oaks (Mapp Road Parcel) Minor Final Site Plan* – A request by Team Parks was approved for development of a minor final site plan. The development includes a 24-lot single-family subdivision with associated infrastructure on about 11.59 acres, thus resulting in a gross residential density of 2.07 units per acre. The project site is located at 2051 Mapp Road in Palm City, on the northeast corner of the intersection of SW Mapp Road and SW Mooring Drive. The subject site is zoned R-1A, Single-Family Residential District, with a Low-Density future land use designation allowing 5 units per acre.

*The Preserve at Rio Marine Village Major Master Site Plan* – On September 13, 2022, the Board of County Commissioners approved a request by Rio North Dixie LLC for major master plan approval for the Preserve at Rio Marine Village. The proposed development includes 145 residential townhome and live-work units, as well as the associated infrastructure. The property is on a parcel of approximately 14.34 acres in size, and it is located on the north side of NE Dixie Highway approximately 300 feet west of NE Martin Avenue in Rio. The project is located within the Rio Community Redevelopment Area (CRA). The parcel has a CRA Center future land use and CRA Zoning designation with Core subdistrict assigned along NE Dixie Highway and General subdistrict within the rest of the project. The parcel fronts onto primary designated roadways, NE Dixie Highway and NE Martin Avenue.

*The Reserve at Jensen Beach (Savannah Apartments) Revised Major Master And Final Site Plan* – On August 11, 2020, the Board of County Commissioners approved a request by Jensen CAP Investments, LLC for revised master and final site plan approval for a major residential development. The project includes 197 multi-family units in nine 3-story buildings and associated infrastructure, including a clubhouse/pool amenity on approximately 23 acres, thus achieving a gross residential density of 8.56 units per acre. The site consists of 3 parcels located on the east side of NE Savannah Rd between NE Business Park Pl and NE Coy Senda in Jensen Beach. The project has a split future land use designation and corresponding split zoning classification. The two parcels with frontage on NE Savannah Road have a Commercial Office/Residential (COR) future land use designation and have a Commercial Office/Residential (COR-2) zoning classification. The rear parcel that abuts the FEC railway right-of-way has a Medium Density Residential future land use designation and has a Medium Density Residential District, RM-8 zoning classification.

*Tradewinds Of Hobe Sound Major Final Site Plan* – On March 9, 2021, the Board of County Commissioners approved a request by Laurel Lane Holdings, LLC for the development of a 177-unit apartment complex and the associated infrastructure. The project includes workforce/affordable housing and a new access to SE Federal Highway by opening a new right-of-way. The approximately 12.8-acre parcel is located on the east side of SE Federal Highway about a quarter mile north of SE Dharlys Street West. The zoning district designation for the property is RM-10, High Density Residential District, with a future land use designation of High Density. The proposed residential density for the development would be 13.81 units per acre.

*Via Claudia PUD Zoning Master & Final Site Plan* – On September 28, 2021, the Board of County Commissioners approved a request by D.R. Horton for approval of a rezoning to a Planned Unit Development (PUD) zoning district classification through The Preserve at Park Trace PUD Zoning Agreement. Also included in this request was a master/final site plan for the development of a 114-lot single

family subdivision and the associated infrastructure. The property is on a parcel that is approximately 97 acres in size and located on the south side of SE Cove Road at the SE Willoughby Boulevard intersection in Stuart. The existing future land use designation on the parcel is Estate Density, which allows for up to two units per acre. The existing zoning district designation is RE-1/2A, Residential Estate District. The resulting gross residential density would be 1.2 units per acre.

*Willoughby Townhomes Major Final Site Plan* – On April 19, 2022, the Board of County Commissioners approved a request by Meritage Homes of Florida for approval of a rezoning to a Planned Unit Development (PUD) and a PUD Zoning Agreement, including a Master Site Plan for the development of 117 townhomes and associated infrastructure. The project site is on a parcel of approximately 18.37 acres in size and located at the northeast corner of the intersection of SE Willoughby Boulevard and SE Salerno Road in Stuart. The site has a future land use designation of Commercial/Office/Residential and a split zoning of COR-1 and COR-2.

*Willoughby Townhomes PUD Final Site Plan* – On October 18, 2022, the Board of County Commissioners approved a request by Lucido & Associates on behalf of Meritage Homes of Florida for final site plan approval of the aforementioned Willoughby Townhomes project. More information on this development is listed above.

### **Approved (Under Construction) Project Descriptions**

*Bridgewater Preserve PUD Revised PUD Agreement Master and Final Site Plan* – On September 27, 2022, the Board of County Commissioners approved the First Amendment to the Bridgewater Preserve PUD Agreement, which includes a revised master site plan, revised timetable of development, and revised special conditions. The common recreational facilities have been deleted, but the lot layout remains the same. The 215-acre development is located on the west side of SE Island Way in southern Martin County. Bridgewater Preserve received final site plan approval on February 2, 2006, for 36 residential 5 acre lots. On July 25, 2017, the Board of County Commissioners adopted CPA 17-3, a future land use amendment that changed the future land use designation from Agricultural Ranchette to Rural Density on the Bridgewater property. The Board also approved Resolution 17-7.22 changing the zoning district designation to RE-2A, Rural Estate District in conjunction with the land use. On March 26, 2019, the project received master site plan approval and approval for a PUD zoning agreement for 107 single family lots. Currently, three units have been constructed.

*Bridgewater Preserve PUD Rezoning & Master* – On February 26, 2019, the Board of County Commissioners approved a master site plan and Planned Unit Development (PUD) Zoning Agreement to increase the number of single family lots from 26 to 107 in the existing Bridgewater Preserve residential subdivision. The approximate 215-acre parcel is located on the west side of SE Island Way adjacent to the Palm Beach County line in southern Martin County. On July 25, 2017, the Board of County Commissioners adopted CPA 17-3, a future land use amendment that changed the future land use designation on the property from Agricultural Ranchette to Rural Density. The Board also approved Resolution 17-7.22 changing the zoning district designation to RE-2A, Rural Estate District in conjunction with the land use. Currently, three units have been constructed.

*Floridian Golf Club PUD Phase 4 Administrative Amendment* – The Board of County Commissioners recently approved a request for an administrative amendment to the Floridian PUD agreement to allow for a

certificate of occupancy phasing plan for Phase 4 of the PUD master site plan. The project is located adjacent to the St. Lucie River and accessed from SW Murphy Road in Palm City. More on this project is described below.

*Floridian Golf Club PUD, 6<sup>th</sup> PUD Amendment Phase 3 & 4* – On May 3, 2022, the Board of County Commissioners approved the Sixth Amendment to the Floridian Golf Club PUD Zoning Agreement, including a revised phasing plan, and revised Phase 3 and Phase 4 final site plans. The Floridian Golf Club is located on SW Murphy Road in Palm City and straddles the Martin and St. Lucie County line. The approximately 122-acre site in Martin County includes an 18-hole golf course, club facilities, 36 residential units, and associated infrastructure. The Floridian Golf Club PUD Zoning Agreement and master site plan were originally approved in 2012. The project consists of six phases with most of the infrastructure and amenities in place.

### **Projects Currently Under Review**

*Glades Crossing Minor Final Site Plan* – This was a request for approval of a Revised Minor Final Site Plan for 10 single family homes on 14 areas located east of S Kanner Highway and south of SE Pomeroy Street. This request has since been withdrawn.

*Hobe Lakes Estates Minor Final Site Plan* – This was a request by BR 24 LLC for approval of a final site plan for a 12-lot single family subdivision. The approximate 60-acre undeveloped site is located on the south side of Bridge Road approximately 3,500 feet west of SE Powerline Ave in Hobe Sound. This request has since been withdrawn.

*I-95 Riverside PUD 9<sup>th</sup> Amend Rev Master and Ph Iv Final Site Plan* – This was a request by Pulte Home Company, LLC for approval of a 9<sup>th</sup> Amendment to the I-95 Riverside PUD and master plan along with a Phase IV final site plan to allow for the construction of 98 townhomes on a 12.33-acre site. The I-95 Riverside PUD is located on the north side of SW Kanner Highway / SR 76, just east of the I-95 interchange in Stuart.

*Jupiter Bay Holdings Multi-Family Minor Final Site Plan* – This was a request for approval of a minor site plan consisting of a 14-unit multi-family project on an approximate 0.92-acre parcel, which is located on the east side of SE Federal Highway about 200 feet south of SE Hobe Terrace in Hobe Sound. This request is currently under a final review.

*Jupiter Narrows PUD Revised PUD Zoning Master and Final Site Plan* – This was a request by Jupiter Narrows Property Owners Association for approval of the Fourth Amendment to the Jupiter Narrows PUD Zoning Agreement and a Revised Master/Final Site Plan and Preserve Area Management Plan. Proposed is the addition of a residential multi-slip docking facility for the use of existing residents, consisting of 28 wet slips, kayak launch area, a fishing pier, and associated access pier/dockage to the existing Jupiter Narrows PUD residential development located on the east side of SE Gomez Avenue at SE Jupiter Narrows Place in Hobe Sound.

*Loggerhead Estates II Minor Final Site Plan* – This was a request by Medalist Building Group, LLC for approval of a Minor Final Site Plan for 23 residential lots on 4.54 acres on SW 34<sup>th</sup> Street, about 800 feet west of SW Mapp Road, in the Old Palm City CRA. The total parcel size is 5.92 acres. The Cross Church on site will remain on 1.38 acres. This request requires resubmittal.

*Martin Hwy Multi-Family Major Final Site Plan* – This was a request by WGI on behalf of JAMSZ Properties for approval of a major final site plan consisting of a 90-unit multi-family residential development. The project would be built on an approximate 6.09-acre site located on the northwest corner of SW Palm City School Avenue and SW Martin Highway in Palm City. The site is located in the Corridor Subdistrict of the Old Palm City CRA. This request requires resubmittal.

*Paddock Palm City PUD Major Master Final Site Plan* – This was a request by HJA Design Studio, LLC on behalf of Finland Capital, LLC for approval of a rezoning from RM-8 Medium Density Residential District to a Planned Unit Development (PUD) District, including a PUD Development Agreement and a Master/Final Site Plan for the construction of 53 townhomes, 6 duplex units, and 1 detached single-family dwelling along with associated infrastructure. The site is approximately 8.29 acres and is located on the southeast corner of SW Martin Highway and SW 30<sup>th</sup> Avenue in Palm City. This request requires resubmittal.

*Pentalago Ph 2 Minor Final Site Plan* – This was a request by HJA Design Studio, LLC on behalf of Tight-Line Lakes LLC for approval of a Phase II Final Site Plan for the 42-lot Pentalago development. This project previously received approval for a master site plan and a Phase I final site plan, which contains 26 lots. Phase II is the final phase, containing the remaining 16 lots. The site is located north of I-95, east of Citrus Boulevard in western Palm City.

*Pepperwood Assemblage PUD Zoning Master & Final Site Plan* – This was a request by JAMSZ Properties for approval of a PUD agreement Master Final site plan to develop 43 detached single-family lots. The site is approximately 29.23-acres and consists of three undeveloped parcels located between SE Cove Road and SE Salerno Road, west of Legacy Cove and south of Fern Creek.

*Port Cove PUD* – This was a request by Oksjn Jensen Beach LLC for approval of PUD Zoning through a Planned Unit Development Zoning Agreement. The development includes a Master/Final Site Plan approval for the construction of 29 townhome units on an undeveloped parcel that is approximately 4.85 acres in size. The site is located on the south side of NE Dixie Highway approximately half-a-mile west of the NE Palmer Street Roundabout. This request is currently under a final review.

*Pulte Aquarius PUD* – This was a request by HJA Design Studio, LLC on behalf of Pulte Home Company, LLC for approval of a rezoning from COR-2 to a Planned Unit Development (PUD), along with a PUD zoning agreement and Master/Final Site plan. The development consists of 272 townhomes and associated infrastructure. The site is approximately 35.3 acres and is located at 6325 SE Community Drive in Stuart. This request requires resubmittal.

*Riverside Major Master Site Plan* – This was a request by New Urban Towns, LLC on behalf of Riverside Major Master Site Plan for approval of a mixed-use development consisting of up to 95 multi-family dwelling units and up to 10,710 square feet of commercial and restaurant use. The site is approximately 7.73 acres in size and is located in the Jensen Beach Community Redevelopment Area (CRA). The property is adjacent to NE Indian River Dr, north of NE Church Street, east of Pineapple Ave., and the Indian River Lagoon, as well as a marina.

*Sand Pine Ridge Minor Final Site Plan* – This was a request by Cotleur & Hearing on behalf of Core 4 Homes for minor site plan approval for the development of 56 residential apartment units and the associated infrastructure. The property is approximately 4.27 acres in size and is located in the General Subdistrict of

the Hobe Sound CRA. The undeveloped site is on the NW corner of SE Porter Boulevard and SE Dixie Highway in Hobe Sound.

*Showcase PUD Ph II* – This was a request by Design and Entitlement Consultants, LLC. on behalf of Tamarack Land – Salerno Reserve, LLC. for approval of the Showcase PUD Phase II final site plan. The proposed development consists of 88 two-story townhomes and associated infrastructure on approximately 10.52 of the total 47.12 acres approved for the Showcase PUD Revised Master Site Plan in November 2021. The site is located at 371 SE Cove Road in Stuart.

*Solana PUD (Armellini Ave) PUD Rezoning And Final Site Plan* – This was a request for approval of PUD zoning and Master/Final site plan for the development of 98 townhomes on approximately 11.2 acres of undeveloped property. The site is located between the Florida turnpike and SW Armellini Avenue, approximately a quarter mile north of SW Martin Highway in Palm City. This request has since been withdrawn. This request is currently under a final review.

*Sunset Trail Estates* – This was a request for approval of a minor master site plan for the development of 28 residential lots and associated infrastructure. The site is approximately 11.7 acres in size and located on the north side of Sunset Trail, approximately 600 feet west of SW Mapp Road in Palm City.

*The Cove at Hobe Sound Minor Final Site Plan* – This was a request by McCarty & Associates on behalf of Core 4 Hobe Sound LLC for approval of a minor final site plan to develop 38 townhomes and associated infrastructure, including an internal roadway and alley. The approximately 4.88-acre undeveloped site is located in the multifamily subdistrict of the Hobe Sound CRA on SE Rohl Way, about 150 feet west of SE Dixie Highway.

*The Cove Minor Final Site Plan* – This was a request by Marcela Cambor & Associates on behalf of Dismantle Repair Holdings, LLC. for approval of a minor final site plan. The proposed development consists of 48 multi-family units and associated infrastructure within four three-story apartment buildings. The property is on a 2.31-acre parcel of undeveloped land located between SE Cove Road and SE Lee Street, west of SE Jack Avenue within the Port Salerno CRA. This request requires resubmittal.

*The Martin Apartments Minor Final Site Plan* – This was a request by RBM Mapp LLC for the development of a 24-unit multi-family development on an undeveloped 1.23-acre parcel. The site is located within the Old Palm City CRA in the Core subdistrict, east of SW Mapp Road, north of SW 27<sup>th</sup> Street, and south of SW 28<sup>th</sup> Street. This request requires resubmittal.

*The Preserve at Salerno PUD Zoning Master Final Site Plan* – This was a request by Cuozzo Design Group on behalf of Rare Capital Partners LLC for approval of a zoning change from RM-10, High Density Residential District to Planned Unit Development (PUD), as well as a concurrent master/final site plan to develop 79 townhouse units. The residential component is located on an approximate 8.8-acre undeveloped parcel east of SE Federal Highway at the terminus of SE Hydrangea Street.

*West Jensen PUD 14<sup>th</sup> PUD Amendment Phase 1b Master and Final Site Plan* – This was a request by Lucido & Associates on behalf of Jensen Beach Land Company for approval of the 14<sup>th</sup> amendment to the West Jensen PUD, including a revised Phase 1B Master and parcel 6.4 (previously parcels 6.1-6.5) final site plan. The latter includes the development of 169 residential units and the associated infrastructure on an undeveloped site about 26 acres in size. The site is located on the southeast corner of SE Federal Highway and NW Goldenrod Road. This request is currently under a final review.

## APPENDIX C: POPULATION AND HOUSEHOLD PROJECTIONS

Martin County’s CGMP stipulates in Policy 4.1D.2 that the County must annually produce a Population Technical Bulletin, which is used for planning purposes such as projecting the future needs for housing and public facilities. The Population Technical Bulletin utilizes data from the U.S. Census and the University of Florida Bureau of Economic and Business Research (BEBR) for the State of Florida Office of Economic and Demographic Research (EDR) for population estimates and projections. BEBR medium permanent estimates and projections are used to generate population data for the County itself, its respective municipalities, and for the unincorporated area.

The most recent Population Technical Bulletin, however, was published in 2017. This precludes the replication of certain portions of the 2018 analysis, as not all the data and sources used in the Population Technical Bulletin are available. To reconcile these gaps and deficiencies, datasets and methodologies were developed in an effort to mirror those last used in the 2017 Population Technical Bulletin (hitherto referred to as the “2017 Bulletin”). Below is a detailed outline of the steps taken for the various calculations needed to conduct the relevant analyses.

### Preliminary Population Data Collection

We collected this data from the U.S. Census, the American Community Survey (ACS), and BEBR. We also collected BEBR’s medium permanent estimates of population projections for Martin County for 2023 to 2045. To generate estimates for each of the County’s municipalities, capture-based methods were utilized. **Table C1** displays total population estimates that we collected for Martin County and its respective jurisdictions.

**Table C1. Historical Population in Martin County (2010-2022)**

	INDIANTOWN <sup>(1)</sup>	JUPITER ISLAND	OCEAN BREEZE	SEWALL’S POINT	STUART	UNINCORPORATED	TOTAL COUNTY
2010 <sup>(2)</sup>	-	817	355	1,996	15,593	127,557	146,318
2011	-	504	392	1,882	15,644	128,311	146,733
2012	-	523	332	1,906	15,653	128,840	147,254
2013	-	816	301	2,013	15,814	129,133	148,077
2014	-	816	95	1,998	15,972	129,704	148,545
2015	-	810	95	2,000	16,110	131,047	150,062
2016	-	812	100	2,026	16,148	131,784	150,870
2017	-	809	134	2,044	16,183	133,852	153,022
2018	6,707	826	163	2,078	16,425	129,357	155,556
2019	6,728	829	303	2,090	16,504	132,144	158,598
2020 <sup>(2)</sup>	6,560	804	301	1,991	17,425	131,350	158,431
2021	6,633	879	292	1,984	17,269	131,996	159,053
2022 <sup>(3)</sup>	6,679	884	287	1,983	17,417	132,913	160,163

Sources: U.S. Census Bureau and University of Florida, Bureau of Economic and Business Research, 2011-2022; GAI Consultants. Note: (1) Indiantown was incorporated on December 31, 2017. (2) Reflects data from the Decennial Census. (3) 2022 Reflects estimates.

### Historical Population Growth Trends

Total population in Martin County has grown at a Compound Annual Growth Rate (CAGR) of 0.70% since 2010. The largest shares of that growth have taken place in Stuart and in Unincorporated Martin County, which together have combined for over 90% of the change in the County’s population in 2021 and 2022. While the County overall has experienced growth, however, population has slightly decreased in Indiantown and Jupiter Island but remained relatively constant in Sewall’s Point.

Martin County’s population growth compared to that of its surrounding counties is also informative, and this information is displayed in **Table C2**. Palm Beach County, which is the largest of all counties observed, grew at a CAGR of 1.06% over the past 13 years. St. Lucie County grew at the most rapid rate with a CAGR

of 1.79% over the same period. Okeechobee County, which is the smallest of the group, grew at a CAGR of 0.26% since 2010. Once again, Martin County’s population grew at a CAGR of 0.70%, which is obviously a slower rate than those of Palm Beach and St. Lucie Counties but a faster rate than that of Okeechobee.

**Table C2. Historical Population in Surrounding Counties (2010-2022)**

	MARTIN COUNTY	PALM BEACH COUNTY	ST. LUCIE COUNTY	OKEECHOBEE COUNTY
2010	146,318	1,320,134	277,789	39,996
2011	146,733	1,309,401	274,693	39,978
2012	147,254	1,324,085	278,246	39,779
2013	148,077	1,339,221	281,015	39,642
2014	148,545	1,359,074	283,988	39,398
2015	150,062	1,378,806	288,006	39,255
2016	150,870	1,398,757	293,136	39,420
2017	153,022	1,426,772	298,763	40,228
2018	155,556	1,446,277	305,591	40,572
2019	158,598	1,465,027	312,947	41,144
2020	158,431	1,492,191	329,226	39,644
2021	159,053	1,497,987	343,579	41,254
2022 <sup>(1)</sup>	160,163	1,513,848	349,719	41,361

Sources: U.S. Census Bureau and University of Florida, Bureau of Economic and Business Research, 2011-2022; GAI Consultants. Note: (1) 2022 Reflect estimates.

### Population Projections

To calculate our population projection estimates, we began by collecting BEBR’s medium permanent estimates of population projections for Martin County between 2023 and 2045. To generate estimates for each of the County’s municipalities, we took an average of two projections that both utilized capture-based methods. The first capture-based method used the average capture of the overall County population over the course of the period for which we collected total population counts (i.e., 2010-2021, with estimates calculated for 2022). We applied this average capture of each municipality’s population to the BEBR medium permanent estimates of population projections for Martin County overall to generate population projection estimates for each municipality.

The second capture-based method involved finding the change in total population counts for the County and each municipality between 2010 and 2022, calculating each jurisdiction’s capture of the County’s population change for each of those years, finding the average capture of change for each municipality over the past ten years, and then applying that average capture of change to the overall change in population as projected by BEBR from 2023 to 2045. For example, BEBR projected Martin County’s total population to increase from 161,176 in 2023 to 162,725 in 2024, so the overall change in population for 2024 was 1,549. Ocean Breeze was estimated to capture 0.3% of the change in Martin County’s overall population over the past ten years, so to estimate a projection for Ocean Breeze’s change in population between 2023 and 2024, we multiply 0.3% by 1,549 to derive a change in population of 4. Once we obtained similar estimates for all applicable jurisdiction-year combinations, we then added the projected future year-by-year change in population to each jurisdiction’s most recent population estimate. For example, Indiantown’s 2022 total population count estimate was 6,679. Using the aforementioned method, we projected Indiantown’s change in population between 2022 and 2023 to equal 56. Thus, we add 56 to our 2022 estimate of 6,679 to derive a 2023 population projection of 6,735 for Indiantown.

Finally, as mentioned before, we averaged these two capture-based projections to derive our final population projection estimates for each jurisdiction. From this point forward, we will refer to these final population projection estimates as “our projections”. We display our final population projection estimates in **Table C3**.

**Table C3. Population Projections Martin County (2023-2036)**

	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED	TOTAL COUNTY
<b>2023</b>	6,758	898	282	2,032	17,397	133,808	<b>161,176</b>
<b>2024</b>	6,833	943	285	2,057	17,533	135,073	<b>162,725</b>
<b>2025</b>	6,910	988	288	2,082	17,671	136,351	<b>164,290</b>
<b>2026</b>	6,977	1,028	291	2,104	17,792	137,476	<b>165,668</b>
<b>2027</b>	7,034	1,062	294	2,123	17,896	138,438	<b>166,847</b>
<b>2028</b>	7,085	1,091	296	2,140	17,987	139,282	<b>167,881</b>
<b>2029</b>	7,130	1,119	298	2,155	18,070	140,053	<b>168,825</b>
<b>2030</b>	7,175	1,145	300	2,170	18,149	140,793	<b>169,731</b>
<b>2031</b>	7,219	1,171	302	2,184	18,230	141,538	<b>170,644</b>
<b>2032</b>	7,264	1,197	304	2,199	18,310	142,287	<b>171,561</b>
<b>2033</b>	7,308	1,223	306	2,214	18,390	143,026	<b>172,467</b>
<b>2034</b>	7,351	1,249	308	2,228	18,468	143,755	<b>173,359</b>
<b>2035</b>	7,393	1,274	310	2,242	18,544	144,462	<b>174,226</b>
<b>2036</b>	7,434	1,298	311	2,255	18,617	145,139	<b>175,055</b>

Sources: U.S. Census Bureau and University of Florida, Bureau of Economic and Business Research, 2011-2022; GAI Consultants.

The County's overall population is expected to grow by 3.4% in the 5-year period of 2022 to 2026, 6.5% in the 10-year period of 2022-2031, and 9.3% in the 15-year period of 2022-2036. If we focus on the two largest concentrations of both population and growth, we can project that Stuart will grow by 2.2% in the 5-year period, 4.7% in the 10-year period, and 6.9% in the 15-year period. Unincorporated Martin County is predicted to grow by 3.4% in the 5-year period, 6.5% in the 10-year period, and 9.2% in the 15-year period. Over the same 15-year period, Stuart is expected to grow at a CAGR of 0.45%, Unincorporated Martin County is expected to grow at a CAGR of 0.59%, and the County overall is expected to also grow at a CAGR of 0.59%. Clearly, Unincorporated Martin County projects to continue representing the highest share of both population and growth of all areas within the County as a whole.

### Household Projections

Multiplying our 2022 household estimates by our calculations of the 12-year CAGR for Martin County and each of its jurisdictions, we calculated a projection for the number of households in 2023 for Martin County and each of its jurisdictions. We then multiplied our 2023 projections by the same 12-year CAGR to obtain projections for 2024 and continued this process until we calculated projections through 2036. Our results are displayed in **Table C4**. For the County as a whole, we project that the overall household count will grow by 3.7% in the 5-year period of 2022 to 2026, 8.6% in the 10-year period of 2022-2031, and 13.7% in the 15-year period of 2022-2036. If we focus on only the two largest concentrations of both population and growth within the County, we can project that Stuart will grow by 0.6% in the 5-year period, 5.4% in the 10-year period, and 10.3% in the 15-year period. Unincorporated Martin County is predicted to grow by 4.4% in the 5-year period, 9.3% in the 10-year period, and 14.5% in the 15-year period. Over the same 15-year period, Stuart is expected to grow at a CAGR of 0.66%, Unincorporated Martin County is expected to grow at a CAGR of 0.90%, and the County overall is expected to also grow at a CAGR of 0.86%. Clearly, Unincorporated Martin County projects to continue representing the highest share of households across all areas within the County.

**Table C4. Household Projections in Martin County (2023-2036)**

	<b>TOTAL COUNTY</b>	<b>INDIANTOWN</b>	<b>JUPITER ISLAND</b>	<b>OCEAN BREEZE</b>	<b>SEWALL'S POINT</b>	<b>STUART</b>	<b>UNINCORPORATED</b>
<b>2023</b>	<b>67,335</b>	1,926	348	138	926	7,662	56,334
<b>2024</b>	<b>67,957</b>	1,944	351	139	935	7,733	56,854
<b>2025</b>	<b>68,584</b>	1,962	355	140	943	7,805	57,380
<b>2026</b>	<b>69,218</b>	1,980	358	142	952	7,877	57,909
<b>2027</b>	<b>69,857</b>	1,998	361	143	961	7,949	58,444
<b>2028</b>	<b>70,502</b>	2,017	365	144	970	8,023	58,984
<b>2029</b>	<b>71,153</b>	2,035	368	146	979	8,097	59,529
<b>2030</b>	<b>71,810</b>	2,054	371	147	988	8,172	60,079
<b>2031</b>	<b>72,474</b>	2,073	375	148	997	8,247	60,633
<b>2032</b>	<b>73,143</b>	2,092	378	150	1,006	8,323	61,193
<b>2033</b>	<b>73,818</b>	2,112	382	151	1,015	8,400	61,759
<b>2034</b>	<b>74,500</b>	2,131	385	152	1,025	8,478	62,329
<b>2035</b>	<b>75,188</b>	2,151	389	154	1,034	8,556	62,905
<b>2036</b>	<b>75,883</b>	2,171	392	155	1,044	8,635	63,486

Sources: U.S. Census Bureau and University of Florida, Bureau of Economic and Business Research, 2011-2022; GAI Consultants.

## APPENDIX D: EMPLOYMENT TRENDS

### Historical Employment Growth Trends

**Table D1** displays total employment data sourced from the Longitudinal Employer-Household Dynamics (LEHD) program which is part of the Center for Economic Studies at the U.S. Census Bureau. Total employment in Martin County has grown at a CAGR of 2.5% between 2002 and 2019. As with population, the largest shares of that growth have taken place in Stuart and in Unincorporated Martin County, with Indiantown and Jupiter Island experiencing slight declines in their total employment counts over the same period. Ocean Breeze has seen significant growth in employment, with a CAGR of 9.3%. Sewall's Point's employment has remained relatively constant, which similarly corresponds to its population trends.

**Table D1. Historical Employment in Martin County (2002-2019)**

	INDIANTOWN	JUPITER ISLAND	OCEAN BREEZE	SEWALL'S POINT	STUART	UNINCORPORATED	TOTAL COUNTY
2002	1,053	558	81	340	19,248	25,412	46,692
2003	949	469	168	340	22,625	25,853	50,404
2004	906	447	136	370	23,112	26,610	51,581
2005	839	441	135	411	25,118	29,406	56,350
2006	806	430	158	421	24,943	29,324	56,082
2007	1,105	536	177	487	26,851	30,381	59,537
2008	1,065	536	165	411	25,351	27,242	54,770
2009	917	578	72	378	22,834	25,824	50,603
2010	2,233	574	66	376	23,251	25,088	51,588
2011	1,630	548	137	334	25,199	27,691	55,539
2012	1,117	545	107	293	24,662	27,706	54,430
2013	1,070	550	111	281	24,426	28,744	55,182
2014	1,005	542	134	284	25,435	30,929	58,329
2015	1,015	617	180	289	27,357	32,672	62,130
2016	1,040	497	215	346	28,595	35,886	66,579
2017	912	520	215	324	28,741	36,034	66,746
2018	917	529	254	295	29,334	38,922	70,251
2019	1,033	521	400	349	29,793	40,464	72,560

Source: Longitude Employment Statistics OnTheMap Application; GAI Consultants.

Inflow/outflow data is displayed in **Table D2**, revealing that the share of people employed in the County but living elsewhere has increased at a CAGR of 3.9% between 2002 and 2019. 65.1% of Martin County's employees live outside the County itself as of 2019, and this share has grown at a CAGR of 1.4% since 2002. Also notable is the finding that the number of people living in the County but employed outside has increased at a CAGR of 2.1%. Although this segment of people has not grown as rapidly as those employed in the County but living elsewhere, it remains a driver of population growth within the County. The number of people living and employed within the County has also increased at a CAGR of 0.5% which is a slower rate of growth compared to the other two categories.

**Table D2. Inflow and Outflow in Martin County (2002-2019)**

	LIVING IN COUNTY, EMPLOYED ELSEWHERE	EMPLOYED IN COUNTY, LIVE ELSEWHERE	LIVING AND EMPLOYED IN COUNTY	% OF COUNTY'S EMPLOYEES LIVING ELSEWHERE
2002	24,947	23,626	23,066	50.6%
2003	26,593	26,543	23,861	52.7%
2004	26,615	26,903	24,678	52.2%
2005	29,428	30,370	25,980	53.9%
2006	32,240	29,590	26,492	52.8%
2007	31,027	34,293	25,244	57.6%
2008	31,099	32,539	22,231	59.4%
2009	30,510	29,958	20,645	59.2%
2010	30,375	30,287	21,301	58.7%
2011	29,987	33,749	21,790	60.8%
2012	30,234	32,782	21,648	60.2%
2013	31,637	32,978	22,204	59.8%
2014	32,821	35,534	22,795	60.9%
2015	32,723	38,050	24,080	61.2%
2016	34,360	41,714	24,865	62.7%
2017	36,220	42,331	24,415	63.4%
2018	36,080	44,880	25,371	63.9%
2019	36,067	47,213	25,347	65.1%

Source: Longitude Employment Statistics OnTheMap Application; GAI Consultants.

The inflow/outflow data for Martin County reveals trends regarding the relationship between employment and population growth on one hand and housing supply on the other. The number of people living and employed within Martin County has not grown nearly as much as the number of people employed in the County but living elsewhere, which is an important consideration when calculating housing demand.

Comparing Martin County's employment growth to that of its surrounding counties in **Table D3**, Palm Beach County grew at a CAGR of 1.23% over the past 13 years, whereas St. Lucie grew at a CAGR of 0.74% and Okeechobee shrunk at a CAGR of -4.28%. Martin County, with a CAGR of 1.84%, grew at the highest rate of all neighboring counties.

**Table D3. Historical Employment in Surrounding Counties (2010-2019)**

	MARTIN COUNTY	PALM BEACH COUNTY	ST. LUCIE COUNTY	OKEECHOBEE COUNTY
2010	51,588	485,188	62,449	11,776
2011	55,539	518,196	68,032	10,059
2012	54,430	511,091	67,472	10,356
2013	55,182	530,840	67,686	10,091
2014	58,329	549,866	68,403	10,018
2015	62,130	576,637	71,715	10,762
2016	66,579	599,846	74,083	11,069
2017	66,746	607,959	75,179	12,084
2018	70,251	616,371	76,935	11,203
2019	72,560	624,031	80,381	11,337

Source: Longitude Employment Statistics OnTheMap Application; GAI Consultants.

As shown in **Table D4**, In Martin County, there were about 353 employees per thousand people in 2010 and 458 employees per thousand people in 2019. This indicates that over that 10-year period, Martin County experienced a CAGR of 2.64%. This figure is markedly higher than those of the surrounding counties (i.e., Palm Beach CAGR: 1.49%; St. Lucie CAGR: 1.34%; Okeechobee CAGR: -0.74%).

**Table D4. Employment Per Thousand Population in Surrounding Counties (2010-2019)**

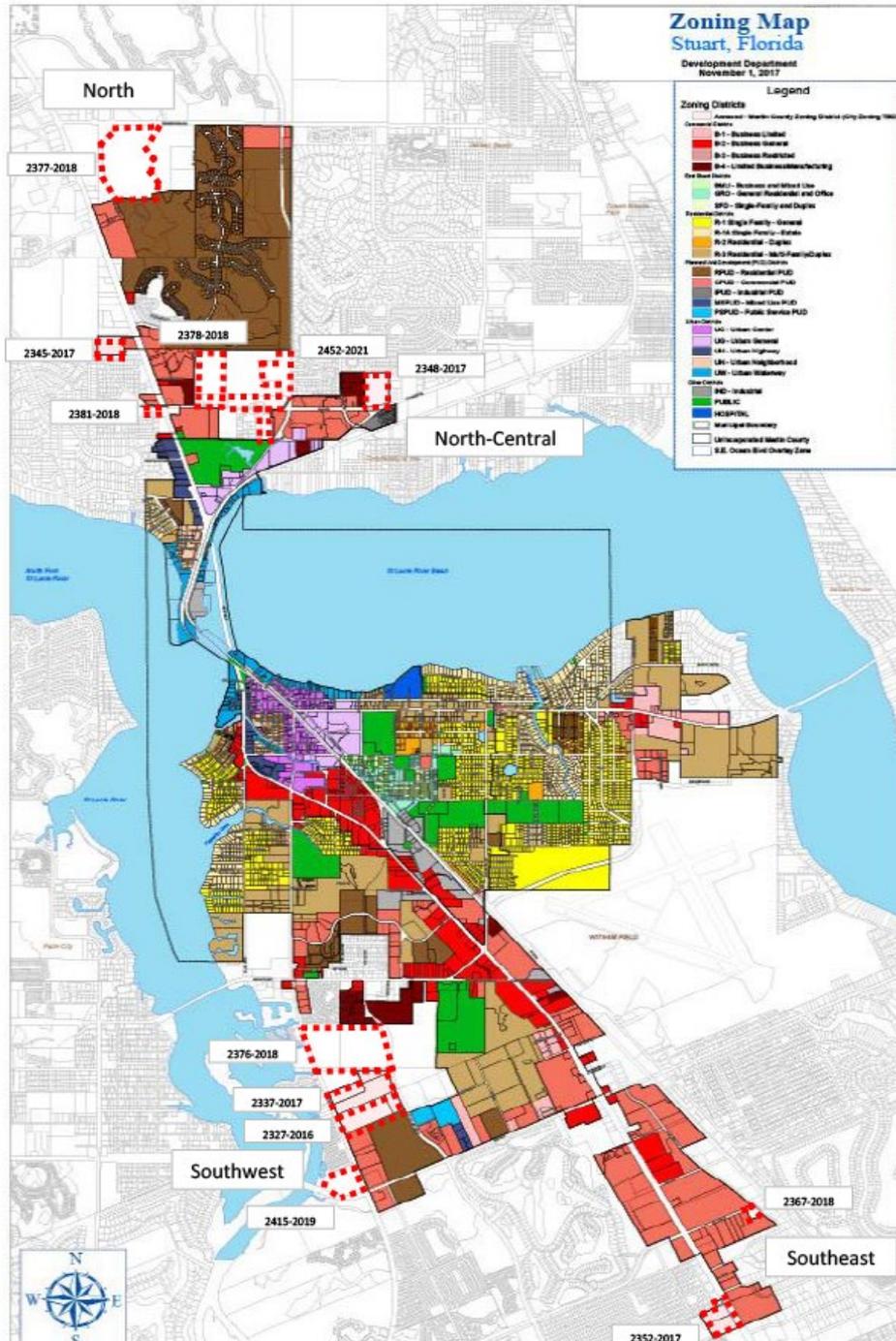
	MARTIN COUNTY	PALM BEACH COUNTY	ST. LUCIE COUNTY	OKEECHOBEE COUNTY
<b>2010</b>	353	368	225	296
<b>2011</b>	379	396	248	254
<b>2012</b>	370	386	242	263
<b>2013</b>	373	396	241	257
<b>2014</b>	393	405	241	254
<b>2015</b>	414	418	249	268
<b>2016</b>	441	429	253	273
<b>2017</b>	436	426	252	294
<b>2018</b>	452	426	252	283
<b>2019</b>	458	426	257	275

Source: Longitude Employment Statistics OnTheMap Application; GAI Consultants.

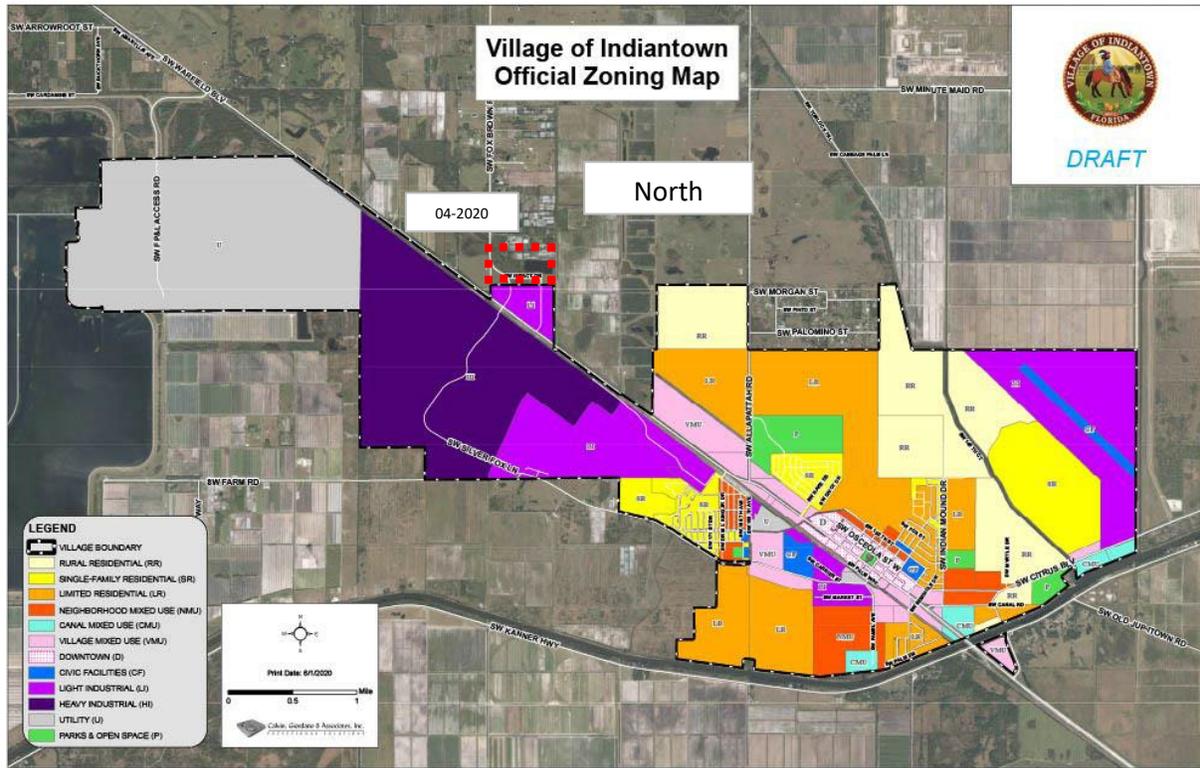
## APPENDIX E: ANNEXATION ACTIVITY

To further determine where concentrations of growth have been occurring more recently, **Figure 1** maps the location of all annexations that have taken place across Martin County over the past 10 years. As shown in **Figure 1**, these annexations almost exclusively occurred in Stuart. **Figure 1** displays the 12 annexations that have occurred in Stuart over this period, and **Figure 2** displays Indiantown's only annexation since its incorporation in 2017.

**Figure 1. Recent Annexations in Stuart, FL**



**Figure 2. Recent Annexations in Indiantown, FL**



Source: Village of Indiantown Zoning Map, Martin County Agenda Items database, GAI Consultants

Looking closer at **Figure 1**, we can see that much of the annexation has occurred in the Southwest and North-Central regions that were formulated for the purposes of this exercise. Put more simply, annexations are mostly occurring around the edges of the northern and southern boundary limits of the City of Stuart. Each of Stuart’s annexations are located within the PUSD. Indiantown’s only annexation, displayed in **Figure 2**, was comprised of 57.72 acres and was on the North end of their municipal boundary, bordering the PUSD. **Table E1** details all annexations that have occurred in Martin County’s incorporated places over the past 10 years.

**Table E1. Annexations in Martin County**

MUNICIPALITY	ORDINANCE NUMBER	ACRES
Stuart	2327-2016	24.37
Stuart	2337-2017	29.16
Stuart	2345-2017	9.45
Stuart	2348-2017	14.86
Stuart	2352-2017	13.57
Stuart	2367-2018	1.87
Stuart	2376-2018	65.23
Stuart	2377-2018	65.79
Stuart	2378-2018	26.61
Stuart	2381-2018	0.80
Stuart	2415-2019	15.79
Stuart	2452-2021	42.46
Indiantown	04-2020	57.72

Source: Martin County Agenda Items database; Martin County Property Appraiser; GAI Consultants.

Prepared By:



618 E. South Street Suite 700  
Orlando, FL 32801  
T 407.423.8398  
F 407.843.1070

[gaiconsultants.com/communitysolutions](http://gaiconsultants.com/communitysolutions)

## **Supporting Analysis for Proposed Text Amendment and Determination of Consistency with Applicable Statutory Requirements**

Martin County's Comprehensive Plan prescribes a particular methodology (Section 1.7 and Policies 4.1D.2-4.1D.7), including specific data and analysis requirements, for projecting housing demand and determining the residential capacity or potential supply of housing units based on the adopted future land use map designations. Generally referred to as a *needs assessment*, the purpose of the methodology is to determine whether a comprehensive plan amendment is needed to expand the Primary or Secondary Urban Service Districts to accommodate future population growth.

The following analysis supports the need for a text amendment to the Martin County Comprehensive Plan to ensure that Martin County's evaluation of proposed comprehensive plan amendments to increase residential supply is consistent with applicable statutory requirements. Please refer to the Proposed Text Amendment Concept on the final page of this analysis, which describes in concept the scope of a Proposed Text Amendment. The applicant proposes to work with staff to further develop those concepts and draft a strike-through/underline amendment to fully implement the requirements of Section 163.3177, F.S. As further explained, the current methodology specified in the Martin County Comprehensive Plan is not consistent with statutory requirements regarding how comprehensive plan amendments must be evaluated, including the following requirements:

- 1) Section 163.3177(1) – The plan shall establish meaningful and predictable standards for the use of land and development. Martin County's policies (Section 1.7 and Policies 4.1D.2-4.1D.7) regarding the evaluation of land use to accommodate growth do not address or otherwise conflict with the statutory requirements cited below.
- 2) 163.3177(1)(f) – Plan amendments shall be based upon relevant and appropriate data available at the time of plan amendment adoption. Martin County's policies preempt use of such data.
- 3) Section 163.3177(1)(f)(2) - Local governments may not require a particular methodology to the exclusion of other professionally accepted methodologies. Martin County's policies prescribe a particular methodology and do not allow for consideration of alternative, professionally acceptable methodologies.
- 4) Section 163.3177(6)(a)2 – Plan amendments shall be based on surveys, studies and data, including the amount of land required to accommodate anticipated growth, taking into account considerations related to the character of undeveloped land, need for redevelopment, economic considerations (job creation, capital investment and economic diversification), and the need to modify antiquated land use patterns. Martin County's policies and prescriptive methodology do not account for these considerations and preempt the ability to consider such data.
- 5) Section 163.3177(6)(a)4 – The amount of land designated for planned uses shall provide a balance of uses that foster vibrant, viable communities and economic development

opportunities, address outdated development patterns, such as antiquated subdivisions, and should allow for the operation of the real estate market. Martin County's policies and prescriptive methodology do not account for these considerations and preempt the ability to consider relevant data pertaining to these requirements.

- 6) Section 163.3177(6)(a)8.c – Future land use map amendments shall be based on an analysis of the minimum amount of land needed to achieve the above requirements.

The Martin County Comprehensive Plan should be amended to allow for professionally accepted methodologies for collecting and analyzing data rather than maintaining the current policies that are prescriptive, preempt the ability to collect and analyze data available at the time of adoption of plan amendments and that do not implement the statutory requirements established by the Community Planning Act. Martin County is unique in mandating a particular methodology and limiting the scope of data and related analysis that may be undertaken in support of a Comprehensive Plan amendment. We have not identified any other local government in Florida that mandates a specific methodology in the Comprehensive Plan for a needs assessment or that preempts consideration of best available data. Rather, local governments typically provide principles to guide the evaluation based on statutory requirements. Martin County's prescriptive approach as well as particular requirements of its methodology contravene the statutory requirements listed above as further explained in the following, more detailed analysis:

- 1) **Section 163.3177(1)(f)2, F.S.**, states in part:

“The application of a methodology utilized in data collection or whether a particular methodology is professionally accepted may be evaluated. However, the evaluation **may not include whether one accepted methodology is better than another.**” (emphasis added)

This important statutory requirement recognizes that Comprehensive Plan amendments may be supported by more than one methodology, that the Comprehensive Plan should not require the use of one methodology to the exclusion of other methodologies and that local governments should not limit the scope of data and supporting analysis through limitations embedded in a particular methodology in determining whether a Comprehensive Plan amendment is warranted. Sections 1.7 and 4.1D.2-4.1D.7 of the Martin County Comprehensive Plan require a particular methodology and inappropriately preempt consideration of data available at the time of future plan amendments. Martin County acknowledged this problem to a point in 2017 when it adopted amendments to its methodology due to staff concerns that the methodology at that time did not clearly allow for consideration of American Community Survey data. However, the Comprehensive Plan still mandates a prescriptive methodology and dictates use of certain data to the exclusion of other professionally accepted methodologies and other available data, including data that may be generated during the review of a proposed Comprehensive Plan amendment. It also fails to consider all required statutory factors in determining housing demand and housing supply.

2) In regard to data and supporting analysis, Section 163.3177(1)(f) states in part:

“...plan amendments shall be based upon **relevant and appropriate data and an analysis** by the local government that may include, **but not be limited to**, surveys, studies, community goals and vision, and **other data available at the time of adoption of the comprehensive plan or plan amendment**. To be based on data means to **react to it in an appropriate way and to the extent necessary indicated by the data** available on that particular subject **at the time of adoption of the plan or plan amendment at issue.**” (emphasis added)

This provision requires that local governments consider all relevant data available at the time of plan amendment adoption, that the analysis evaluate the data to determine its relevancy in relation to the subject or issue addressed by the proposed plan amendment and that the plan amendment react appropriately based on the data and supporting analysis. The Comprehensive Plan preempts the ability to consider all relevant data at the time of plan amendment adoption. For example, Section 1.7.C(4) mandates that all vacant housing exceeding a 3% vacancy rate must be counted as available supply. The 3% vacancy threshold is based on recommendations from a 2004 publication<sup>1</sup> that was generalized in nature and did not consider data applicable to Martin County. This mandated policy requirement is not based on relevant and appropriate data that should be considered at the time of future plan amendment adoption, preempts the ability to consider whether 3% is appropriate at the time of future plan amendment adoption, and preempts the ability to consider other data, such as vacancy by type, at the time of future plan amendment adoption.

The prescribed methodology also makes a simplifying assumption that the percentage increase in future housing demand will be equal to the percentage increase in future permanent population over a given projection period. Hence, it projects future permanent housing units for a future year by multiplying existing housing units by the projected percentage increase permanent population over the projection period. It is unnecessary and inappropriate to assume that housing and the permanent population will increase by the same percentage. By requiring this assumption, the methodology does not allow for the use of available data at the time of plan amendment adoption to calculate actual housing growth rates and to consider other related variables, such as persons per household.

3) Section 163.3177(6)(a)8.c, F.S., further addresses analysis requirements for proposed future land use map amendments. It states:

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<sup>1</sup> The 2013 Residential Capacity and Vacant Land Analysis, dated August 2013, cites Planner’s Estimating Guide, Projected Land-Use and Facility Needs, pages 24-25, Arthur C. Nelson, FAICP, 2004.

8. Future Land use map amendments shall be based upon the following analyses:

c. An analysis of the minimum amount of land needed to achieve the goals and requirements of this section. [i.e., Section 163.3177]

This should be the starting point for evaluating proposed future land use amendments, including the analysis requirements for determining the allocation of land uses, densities and intensities to accommodate future growth in the community. In this respect, the statute calls for a holistic approach in determining community needs, taking into account more than just projected population. In addition to the data and analysis requirements specified above, this provision is further implemented by Sections 163.3177(6)(a)4 and 163.3177(6)(a)2, which address the scope of issues that must be evaluated in considering future land use map amendments in response to community needs.

4) Section 163.3177(6)(a)4, F.S., states in part:

The amount of land designated for future planned uses shall provide a balance of uses that foster vibrant, viable communities and economic development opportunities and address outdated development patterns, such as antiquated subdivisions. The amount of land designated for future land uses should allow the operation of real estate markets to provide adequate choices for permanent and seasonal residents and business and **may not be limited solely by the projected population.**" (emphasis added)

This provision makes clear that the amount of land designated for future land uses should take into account how the real estate market operates in providing adequate housing choices and non-residential business opportunities. This is particularly applicable in considering the differences in the real estate market by sub-area within the County. The County's policies distinguish between the Indiantown area and the balance of the unincorporated area. However, the County's prescribed methodology does not allow for further evaluation of subareas within the balance of the unincorporated area. For example, the demand and supply for development within the CRA differ from suburban locations. In addition, the methodology does not account for demand and supply for different types of dwelling units and for varying price points or by tenure to distinguish between owned and rented dwelling units. Rather, the methodology aggregates all types of permanent dwelling units for the purpose of determining available supply. Similarly, the methodology does not consider fundamental differences in development form that impact the marketability of developments. For example, in calculating demand and supply, the methodology does not make any distinction between the market demand and potential supply for high density, urban infill locations/development form as compared to larger scale, greenfield suburban locations conducive for lower density, single family subdivisions. Similarly, the methodology does not make any distinction between market demand for new urbanism/TND type developments and conventional suburban development form. All of these distinctions are important in considering how the real estate market responds to demand for different types and

forms of development. The County methodology essentially takes a *one size fits all* approach that is not consistent with the overall intent and specific requirements of the statute.

- 5) Section 163.3177(6)(a)2, F.S., furthers the direction provided above by specifying that the supporting analysis for plan amendments must take into account various factors that relate to the operation of the real estate market. It states:

The future land use plan and plan amendments shall be based on surveys, studies, and data regarding the area, as applicable, including (relevant cites from paragraph 2):

- a. The amount of land required to accommodate anticipated growth.
- b. The projected permanent and seasonal population of the area.
- c. The character of undeveloped land.
- e. The need for redevelopment, including the renewal of blighted areas and the elimination of nonconforming uses which are inconsistent with the character of the community.
- i. The need for job creation, capital investment, and economic development that will strengthen and diversify the community's economy.
- j. The need to modify land uses and development patterns within antiquated subdivisions.

Section 1.7 mandates a prescriptive methodology that limits consideration of proposed comprehensive plan amendments based on whether projected housing supply in the unincorporated area would exceed projected housing demand based solely on the 10-year population projection without consideration for how the above factors impact housing demand and potential supply. While the Comprehensive Plan must be based on projected population, it must also account for each of the factors listed above and other considerations that may become evident in analyzing the operation of the real estate market at the time of plan amendment adoption.

**Character of Undeveloped Land and Assumption of Maximum Density.** The character of undeveloped land is an important consideration in determining the potential supply. This requirement must also be considered in relation to Section 163.3177(1), F.S., which requires that the Comprehensive Plan provide meaningful and predictable standards and guidelines for more detailed land development regulations. The Comprehensive Plan and implementing land development regulations specify development standards that ultimately impact the extent to which land is developed in Martin County. These requirements include density and intensity limitations, land use compatibility, stormwater management, open space, buffers, streets/driveways, parking, concurrency, and environmental limitations such as wetlands, floodplains and upland habitats. The real estate market responds to these requirements by typically not developing to the maximum allowable density and intensity. The Comprehensive

Plan makes clear that it may not be possible to achieve maximum density and intensity, and development trends document that Martin County is developing well below maximum thresholds due to the operation of the real estate market in responding to policy/regulatory development constraints. Taking these limitations into account, the amount of acreage included in the Primary Urban Service Area and Secondary Urban Service Area to accommodate future growth should be based on the established trend in regard to the percentage of maximum density and intensity achieved rather than the maximum density or intensity specified for each land use category. The analysis of supply should not be a theoretical exercise, but rather a reasonable forecast of anticipated density and intensity based on actual trends documented by data available at the time of plan adoption.

Section 1.7.C(1) requires that the supply or capacity of lands must be based on the maximum density and intensity allowed by the future land use categories without regard for how the real estate market responds to development constraints. The only adjustment applies to wetlands whereby Section 1.7.C(1) requires 50% of the density standards to be utilized within wetlands. However, Objective 9.1.G of the Conservation Element provides extensive regulations prohibiting development within wetlands with limited exceptions. While these policies allow for the transfer of 50% of the density from wetland areas, the ability to utilize the transferred density within uplands is limited by other development standards set forth in the wetland protection policies. Rather than assuming that 50% of wetland density should be included in the supply calculation, the trend should be utilized by documenting the actual percentage of wetland density utilized on uplands. Section 1.7 assumes unrealistic development potential when considering the operation of the real estate market in responding to the County's policy and regulatory development standards. This same concern applies for development within Mixed Use Overlays or any category that permits mixed use. The assumption of maximum density preempts the ability to calculate the actual percentage of maximum density achieved over the past 15 year period preceding a proposed future land use map amendment. This is another example of the County's methodology not allowing for the use of available data at the time of plan amendment adoption.

**Antiquated Subdivisions.** The same concern applies in calculating supply within established subdivisions. Section 1.7.C(2) requires all vacant lots to be counted in calculating supply. However, this requirement ignores the operation of the real estate market and fails to account for the actual absorption rate occurring within established subdivisions. This is particularly concerning for older, antiquated subdivisions that are developing at a slow rate of absorption. By assuming unrealistic development potential within the projection period, the County's policy impedes the operation of the real estate market by constraining the ability to develop new residential projects that respond to market preferences. In effect, the County's policy limits the choices available in the marketplace in contravention to Sections 163.3177(6)(a)4 and 163.3177(6)(a)2.j. The County's methodology overstates the actual supply achieved by these subdivisions within a 15 year period and is based on the unrealistic assumption that every single subdivision in Martin County will build out within 15 years, which would have already occurred for subdivisions established more than 15 years ago if the County's assumption were accurate.

This faulty assumption preempts the ability to calculate the actual rate of absorption over the past 15 year period preceding a proposed future land use map amendment. This is another example of the County's methodology not allowing for the use of available data at the time of plan amendment adoption.

**Job Creation, Economic Diversification and Capital Investment.** The County's methodology should also consider the spatial relationship of residential and non-residential uses in evaluating future land use amendments. Residential use provides labor supply to support non-residential development, and proximity achieves various advantages identified in the Comprehensive Plan, including discouragement of urban sprawl, reduction in trip length and promoting multimodal mobility options. It is also important to recognize that housing choices and relative prices points relate to the occupation/skills of workers residing in those homes. This is another spatial consideration that warrants further evaluation. In addition, the methodology in calculating demand rates and supply should allow for the evaluation of development patterns to determine whether significant differences occur in marketing and developing mixed use areas as compared to more isolated single family subdivisions. This is another distinction where it may be appropriate to distinguish subareas of the County to the extent that demand and supply vary in comparing areas with a balance or mix of uses as compared to areas developed with residential at significant distances from non-residential uses.

#### **Scope of Proposed Text Amendment**

The preceding analysis supports the need for a comprehensive plan amendment to amend Policy 1.7 and Policies 4.1D.2-4.1D.7 to accomplish the following objectives to achieve consistency with statutory requirements:

- 1) Avoid a prescriptive methodology and allow for consideration of alternative methodologies that are professionally accepted;
- 2) Avoid preempting consideration of data available at the time of plan amendment adoption;
- 3) Avoid adoption of specific data requirements, such as the 3% vacancy allowance, as part of a methodology;
- 4) Avoid assumptions that are not consistent with actual development trends, such as assuming that housing demand increases by the same percentage as population demand, requiring maximum development in calculating supply and assuming buildout of subdivisions within 15 years; and
- 5) Allow for methodologies that account for the operation of the real estate market and account for differences in demand and supply based on unit type, relative affordability, development form, location/subarea characteristics and other variables affecting demand rates and realized supply. This is particularly important, considering the long term development anticipated for the buildout of the 4,200 dwelling units approved for the Pineland Prairie development, which is planned as a traditional neighborhood development. As such, it will cater to a different market segment as compared to

conventional, single-family subdivisions. Based on the significant difference in development form, it would be appropriate to segment this type of development form in recognition that it will provide supply for only a segment of the population demand. In addition, the scale of the development requires phasing, which should be further evaluated to consider an appropriate absorption rate. It would not be consistent with Section 163.3177, F.S., to assume that the supply from Pineland Prairie would serve the same market segment as conventional, single family subdivisions. The applicant proposes to work with staff to develop an appropriate methodology for segmenting the market analysis and to calculate an absorption rate that reflects the phasing and other prerequisite conditions that will impact the supply that will be realized over the next 15 year period.

In addition, Martin County should reconsider its approach in reserving a portion of capacity for the agricultural area based on the percentage of Certificates of Occupancy issued for the unincorporated area outside of the urban service districts. This approach encourages subdivisions at one unit per five acres, which is an inherently inefficient land use pattern. It would be preferable to allocate all supply to the urban service districts and to regulate development within agricultural areas separately without limiting the ability of the urban service area to accommodate projected demand for urban development.

**Proposed Text Amendment Concept:**

Amend Section 1.7 and Policies 4.1D.2 through 4.1D.7 to allow staff to prepare demand and supply calculations based specifically on the requirements of Section 163.3177, F.S., and delete all prescriptive requirements. The amendment should specify that a future land use map amendment shall be based on data available at the time of adoption of a comprehensive plan amendment and shall be analyzed using a professionally accepted methodology for calculating demand and supply for the unincorporated area. The amendment should explicitly allow for an applicant to submit a study utilizing a professionally accepted methodology to support the proposed future land use map amendment.

The applicant proposes to work with staff to further develop this approach and to draft a proposed text amendment to achieve the objectives set forth in this analysis.