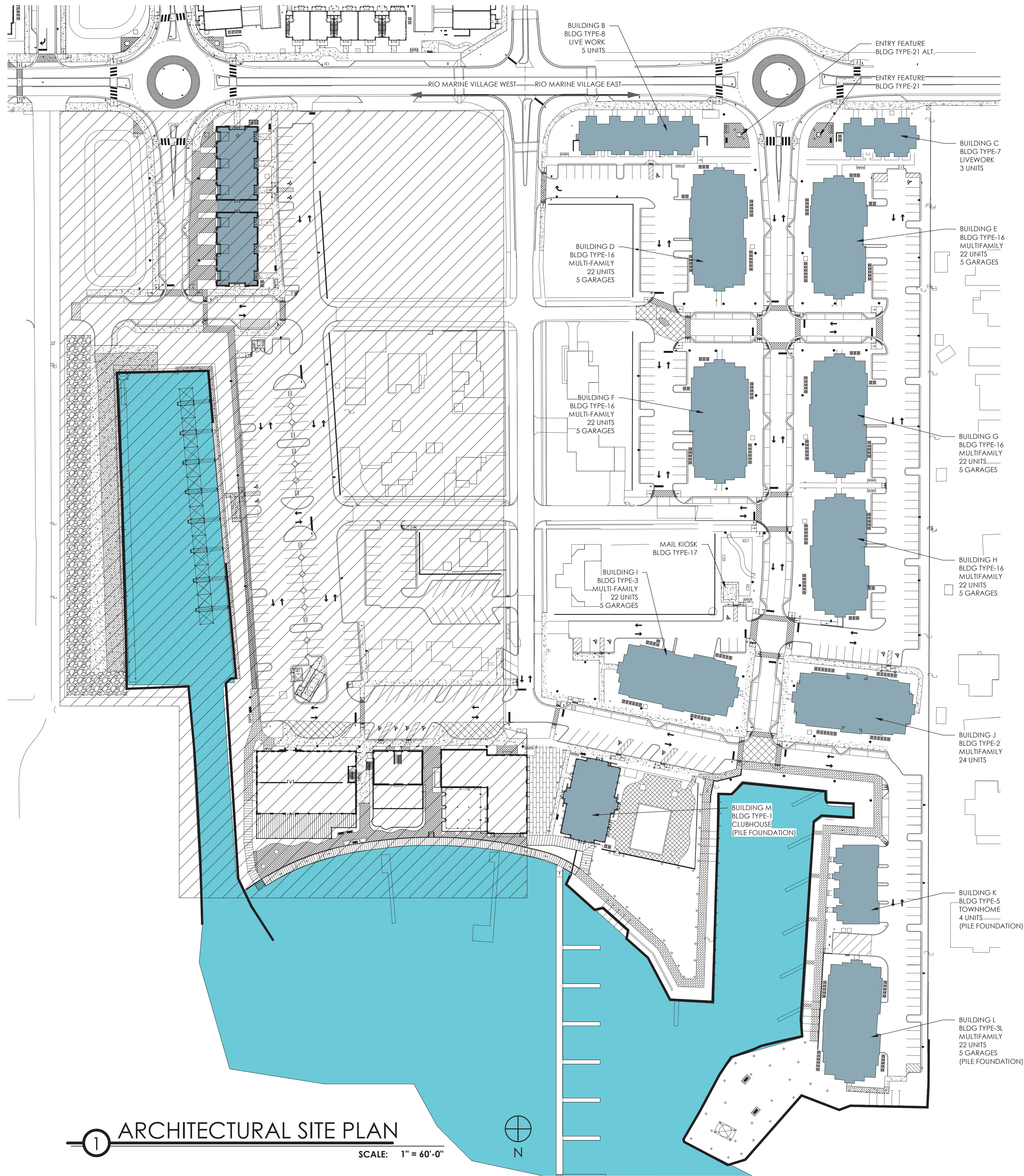




1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"

GENERAL NOTES	
SITE PLAN SHOWN IS FOR REFERENCE PURPOSES ONLY. FOR COMPLETE DIMENSIONS, GRADING AND UTILITY INFORMATION REFER TO CIVIL ENGINEERING PLANS. REFER TO CIVIL DRAWINGS FOR COMPLETE SIDEWALK AND GRADING DESIGN. PROVIDE AND ACCESSIBLE ROUTE THROUGH THE SITE THAT CONNECTS ALL REQUIRED ACCESSIBLE FEATURES, ELEMENTS AND SPACES WITH APPROPRIATE WIDTHS, SLOPES, SURFACES, ETC. ACCESSIBLE ROUTE SHALL BE IN COMPLIANCE WITH FAIR HOUSING DESIGN ACT MANUAL - 1998 (FHDAM PAGE 1.6). A MINIMUM OF 2% OF ALL PARKING, BOTH COVERED AND UNCOVERED, SHALL COMPLY WITH FAIR HOUSING DESIGN ACT MANUAL AND THE ADA ACCESSIBILITY GUIDELINES. FOR LANDSCAPE AND HARDSCAPE INFORMATION AND DETAILING REFER TO LANDSCAPE ARCHITECT'S PLANS.	
CIVIL ENGINEER SIMMONS & WHITE, INC. JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698 E: PARRISH@SIMMONSANDWHITE.COM	LANDSCAPE ARCHITECT COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN COJUDO
Cristian Cojudo, P.E. & Associates, A.C.000798
In accordance with FRC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a
charlan • brock
associates

architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: OL
reviewed by: AP
issue history: Date

Sheet Title

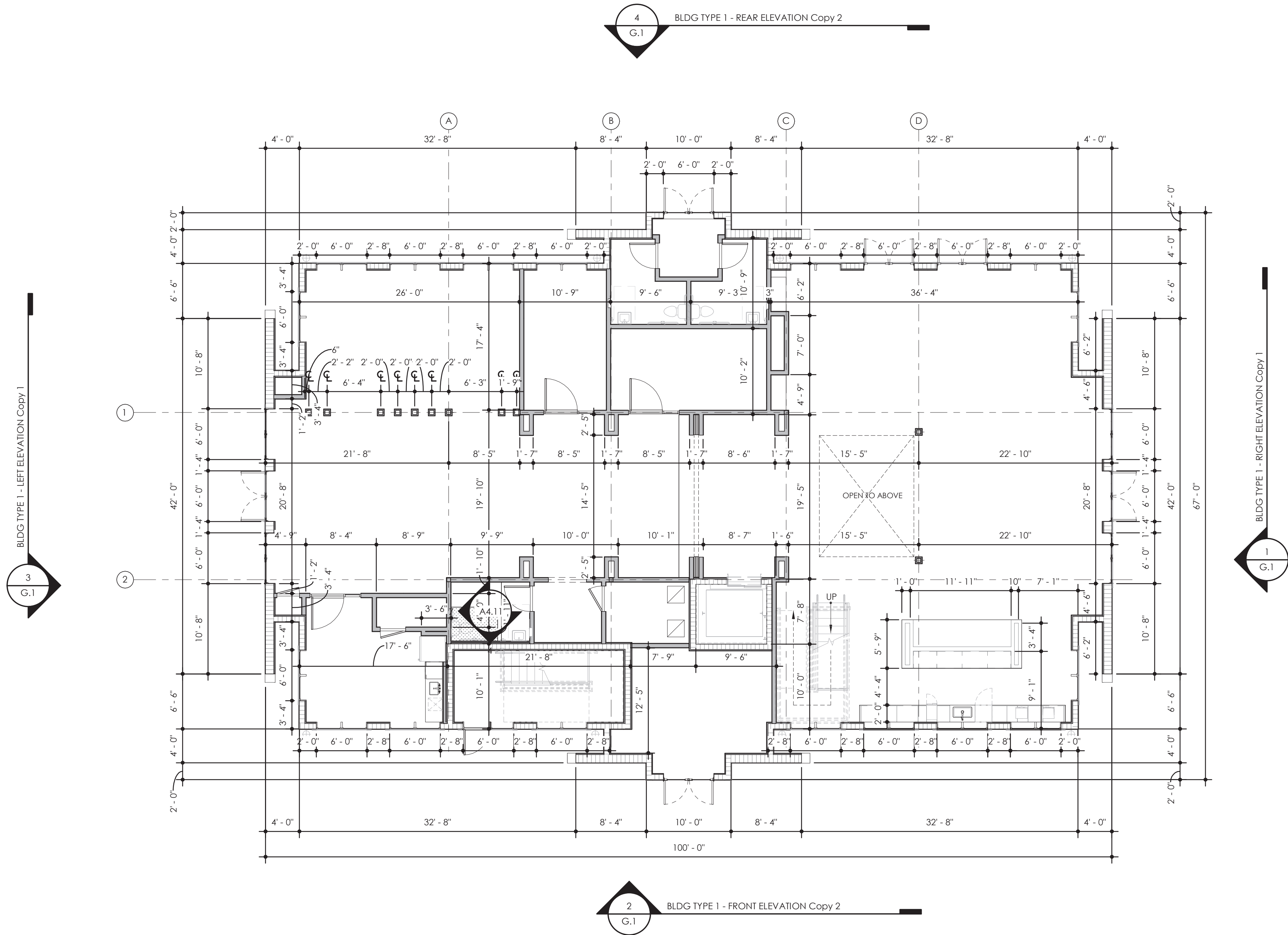
ARCHITECTURAL SITE
PLAN - MARINE EAST

A0.10CC

Sheet Number

PERMIT SET

A0.10A



BUILDING TYPE 1 - CLUBHOUSE - FIRST FLOOR DIMENSION PLAN

SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE).

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

**charlan • brock
associates**

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title

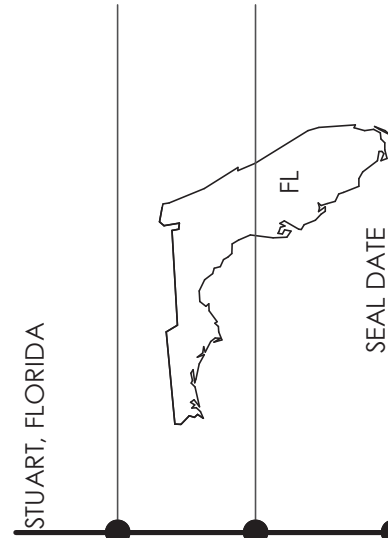
**BLDG TYPE-1
CLUBHOUSE FIRST
FLOOR DIMENSION
PLAN**

A0.10CC

Sheet Number

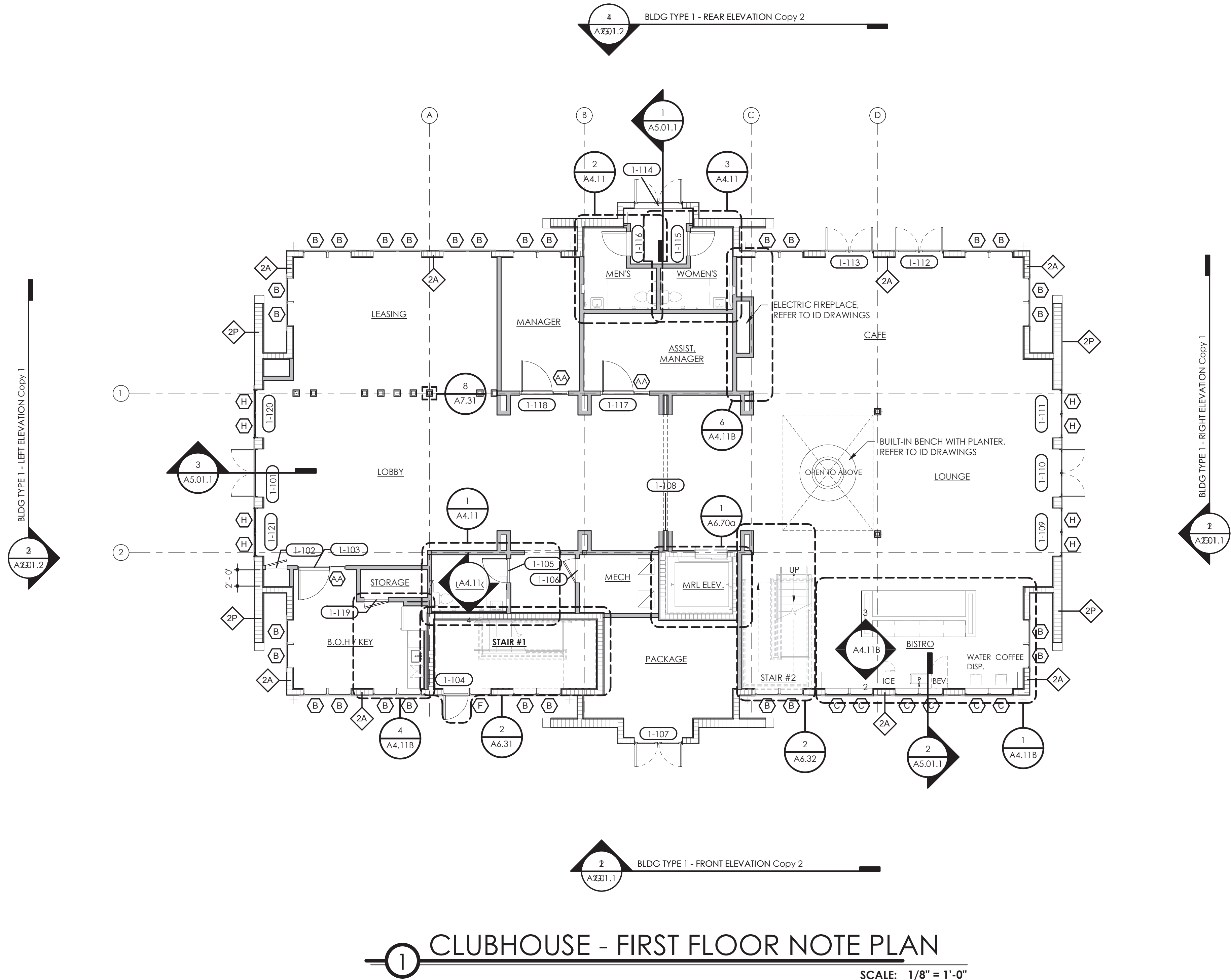
A1.01.1

PERMIT SET



STUART, FLORIDA

SEAL DATE



TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 117.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN OSQUEENDO

CRISTIAN OSQUEENDO & ASSOCIATES, A.C.

CRISTIAN OSQUEENDO & ASSOCIATES, A.C. shall have precedence over scale dimension.

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK

601 HERITAGE DRIVE, STE #227

JUNIPER, FL 33458

c b a

charlan • brock

associates

architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

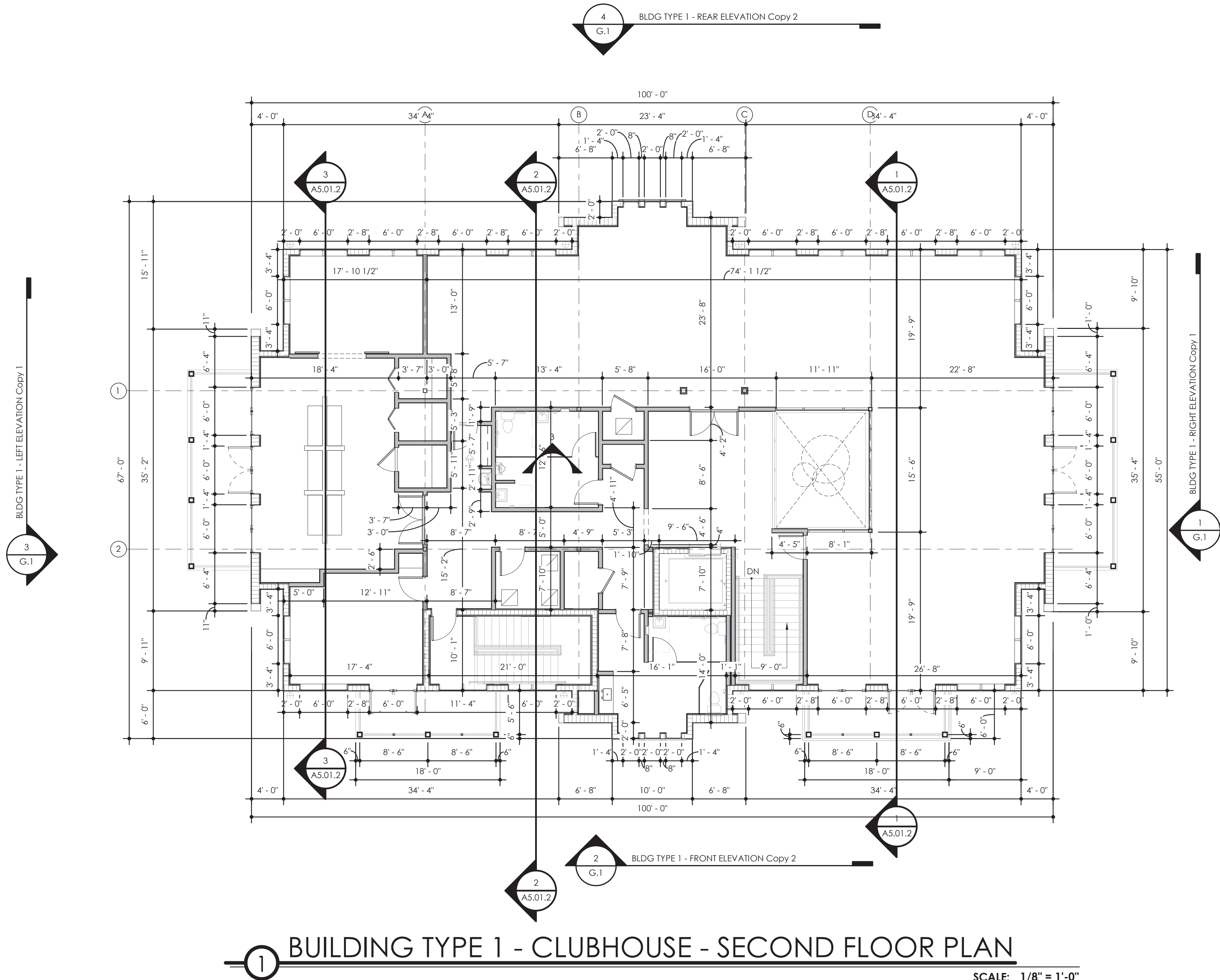
BLDG TYPE-1
CLUBHOUSE FIRST
FLOOR NOTE PLAN

Sheet Number

A0.10CC

PERMIT SET

A1.01.2



TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN OSQUEUNDO

CHARLAN • BROCK & ASSOCIATES, A.A0000798

in accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK

601 HERITAGE DRIVE, STE #227

JUNIPER, FL 33458

charlan • brock

associates

architects • planners

1770 fennell street

mailland florida 32751-7208

407.660.8900 f.407.875.9948

www.cbaarchitects.com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

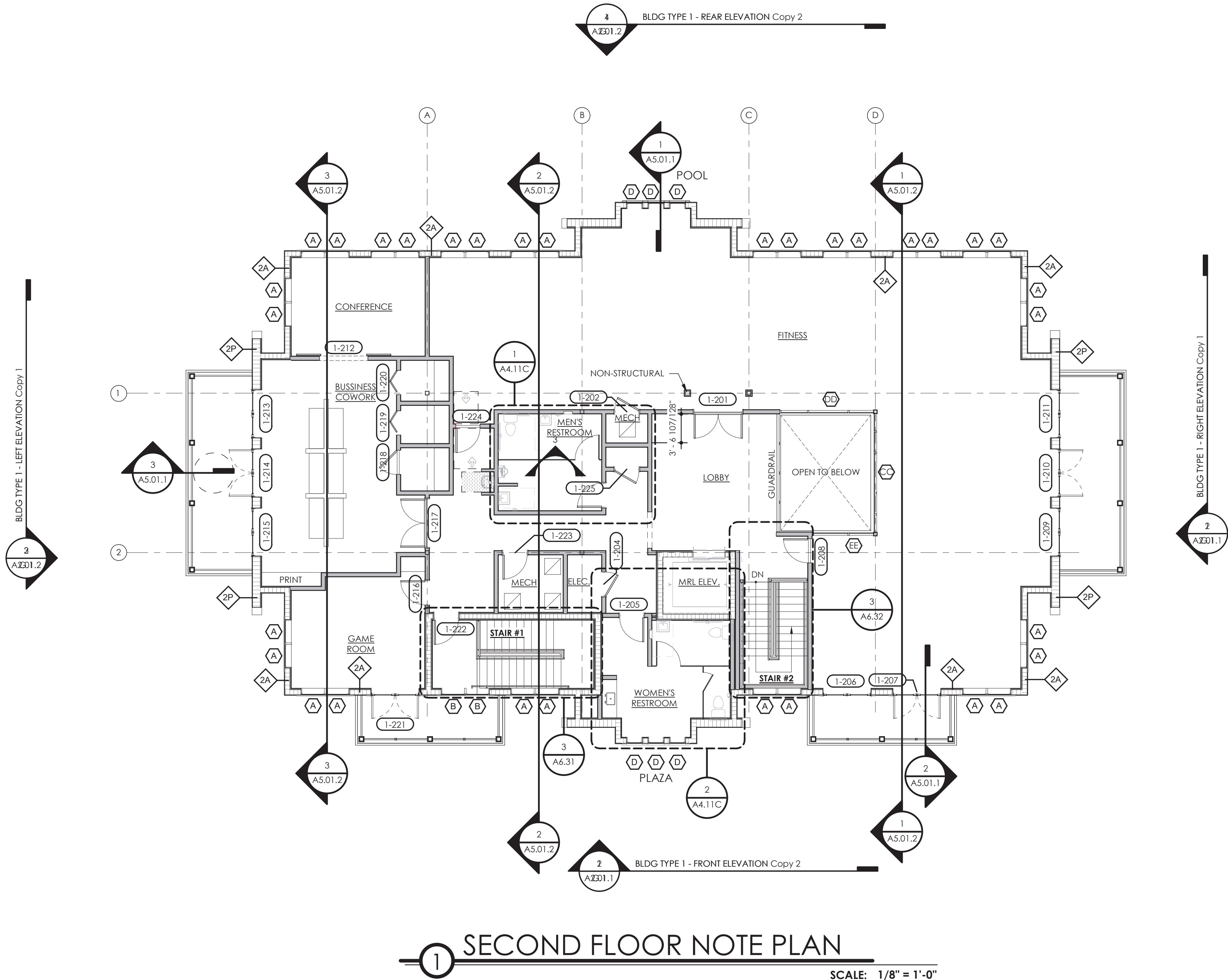
BLDG TYPE-1 CLUBHOUSE SECOND FLOOR DIMENSION PLAN

Sheet Number

A0.10CC

PERMIT SET

A1.01.3



FLOOR PLAN LEGEND	
	STEP IN SLAB
	LEVEL SLAB TO SLOPE SLAB

TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

STUART, FLORIDA

SEAL DATE

CRISTIAN OSQUEENDO

CHARLAN, BROCK & ASSOCIATES, A.C.

00000798

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK

601 HERITAGE DRIVE, STE #227

JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-1
CLUBHOUSE SECOND
FLOOR NOTE PLAN

PERMIT SET

Sheet Number

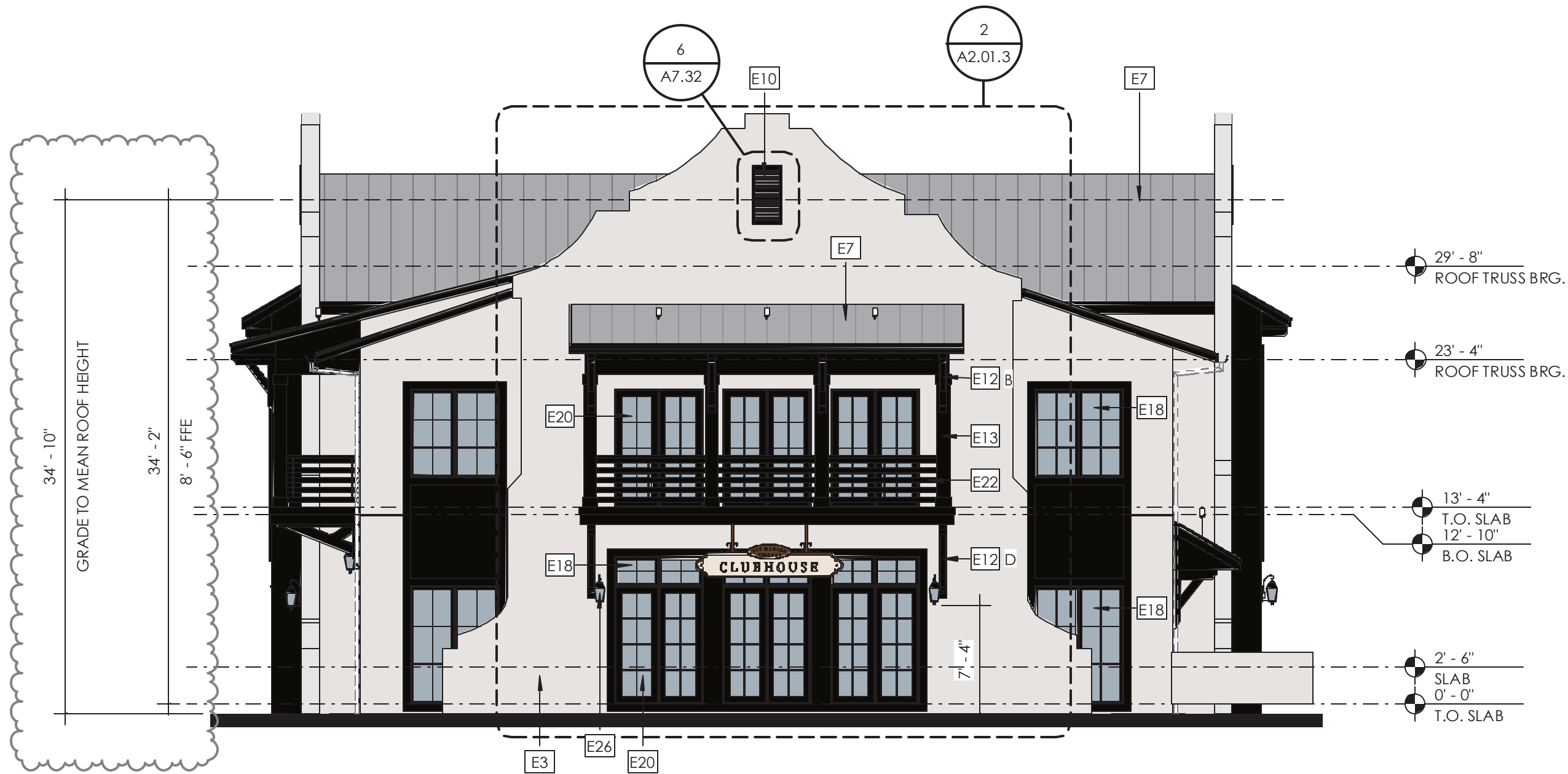
A0.10CC

A1.01.4



ROOF PLAN GENERAL NOTES	
1.	REFER TO ROOF PLAN FOR ROOF SLOPES.
2.	ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

Sheet Title	
BLDG TYPE-1 CLUBHOUSE ROOF PLAN	
A0.10CC	
Sheet Number	
A1.01.6	



2 BLDG TYPE 1 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 1 - FRONT ELEVATION

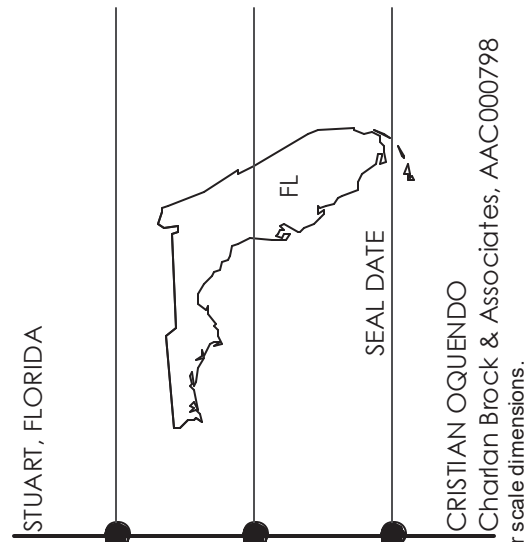
SCALE: 1/8" = 1'-0"

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29	PROFILE STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	POST LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL CORING CAP AT PARAPET WALL		



RIO MARINE VILLAGE PHASE I EAST

BRIAN PAWLAK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners

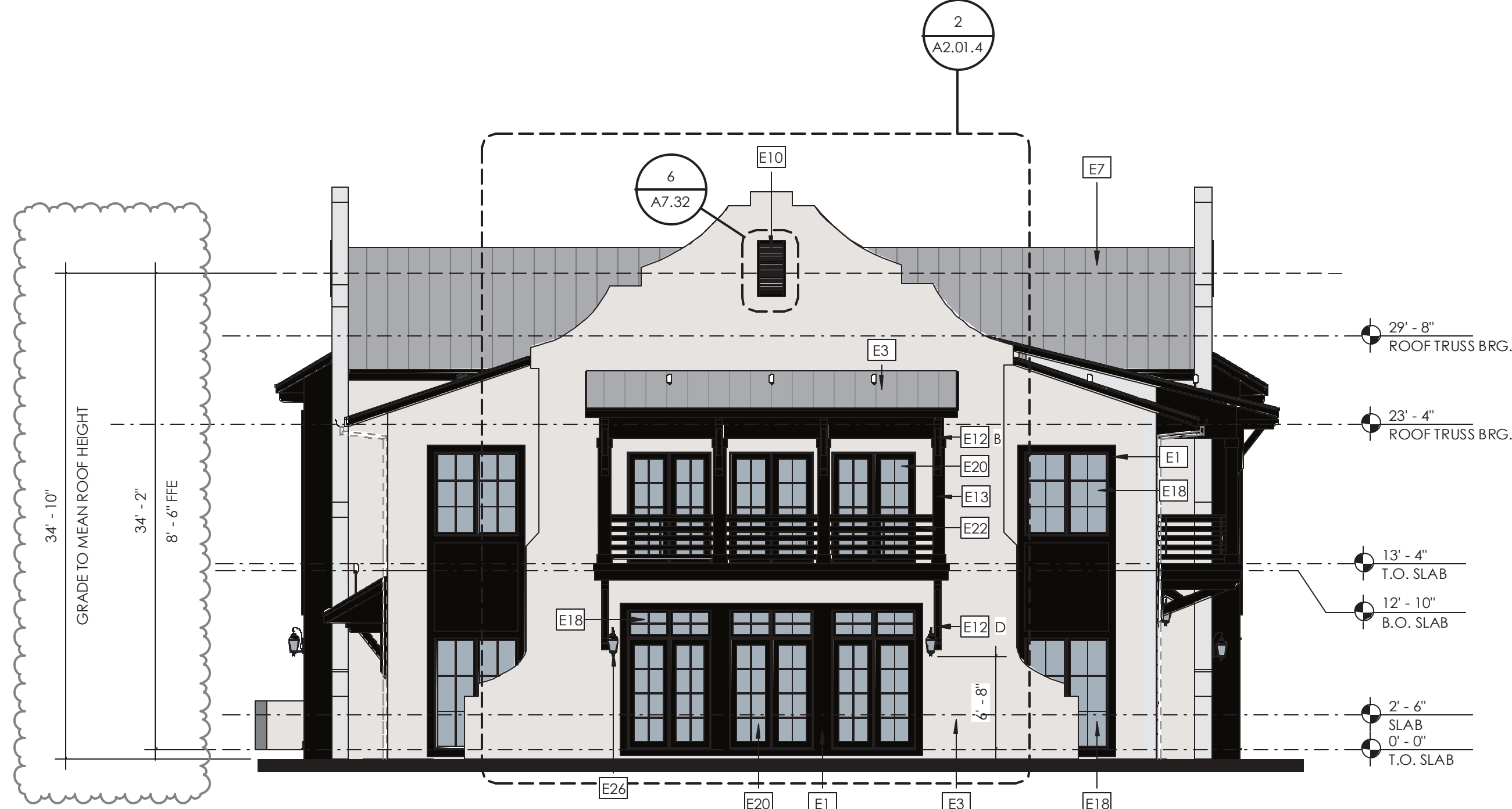
1770 fennell street
maitland florida 32751-7208
407 660 8900 f: 407 875 9948
www.cbaarchitects.com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date
1 3/20/24

Sheet Title
BLDG TYPE-1
CLUBHOUSE EXTERIOR
ELEVATIONS

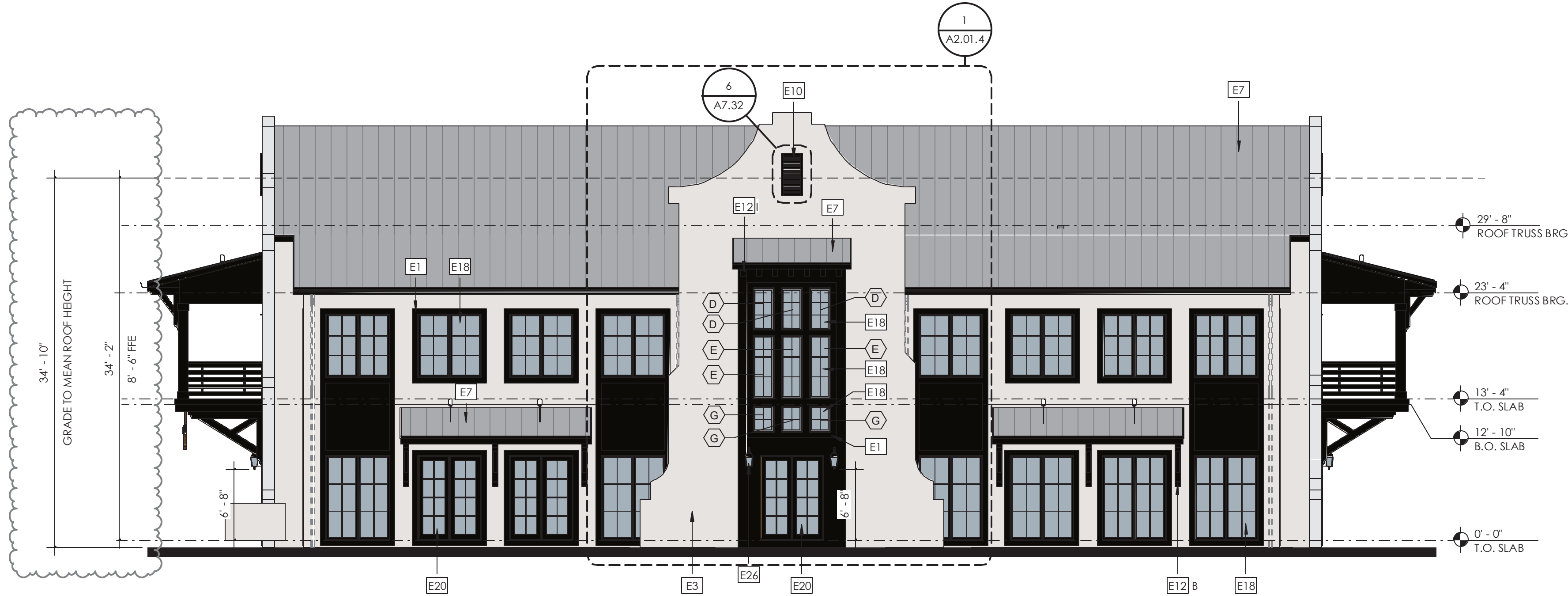
Sheet Number
A0.10CC

PERMIT SET
A2.01.1



2 BLDG TYPE 1 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 1 - REAR ELEVATION

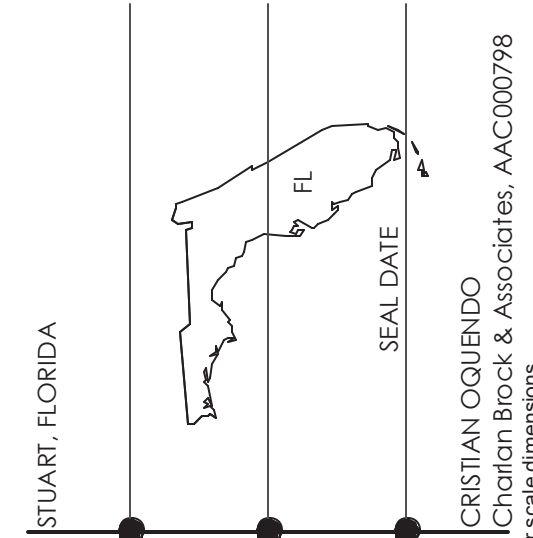
SCALE: 1/8" = 1'-0"

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29	PROFILE STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	POT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL CORING CAP AT PARAPET WALL		



RIO MARINE VILLAGE PHASE I EAST

BRIAN PAWLAK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f: 407 875 9948
www.cbaarchitects.com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date
1 3/20/24

Sheet Title
BLDG TYPE-1
CLUBHOUSE EXTERIOR
ELEVATIONS

Sheet Number
A0.10CC

PERMIT SET
A2.01.2

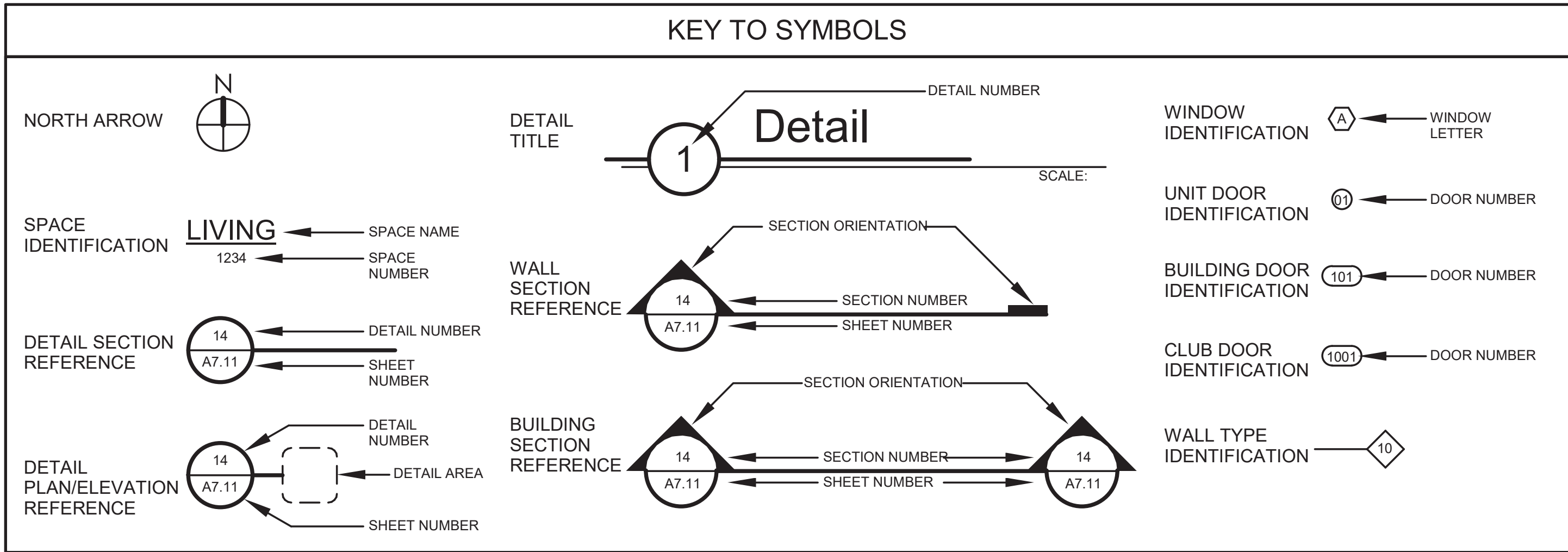


MAINTENANCE NOTE

THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THE BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.

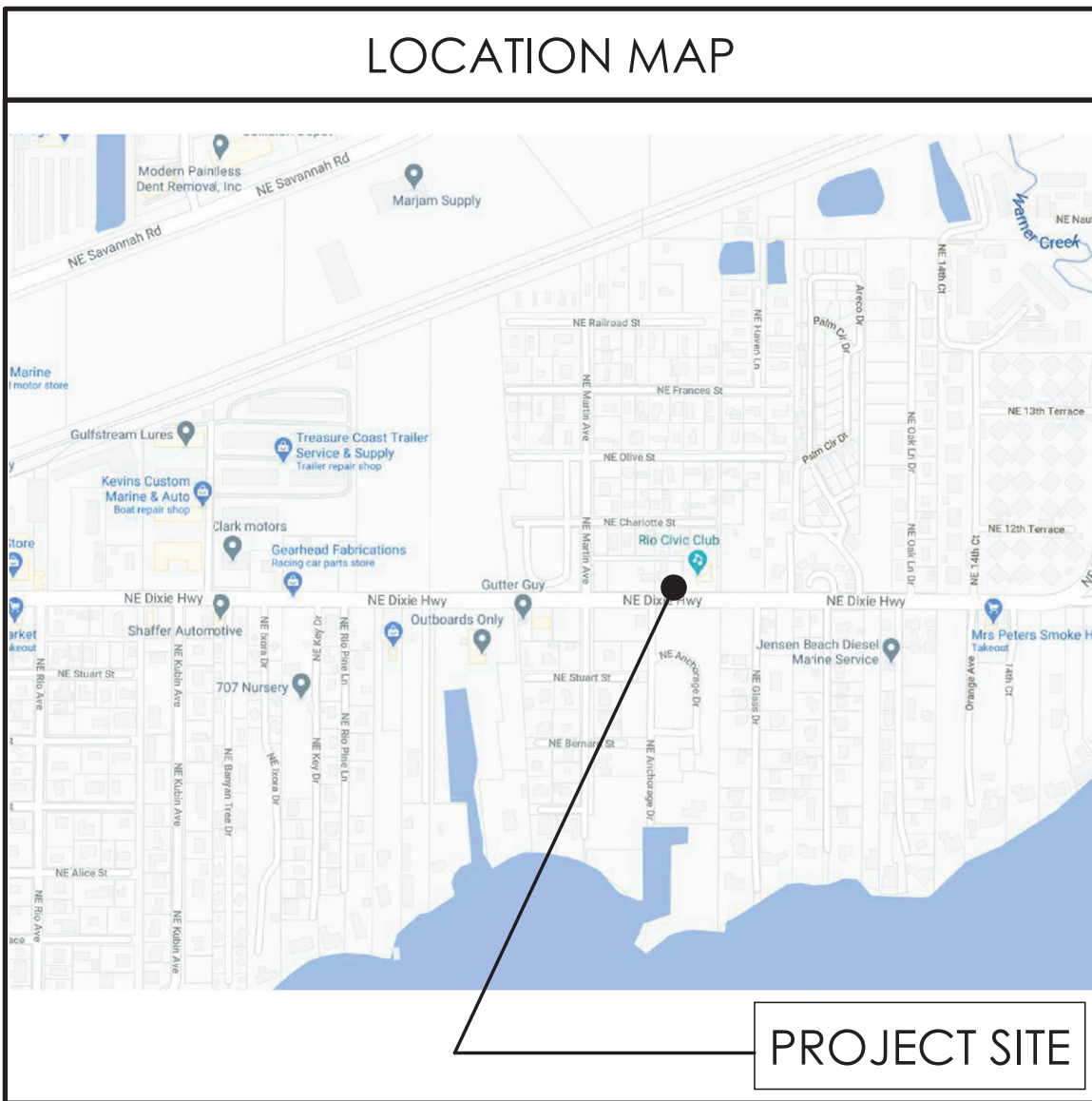
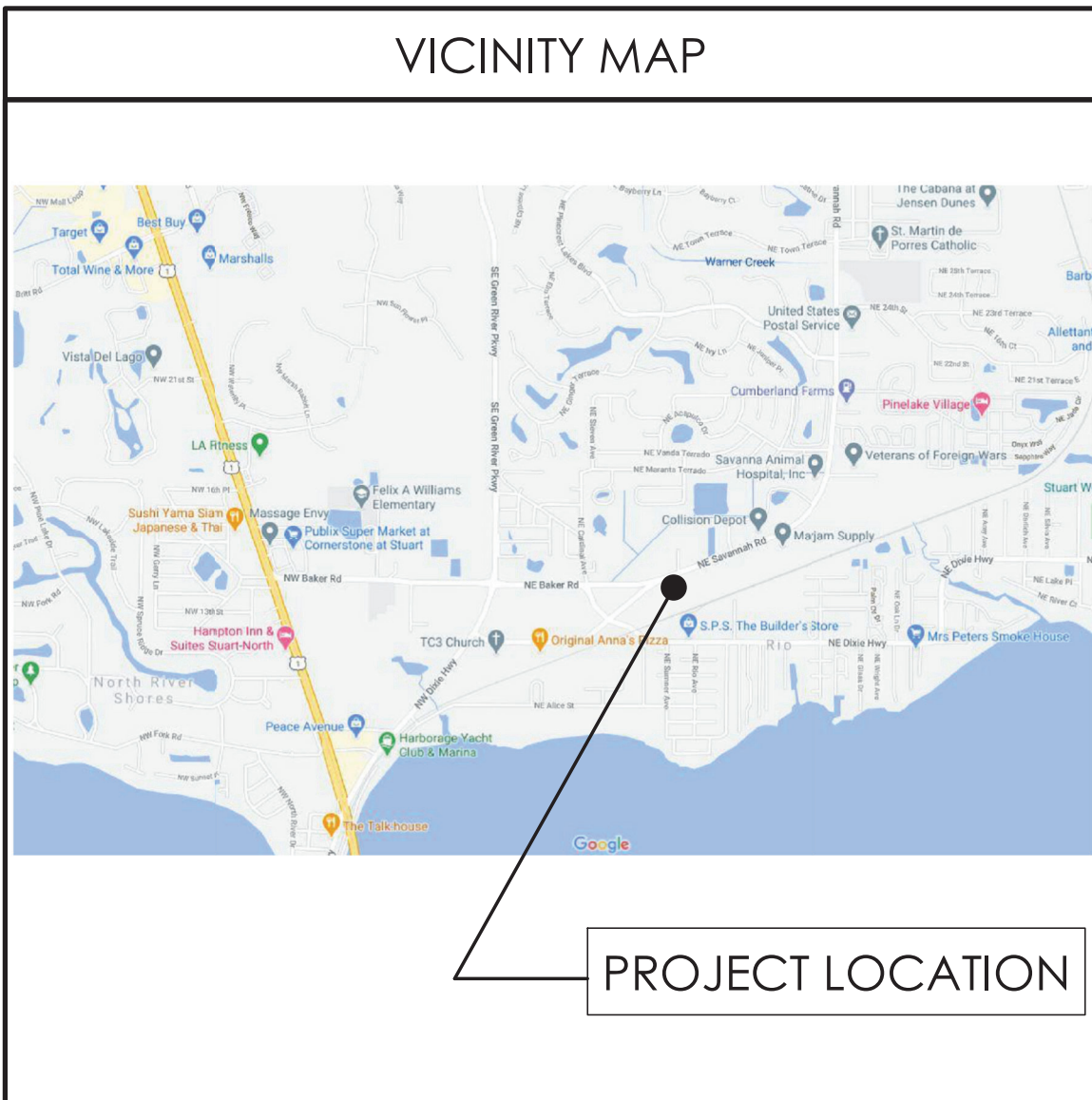
MATERIALS LEGEND

PLAN	SECTION/ELEVATION
STUD WALL	DIMENSIONAL LUMBER
CMU BLOCK WALL	CUT LUMBER
POURED CONCRETE WALL	PLYWOOD
	EARTH FILL
	STRUCTURAL STEEL
	BATT INSULATION
	RIGID FOAM INSULATION
	CONCRETE MASONRY UNIT
	FLOOR TRUSS



STANDARD ABBREVIATIONS

A.B. AIR CONDITIONER	D.L. DEAD LOAD	HDWR. HARDWARE	SH. SHELF
A.C. ADJACENT	DN. DOWN	H.M. HOLLOW METAL	SHT. SHEET
ADJ. ADJACENT	DRYW. DRYWALL	HORTZ. HORIZONTAL	SIM. SIMILAR
A.H.U. AIR HANDLER UNIT	D.W. DISHWASHER	HGT. HEIGHT	S.G.D. SLIDING GLASS DOOR
ALUM. ALUMINUM	DWG. DRAWING	HTG. HEATING	SQ. SQUARE
ALT. ALTERNATE	E.A. EACH	HTR. HEATER	S.S. STAINLESS STEEL
APPROX. APPROXIMATE	E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM	IN. INCHES	STD. STANDARD
BRG. BEARING	E.J. EXPANSION JOINT	INSUL. INSULATION	STO. STORAGE
BD. BOARD	ELEV. ELEVATION	INT. JOIST	STR. STRUCTURAL
BLDG. BUILDING	E.P.S. EXPANDED POLYSTYRENE	JT. JOINT	SUB. SUBSTITUTE
BLK. BLOCK	EQ. EQUAL	LB. POUND	SUP. SUPPORT
B.M. BEAM	EST. ESTIMATE	LAM. LAMINATED	T.C. TRASH COMPACTOR
BTM. BOTTOM	EXT. EXISTING	LAV. LAVATORY	TEMP. TEMPERATURE
COL. COLUMN	EXT. EXTERIOR	LTG. LIGHTING	THK. THICK/THICKNESS
CER. CERAMIC	FN.FL. FINISH FLOOR	MATL. MATERIALS	TYP. TYPICAL
C.J. CONSTRUCTION JOINT	FIN. FINISH	MAX. MAXIMUM	U.L. UNDERWRITERS
CLG. CEILING	F.G. FIXED GLASS	M.C. MEDICAL CABINET	LABORATORY
C.M.U. CONCRETE BLOCK	F.P. FIREPLACE	MECH. MECHANICAL	VENT. VENTILATION
CONC. CONCRETE	FT. FEET	MIN. MINIMUM	VERT. VERTICAL
CONST. CONSTRUCTION	FTG. FOOTING	MISC. MISCELLANEOUS	VOL. VOLUME
CONT. CONTINUOUS	GA. GAGE	M.O. MASONRY OPENING	V.T.R. VENT THROUGH ROOF
CTR. CENTER	GALV. GALVANIZED	M.T. METAL THRESHOLD	W. WIDTH/WIDE/WASHER
D. DRYER	GL. GLASS	MTL. METAL	W.C. WATER CLOSET
DBL. DOUBLE	GYP. GYPSUM	O.A. OVERALL	W.D. WOOD
DET. DETAIL	H.B. HOSE BIB	O.C. ON CENTER	WDW. WINDOW
DIAM. DIAMETER	H.C. HOLLOW CORE	O.D. OUTSIDE DIAMETER	WH. WATER HEATER
DIM. DIMENSION		OPP. OPPOSITE	W.I.C. WALK IN CLOSET
DISP. DISPOSAL			W.P. WATERPROOF



APPLIED CODES

FLORIDA BUILDING CODE 2023, 8TH EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ACCESSIBILITY CODE, 2023

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE

NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

FLORIDA STATUTES

FLORIDA ADMINISTRATIVE CODE

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES' KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

PROJECT NARRATIVE

PROJECT NARRATIVE:

THE PROPOSED PROJECT IS LOCATED IN UNINCORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL & POOL DECK, BUT PROVIDED BY OTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20, 21

BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 16, 17, 21

EAST: 10, 18, 19

WEST: 10, 18, 19

BUILDING IDENTIFICATION

BUILDING TYPE 1	= CLUBHOUSE
BUILDING TYPE 2	= APARTMENT
BUILDING TYPE 3	= APARTMENT
BUILDING TYPE 4	= TOWNHOME
BUILDING TYPE 5	= TOWNHOME
BUILDING TYPE 6	= TOWNHOME
BUILDING TYPE 7	= LIVE-WORK
BUILDING TYPE 8	= LIVE-WORK
BUILDING TYPE 10	= MARINE SERVICES
BUILDING TYPE 14	= RECREATIONAL
BUILDING TYPE 15	= APARTMENT
BUILDING TYPE 16	= APARTMENT
BUILDING TYPE 17	= MAIL KIOSK
BUILDING TYPE 18	= TRASH ENCLOSURE
BUILDING TYPE 19	= RECYCLING ENCLOSURE #1
BUILDING TYPE 20	= RECYCLING ENCLOSURE #2
BUILDING TYPE 21	= ENTRY FEATURE

CODE INFORMATION

APARTMENT

1.1 BUILDING USE / OCCUPANCY / TYPE

GROUP R-2, S-2

CONSTRUCTION TYPE: TYPE V-B

SPRINKLED: NFPA - 13R

1.2 BUILDING HEIGHT (FBC TABLE 503)

ALLOWED: 3 STORIES

CORE DISTRICT: 40'-0"

GENERAL DISTRICT: 35'-0"

PROPOSED: 3 STORIES, 34'-2"

1.3 BUILDING AREA (FBC TABLE 503)

ALLOWED: 7,000 SQ. FT. / PER FLOOR

12,250 SQ. FT. (INCREASE PER FBC 506.2)

PROPOSED: REFER TO BUILDING AREA TABLES

ALLOWABLE AREA PER IBC 506.2.3:

$I_r = [F/P - 0.25] W/30$

$I_r = [708/708 - 0.25] 30/30$

$I_r = 0.75$

$A_0 = [A + (NS \times 1)]$

$A_0 = [7,000 + (7,000 \times 0.75)]$

$A_0 = 12,250 SF$

1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601)

STRUCTURAL FRAME: 0 HOUR

INTERIOR BEARING WALLS: 0 HOUR

EXTERIOR BEARING WALLS: 0 HOURS

EXTERIOR NON-BEARING WALLS: 0 HOURS

INTERIOR NON-BEARING WALLS: 0 HOURS

FLOOR CONSTRUCTION: 0 HOUR

ROOF CONSTRUCTION: 0 HOUR

1.5 FIRE SEPARATION

TENANT SEPARATION: 1 HOUR (FBC 708.3)

CORRIDOR: 1 HOUR (FBC 1018.1)

1.6 EXIT ACCESS

101.5.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURE IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

BUILDING TYPE 2 AREA - GROSS

01-FIRST FLOOR	9,843 SF
02-SECOND FLOOR AP	9,882 SF
03-THIRD FLOOR AP	9,805 SF
01-FIRST FLOOR	26 SF
TOTAL BUILDING AREA:	29,556 SF

MAXIMUM EXIT ACCESS TRAVEL DISTANCE : 250' (FBC 1016.2)

MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' (FBC 1014.3)

MAXIMUM DEAD END: 20' (FBC 1018.4)

1.7 MINIMUM INTERIOR FINISH CLASSIFICATION

NFPA 101 TABLE A.10.2.2

GROUP	VERTICAL EXITS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES
R-2	A	A	C

BUILDING TYPE 2 AREA - A/C

01-FIRST FLOOR	7,594 SF
02-SECOND FLOOR AP	7,590 SF
03-THIRD FLOOR AP	7,590 SF
TOTAL BUILDING AREA:	22,776 SF

charlan • brock associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

1 3/20/24

Sheet Title

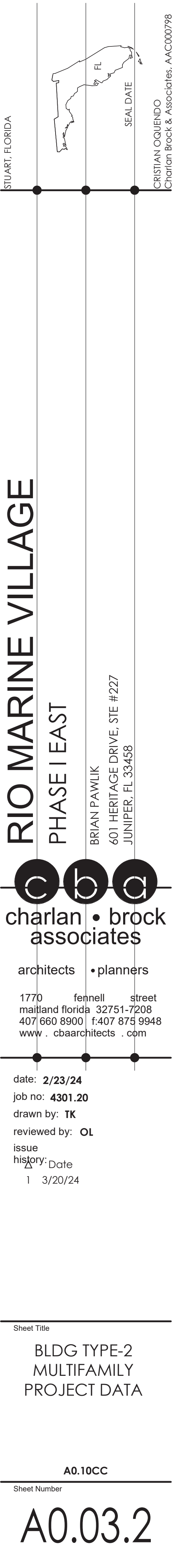
BLDG TYPE-2
MULTIFAMILY
PROJECT DATA

Sheet Number

A0.10CC

A0.03.2

PERMIT SET

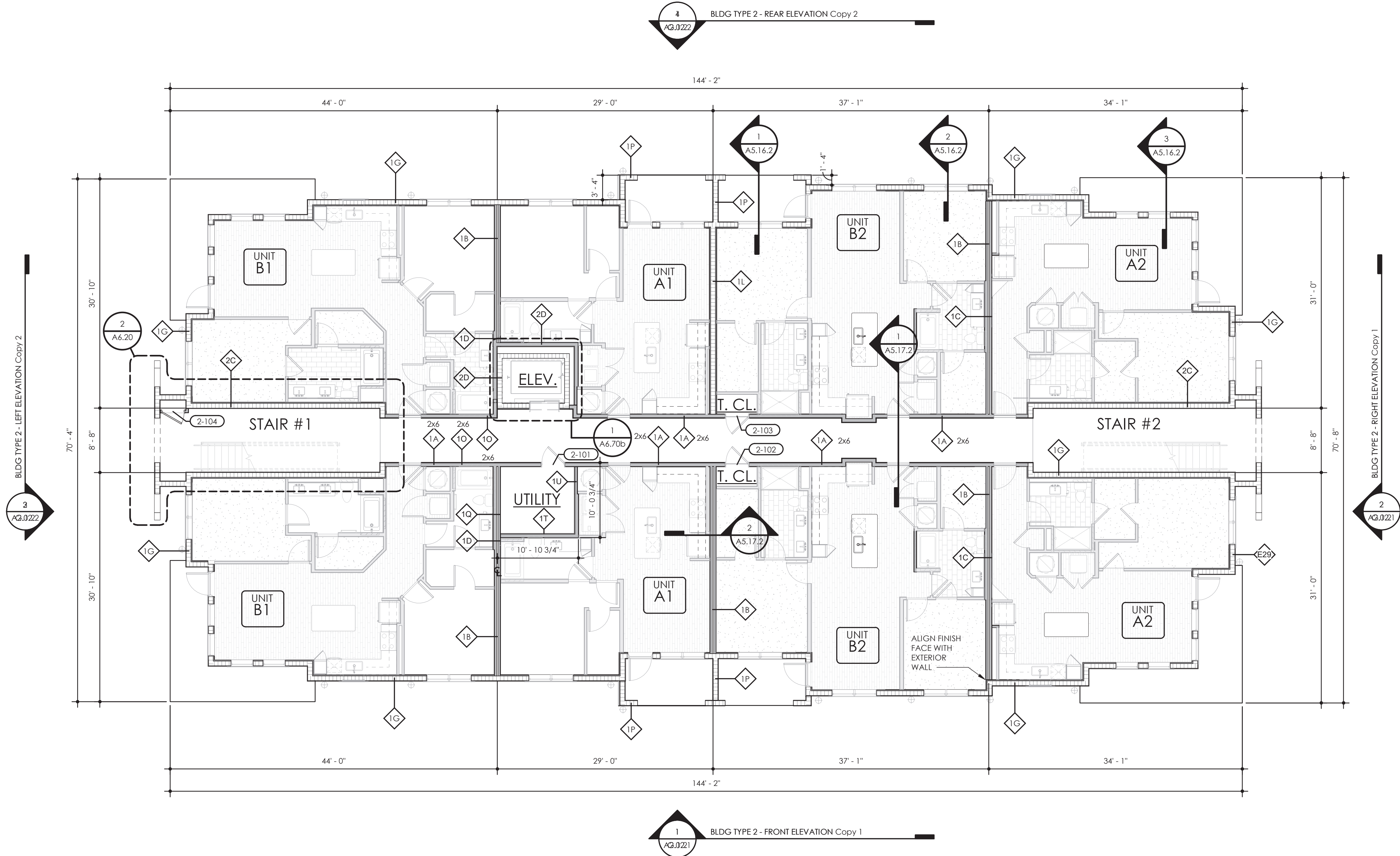




<u>CIVIL ENGINEER</u>	<u>LANDSCAPE ARCHITECT</u>
SIMMONS & WHITE, INC	COTLEUR & HEARING
JESSE 'JAMIE' PARRISH, P.E.	GEORGE MISSIMER
2581 MIROCENTRE BLVD, SUITE 3	1934 COMMERCIAL LANE, SUITE 1
WEST PALM BEACH, FL 33407	JUPITER, FL 33458
P: 561.272.9698	P: 561.747.6336 x108
E: PARRISH@SIMMONSANDWHITE.COM	E: GMISSIMER@COTLEUR-HEARING.COM

A0.10A

PERMIT SET



1 BUILDING TYPE 2 - MULTIFAMILY - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE).

Sheet Title

BLDG TYPE-2
MULTIFAMILY FIRST
FLOOR PLAN

A0.10CC

Sheet Number

A1.02.1

PERMIT SET

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

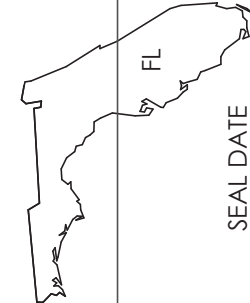
job no: 4301.20

drawn by: TK

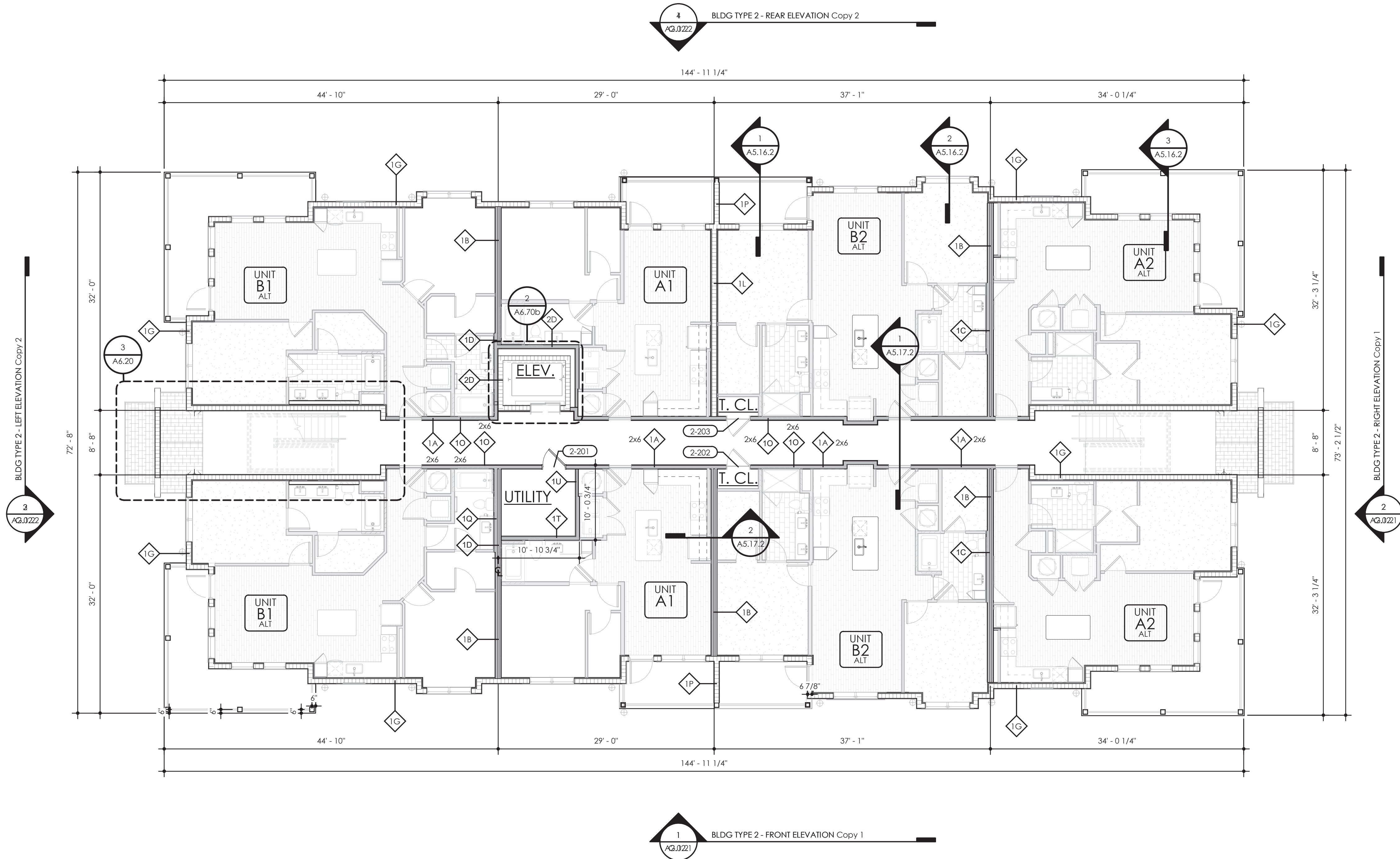
reviewed by: OL

issue
history: Date

STUART, FLORIDA



SEAL DATE
CRISTIAN OSQUEJO
Cristian Osquejo & Associates, A.C.000798
In accordance with FRC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, these ideas, designs, and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. within dimensions shall have precedence over scale dimension.



1 BUILDING TYPE 2 - MULTIFAMILY - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners

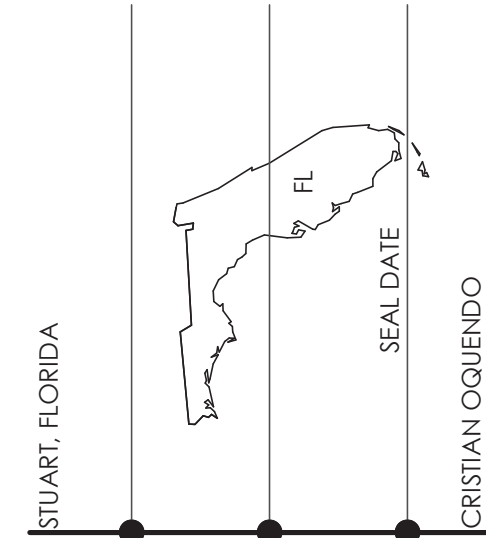
1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

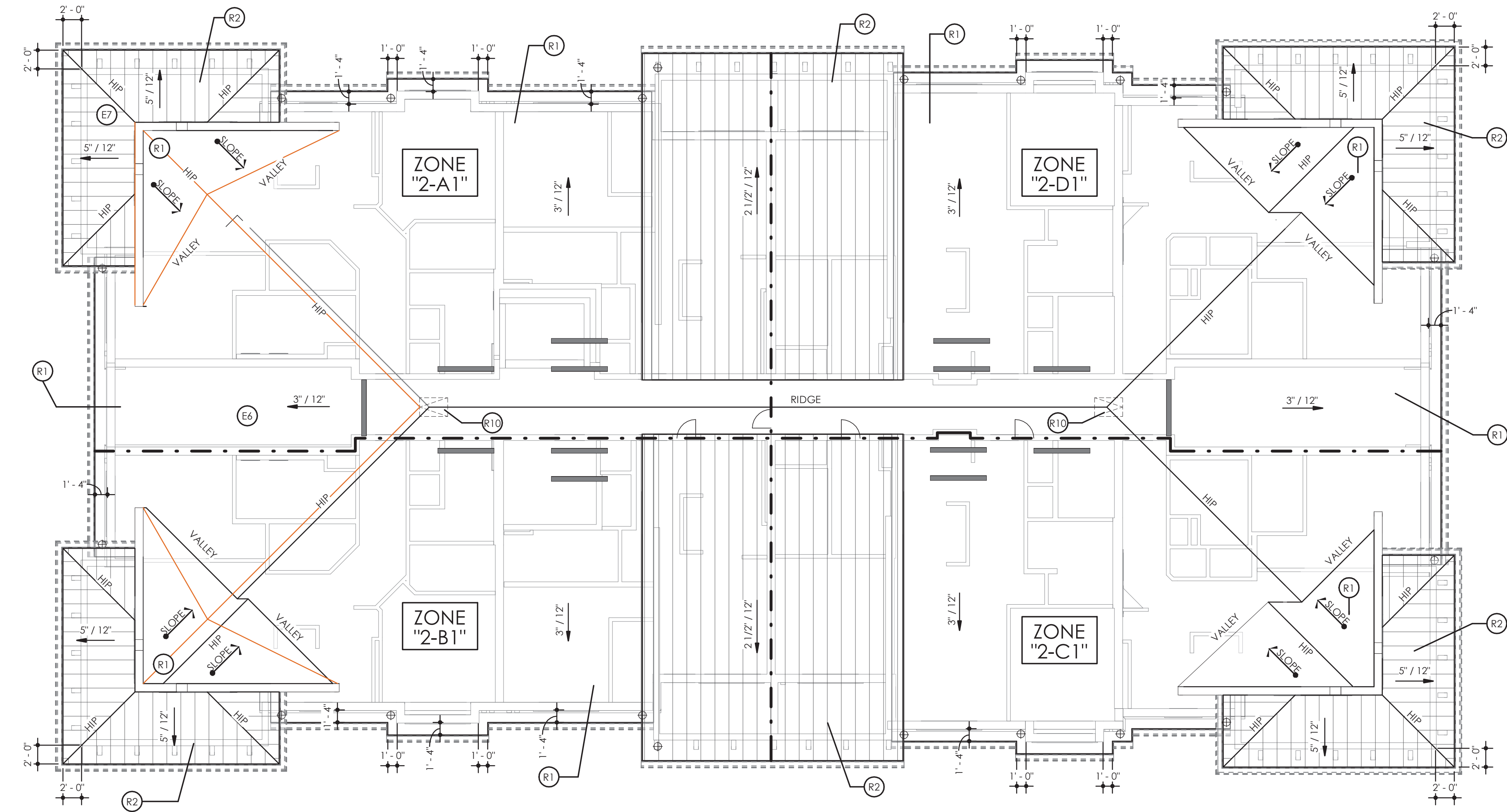
date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title
BLDG TYPE-2
MULTIFAMILY SECOND
FLOOR PLAN

Sheet Number
A0.10CC
A1.02.2

PERMIT SET





1 BUILDING TYPE 2 - MULTIFAMILY - ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENTILATION CALCULATIONS							
	ZONES	AREA	PERIMETER	REQ. VENT. SQ.FT.		PROVIDED	
				HIGH	LOW	SOFFIT	OFF RIDGE
						LOW	VENT
ROOF 'ZONES' SEPARATED BY DRAFTSTOPPING AREA CALCULATED INDIVIDUALLY PER IBC 718.4. CALCULATIONS OF REQUIRED VENTILATION ARE BASED ON IBC 1202. FORMULA FOR REQUIRED VENTING: ROOF SQ.FT. X (1/300) = TOTAL VENTING 40% MIN, 50% MAX, HIGH VENTING 50% MIN, 60% MAX, LOW (EAVE) VENTING SOFFIT (LOW) VENTING: BASED ON SEMCO SV201 2" WIDE ALUM. SOFFIT-STRIP PROVIDING 92 SQ.IN. OF VENTING PER LIN.FT. = 0.08 SQ.FT. OFF RIDGE (HIGH) VENTING: BASED ON TAMCO VENT. EACH VENT PROVIDES 210 SQ.IN. OF VENTING = 1.46 SQ.FT.	2-A1	2,908 SF	126.58 LF	4.85	4.85	10.14 SF	4 5.84 SF
	2-B1	2,366 SF	117.17 LF	3.94	3.94	9.38 SF	3 4.38 SF
	2-C1	2,398 SF	112.84 LF	4.00	4.00	9.04 SF	3 4.38 SF
	2-D1	2,921 SF	122.24 LF	4.87	4.87	9.79 SF	4 5.84 SF

ROOF PLAN GENERAL NOTES	
1.	REFER TO ROOF PLAN FOR ROOF SLOPES.
2.	ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

ROOF KEYNOTES	
(R1)	30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT
(R2)	STANDING SEAM METAL ROOF SYSTEM
(R3)	⊕ DENOTES SUGGESTED 6" GUTTER LOCATIONS
(R4)	SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS, VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION
(R5)	———— CRICKET WITH 3:12 SLOPE MINIMUM, U.N.O
(R6)	TAPERED INSULATION + TPO ROOFING
(R7)	DENOTES ROOF VENTS. REFER TO ROOF CALCULATIONS FOR OVERALL SQUARE FOOTAGE OF VENTING
(R8)	SELF-CLOSING DOOR WITH AUTOMATIC LATCH AT DRAFTSTOPPING
(R9)	DENOTES DRAFTSTOPPING IN ATTIC AREA
(R10)	22" x 36" ATTIC ACCESS DOOR. PROVIDE 1-HR RATED ACCESS DOOR IN APARTMENT BUILDINGS, GARAGES AND MAINTENANCE BUILDINGS. ALL ATTIC ACCESS TO BE LOCKABLE. SEE DETAIL X/A7.XX
(R11)	(R8) PRIMARY ROOF DRAIN
(R12)	PROVIDE PLYWOOD WALK WITHIN SPACE FROM ATTIC ACCESS TO ROOF ACCESS DOOR
(R13)	PARAPET KICKERS. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION, SIZE AND DETAILS
(R14)	(R8) SECONDARY OVERFLOW ROOF DRAIN

STUART, FLORIDA

SEAL DATE

CRISTIAN OSQUEDO

CHARLAN • BROCK & ASSOCIATES, A.A.C.000798

CRISTIAN OSQUEDO

CHARLAN • BROCK & ASSOCIATES, A.A.C.000798

CRISTIAN OSQUEDO

CHARLAN • BROCK & ASSOCIATES, A.A.C.000798

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK

601 HERITAGE DRIVE, STE #227

JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-2
MULTIFAMILY ROOF
PLAN

Sheet Number

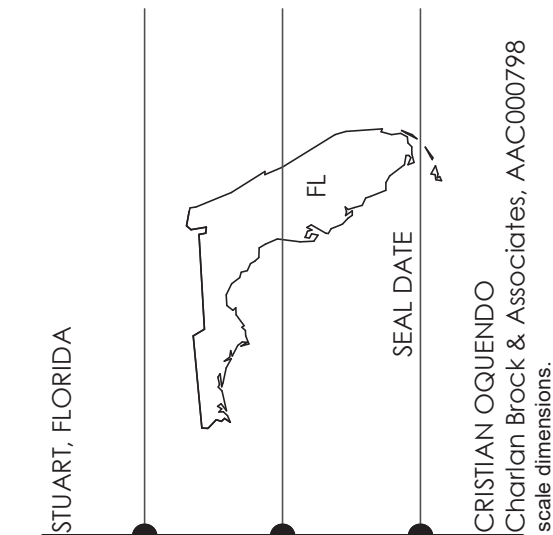
A0.10CC

A1.02.4

PERMIT SET

charlan, brock & associates, inc. hereby reserves its common law copyright and other property rights in these plans, ideas, and designs. these ideas, designs, and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. within dimensions shall have precedence over scale dimension.

In accordance with FRC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.



RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLIK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



date: 2/23/24
job no: 4301.2
drawn by: TK
reviewed by: C
issue
history:  Date
1 3/20/24

Sheet Title

BLDG TYPE-2
MULTIFAMILY
EXTERIOR ELEVATIONS

A0.10CC

A2.02.1

PERMIT SET



2 BLDG TYPE 2 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 2 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

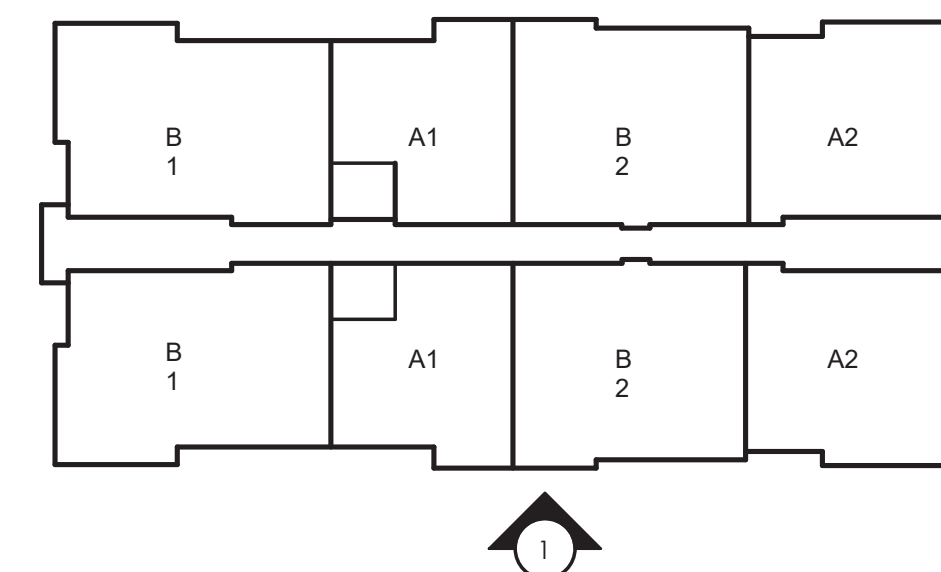
TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE PROTECTIVE SLOPE 1:2 TOP OF CRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

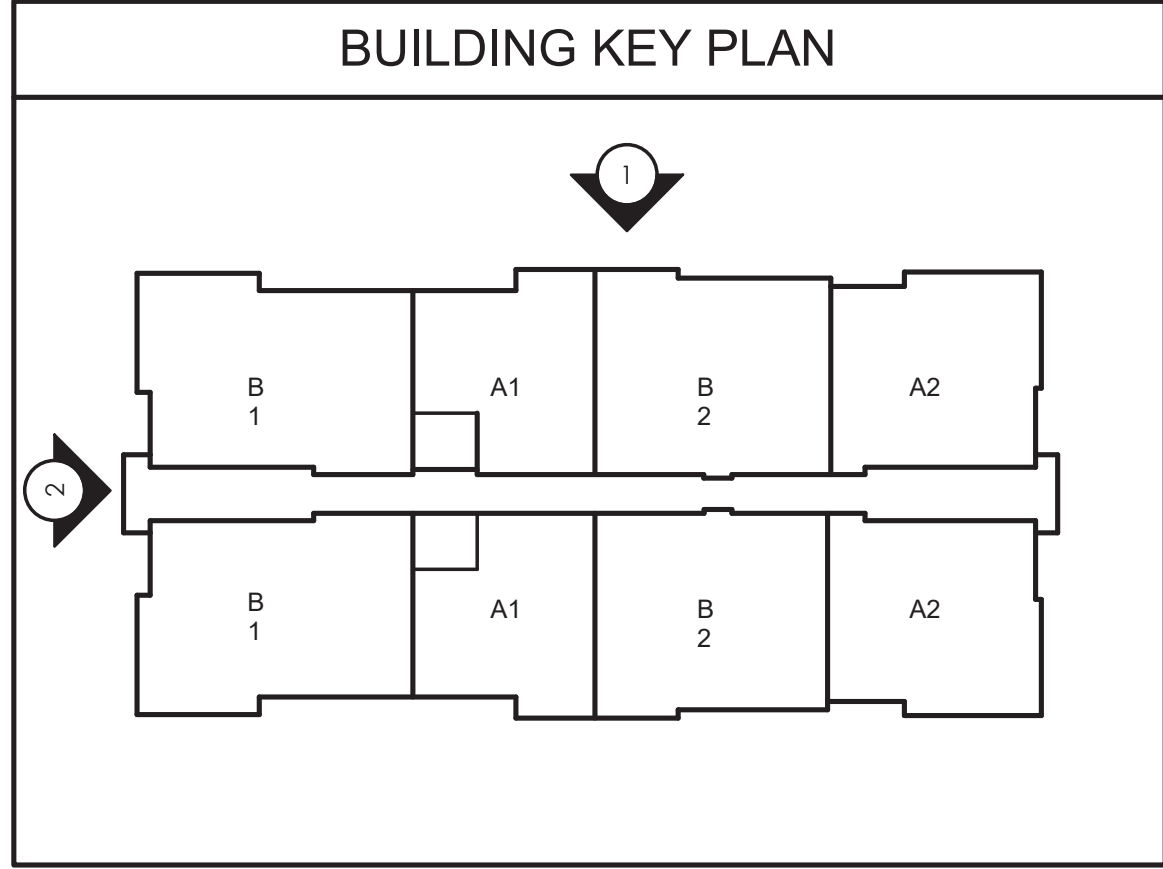
E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS, COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER' SPECIFICATIONS	E29	PROFILE-STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL COPING CAP AT PARAPET WALL		

BUILDING KEY PLAN



TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES	
E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET
E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER SPECIFICATIONS
E18	POT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL
E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



Sheet Title

**BLDG TYPE-2
MULTIFAMILY
EXTERIOR ELEVATIONS**

Sheet Number

A0.10CC

A2.02.2

PERMIT SET



2 BLDG TYPE 2 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"

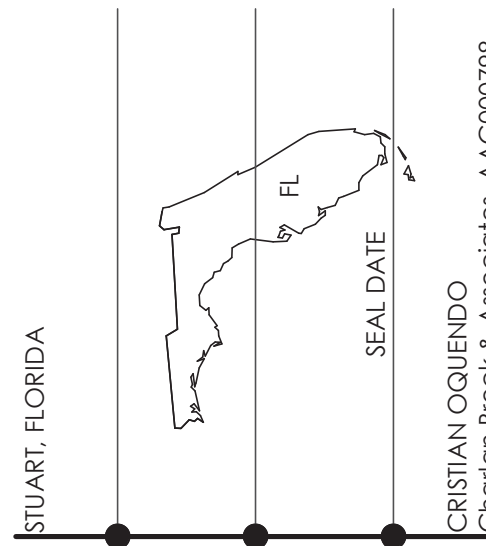


RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

**charlan • brock
associates**
architects • planners
1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: **2/23/24**
job no: **4301.20**
drawn by: **TK**
reviewed by: **OL**
issue history:
1 3/20/24



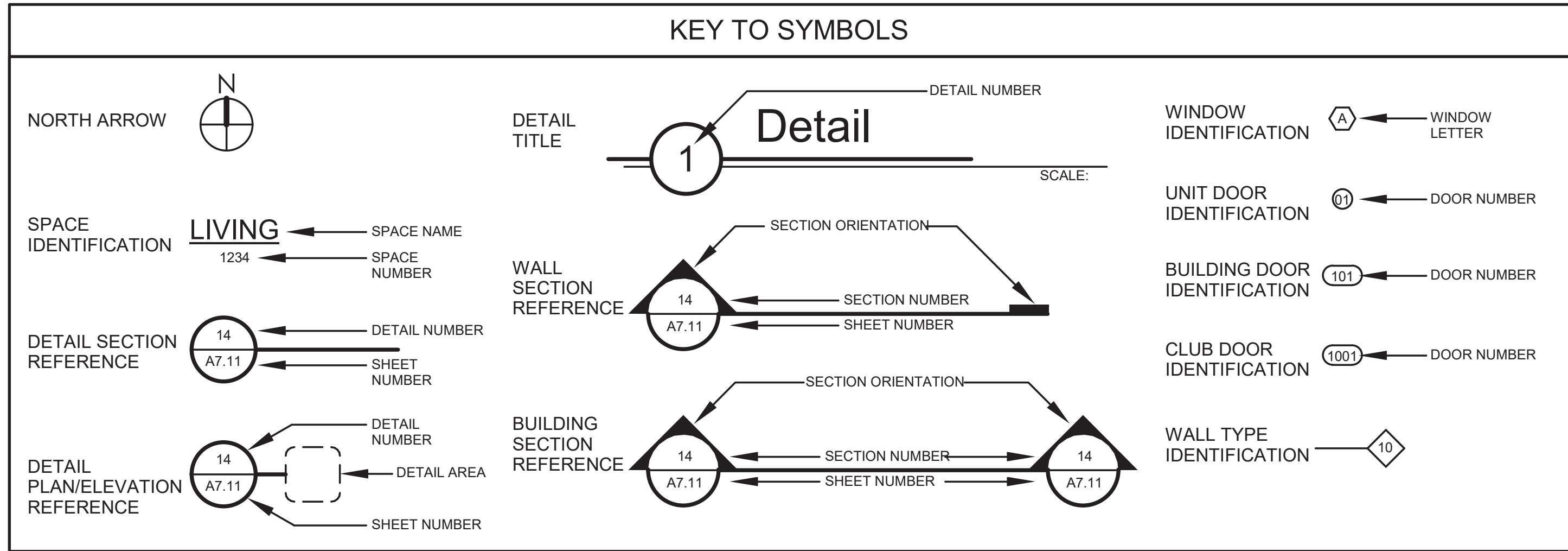


MAINTENANCE NOTE

THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THE BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.

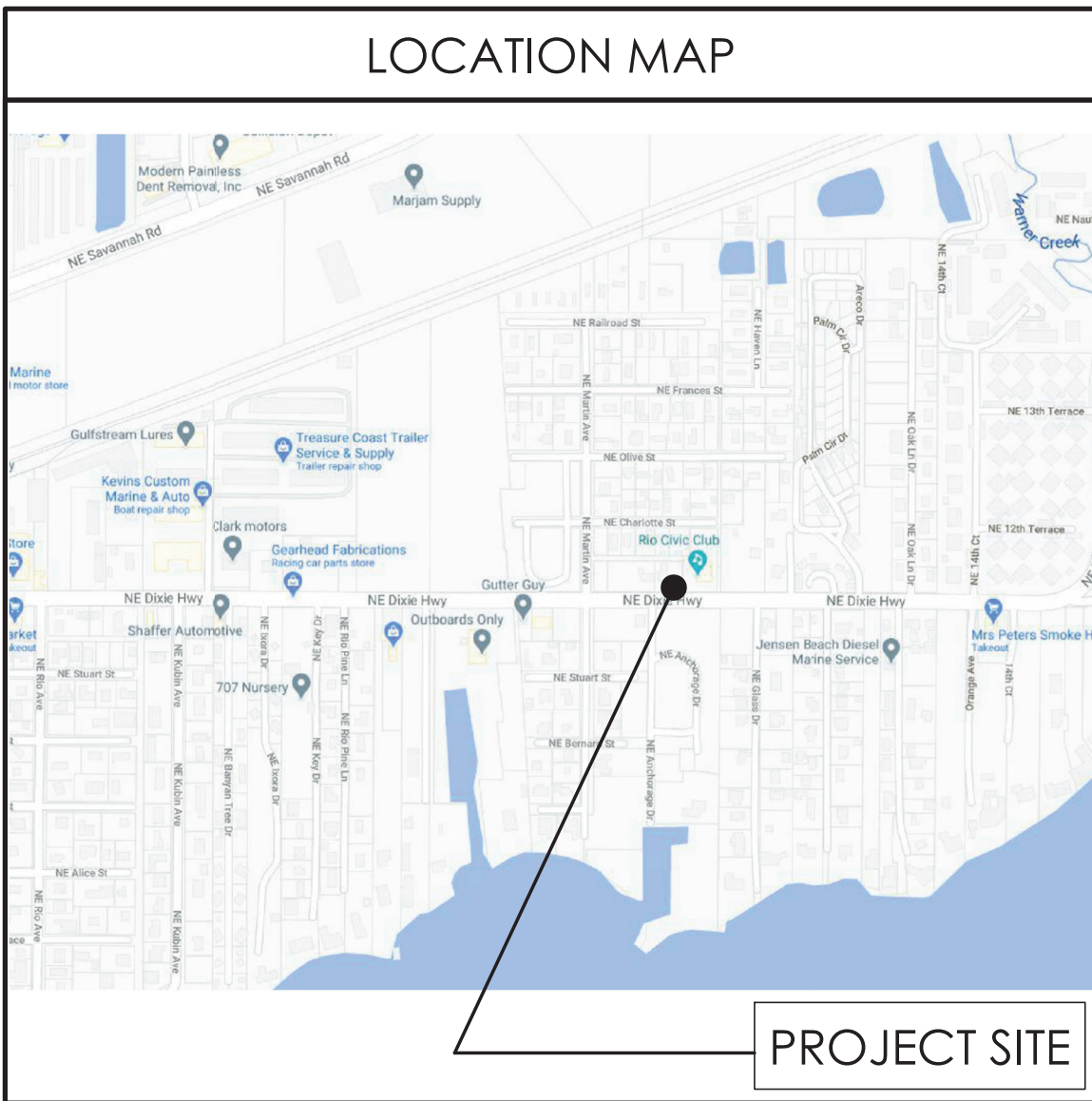
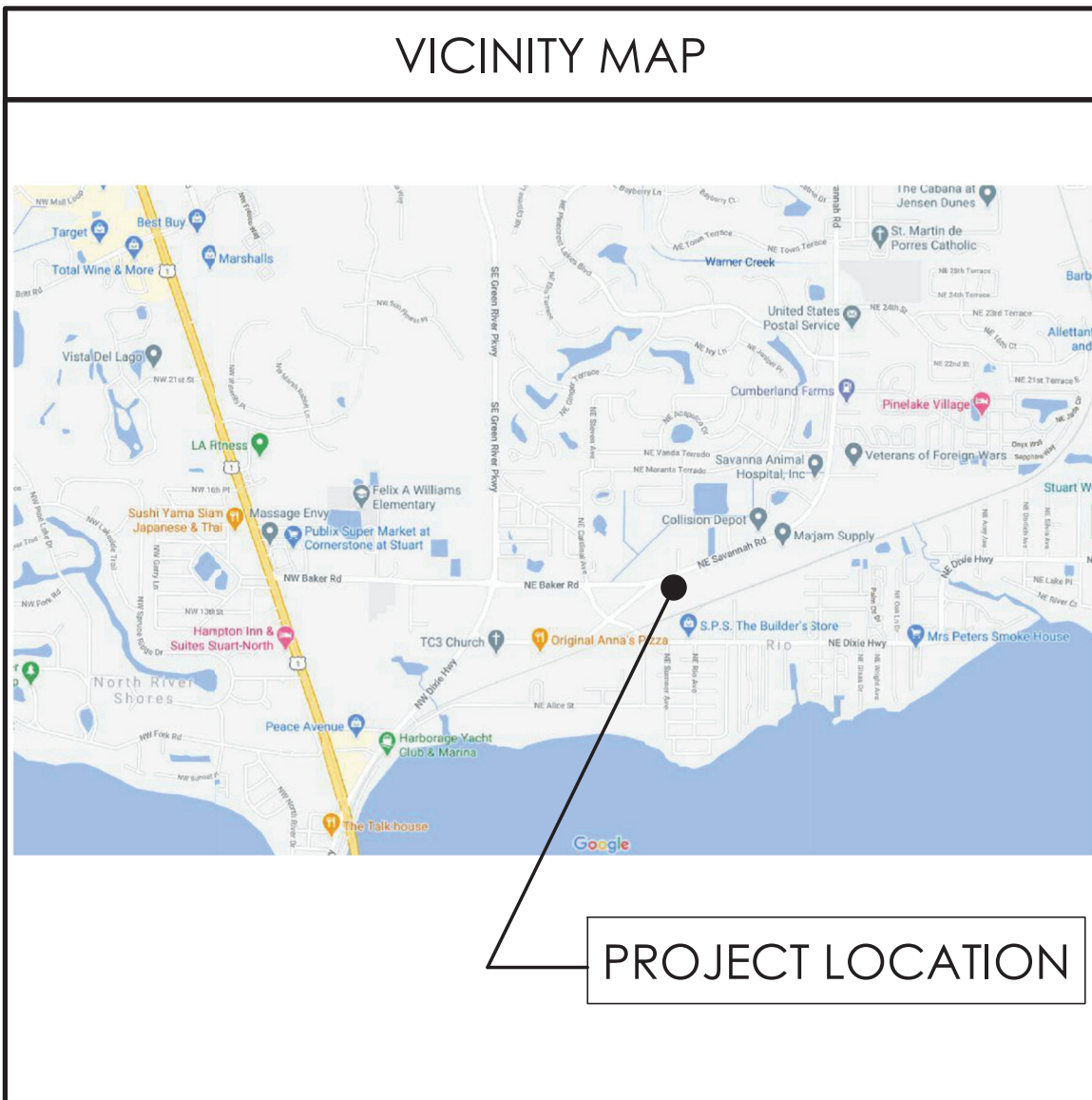
MATERIALS LEGEND

PLAN	SECTION/ELEVATION
STUD WALL	DIMENSIONAL LUMBER
CMU BLOCK WALL	CUT LUMBER
POURED CONCRETE WALL	PLYWOOD
	EARTH FILL
	STRUCTURAL STEEL
	BATT INSULATION
	RIGID FOAM INSULATION
	CONCRETE MASONRY UNIT
	FLOOR TRUSS



STANDARD ABBREVIATIONS

A.B. ANCHOR BOLT	D.L. DEAD LOAD	HDWR. HARDWARE	SH. SHELF
A/C. AIR CONDITIONER	DN. DOWN	H.M. HOLLOW METAL	SHT. SHEET
ADJ. ADJACENT	DRYW. DRYWALL	HORTZ. HORIZONTAL	SIM. SIMILAR
A.H.U. AIR HANDLER UNIT	D.W. DISHWASHER	HGT. HEIGHT	S.G.D. SLIDING GLASS DOOR
ALUM. ALUMINUM	DWG. DRAWING	HTG. HEATING	SQ. SQUARE
ALT. ALTERNATE	E.A. EACH	HTR. HEATER	S.S. STAINLESS STEEL
APPROX. APPROXIMATE	E.I.F.S. EXTERIOR INSULATION	IN. INCHES	STD. STANDARD
BRG. BEARING	FINISH SYSTEM	INSUL. INSULATION	STO. STORAGE
BD. BOARD	E.J. EXPANSION JOINT	INT. JOINT	STR. STRUCTURAL
B.L.D.G. BUILDING	ELEV. ELEVATION	JST. JOIST	SUB. SUBSTITUTE
BLK. BLOCK	E.P.S. EXPANDED POLYSTYRENE	LB. POUND	SUP. SUPPORT
B.M. BEAM	SYSTEM	LAM. LAMINATED	T.C. TRASH COMPACTOR
BTM. BOTTOM	EQ. EQUAL	LAV. LAVATORY	TEMP. TEMPERATURE
COL. COLUMN	EST. ESTIMATE	LTG. LIGHTING	THK. THICK/THICKNESS
CER. CERAMIC	EXT. EXISTING	MATL. MATERIALS	TYP. TYPICAL
C.J. CONSTRUCTION JOINT	EXT. EXTERIOR	MAX. MAXIMUM	U.L. UNDERWRITERS
CLG. CEILING	FN.FL. FINISH FLOOR	M.C. MEDICAL CABINET	LABORATORY
C.M.U. CONCRETE BLOCK	FIN. FINISH	MECH. MECHANICAL	VENT. VENTILATION
CONC. CONCRETE	F.G. FIXED GLASS	MIN. MINIMUM	VERT. VERTICAL
CONST. CONSTRUCTION	F.P. FIREPLACE	MISC. MISCELLANEOUS	VOL. VOLUME
CONT. CONTINUOUS	FT. FEET	M.O. MASONRY OPENING	V.T.R. VENT THROUGH ROOF
CTR. CENTER	FTG. FOOTING	M.T. METAL THRESHOLD	W. WIDTH/WIDE/WASHER
D. DRYER	GA. GAGE	MTL. METAL	W.C. WATER CLOSET
DBL. DOUBLE	GALV. GALVANIZED	O.A. OVERALL	W.D. WOOD
DET. DETAIL	GL. GLASS	O.C. ON CENTER	WDW. WINDOW
DIA.M. DIAMETER	GYP. GYPSUM	O.D. OUTSIDE DIAMETER	WH. WATER HEATER
DIM. DIMENSION	H.B. HOSE BIB	OPP. OPPOSITE	W.I.C. WALK IN CLOSET
DISP. DISPOSAL	H.C. HOLLOW CORE		W.P. WATERPROOF



APPLIED CODES

FLORIDA BUILDING CODE 2023, 8TH EDITION WITH LOCAL ORDINANCES
FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES
FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES
FLORIDA ACCESSIBILITY CODE, 2023
FLORIDA ENERGY CODE, 2014
FLORIDA FIRE PREVENTION CODE, 2020
NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES
NFPA 101 - 2012 EDITION - LIFE SAFETY CODE
THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998
THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION
ANSI A 117.1 - 1986 EDITION
NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS
NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS
NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS
NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE
NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE
FLORIDA STATUTES
FLORIDA ADMINISTRATIVE CODE

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES' KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

PROJECT NARRATIVE

PROJECT NARRATIVE:

THE PROPOSED PROJECT IS LOCATED IN UNINCORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL & POOL DECK, BUT PROVIDED BY OTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20, 21
BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: 1, 2, 3, 5, 7, 8, 16, 17, 21
EAST: 10, 18, 19
WEST: 10, 18, 19

BUILDING IDENTIFICATION

BUILDING TYPE 1	= CLUBHOUSE
BUILDING TYPE 2	= APARTMENT
BUILDING TYPE 3	= APARTMENT
BUILDING TYPE 4	= TOWNHOME
BUILDING TYPE 5	= TOWNHOME
BUILDING TYPE 6	= TOWNHOME
BUILDING TYPE 7	= LIVE-WORK
BUILDING TYPE 8	= LIVE-WORK
BUILDING TYPE 10	= MARINE SERVICES
BUILDING TYPE 14	= RECREATIONAL
BUILDING TYPE 15	= APARTMENT
BUILDING TYPE 16	= APARTMENT
BUILDING TYPE 17	= MAIL KIOSK
BUILDING TYPE 18	= TRASH ENCLOSURE
BUILDING TYPE 19	= RECYCLING ENCLOSURE #1
BUILDING TYPE 20	= RECYCLING ENCLOSURE #2
BUILDING TYPE 21	= ENTRY FEATURE

CODE INFORMATION

APARTMENT

1.1 BUILDING USE / OCCUPANCY / TYPE
GROUP R-2, S-2
CONSTRUCTION TYPE: TYPE V-B
SPRINKLED: NFPA - 13R

1.2 BUILDING HEIGHT (FBC TABLE 503)
ALLOWED: 3 STORIES / 40
PROPOSED: 3 STORIES, 36'-6"

1.3 BUILDING AREA (FBC TABLE 503)
ALLOWED: 7,000 SQ. FT. / PER FLOOR
12,250 SQ. FT. (INCREASE PER FBC 506.2)
REFER TO BUILDING AREA TABLES
PROPOSED: 12,250 SQ. FT. (INCREASE PER FBC 506.2)
REFER TO BUILDING AREA TABLES

ALLOWABLE AREA PER IBC 506.2.3:
 $I_t = [F/P - 0.25] W/30$
 $I_t = [708/708 - 0.25] 30/30$
 $I_t = 0.75$
 $A_o = [A_u + (I_N \times I_t)]$
 $A_o = [7,000 + (7,000 \times 0.75)]$
 $A_o = 12,250 SF$

1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601)
STRUCTURAL FRAME: 0 HOUR
INTERIOR BEARING WALLS: 0 HOUR
EXTERIOR BEARING WALLS: 0 HOURS
EXTERIOR NON-BEARING WALLS: 0 HOURS
INTERIOR NON-BEARING WALLS: 0 HOURS
FLOOR CONSTRUCTION: 0 HOUR
ROOF CONSTRUCTION: 0 HOUR

1.5 FIRE SEPARATION
TENANT SEPARATION: 1 HOUR (FBC 708.3)
CORRIDOR: 1 HOUR (FBC 1018.1)

1.6 EXIT ACCESS
101.5.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE : 250' (FBC 1016.2)
MAXIMUM COMMON PATH OF EGRESS TRAVEL: 75' (FBC 1014.3)
MAXIMUM DEAD END: 20' (FBC 1018.4)

1.7 MINIMUM INTERIOR FINISH CLASSIFICATION
NFPA 101 TABLE A.10.2.2

GROUP	VERTICAL EXITS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES
R-2	A	A	C
S-2	C	C	C

BUILDING TYPE 3 AREA - GROSS

01-FIRST FLOOR	9,687 SF
02-SECOND FLOOR AP	9,890 SF
03-THIRD FLOOR AP	9,783 SF
TOTAL BUILDING AREA:	29,360 SF

BUILDING TYPE 3 AREA - A/C

01-FIRST FLOOR	5,830 SF
02-SECOND FLOOR AP	7,590 SF
03-THIRD FLOOR AP	7,590 SF
TOTAL BUILDING AREA:	21,010 SF

STUART, FLORIDA

SEAL DATE

CRISTIAN COQUENDO
Charlan Brock & Associates, Inc. within dimensions shall have precedence over scale dimensions. AAC000798

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

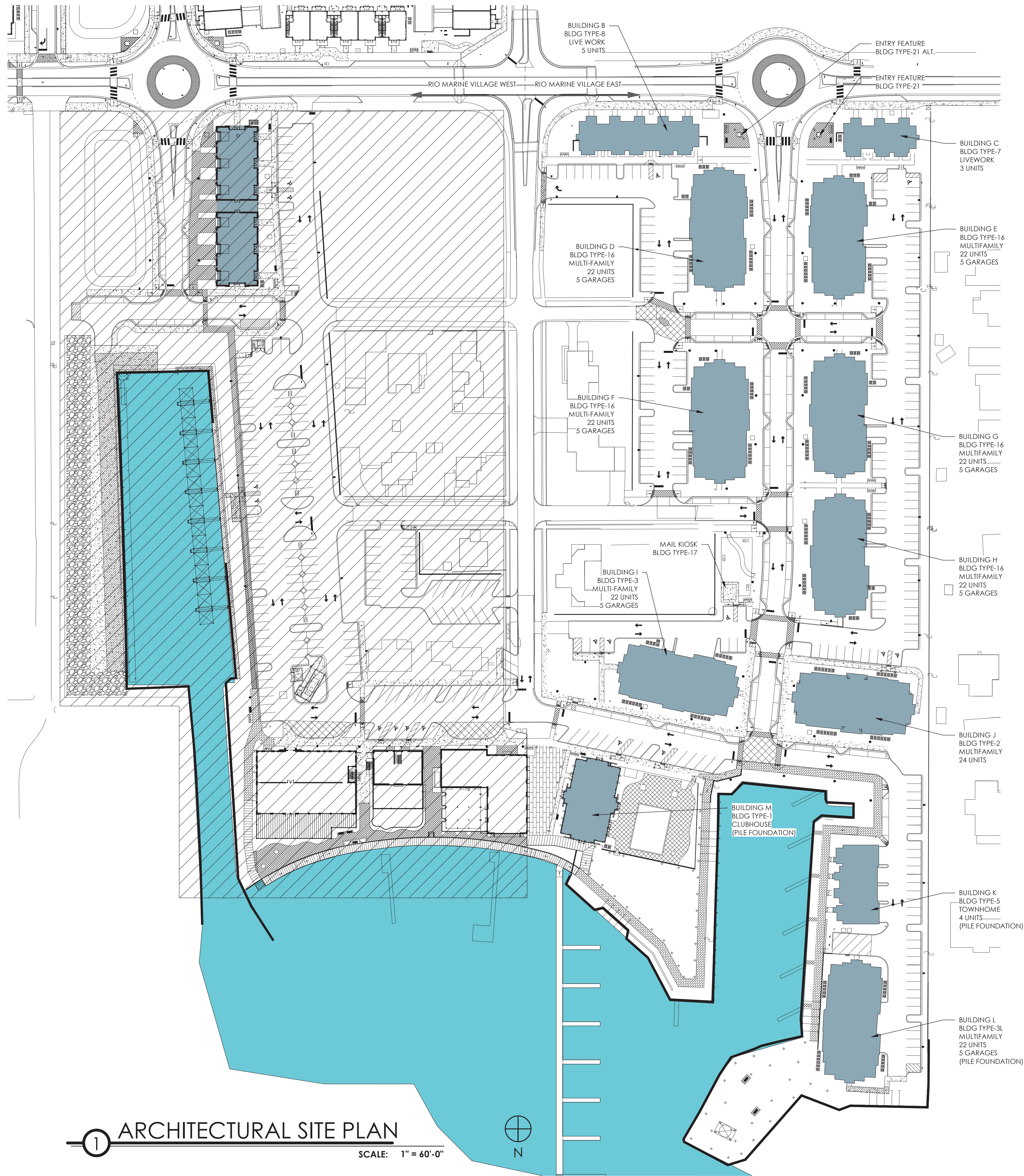
date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date
1 3/20/24

Sheet Title
BLDG TYPE-3
MULTI-FAMILY
PROJECT DATA

Sheet Number
A0.10CC

A0.03.3

PERMIT SET



1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 60'-0"

GENERAL NOTES	
SITE PLAN SHOWN IS FOR REFERENCE PURPOSES ONLY. FOR COMPLETE DIMENSIONS, GRADING AND UTILITY INFORMATION REFER TO CIVIL ENGINEERING PLANS. REFER TO CIVIL DRAWINGS FOR COMPLETE SIDEWALK AND GRADING DESIGN. PROVIDE AND ACCESSIBLE ROUTE THROUGH THE SITE THAT CONNECTS ALL REQUIRED ACCESSIBLE FEATURES, ELEMENTS AND SPACES WITH APPROPRIATE WIDTHS, SLOPES, SURFACES, ETC. ACCESSIBLE ROUTE SHALL BE IN COMPLIANCE WITH FAIR HOUSING DESIGN ACT MANUAL - 1998 (FHDAM PAGE 1.6). A MINIMUM OF 2% OF ALL PARKING, BOTH COVERED AND UNCOVERED, SHALL COMPLY WITH FAIR HOUSING DESIGN ACT MANUAL AND THE ADA ACCESSIBILITY GUIDELINES. FOR LANDSCAPE AND HARDSCAPE INFORMATION AND DETAILING REFER TO LANDSCAPE ARCHITECT'S PLANS.	
CIVIL ENGINEER SIMMONS & WHITE, INC. JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698 E: PARRISH@SIMMONSANDWHITE.COM	LANDSCAPE ARCHITECT COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN COJUDO
Cristian Cojudo, P.E. & Associates, A.C.000798
In accordance with FRC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a

charlan • brock
associates

architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: OL
reviewed by: AP
issue history: Date

Sheet Title

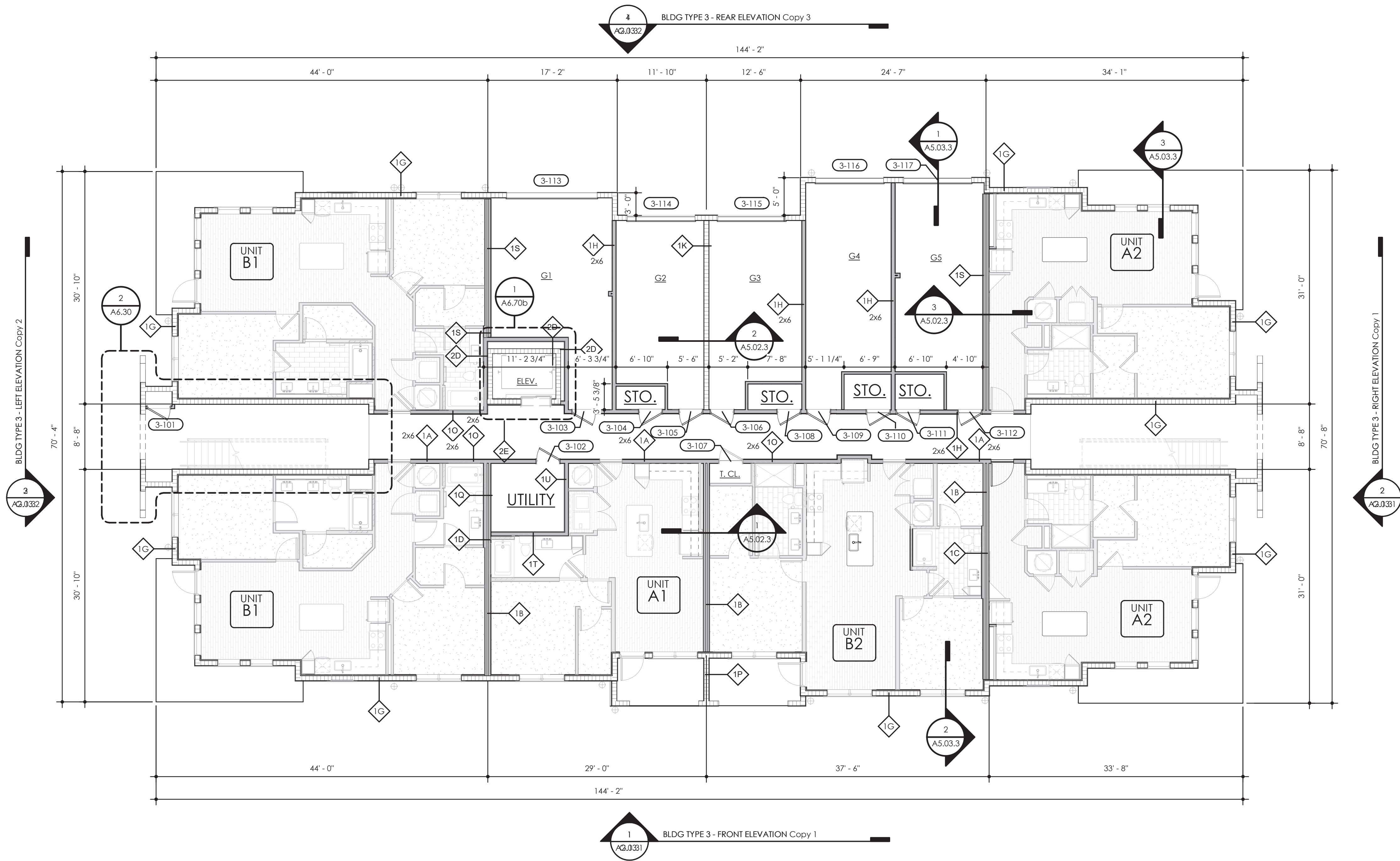
ARCHITECTURAL SITE
PLAN - MARINE EAST

A0.10CC

Sheet Number

PERMIT SET

A0.10A



1 BUILDING TYPE 3 - MULTIFAMILY - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND	
	STEP IN SLAB
	LEVEL SLAB TO SLOPE SLAB

TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998, REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

STUART, FLORIDA

CRISTIAN OSQUEANDO
CHARLAN, BROCK & ASSOCIATES, A.A0000798
in accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, these ideas, designs, and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. within dimensions shall have precedence over scale dimension.

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

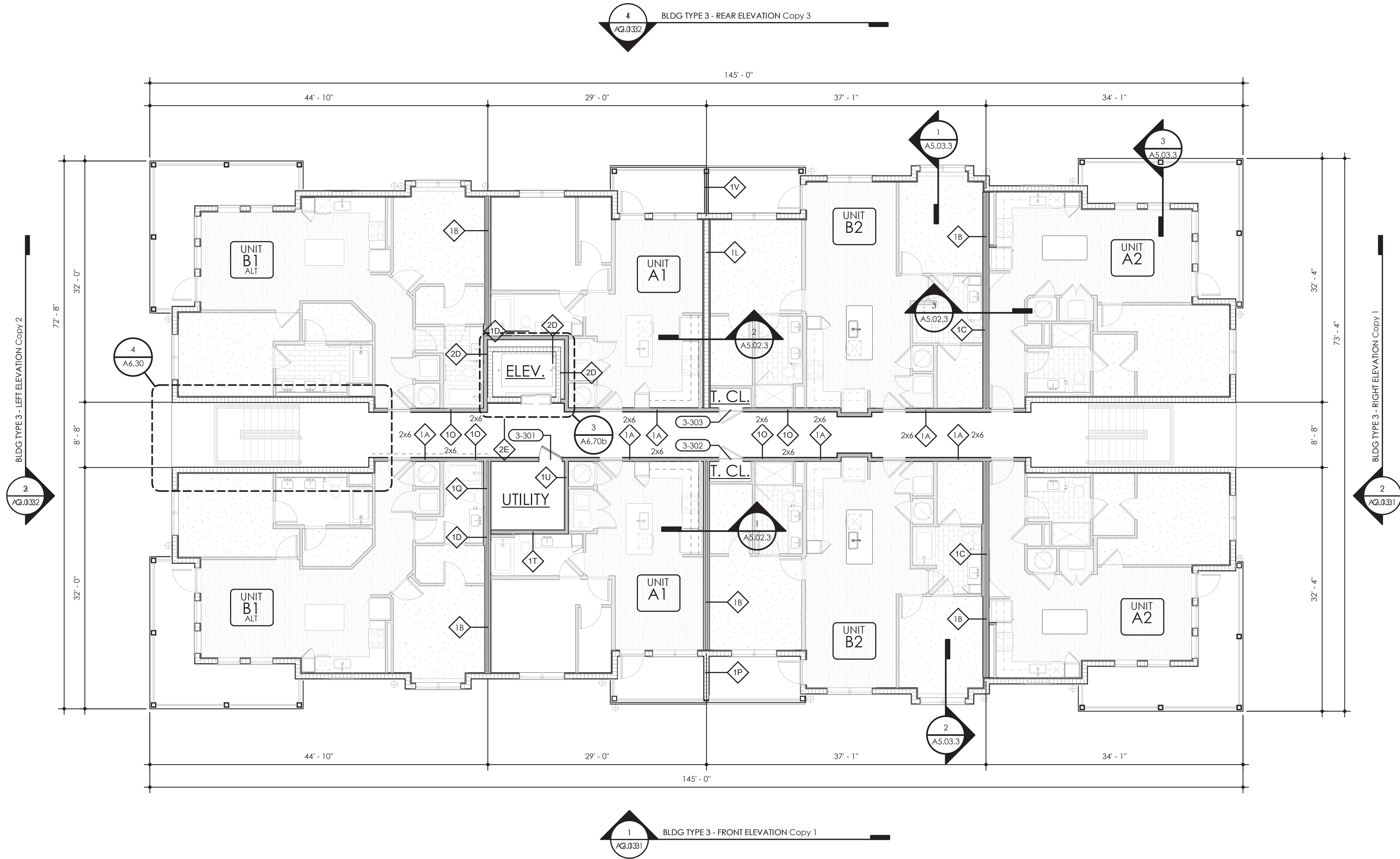
BLDG TYPE-3
MULTIFAMILY FIRST
FLOOR PLAN

Sheet Number

A0.10CC

PERMIT SET

A1.03.1



1 BUILDING TYPE 3 - MULTIFAMILY - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND	
	STEP IN SLAB
	LEVEL SLAB TO SLOPE SLAB

TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998, REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

STUART, FLORIDA

SEAL DATE

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-3
MULTIFAMILY THIRD
FLOOR PLAN

PERMIT SET

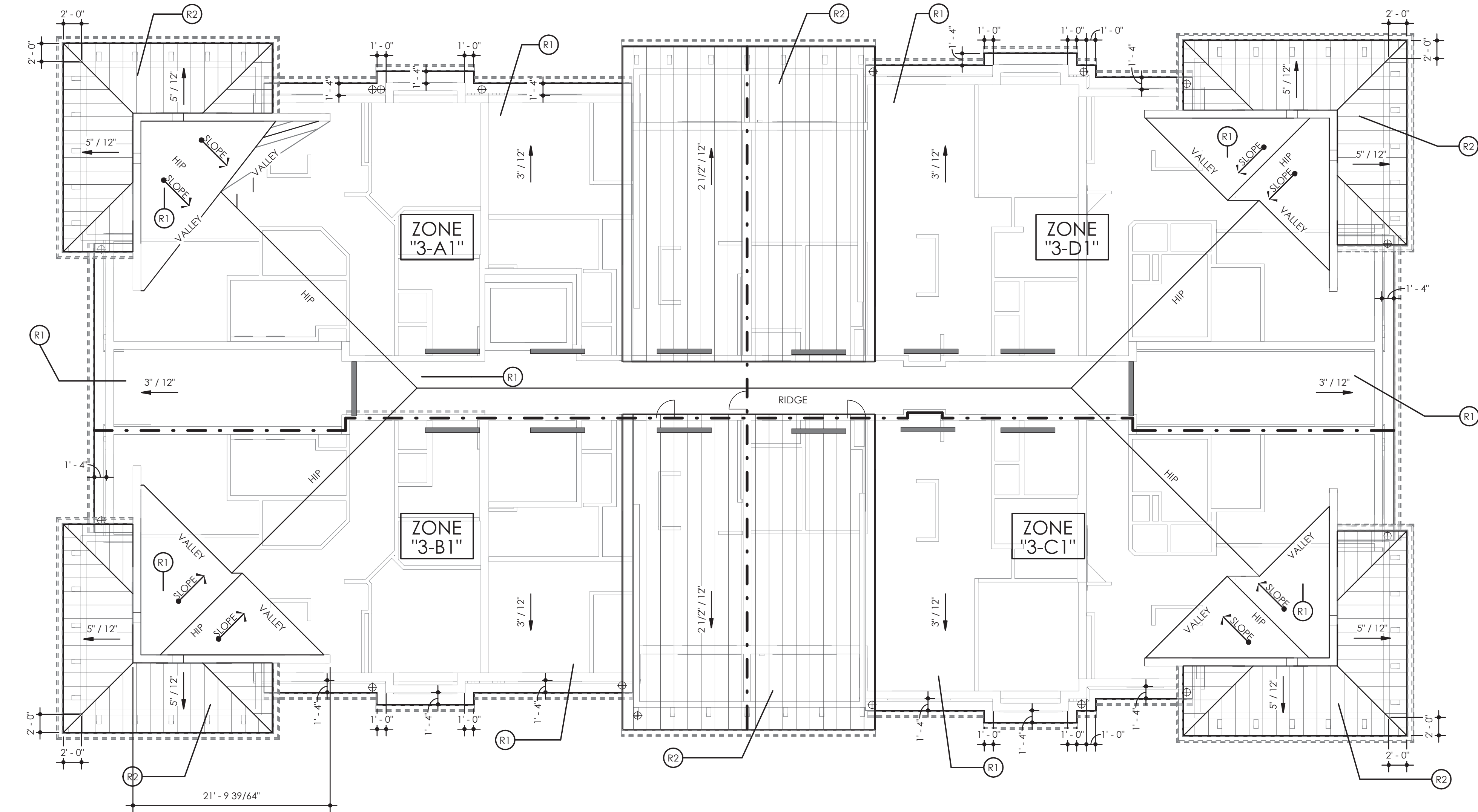
Sheet Number

A0.10CC

A1.03.3

CRISTIAN OSQUEUNDO
Charlan Brock & Associates, Inc.
Scale dimensions shall have precedence over scale dimension.

CRISTIAN OSQUEUNDO
Charlan Brock & Associates, Inc.
Scale dimensions shall have precedence over scale dimension.



1 BUILDING TYPE 3 - MULTIFAMILY - ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENTILATION CALCULATIONS							
ZONES	AREA	PERIMETER	REQ. VENT. SQ.FT.		PROVIDED		
			HIGH	LOW	OFF RIDGE VENT		HIGH
					SOFFIT	#	
3-A1	2,909 SF	126.59 LF	4.85	4.85	10.14 SF	4	5.84 SF
3-B1	2,365 SF	117.17 LF	3.94	3.94	9.38 SF	3	4.38 SF
3-C1	2,385 SF	112.79 LF	3.97	3.97	9.03 SF	3	4.38 SF
3-D1	2,921 SF	122.28 LF	4.87	4.87	9.79 SF	4	5.84 SF

ROOF 'ZONES' SEPARATED BY DRAFTSTOPPING AREA CALCULATED INDIVIDUALLY PER IBC 718.4. CALCULATIONS OF REQUIRED VENTILATION ARE BASED ON IBC 1202.

FORMULA FOR REQUIRED VENTING:
ROOF SQ.FT. X (1/300) = TOTAL VENTING
40% MIN. 50% MAX. HIGH VENTING
50% MIN. 60% MAX. LOW (EAVE) VENTING

SOFFIT (LOW) VENTING:
BASED ON SEMCO SV201 2" WIDE ALUM. SOFFIT-STRIP PROVIDING 92 SQ.IN. OF VENTING PER LIN.FT. = 0.08 SQ.FT.

OFF RIDGE (HIGH) VENTING:
BASED ON TAMCO VENT. EACH VENT PROVIDES 210 SQ.IN. OF VENTING = 1.46 SQ.FT.

ROOF PLAN GENERAL NOTES	
1.	REFER TO ROOF PLAN FOR ROOF SLOPES.
2.	ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

ROOF KEYNOTES	
R1	30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT
R2	STANDING SEAM METAL ROOF SYSTEM
R3	⊕ DENOTES SUGGESTED 6" GUTTER LOCATIONS
R4	SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS. VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION
R5	_____ CRICKET WITH 3:12 SLOPE MINIMUM, U.N.O
R6	TAPERED INSULATION + TPO ROOFING
R7	DENOTES ROOF VENTS. REFER TO ROOF CALCULATIONS FOR OVERALL SQUARE FOOTAGE OF VENTING
R8	SELF-CLOSING DOOR WITH AUTOMATIC LATCH AT DRAFTSTOPPING
R9	DENOTES DRAFTSTOPPING IN ATTIC AREA
R10	22" x 36" ATTIC ACCESS DOOR. PROVIDE 1-HR RATED ACCESS DOOR IN APARTMENT BUILDINGS, GARAGES AND MAINTENANCE BUILDINGS. ALL ATTIC ACCESS TO BE LOCKABLE. SEE DETAIL X/A7.XX
R11	PRIMARY ROOF DRAIN
R12	PROVIDE PLYWOOD WALK WITHIN SPACE FROM ATTIC ACCESS TO ROOF ACCESS DOOR
R13	PARAPET KICKERS. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION, SIZE AND DETAILS
R14	SECONDARY OVERFLOW ROOF DRAIN

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN OQUEENDO
CHARLAN • BROCK & ASSOCIATES, A.C.000798
In accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, these ideas, designs, and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. written dimensions shall have precedence over scale dimension.

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-3
MULTIFAMILY ROOF
PLAN

Sheet Number

A0.10CC

A1.03.4

PERMIT SET

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x3" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

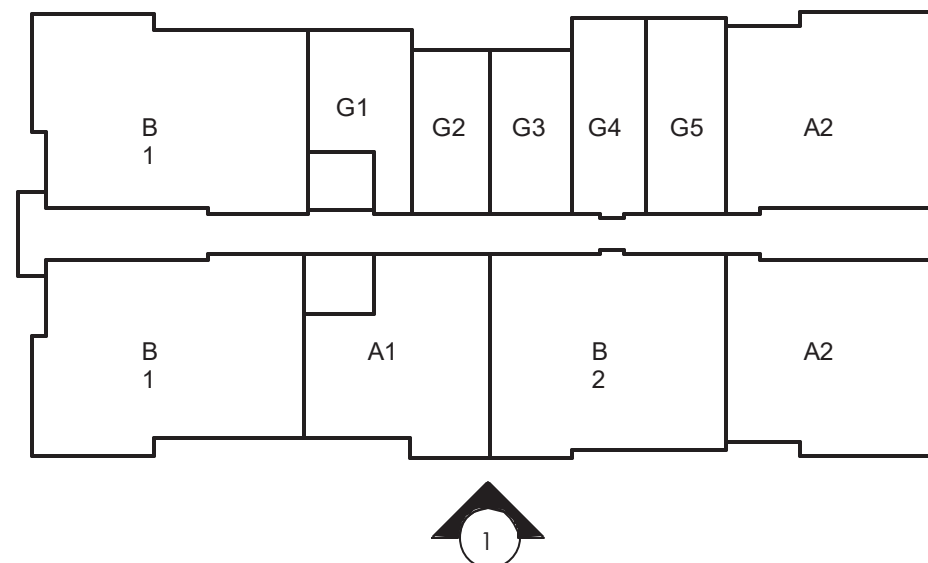
ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM, SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E18	POT LOW E ALUMINUM WINDOWS, SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM, SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR, SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR, SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL CORING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS, COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER, SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28	ELECTRICAL METER BOX, SEE ELECTRICAL DRAWINGS
E29	PROFILE STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND

BUILDING KEY PLAN



Sheet Title

BLDG TYPE-3
MULTIFAMILY
EXTERIOR ELEVATIONS

A0.10CC

Sheet Number

A2.03.1

PERMIT SET



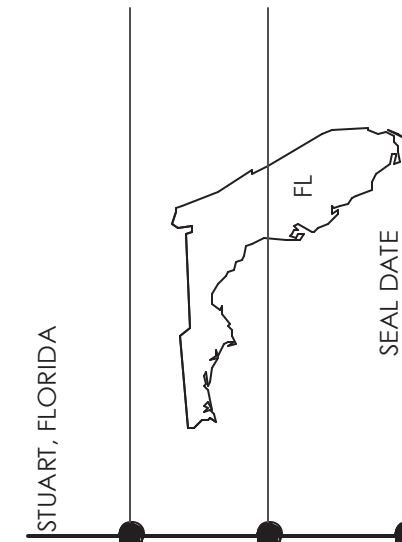
2 BLDG TYPE 3 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 3 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"



RIO MARINE VILLAGE

PHASE I EAST

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f: 407 875 9948
www.cbaarchitects.com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue

history: Date

1 3/20/24

3/20/2024 1:45:36 PM BIM 360://4301 - RIO Apartments/4301 - RIO MARINA AND PRESERVE APTS.rvt

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

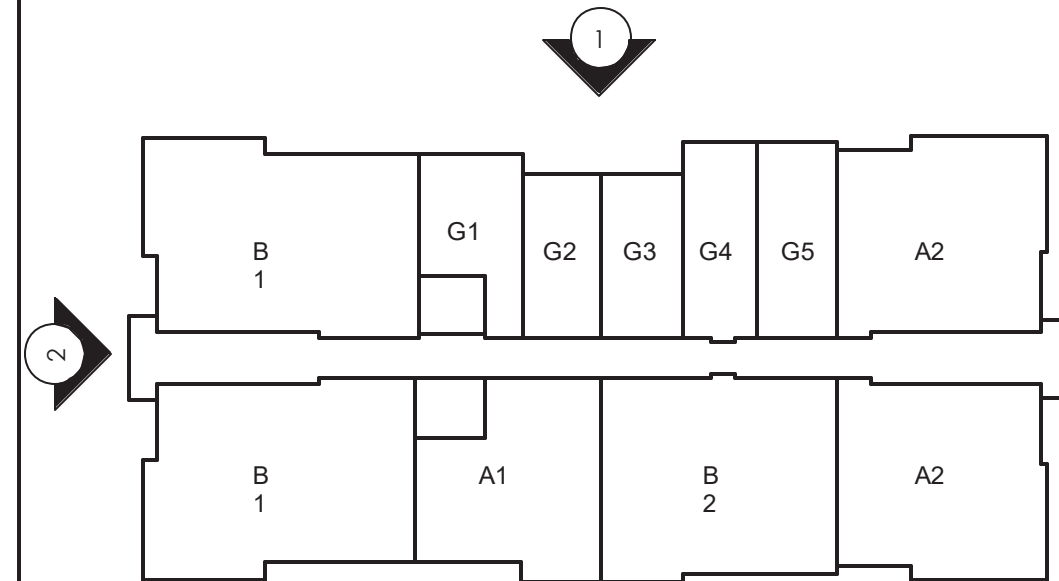
ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM, SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E18	POT LOW E ALUMINUM WINDOWS, SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM, SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR, SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR, SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL CORING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS, COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER, SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E28	ELECTRICAL METER BOX, SEE ELECTRICAL DRAWINGS
E29	PROFILE STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND

BUILDING KEY PLAN



Sheet Title

BLDG TYPE-3
MULTIFAMILY
EXTERIOR ELEVATIONS

A0.10CC

Sheet Number

A2.03.2

PERMIT SET



2 BLDG TYPE 3 - LEFT ELEVATION

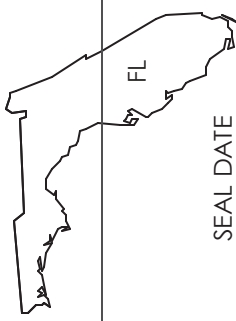
SCALE: 1/8" = 1'-0"



1 BLDG TYPE 3 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

STUART, FLORIDA



CRISTIAN OQUENDO
CRISTIAN OQUENDO & ASSOCIATES, A.C. 000798
CRISTIAN OQUENDO & ASSOCIATES, A.C. 000798
CRISTIAN OQUENDO & ASSOCIATES, A.C. 000798

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLUK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f: 407 875 9948
www.cbaarchitects.com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue

history: Date

1 3/20/24

BUILDING HEIGHT



BUILDING TYPE 5 -
BUILDING TYPE - TOWNHOMES

SIGNAGE NOTE:
ALL SIGNAGE SHALL BE REVIEWED AT TIME
OF BUILDING PERMIT FOR COMPLIANCE
WITH MARTIN COUNTY SIGN
REGULATIONS. NO SIGNAGE IS APPROVED
AS PART OF THIS SITE PLAN REVIEW.

MAINTENANCE NOTE

THESE BUILDING, AS WITH ALL IT'S STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETERIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THE BUILDINGS. THE OWNER OR THE LEASING/ MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.

MATERIALS LEGEND

PLAN

 STUD WALL

 CMU BLOCK WALL

 POURED CONCRETE WALL

SECTION/ELEVATION

 DIMENSIONAL LUMBER

 CUT LUMBER

 PLYWOOD

 EARTH FILL

 STRUCTURAL STEEL

 BATT INSULATION

 RIGID FOAM INSULATION

 CONCRETE MASONRY UNIT

 FLOOR TRUSS

KEY TO SYMBOLS

NORTH ARROW



SPACE IDENTIFICATION

LIVING

1234

SPACE NAME

SPACE NUMBER

DETAIL SECTION REFERENCE

14

A7.11

DETAIL NUMBER

SHEET NUMBER

DETAIL PLAN/ELEVATION REFERENCE

14

A7.11

DETAIL NUMBER

DETAIL AREA

SHEET NUMBER

DETAIL TITLE

1

Detail

DETAIL NUMBER

SCALE:

WALL SECTION REFERENCE

14

A7.11

SECTION ORIENTATION

SECTION NUMBER

SHEET NUMBER

BUILDING SECTION REFERENCE

14

A7.11

SECTION ORIENTATION

SECTION NUMBER

SHEET NUMBER

WINDOW IDENTIFICATION

A

WINDOW LETTER

UNIT DOOR IDENTIFICATION

01

DOOR NUMBER

BUILDING DOOR IDENTIFICATION

101

DOOR NUMBER

CLUB DOOR IDENTIFICATION

1001

DOOR NUMBER

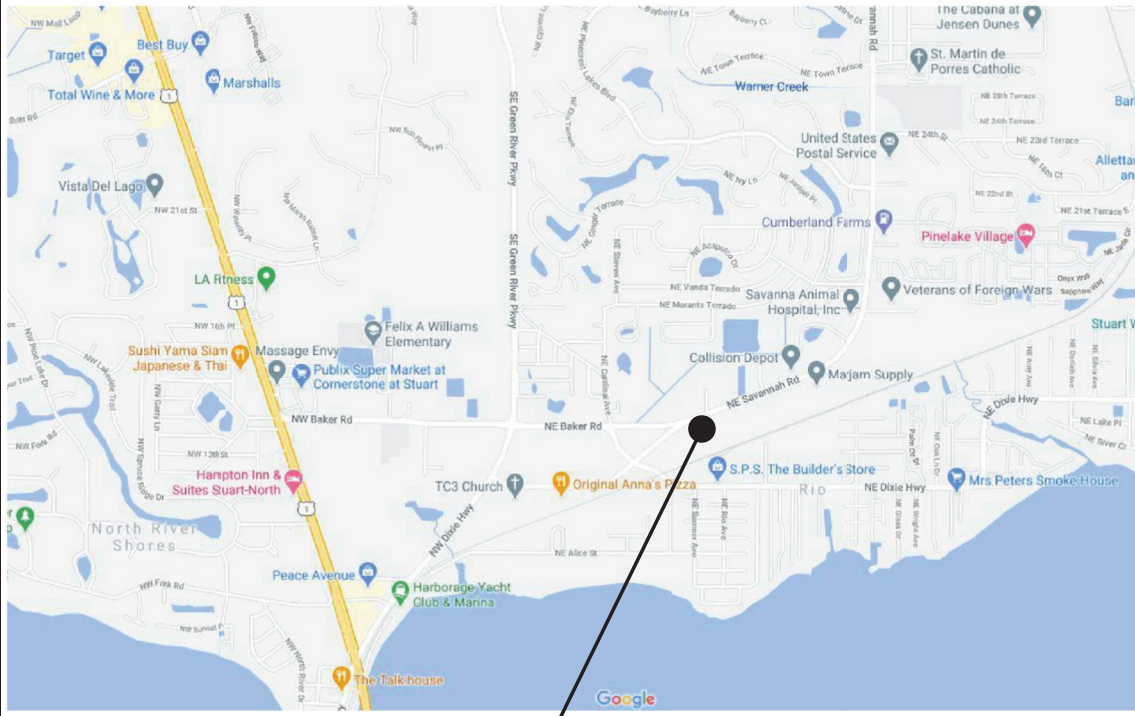
WALL TYPE IDENTIFICATION

10

WALL TYPE

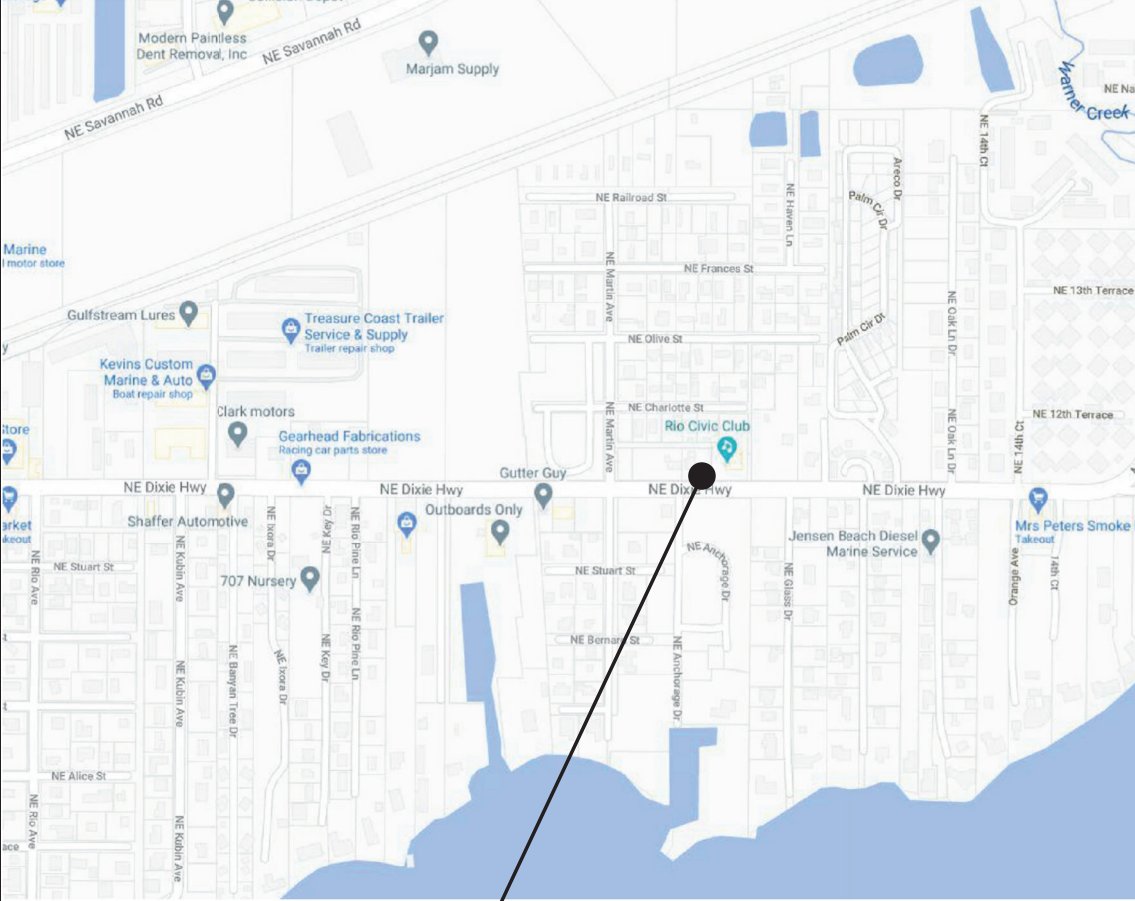
STANDARD ABBREVIATIONS							
A.B	ANCHOR BOLT	D.L	DEAD LOAD	HDWR	HARDWARE	OPT.	OPTIONAL
A/C	AIR CONDITIONER	DN.	DOWN	H.M.	HOLLOW METAL	P.	PANTRY
ADJ.	ADJACENT	DRYW.	DRYWALL	HORTZ.	HORIZONTAL	P.C.	PULL CHAIN
A.H.U.	AIR HANDLER UNIT	D.W.	DISHWASHER	HGT.	HEIGHT	PED.	PEDESTAL
ALUM.	ALUMINUM	DWG.	DRAWING	HTG.	HEATING	PERP.	PERPENDICULAR
ALT.	ALTERNATE	E.A.	EACH	HTR	HEATER	PL	PLATE
APPROX.	APPROXIMATE	E.I.F.S.	EXTERIOR INSULATION	IN.	INCHES	PLYWD.	PLYWOOD
BRG.	BEARING		FINISH SYSTEM	INSUL.	INSULATION	PROP.	PROPERTY
BD.	BOARD	E.J.	EXPANSION JOINT	INT.	INTERIOR	P.S.F.	POUND PER SQUARE FEET
B.L.D.G.	BUILDING	ELEV.	ELEVATION	JST.	JOIST	P.S.I.	POUND PER SQUARE INCH
BLK.	BLOCK	E.P.S.	EXPANDED POLYSTYRENE	LB.	POUND	P.T.	PRESSURE TREATED
B.M.	BEAM		SYSTEM	PTN.	PARTITION	P.H.	PAPER HOLDER
BTM.	BOTTOM	EQ.	EQUAL	LAM.	LAMINATED	QUAL.	QUALITY
COL.	COLUMN	EST.	ESTIMATE	LAV.	LAVATORY	QUAN.	QUANTITY
CER.	CERAMIC	EXT.	EXISTING	LTG.	LIGHTING	R.A.G.	RETURN AIR GRILL
C.J.	CONSTRUCTION JOINT	EXT.	EXTERIOR	MATL.	MATERIALS	RAD.	RADIUS
CLG.	CEILING	FN.FL.	FINISH FLOOR	MAX.	MAXIMUM	R.D.	ROOF DRAIN
C.M.U.	CONCRETE BLOCK	FIN.	FINISH	M.C.	MEDICAL CABINET	REF.	REFRIGERATOR
CONC.	CONCRETE	F.G.	FIXED GLASS	MECH.	MECHANICAL	REINF.	REINFORCE
CONST.	CONSTRUCTION	F.P.	FIREPLACE	MIN.	MINIMUM	REQD.	REQUIRED
CONT.	CONTINUOUS	FT.	FEET	MISC.	MISCELLANEOUS	REV.	REVISION/REVERSE
CTR.	CENTER	FTG.	FOOTING	M.O.	MASONRY OPENING	RM.	ROOM
D	DRYER	GA.	GAGE	M.T.	METAL THRESHOLD	ROS.	ROUGH SAWN
DBL.	DOUBLE	GALV.	GALVANIZED	MTL.	METAL	S.C.	SOLID CORE
DET.	DETAIL	GL.	GLASS	O.A.	OVERALL	SCHED.	SCHEDULE
DIAM.	DIAMETER	GYP.	GYPSUM	O.C.	ON CENTER	SDNG	SIDING
DIM.	DIMENSION	H.B.	HOSE BIB	O.D.	OUTSIDE DIAMETER	SEC.	SECTION
DISP.	DISPOSAL	H.C.	HOLLOW CORE	OPP.	OPPOSITE		

VICINITY MAP



PROJECT LOCATION

LOCATION MAP



PROJECT SITE

APPLIED CODES

FLORIDA BUILDING CODE 2023, 8TH EDITION WITH LOCAL ORDINANCES

FLORIDA MECHANICAL CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA PLUMBING CODE, 2020 EDITION WITH LOCAL ORDINANCES

FLORIDA ACCESSIBILITY CODE, 2023

FLORIDA ENERGY CODE, 2014

FLORIDA FIRE PREVENTION CODE, 2020

NATIONAL ELECTRICAL CODE, 2017 EDITION WITH LOCAL ORDINANCES

NFPA 101 - 2012 EDITION - LIFE SAFETY CODE

THE FAIR HOUSING ACT DESIGN MANUAL, REVISED 1998

THE AMERICAN WITH DISABILITIES ACT, 2010 EDITION

ANSI A 117.1 - 1986 EDITION

NFPA 1 UNIFORM FIRE CODE 2009 WITH FLORIDA AMENDMENTS

NFPA 10, 2010 EDITION - INSTALLATION OF PORTABLE FIRE EXTINGUISHERS

NFPA 13, 2010 EDITION - AUTOMATIC SPRINKLER SYSTEMS

NFPA 70, 2011 EDITION - NATIONAL ELECTRICAL CODE

NFPA 72, 2010 EDITION - NATIONAL FIRE ALARM CODE

FLORIDA STATUTES

FLORIDA ADMINISTRATIVE CODE

TO THE BEST OF CHARLAN BROCK AND ASSOCIATES' KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

PROJECT NARRATIVE

PROJECT NARRATIVE:

THE PROPOSED PROJECT IS LOCATED IN UNINCORPORATED MARTIN COUNTY, FLORIDA IN THE RIO COMMUNITY REDEVELOPMENT AREA SOUTH, OF NE DIXIE HIGHWAY AND RIO NORTH DIXIE, OF NE DIXIE HIGHWAY. THE PROJECT IS COMPRISED OF MULTI-FAMILY, TOWNHOMES, LIVE-WORK, AMENITY AS WELL AS VARIOUS ANCILLARY STRUCTURES. THE SITE ALSO INCLUDES AN AREA FOR POOL & POOL DECK, BUT PROVIDED BY OTHERS. PARKING IS DISTRIBUTED THROUGHOUT THE DEVELOPMENT AS SURFACE PARKING.

BUILDINGS FOR RIO PRESERVE ARE THE FOLLOWING: 2, 4, 6, 8, 14, 15, 17, 20, 21

BUILDINGS FOR RIO MARINE ARE THE FOLLOWING: EAST: 1, 2, 3, 5, 7, 8, 16, 17, 21
WEST: 10, 18, 19

BUILDING IDENTIFICATION

BUILDING TYPE 1 = CLUBHOUSE

BUILDING TYPE 2 = APARTMENT

BUILDING TYPE 3 = APARTMENT

BUILDING TYPE 4 = TOWNHOME

BUILDING TYPE 5 = TOWNHOME

BUILDING TYPE 6 = TOWNHOME

BUILDING TYPE 7 = LIVE-WORK

BUILDING TYPE 8 = LIVE-WORK

BUILDING TYPE 10 = MARINE SERVICES

BUILDING TYPE 14 = RECREATIONAL

BUILDING TYPE 15 = APARTMENT

BUILDING TYPE 16 = APARTMENT

BUILDING TYPE 17 = MAIL KIOSK

BUILDING TYPE 18 = TRASH ENCLOSURE

BUILDING TYPE 19 = RECYCLING ENCLOSURE #1

BUILDING TYPE 20 = RECYCLING ENCLOSURE #2

BUILDING TYPE 21 = ENTRY FEATURE

CODE INFORMATION

TOWNHOME

1.1 BUILDING USE / OCCUPANCY / TYPE

GROUP R-2, S-2

CONSTRUCTION TYPE: TYPE V-B

SPRINKLED: NFPA - 13R

1.2 BUILDING HEIGHT (FBC TABLE 503)

ALLOWED: 3 STORIES / 40'

PROPOSED: 2 STORIES, 27'-7"

1.3 BUILDING AREA (FBC TABLE 503)

ALLOWED: 7,000 SQ. FT. / PER FLOOR

PROPOSED: REFER TO BUILDING AREA TABLES

1.6 EXIT ACCESS

1015.2.1 WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM AND PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS. INTERLOCKING OR SCISSOR STAIRS SHALL BE COUNTER AS ONE EXIT STAIRWAY.

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

BUILDING TYPE 5 AREA - GROSS

01-FIRST FLOOR	4,716 SF
02-SECOND FLOOR AP	3,787 SF
TOTAL BUILDING AREA:	8,503 SF

1.7 MINIMUM INTERIOR FINISH CLASSIFICATION

NFPA 101 TABLE A.10.2.2

GROUP	VERTICAL EXITS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES
R-2	A	A	C
S-2	C	C	C

BUILDING TYPE 5 AREA - A/C

01-FIRST FLOOR	2,297 SF
02-SECOND FLOOR AP	3,788 SF
TOTAL BUILDING AREA:	6,085 SF

1.4 FIRE RESISTANCE RATINGS (FBC TABLE 601)

STRUCTURAL FRAME: 0 HOUR

INTERIOR BEARING WALLS: 0 HOUR

EXTERIOR BEARING WALLS: 0 HOUR

EXTERIOR NON-BEARING WALLS: 0 HOUR

INTERIOR NON-BEARING WALLS: 0 HOUR

FLOOR CONSTRUCTION: 0 HOUR

ROOF CONSTRUCTION: 0 HOUR

1.5 FIRE SEPARATION

PARTY WALL: 2 HOUR (FBC 706.4.1.2)

STUART, FLORIDA

SEAL DATE

CRISTIAN COQUENDO
Charlan Brock & Associates, AAC000798

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history:

1 3/20/24

Sheet Title

BLDG TYPE-5
TOWNHOME PROJECT
DATA

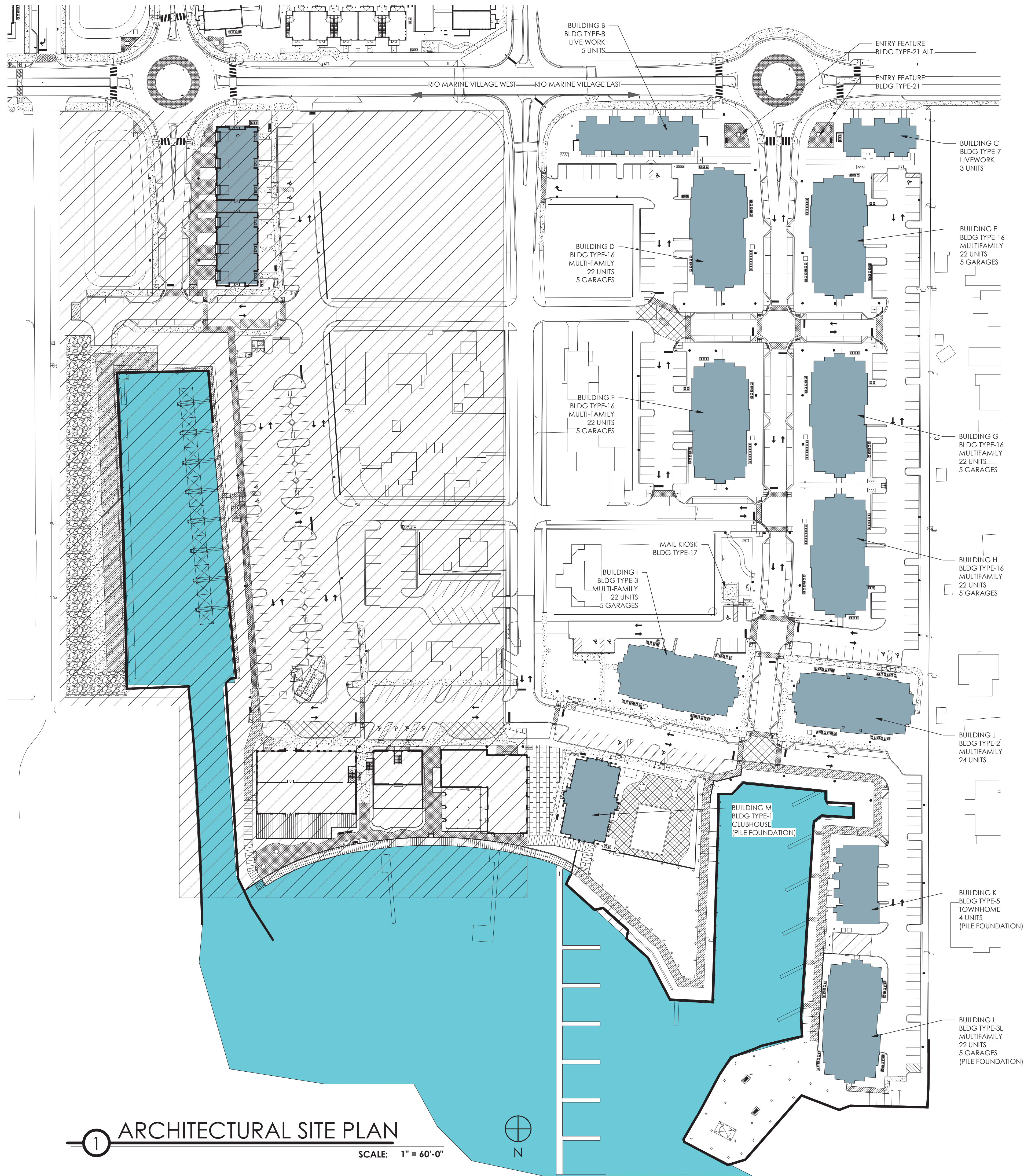
Sheet Number

A0.10CC

A0.03.5

PERMIT SET

charlan, brock & associates, inc. hereby reserves its common law copyright and other property rights in these plans, designs, and designs. these ideas, designs, and designs are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. written dimensions shall have precedence over scale dimensions. in accordance with FBC Section 110.8.4.4 and Chapter 633, florida statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.



1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 60'-0"

GENERAL NOTES

SITE PLAN SHOWN IS FOR REFERENCE PURPOSES ONLY. FOR COMPLETE DIMENSIONS, GRADING AND UTILITY INFORMATION REFER TO CIVIL ENGINEERING PLANS. REFER TO CIVIL DRAWINGS FOR COMPLETE SIDEWALK AND GRADING DESIGN. PROVIDE AND ACCESSIBLE ROUTE THROUGH THE SITE THAT CONNECTS ALL REQUIRED ACCESSIBLE FEATURES, ELEMENTS AND SPACES WITH APPROPRIATE WIDTHS, SLOPES, SURFACES, ETC. ACCESSIBLE ROUTE SHALL BE IN COMPLIANCE WITH FAIR HOUSING DESIGN ACT MANUAL - 1998 (FHDAM PAGE 1.6). A MINIMUM OF 2% OF ALL PARKING, BOTH COVERED AND UNCOVERED, SHALL COMPLY WITH FAIR HOUSING DESIGN ACT MANUAL AND THE ADA ACCESSIBILITY GUIDELINES. FOR LANDSCAPE AND HARDSCAPE INFORMATION AND DETAILING REFER TO LANDSCAPE ARCHITECT'S PLANS.

CIVIL ENGINEER
SIMMONS & WHITE, INC.
JESSE "JAMIE" PARRISH, P.E.
2581 METROCENTRE BLVD, SUITE 3
WEST PALM BEACH, FL 33407
P: 321.212.9698
E: PARRISH@SIMMONSANDWHITE.COM

LANDSCAPE ARCHITECT
COTLEUR & HEARING
GEORGE MISSIMER
1934 COMMERCE LANE, SUITE 1
JUPITER, FL 33458
P: 561.747.6336 x108
E: GMISSIMER@COTLEUR-HEARING.COM

Sheet Title

ARCHITECTURAL SITE
PLAN - MARINE EAST

Sheet Number

A0.10A

PERMIT SET

RIO MARINE VILLAGE
PHASE I EAST

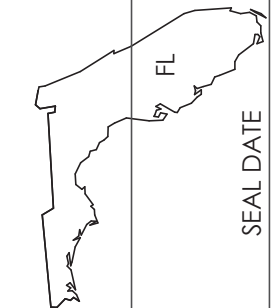
BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

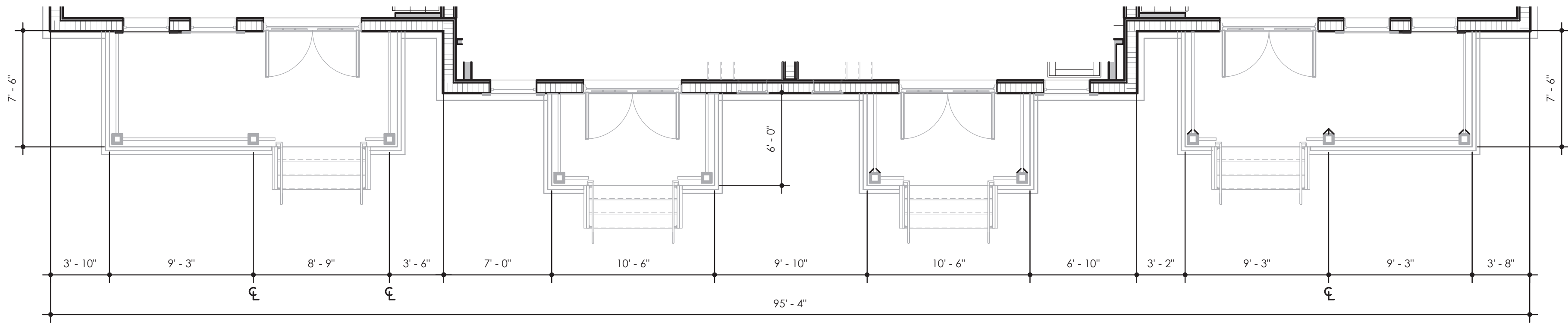
**charlan • brock
associates**
architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: OL
reviewed by: AP
issue history: Date

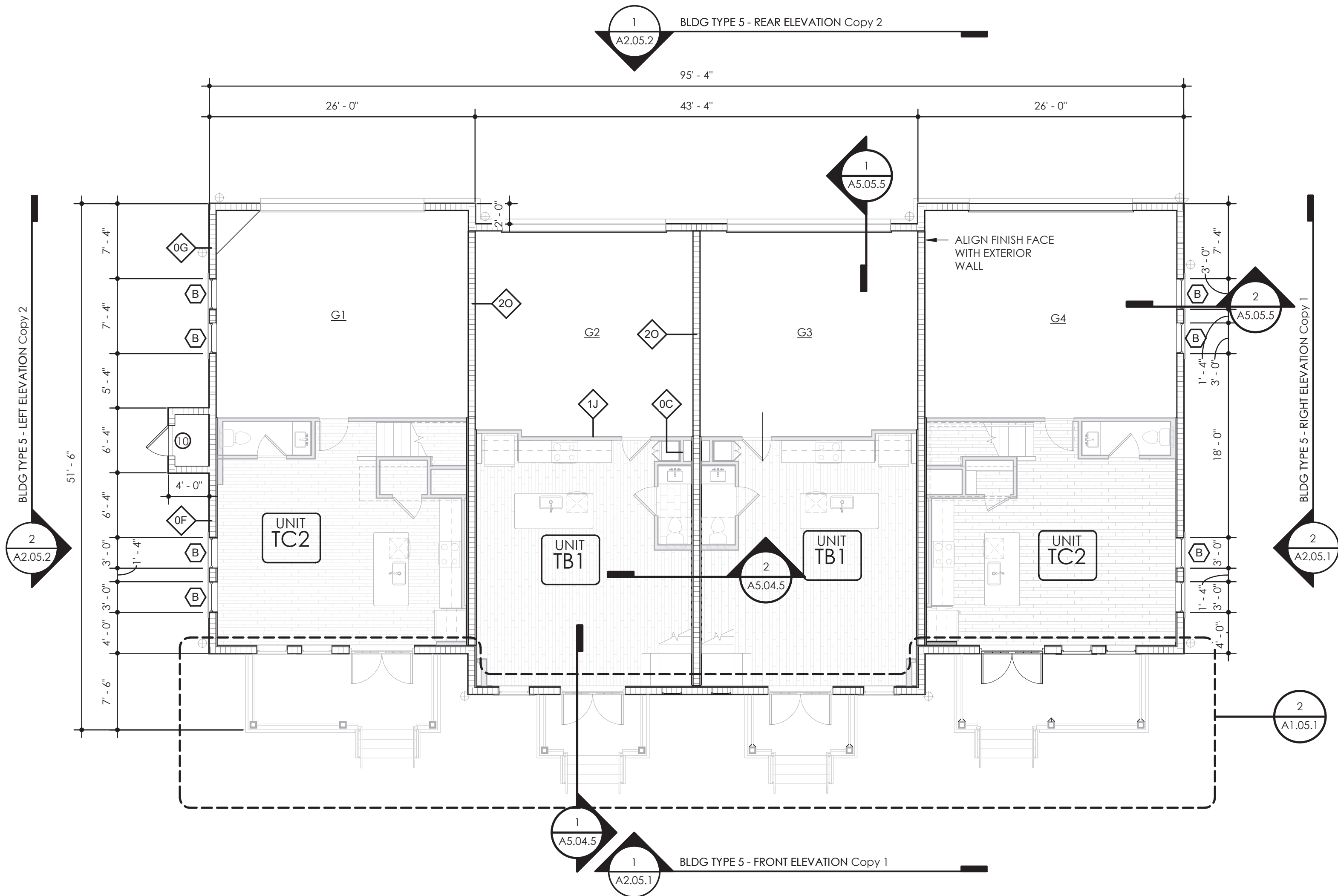
STUART, FLORIDA





2 ENLARGED BALCONIES

SCALE: 3/16" = 1'-0"



1 BUILDING TYPE 5 - TOWNHOME - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: WALL TAGS FOR ALL TB1
UNIT & TC2 UNIT ARE SAME

FLOOR PLAN LEGEND

- STEP IN SLAB
- LEVEL SLAB TO SLOPE SLAB

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title

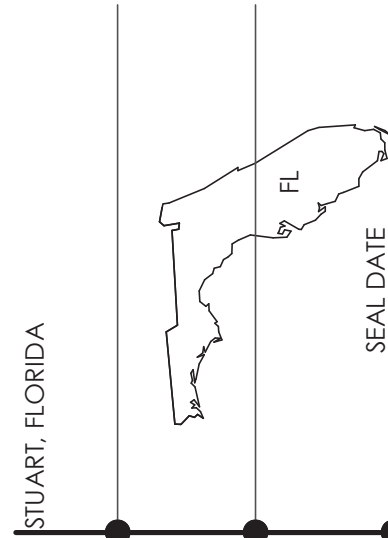
BLDG TYPE-5
TOWNHOME FIRST
FLOOR PLAN

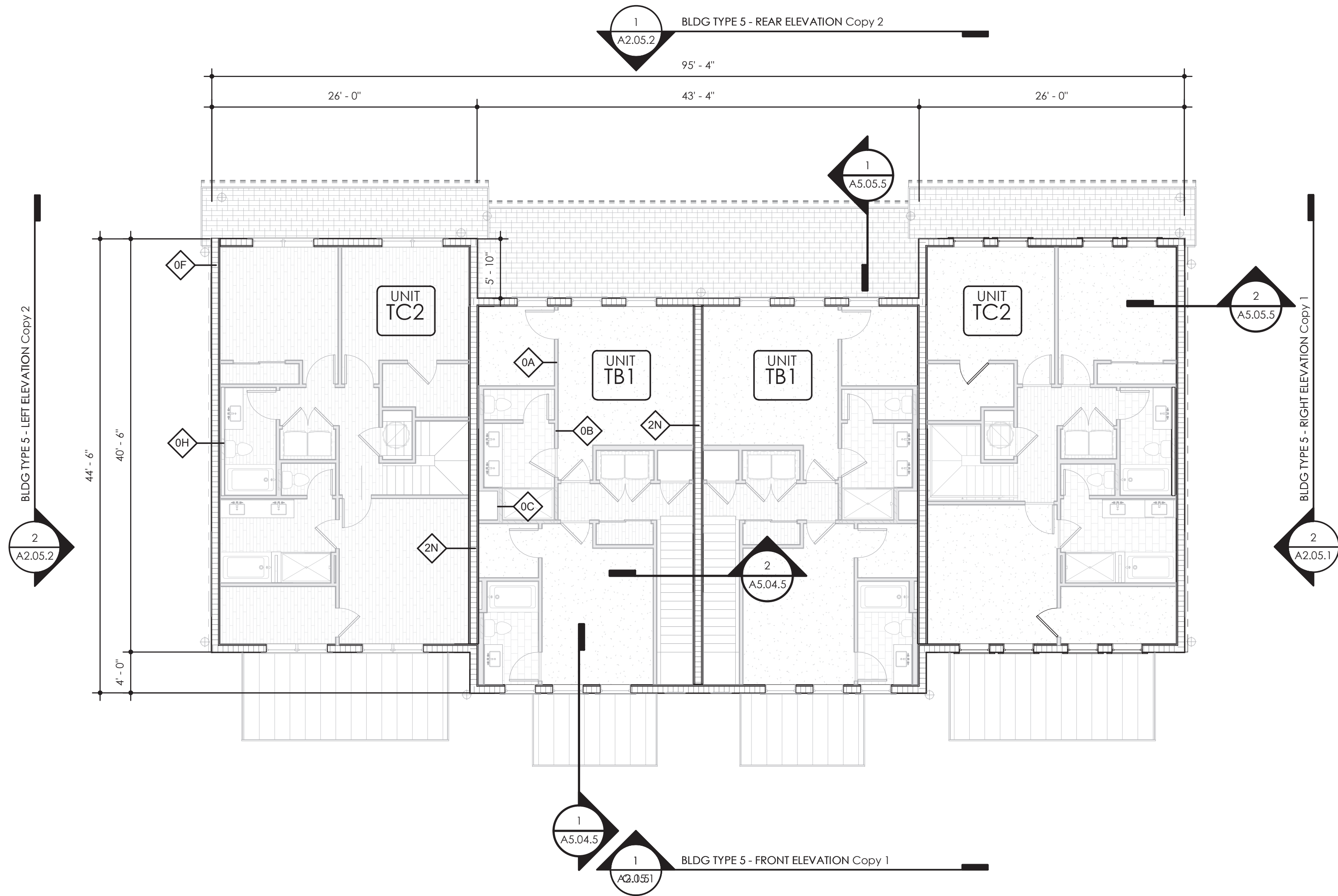
A0.10CC

Sheet Number

A1.05.1

PERMIT SET





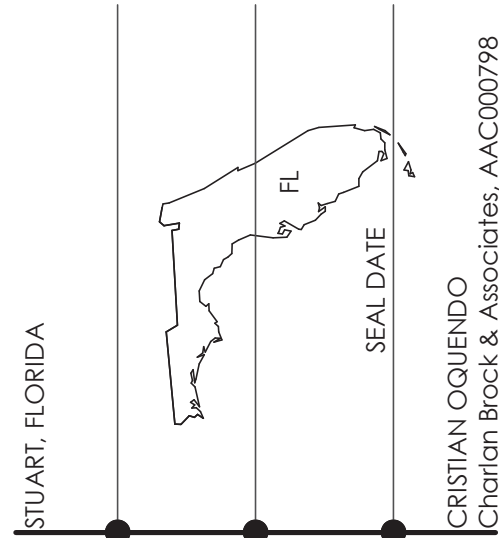
1 BUILDING TYPE 5 - TOWNHOME - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: WALL TAGS FOR ALL TB1
UNIT & TC2 UNIT ARE SAME

FLOOR PLAN LEGEND	
	STEP IN SLAB
	LEVEL SLAB TO SLOPE SLAB

TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)



RIO MARINE VILLAGE PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners
1770 fennell street
mailland florida 32751-7208
407.660.8900 f.407.875.9948
www.cbaarchitects.com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title
BLD TYPE-5
TOWNHOME SECOND
FLOOR PLAN

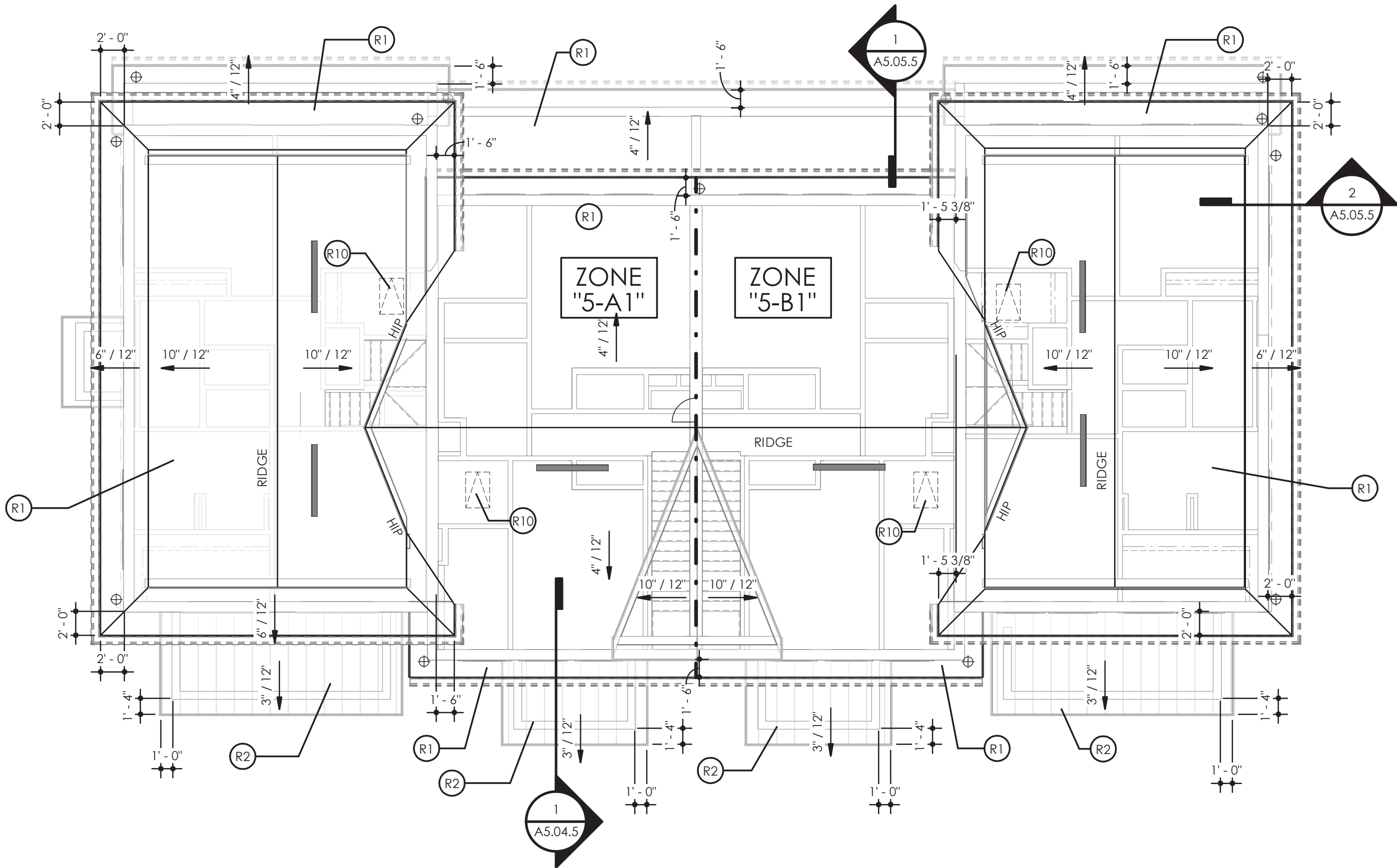
Sheet Number
A0.10CC
PERMIT SET
A1.05.2

ATTIC VENTILATION CALCULATIONS							
ROOF 'ZONES' SEPARATED BY DRAFTSTOPPING AREA CALCULATED INDIVIDUALLY PER IBC 718.4. CALCULATIONS OF REQUIRED VENTILATION ARE BASED ON IBC 1202.	ZONES	AREA	PERIMETER	REQ. VENT. SQ.FT.		PROVIDED	
				HIGH	LOW	SOFFIT LOW	OFF RIDGE VENT
						#	HIGH
FORMULA FOR REQUIRED VENTING: ROOF SQ.FT. X (1/300) = TOTAL VENTING 40% MIN. 50% MAX. HIGH VENTING 50% MIN. 60% MAX. LOW (EAVE) VENTING	5-A1	2,162 SF	143.88 LF	3.60	3.60	11.52 SF	3 4.38 SF
	5-B1	2,162 SF	143.79 LF	3.60	3.60	11.51 SF	3 4.38 SF
SOFFIT (LOW) VENTING: BASED ON SEMCO SV201 2" WIDE ALUM. SOFFIT-STRIP PROVIDING #2 SQ.IN. OF VENTING PER LIN.FT. = 0.08 SQ.FT.							
OFF RIDGE (HIGH) VENTING: BASED ON TAMCO VENT. EACH VENT PROVIDES 210 SQ.IN. OF VENTING = 1.46 SQ.FT.							

ROOF PLAN GENERAL NOTES	
1.	REFER TO ROOF PLAN FOR ROOF SLOPES.
2.	ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

ROOF KEYNOTES	
R1 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT	R8 SELF-CLOSING DOOR WITH AUTOMATIC LATCH AT DRAFTSTOPPING
R2 STANDING SEAM METAL ROOF SYSTEM	R9 DENOTES DRAFTSTOPPING IN ATTIC AREA
R3 ⊕ DENOTES SUGGESTED 6" GUTTER LOCATIONS	R10 22" x 36" ATTIC ACCESS DOOR. PROVIDE 1-HR RATED ACCESS DOOR IN APARTMENT BUILDINGS, GARAGES AND MAINTENANCE BUILDINGS. ALL ATTIC ACCESS TO BE LOCKABLE. SEE DETAIL X/A7.XX
R4 SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS. VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION	R11 PRIMARY ROOF DRAIN
R5 CRICKET WITH 3:12 SLOPE MINIMUM, U.N.O	R12 PROVIDE PLYWOOD WALK WITHIN SPACE FROM ATTIC ACCESS TO ROOF ACCESS DOOR
R6 TAPERED INSULATION + TPO ROOFING	R13 PARAPET KICKERS. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION, SIZE AND DETAILS
R7 DENOTES ROOF VENTS. REFER TO ROOF CALCULATIONS FOR OVERALL SQUARE FOOTAGE OF VENTING	R14 SECONDARY OVERFLOW ROOF DRAIN

Sheet Title	BLDG TYPE-5 TOWNHOME ROOF PLAN
Sheet Number	A0.10CC
A1.05.3	



1 BUILDING TYPE 5 - TOWNHOME - ROOF PLAN
SCALE: 1/8" = 1'-0"

RIO MARINE VILLAGE

PHASE I EAST

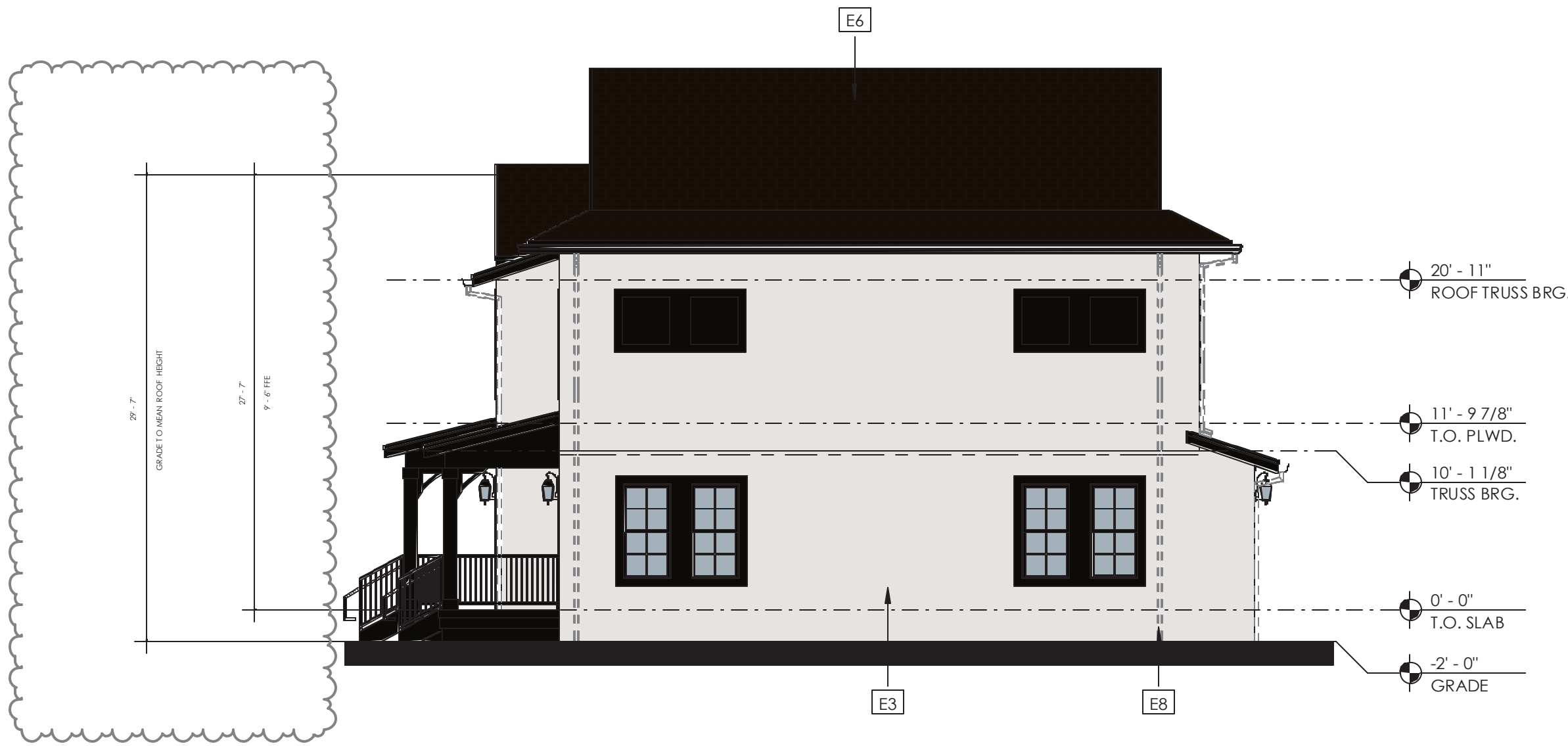
BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a
charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date



2 BLDG TYPE 5 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 5 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

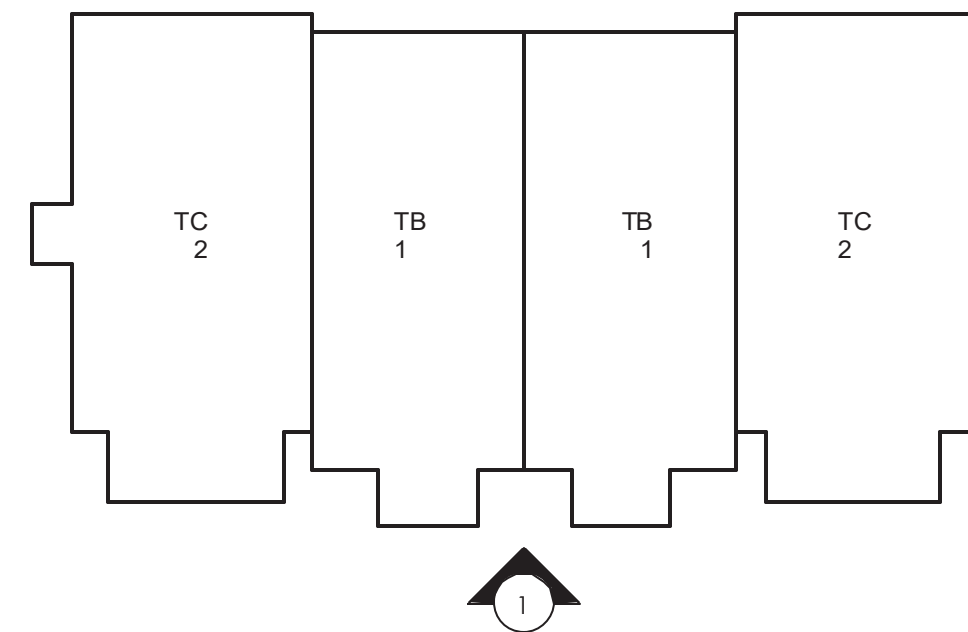
TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x3" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29	PROFILE STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	POST LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL CORING CAP AT PARAPET WALL		

BUILDING TYPE 5 KEY PLAN



Sheet Title

BLDG TYPE-5
TOWNHOME EXTERIOR
ELEVATIONS

A0.10CC

Sheet Number

A2.05.1

PERMIT SET

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLAK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f:407 875 9948
www.cbaarchitects.com

date: 2/23/24

job no: 4301.20

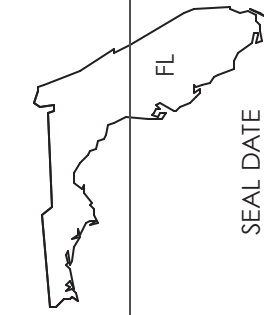
drawn by: TK

reviewed by: OL

issue

history: Date
1 3/20/24

STUART, FLORIDA

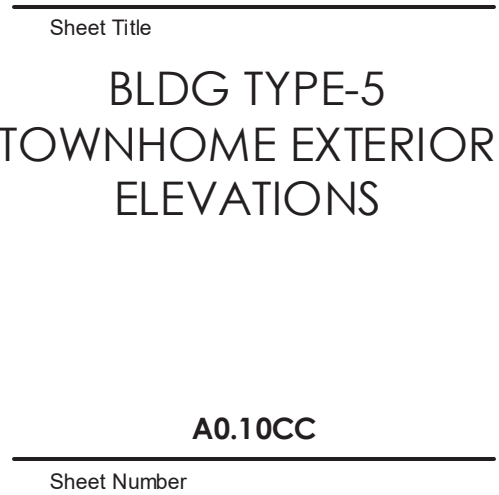


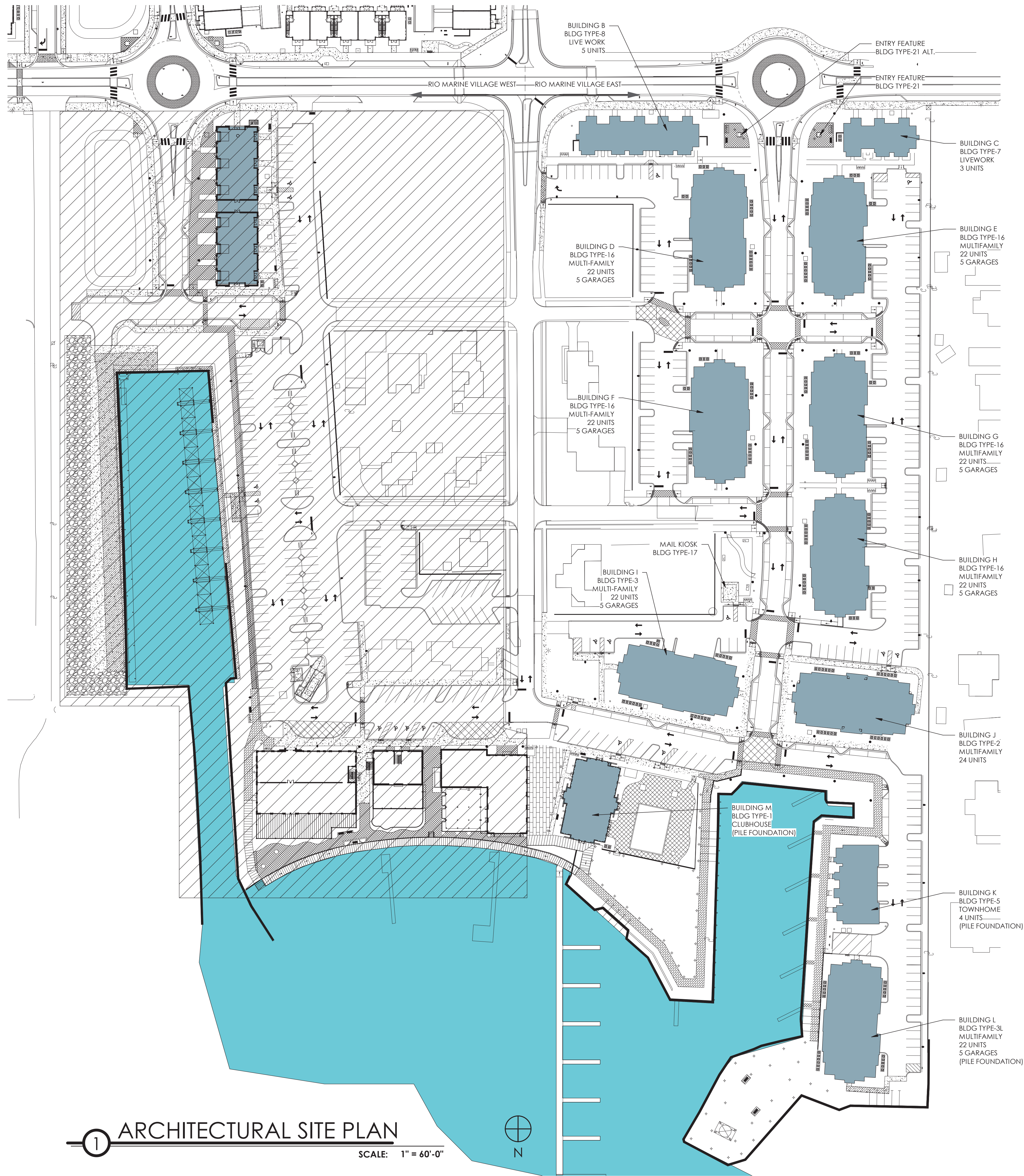
CRISTIAN OQUENDO
CRISTIAN OQUENDO & ASSOCIATES, A.C.000798
CRISTIAN OQUENDO & ASSOCIATES, A.C.000798
CRISTIAN OQUENDO & ASSOCIATES, A.C.000798



ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL.
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29	PROFILES-STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	PGL LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL COPING CAP AT PARAPET WALL		





1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"

GENERAL NOTES	
SITE PLAN SHOWN IS FOR REFERENCE PURPOSES ONLY. FOR COMPLETE DIMENSIONS, GRADING AND UTILITY INFORMATION REFER TO CIVIL ENGINEERING PLANS. REFER TO CIVIL DRAWINGS FOR COMPLETE SIDEWALK AND GRADING DESIGN. PROVIDE AND ACCESSIBLE ROUTE THROUGH THE SITE THAT CONNECTS ALL REQUIRED ACCESSIBLE FEATURES, ELEMENTS AND SPACES WITH APPROPRIATE WIDTHS, SLOPES, SURFACES, ETC. ACCESSIBLE ROUTE SHALL BE IN COMPLIANCE WITH FAIR HOUSING DESIGN ACT MANUAL - 1998 (FHDAM PAGE 1.6). A MINIMUM OF 2% OF ALL PARKING, BOTH COVERED AND UNCOVERED, SHALL COMPLY WITH FAIR HOUSING DESIGN ACT MANUAL AND THE ADA ACCESSIBILITY GUIDELINES. FOR LANDSCAPE AND HARDSCAPE INFORMATION AND DETAILING REFER TO LANDSCAPE ARCHITECT'S PLANS.	
CIVIL ENGINEER SIMMONS & WHITE, INC. JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698 E: PARRISH@SIMMONSANDWHITE.COM	LANDSCAPE ARCHITECT COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN COJUDO
Cristian Cojudo, P.E. & Associates, A.C.000798
In accordance with FRC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a

charlan • brock
associates

architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: OL
reviewed by: AP
issue history: Date

Sheet Title

ARCHITECTURAL SITE
PLAN - MARINE EAST

Sheet Number

A0.10C

PERMIT SET

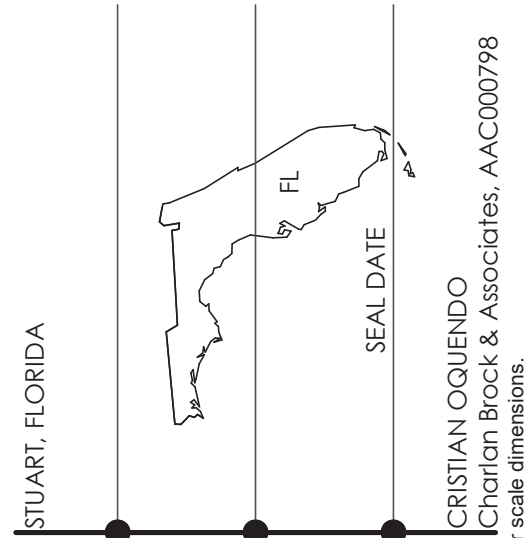
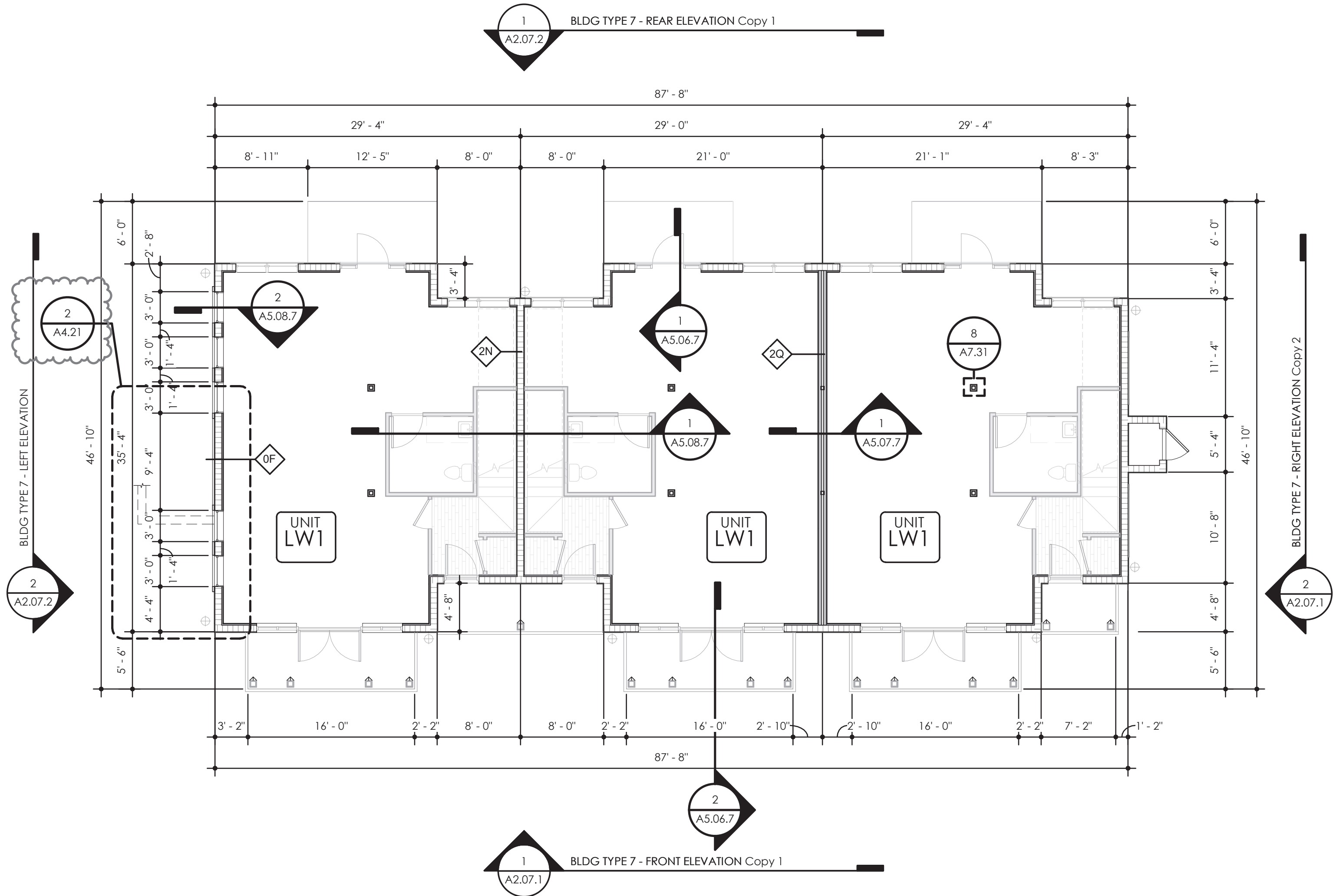
A0.10A

BUILDING TYPE 7 - LIVEWORK - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND	
	STEP IN SLAB
	LEVEL SLAB TO SLOPE SLAB

TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 117.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)



RIO MARINE VILLAGE PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



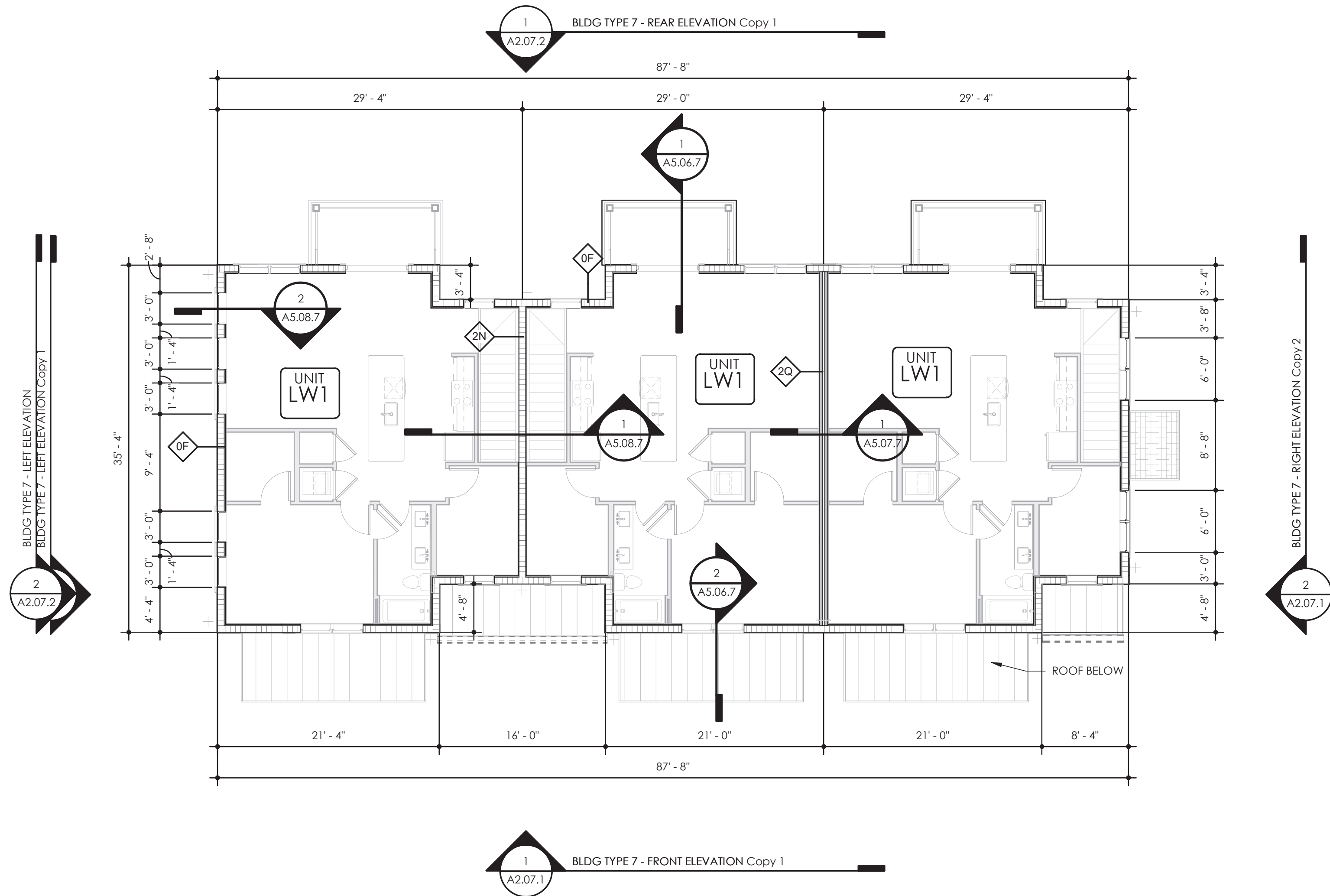
architects • planners
1770 fennell street
mailland florida 32751-7208
407.660.8900 f.407.875.9948
www.cbaarchitects.com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date
1 3/20/24

Sheet Title
BLDG TYPE-7
LIVEWORK FIRST
FLOOR PLAN

Sheet Number
A0.10CC

PERMIT SET
A1.07.1



1 BUILDING TYPE 7 - LIVEWORK - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND	
	STEP IN SLAB
	LEVEL SLAB TO SLOPE SLAB

TYPICAL BUILDING PLAN NOTES	
1.	1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
2.	1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13
3.	COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS
4.	ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
5.	ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
6.	TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
7.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
8.	TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
9.	REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
10.	REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
11.	REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
12.	BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
13.	REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
14.	REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
15.	BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
16.	ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE)

STUART, FLORIDA

CRISTIAN OSQUEJUNDO
CHARLAN • BROCK & ASSOCIATES, A.C.000798
Seal Date

RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407.660.8900 f.407.875.9948
www.cbaarchitects.com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title
BLDG TYPE-7
LIVEWORK SECOND
FLOOR PLAN

Sheet Number
A0.10CC

PERMIT SET
A1.07.2

charlan, brock & associates, inc. hereby reserves its common law copyright and other property rights in these plans, ideas, and designs. these ideas, designs, and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. written dimensions shall have precedence over scale dimension.
in accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

ATTIC VENTILATION CALCULATIONS								
ZONES	AREA	PERIMETER	REQ. VENT. SQ.FT.		PROVIDED			
			HIGH	LOW	SOFFIT	OFF RIDGE VENT		
					LOW	#	HIGH	
7-A1	1,222 SF	81.27 LF	2.04	2.04	6.51 SF	2	2.92 SF	
7-B1	2,382 SF	152.71 LF	3.97	3.97	12.23 SF	3	4.38 SF	

ROOF 'ZONES' SEPARATED BY DRAFTSTOPPING AREA CALCULATED INDIVIDUALLY PER IBC 718.4. CALCULATIONS OF REQUIRED VENTILATION ARE BASED ON IBC 1202.

FORMULA FOR REQUIRED VENTING:
ROOF SQ.FT. X (1/300) = TOTAL VENTING
40% MIN. 50% MAX. HIGH VENTING
50% MIN. 60% MAX. LOW (EAVE) VENTING

SOFFIT (LOW) VENTING:
BASED ON SEMCO SV201 2" WIDE ALUM. SOFFIT-STRIP PROVIDING #2 SQ.IN. OF VENTING PER LIN.FT. = 0.08 SQ.FT.

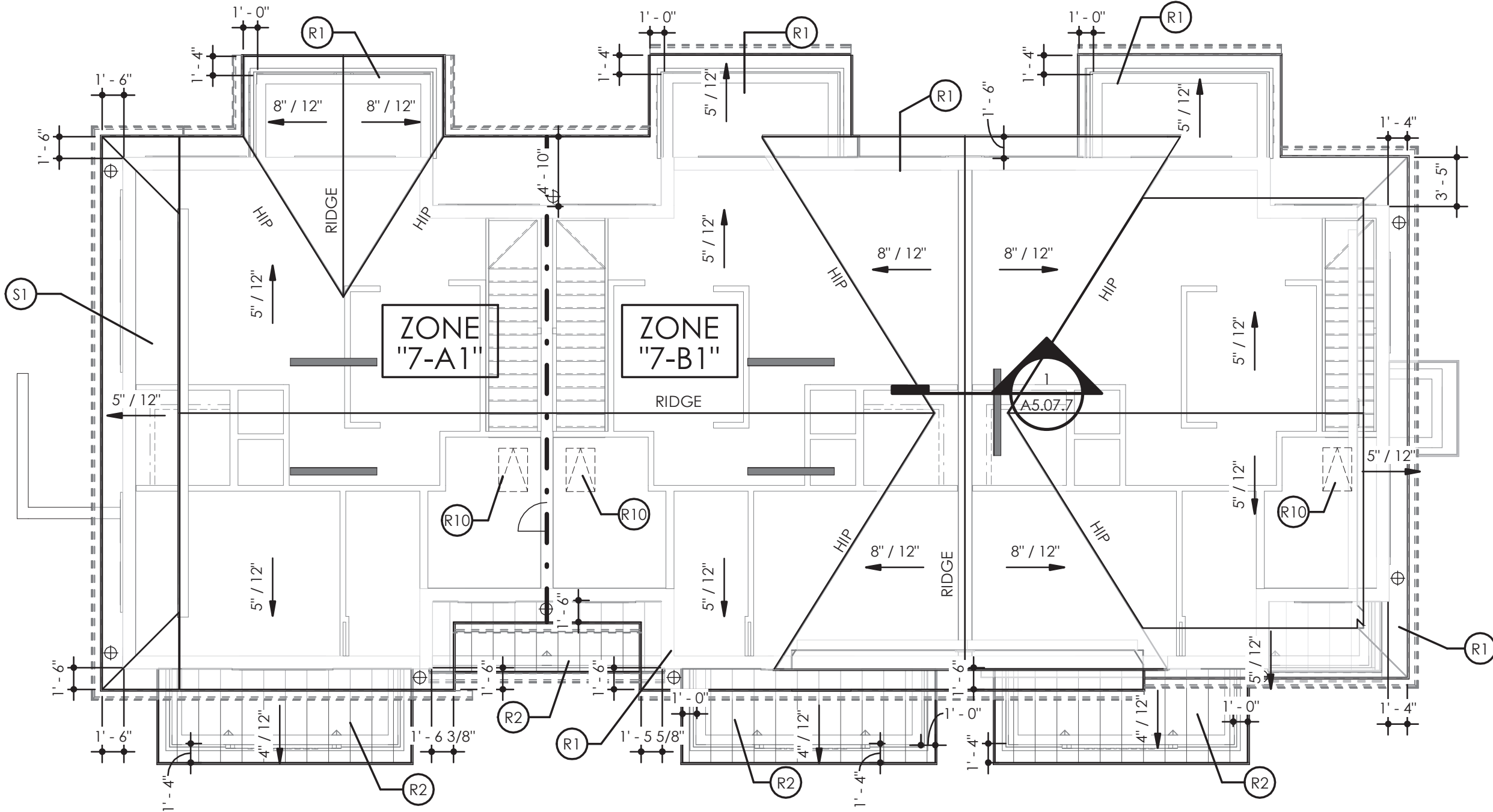
OFF RIDGE (HIGH) VENTING:
BASED ON TAMCO VENT. EACH VENT PROVIDES 210 SQ.IN. OF VENTING = 1.46 SQ.FT.

ROOF PLAN GENERAL NOTES	
1.	REFER TO ROOF PLAN FOR ROOF SLOPES.
2.	ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

ROOF KEYNOTES	
R1 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT	R8 SELF-CLOSING DOOR WITH AUTOMATIC LATCH AT DRAFTSTOPPING
R2 STANDING SEAM METAL ROOF SYSTEM	R9 DENOTES DRAFTSTOPPING IN ATTIC AREA
R3 ⊕ DENOTES SUGGESTED 6" GUTTER LOCATIONS	R10  22" x 36" ATTIC ACCESS DOOR. PROVIDE 1-HR RATED ACCESS DOOR IN APARTMENT BUILDINGS, GARAGES AND MAINTENANCE BUILDINGS. ALL ATTIC ACCESS TO BE LOCKABLE. SEE DETAIL X/A7.XX
R4 SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS. VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION	R11  PRIMARY ROOF DRAIN
R5  CRICKET WITH 3:12 SLOPE MINIMUM, U.N.O	R12 PROVIDE PLYWOOD WALK WITHIN SPACE FROM ATTIC ACCESS TO ROOF ACCESS DOOR
R6 TAPERED INSULATION + TPO ROOFING	R13 PARAPET KICKERS. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION, SIZE AND DETAILS
R7 DENOTES ROOF VENTS. REFER TO ROOF CALCULATIONS FOR OVERALL SQUARE FOOTAGE OF VENTING	R14  SECONDARY OVERFLOW ROOF DRAIN

Sheet Title	
BLDG TYPE-7 LIVWORK ROOF PLAN	
A0.10CC	
Sheet Number	
A1.07.3	

PERMIT SET



1 BUILDING TYPE 7 - LIVWORK - ROOF PLAN
SCALE: 1/8" = 1'-0"

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c

b

a

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407.660.8900 f.407.875.9948
www.cbaarchitects.com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

STUART, FLORIDA

SEAL DATE

CRISTIAN OSQUEENDO
CRISTIAN OSQUEENDO & ASSOCIATES, A.C.000798
CRISTIAN OSQUEENDO & ASSOCIATES shall have precedence over scale limitation.

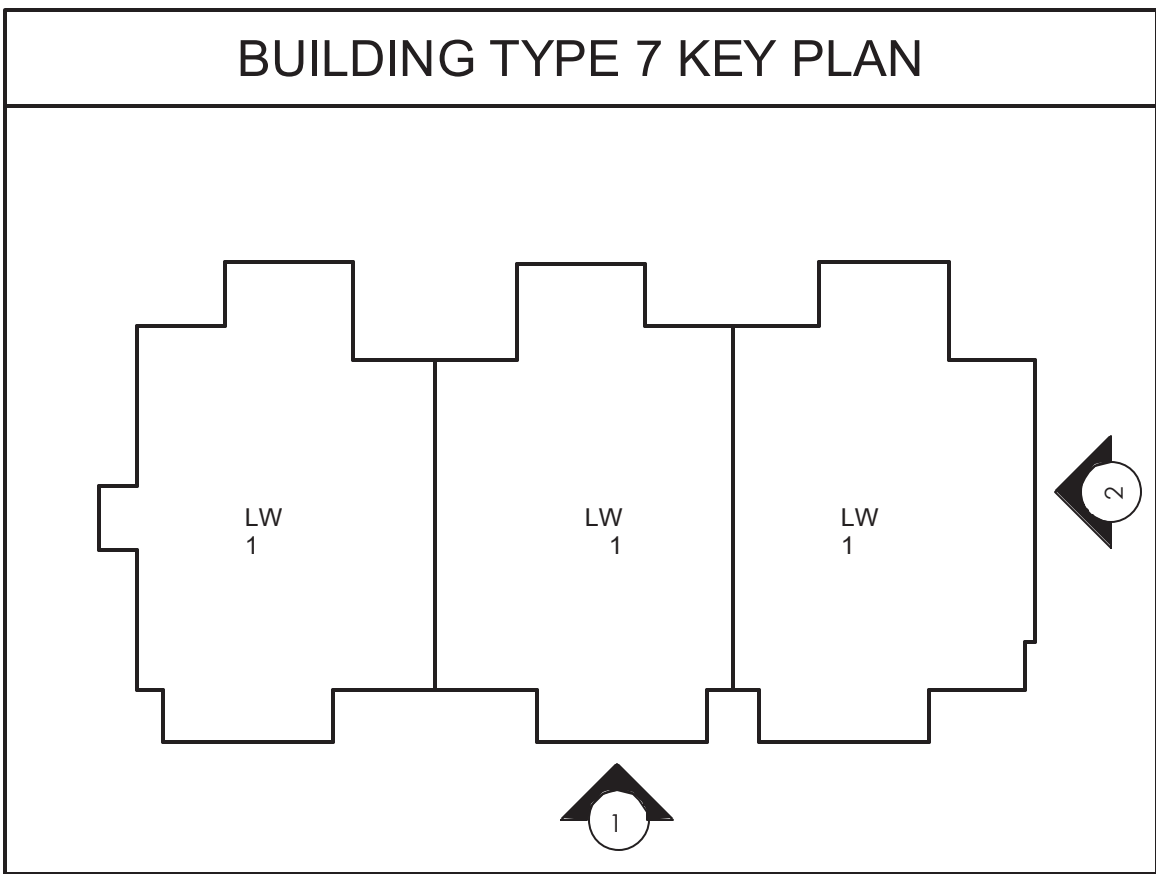
TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



Sheet Title

BLDG TYPE-7
LIVEWORK EXTERIOR
ELEVATIONS

Sheet Number

A0.10CC

PERMIT SET

A2.07.1



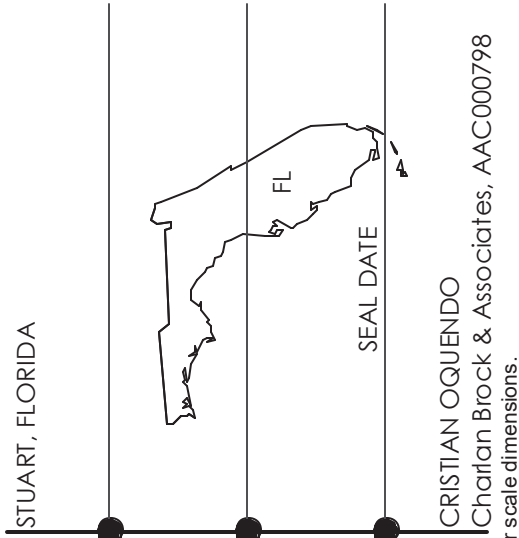
2 BLDG TYPE 7 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 7 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"



RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLUK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f:407 875 9948
www.cbaarchitects.com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date
1 3/20/24

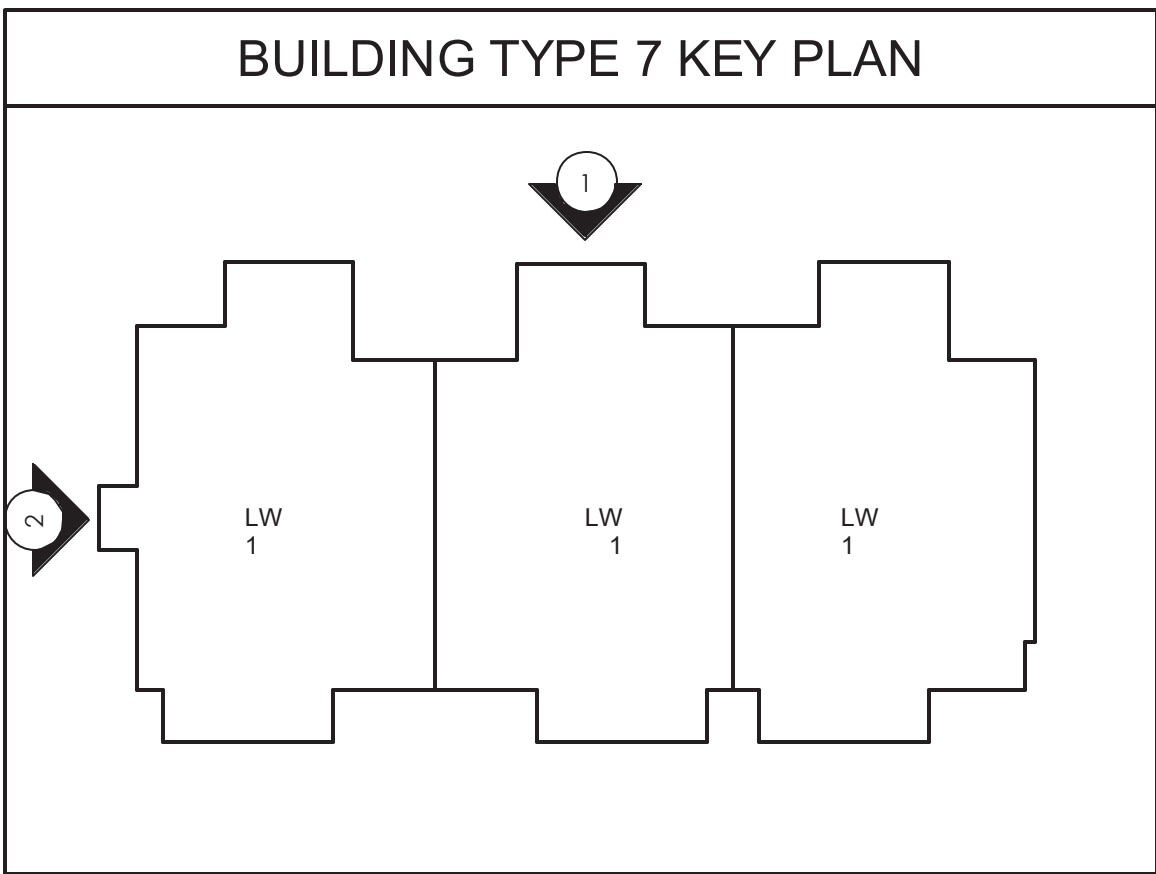
TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER, LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



Sheet Title

BLDG TYPE-7
LIVEWORK EXTERIOR
ELEVATIONS

Sheet Number

A0.10CC

PERMIT SET

A2.07.2

charlan, brock & associates, inc. hereby reserves its common law copyright and other property rights in these plans, ideas, designs, and designs. these ideas, designs, and designs are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. written dimensions shall have precedence over scale dimensions.

in accordance with REC Section 1108.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable Florida building codes and the applicable Florida building codes as determined by the local authority.



2 BLDG TYPE 7 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 7 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date
1 3/20/24

charlan • brock
associates

architects • planners

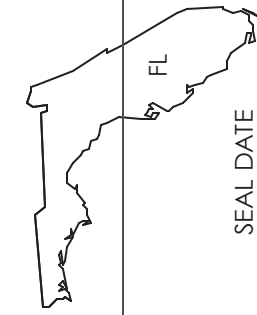
1770 fennell street
maitland florida 32751-7208
407 660 8900 f: 407 875 9948
www.cbaarchitects.com

BRIAN PAWLUK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

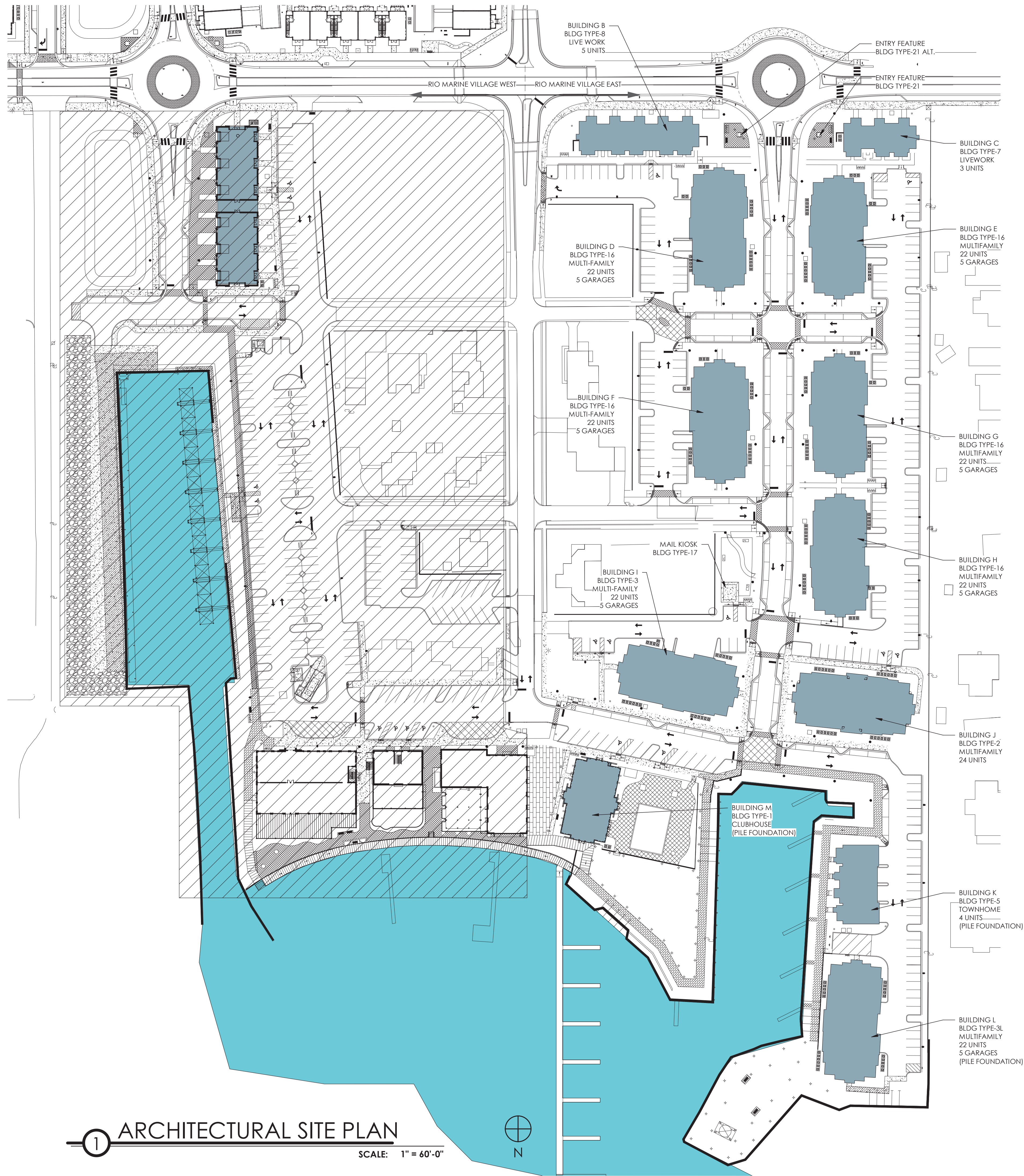
RIO MARINE VILLAGE

PHASE I EAST

STUART, FLORIDA



CRISTIAN OQUENDO
CRISTIAN OQUENDO & ASSOCIATES, A.C.



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"

GENERAL NOTES	
SITE PLAN SHOWN IS FOR REFERENCE PURPOSES ONLY. FOR COMPLETE DIMENSIONS, GRADING AND UTILITY INFORMATION REFER TO CIVIL ENGINEERING PLANS. REFER TO CIVIL DRAWINGS FOR COMPLETE SIDEWALK AND GRADING DESIGN. PROVIDE AND ACCESSIBLE ROUTE THROUGH THE SITE THAT CONNECTS ALL REQUIRED ACCESSIBLE FEATURES, ELEMENTS AND SPACES WITH APPROPRIATE WIDTHS, SLOPES, SURFACES, ETC. ACCESSIBLE ROUTE SHALL BE IN COMPLIANCE WITH FAIR HOUSING DESIGN ACT MANUAL - 1998 (FHDAM PAGE 1.6). A MINIMUM OF 2% OF ALL PARKING, BOTH COVERED AND UNCOVERED, SHALL COMPLY WITH FAIR HOUSING DESIGN ACT MANUAL AND THE ADA ACCESSIBILITY GUIDELINES. FOR LANDSCAPE AND HARDSCAPE INFORMATION AND DETAILING REFER TO LANDSCAPE ARCHITECT'S PLANS.	
<u>CIVIL ENGINEER</u> SIMMONS & WHITE, INC. JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698 E: PARRISH@SIMMONSANDWHITE.COM	<u>LANDSCAPE ARCHITECT</u> COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN COJUDO
Cristian Cojudo, P.E. & Associates, A.C.000798
In accordance with FRC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a

charlan • brock
associates

architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: OL
reviewed by: AP
issue history: Date

Sheet Title

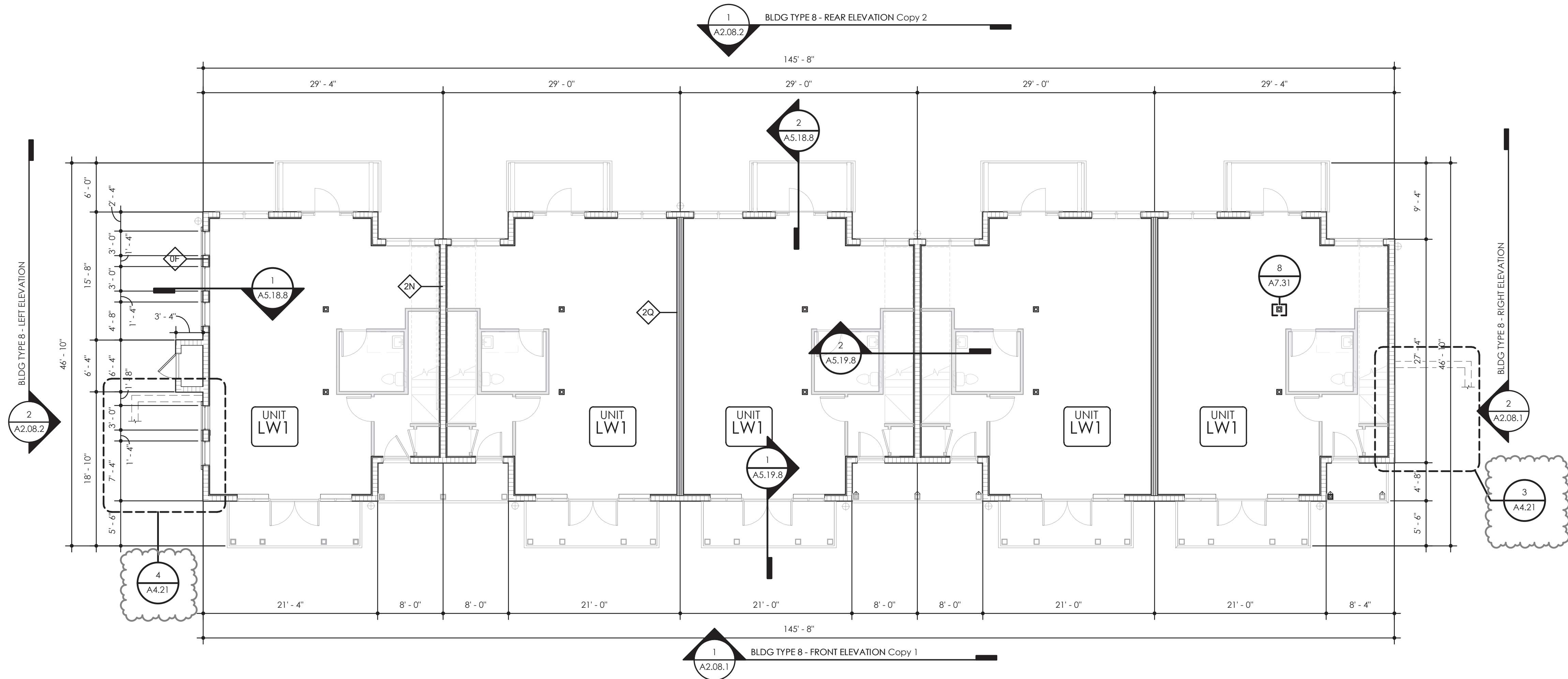
ARCHITECTURAL SITE
PLAN - MARINE EAST

A0.10CC

Sheet Number

PERMIT SET

A0.10A



BUILDING TYPE 8 - LIVEWORK - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE).

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue
history: Date
1 3/20/24

Sheet Title

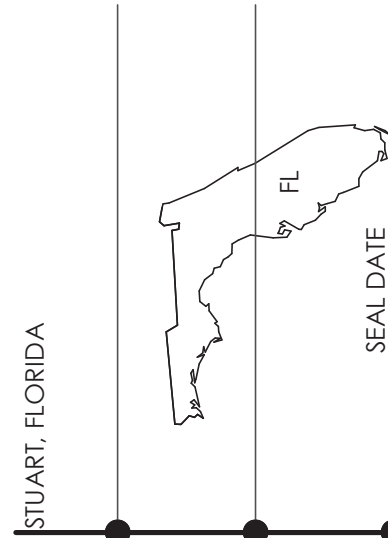
BLDG TYPE-8
LIVEWORK FIRST
FLOOR PLAN

A0.10CC

Sheet Number

A1.08.1

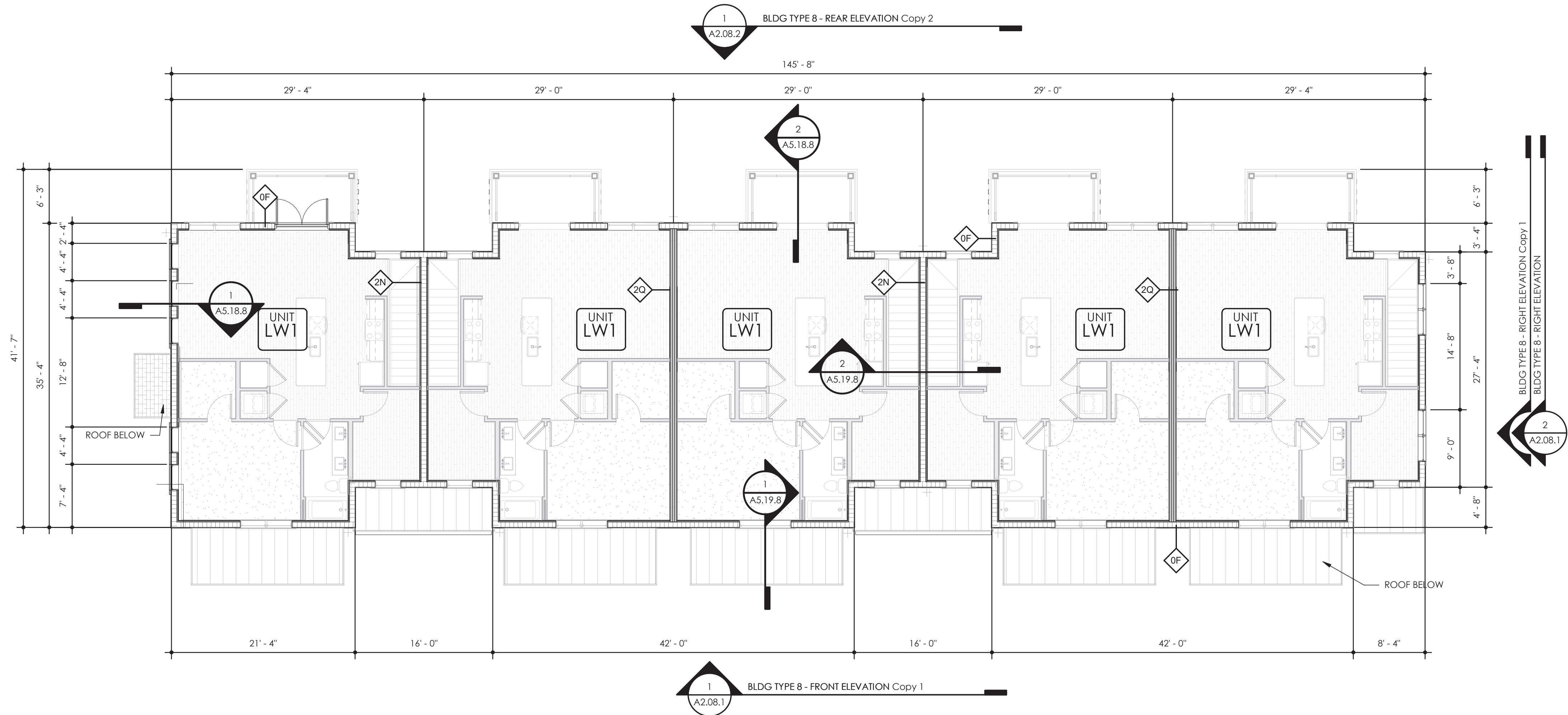
PERMIT SET



STUART, FLORIDA

SEAL DATE

CRISTIAN OSQUEUNO
CRISTIAN OSQUEUNO & ASSOCIATES, A.C.000798
In accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.



1 BUILDING TYPE 8 - LIVEWORK - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE).

RIO MARINE VILLAGE
PHASE I EAST

charlan • brock
associates
architects • planners
1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title
**BLDG TYPE-8
LIVEWORK SECOND
FLOOR PLAN**

Sheet Number
A0.10CC
A1.08.2

PERMIT SET

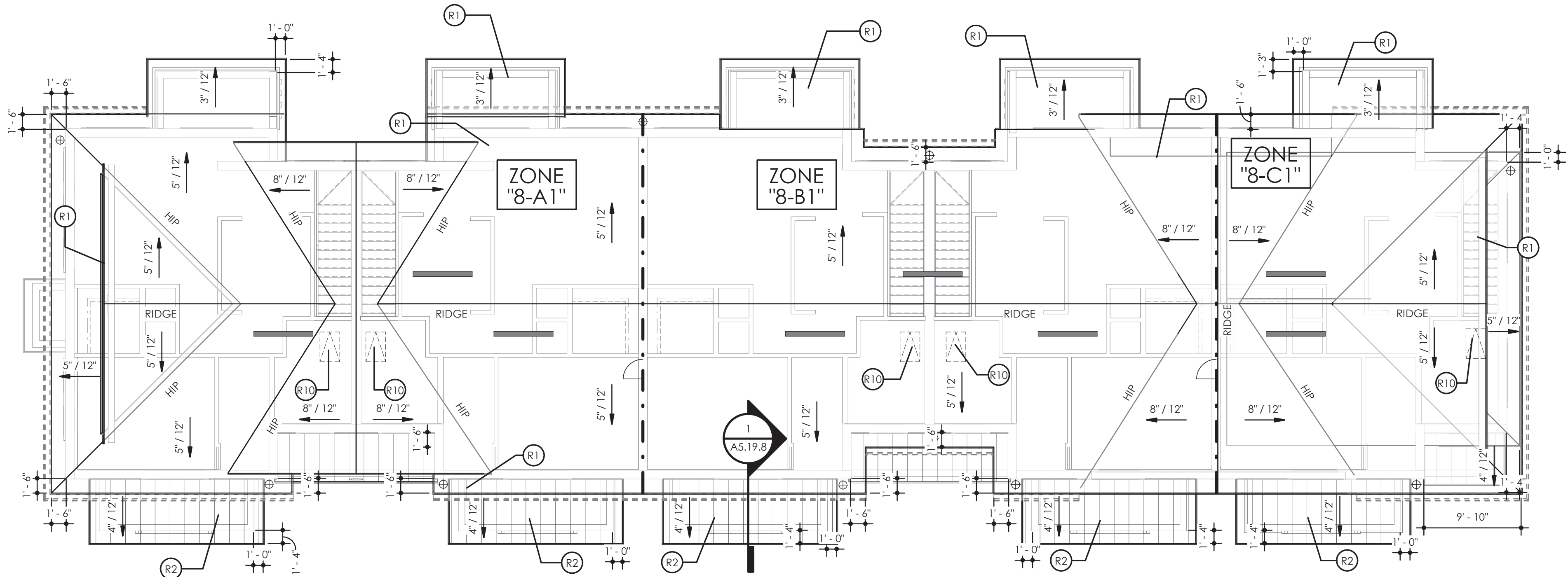
STUART, FLORIDA
FL
SEAL DATE
CRISTIAN OSQUEUNDO
CRISTIAN OSQUEUNDO & ASSOCIATES, A.C.000798
CRISTIAN OSQUEUNDO & ASSOCIATES shall have precedence over scale dimension.

ATTIC VENTILATION CALCULATIONS								
ROOF 'ZONES' SEPARATED BY DRAFTSTOPPING AREA CALCULATED INDIVIDUALLY PER IBC 718.4. CALCULATIONS OF REQUIRED VENTILATION ARE BASED ON IBC 1202.	ZONES	AREA	PERIMETER	REQ. VENT. SQ.FT.		PROVIDED		
				HIGH	LOW	SOFFIT LOW	OFF RIDGE VENT #	HIGH
FORMULA FOR REQUIRED VENTING: ROOF SQ.FT. X (1/300) = TOTAL VENTING 40% MIN. 50% MAX. HIGH VENTING 50% MIN. 60% MAX. LOW (EAVE) VENTING SOFFIT (LOW) VENTING: BASED ON SEMCO SV201 2" WIDE ALUM. SOFFIT-STRIP PROVIDING #2 SQ.IN. OF VENTING PER LIN.FT. = 0.08 SQ.FT. OFF RIDGE (HIGH) VENTING: BASED ON TAMCO VENT. EACH VENT PROVIDES 210 SQ.IN. OF VENTING = 1.46 SQ.FT.	8-A1	1,107 SF	37.40 LF	1.85	1.85	2.99 SF	2	2.92 SF
	8-B1	2,241 SF	101.13 LF	3.74	3.74	8.10 SF	3	4.38 SF
	8-C1	1,007 SF	73.33 LF	1.68	1.68	5.87 SF	2	2.92 SF

ROOF PLAN GENERAL NOTES	
1.	REFER TO ROOF PLAN FOR ROOF SLOPES.
2.	ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

ROOF KEYNOTES	
(R1)	30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT
(R2)	STANDING SEAM METAL ROOF SYSTEM
(R3)	⊕ DENOTES SUGGESTED 6" GUTTER LOCATIONS
(R4)	SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS. VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION
(R5)	_____ CRICKET WITH 3:12 SLOPE MINIMUM, U.N.O
(R6)	TAPERED INSULATION + TPO ROOFING
(R7)	DENOTES ROOF VENTS. REFER TO ROOF CALCULATIONS FOR OVERALL SQUARE FOOTAGE OF VENTING
(R8)	SELF-CLOSING DOOR WITH AUTOMATIC LATCH AT DRAFTSTOPPING
(R9)	DENOTES DRAFTSTOPPING IN ATTIC AREA
(R10)	22" x 36" ATTIC ACCESS DOOR. PROVIDE 1-HR RATED ACCESS DOOR IN APARTMENT BUILDINGS, GARAGES AND MAINTENANCE BUILDINGS. ALL ATTIC ACCESS TO BE LOCKABLE. SEE DETAIL X/A7.XX
(R11)	(RD) PRIMARY ROOF DRAIN
(R12)	PROVIDE PLYWOOD WALK WITHIN SPACE FROM ATTIC ACCESS TO ROOF ACCESS DOOR
(R13)	PARAPET KICKERS. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION, SIZE AND DETAILS
(R14)	(RD) SECONDARY OVERFLOW ROOF DRAIN

Sheet Title	
BLDG TYPE-8 LIVework ROOF PLAN	
A0.10CC	
Sheet Number	
A1.08.3	



1 BUILDING TYPE 8 - LIVework - ROOF PLAN
SCALE: 1/8" = 1'-0"

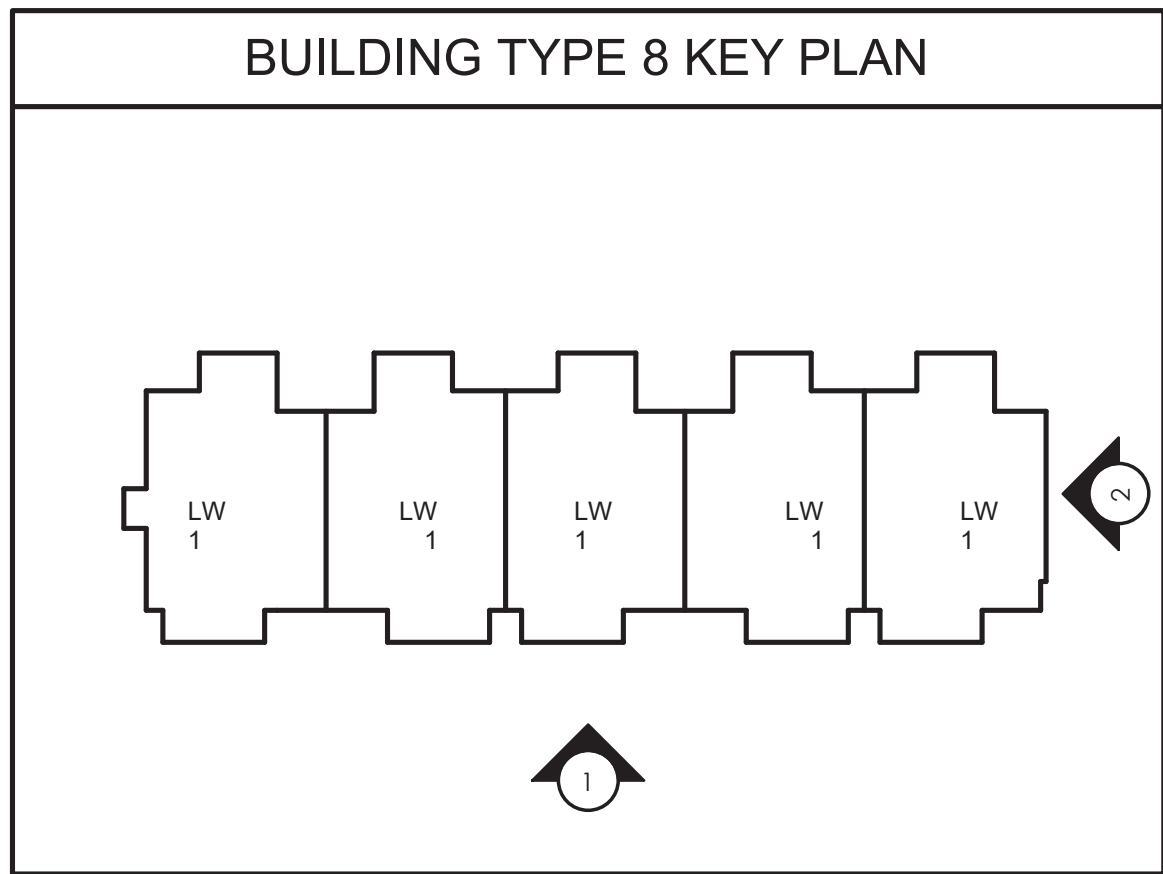
TYPICAL ELEVATION NOTES	
1.	TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2.	ALL EXTERIOR TRIM RAISED STUCCO.
3.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4.	ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5.	ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6.	ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7.	ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8.	PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9.	PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11.	PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12.	SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13.	PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14.	PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15.	EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16.	COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17.	ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH
E3	STUCCO PAINTED
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS
E5	WALL RECESS
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM
E7	STANDING SEAM METAL ROOF SYSTEM
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE
E9	ALUMINUM BAHAMA SHUTTER
E10	FALSE VINYL LOUVER SIZE AS INDICATED
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH
E12	ARCHITECTURAL FOAM BRACKET

E13	TIMBER COLUMN - PAINTED
E14	PREFABRICATED METAL AWNING
E15	CONDUCTOR HEAD SCUPPER BOX
E16	THROUGH WALL OVERFLOW SCUPPER
E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER SPECIFICATIONS
E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES
E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES
E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES
E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM
E23	BUG SCREEN ENCLOSURE FOR BALCONY
E24	METAL COPING CAP AT PARAPET WALL

E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E29	PROFILE-STUCCO REVEAL - 2"
E30	CONTROL JOINT
E31	RAISED STUCCO BAND



Sheet Title

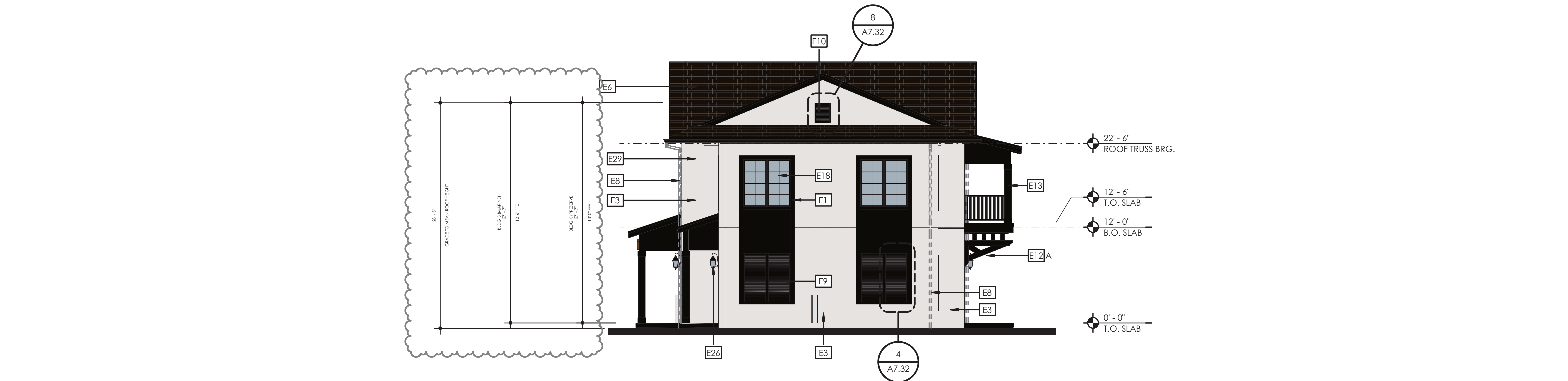
BLDG TYPE-8
LIVEWORK EXTERIOR
ELEVATIONS

Sheet Number

A0.10CC

PERMIT SET

A2.08.1



2 BLDG TYPE 8 - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



1 BLDG TYPE 8 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

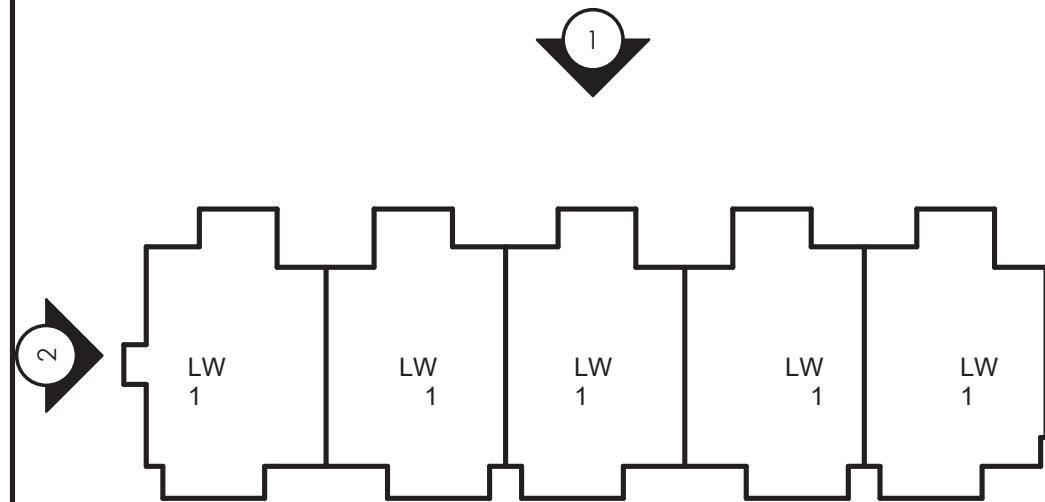
TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER SPECIFICATIONS	E29	PROFILE-STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	PGT LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL COPING CAP AT PARAPET WALL		

BUILDING TYPE 8 KEY PLAN



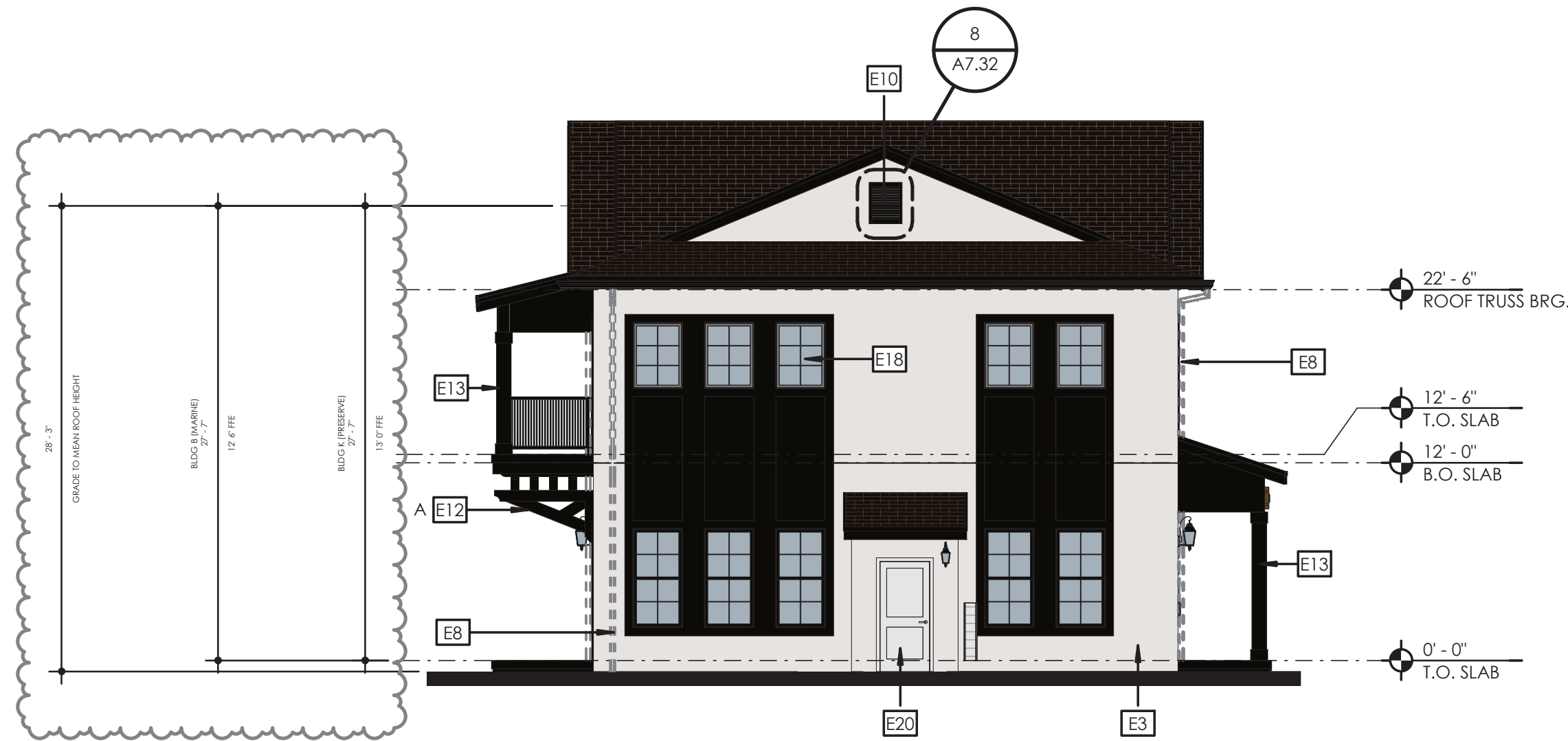
Sheet Title

BLDG TYPE-8
LIVEWORK EXTERIOR
ELEVATIONS

Sheet Number
A0.10CC

A2.08.2

PERMIT SET



BLDG TYPE 8 - LEFT ELEVATION

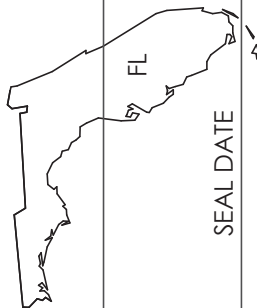
SCALE: 1/8" = 1'-0"



BLDG TYPE 8 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

STUART, FLORIDA



CRISTIAN OQUENDO
CHARLAN • BROCK & ASSOCIATES, A.A.C.000798
In accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

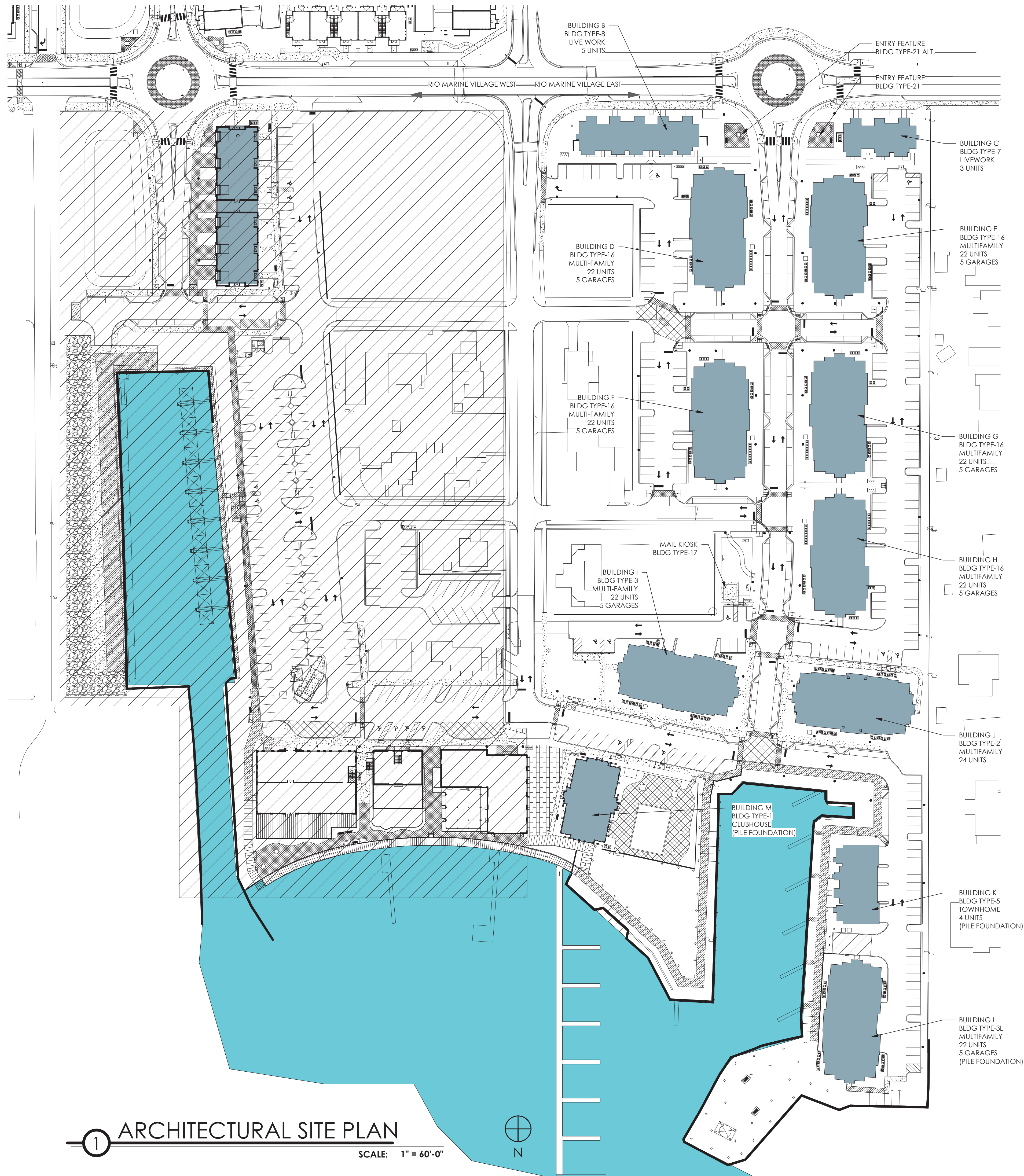
job no: 4301.20

drawn by: TK

reviewed by: OL

issue

history: Date
1 3/20/24



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"

GENERAL NOTES	
SITE PLAN SHOWN IS FOR REFERENCE PURPOSES ONLY. FOR COMPLETE DIMENSIONS, GRADING AND UTILITY INFORMATION REFER TO CIVIL ENGINEERING PLANS. REFER TO CIVIL DRAWINGS FOR COMPLETE SIDEWALK AND GRADING DESIGN. PROVIDE AND ACCESSIBLE ROUTE THROUGH THE SITE THAT CONNECTS ALL REQUIRED ACCESSIBLE FEATURES, ELEMENTS AND SPACES WITH APPROPRIATE WIDTHS, SLOPES, SURFACES, ETC. ACCESSIBLE ROUTE SHALL BE IN COMPLIANCE WITH FAIR HOUSING DESIGN ACT MANUAL - 1998 (FHDAM PAGE 1.6). A MINIMUM OF 2% OF ALL PARKING, BOTH COVERED AND UNCOVERED, SHALL COMPLY WITH FAIR HOUSING DESIGN ACT MANUAL AND THE ADA ACCESSIBILITY GUIDELINES. FOR LANDSCAPE AND HARDSCAPE INFORMATION AND DETAILING REFER TO LANDSCAPE ARCHITECT'S PLANS.	
CIVIL ENGINEER SIMMONS & WHITE, INC. JESSE "JAMIE" PARRISH, P.E. 2581 METROCENTRE BLVD, SUITE 3 WEST PALM BEACH, FL 33407 P: 321.212.9698 E: PARRISH@SIMMONSANDWHITE.COM	LANDSCAPE ARCHITECT COTLEUR & HEARING GEORGE MISSIMER 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 P: 561.747.6336 x108 E: GMISSIMER@COTLEUR-HEARING.COM

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN COJUDO
Cristian Cojudo, P.E. & Associates, A.C.000798
In accordance with FRC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE
PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a
charlan • brock
associates

architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: OL
reviewed by: AP
issue history: Date

Sheet Title

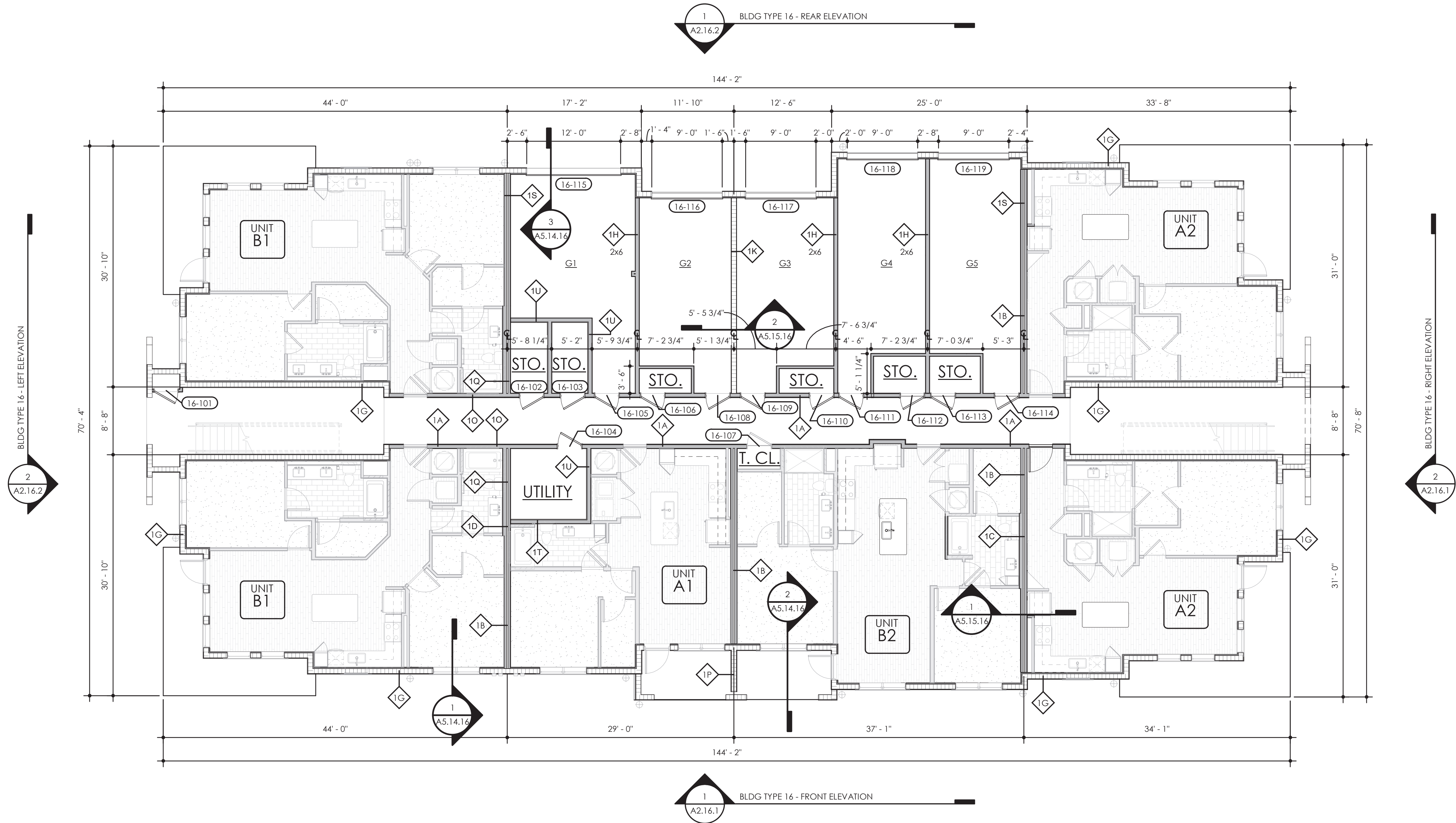
ARCHITECTURAL SITE
PLAN - MARINE EAST

Sheet Number

A0.10CC

PERMIT SET

A0.10A



1 BUILDING TYPE 16 - MULTIFAMILY - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE).

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title

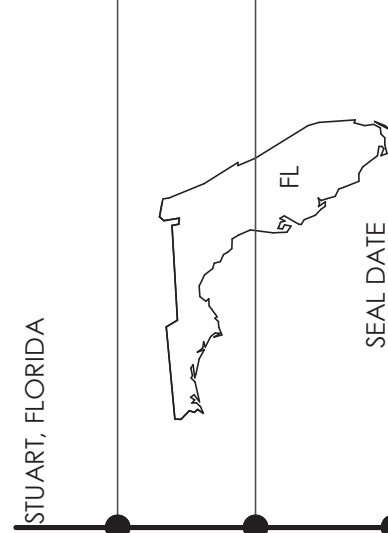
BLDG TYPE-16
MULTIFAMILY FIRST
FLOOR PLAN

A0.10CC

Sheet Number

A1.16.1

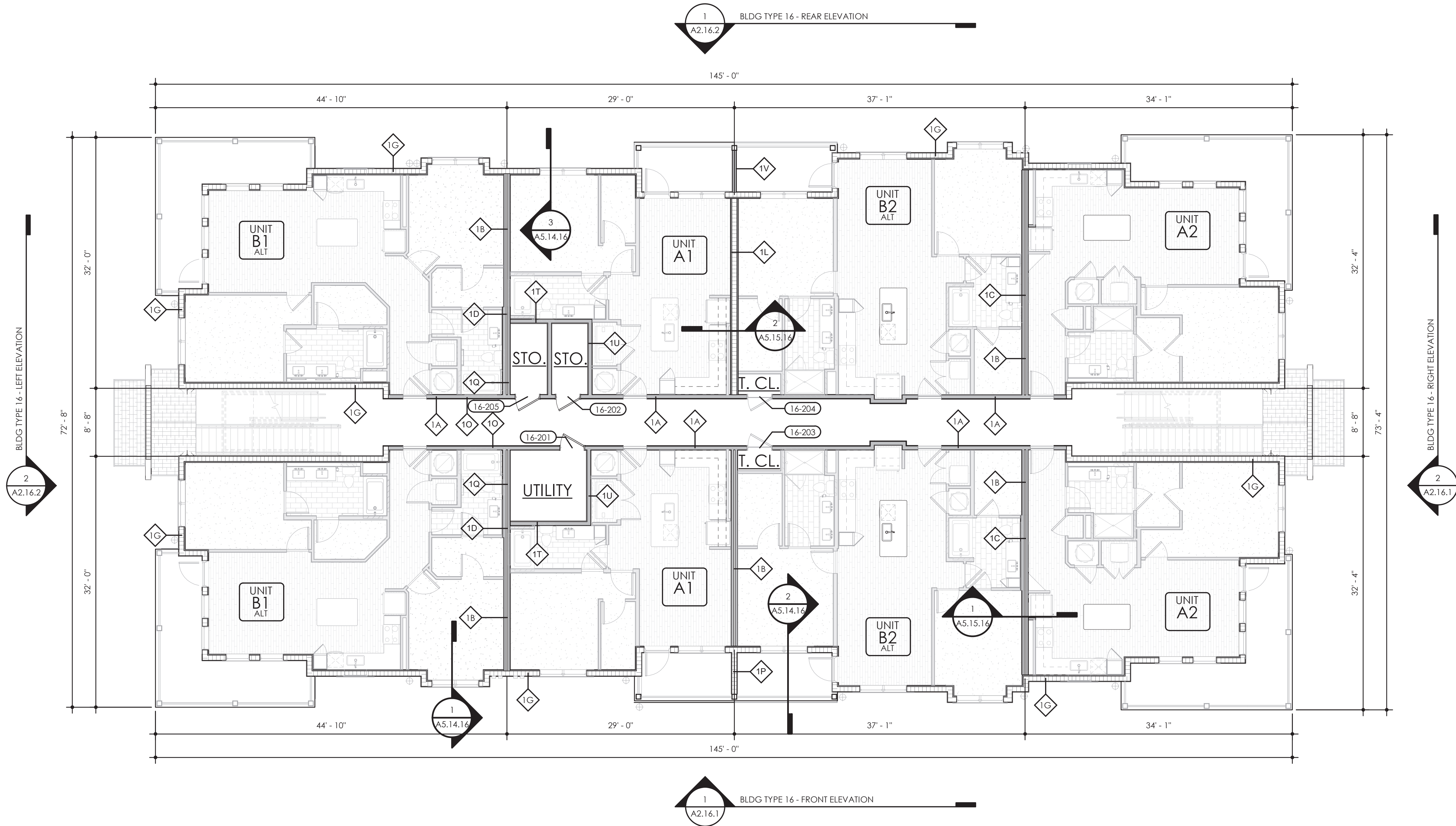
PERMIT SET



STUART, FLORIDA

SEAL DATE

CRISTIAN OSQUEJO
Charlan Brock & Associates, A.C.000798
In accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.
charlan_brock & associates, inc. hereby reserves its common law copyright and other property rights in these plans, ideas, designs, these ideas, designs, and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. within dimensions shall have precedence over scale dimensions.



BUILDING TYPE 16 - MULTIFAMILY - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE).

RIO MARINE VILLAGE PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458



architects • planners

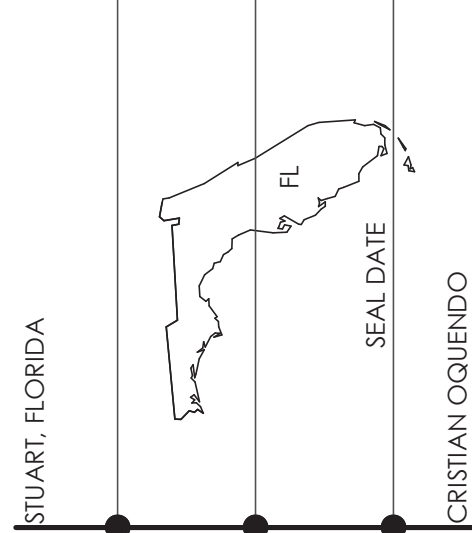
1770 fennell street
maitland florida 32751-7208
407.660.8900 f.407.875.9948
www.cbaarchitects.com

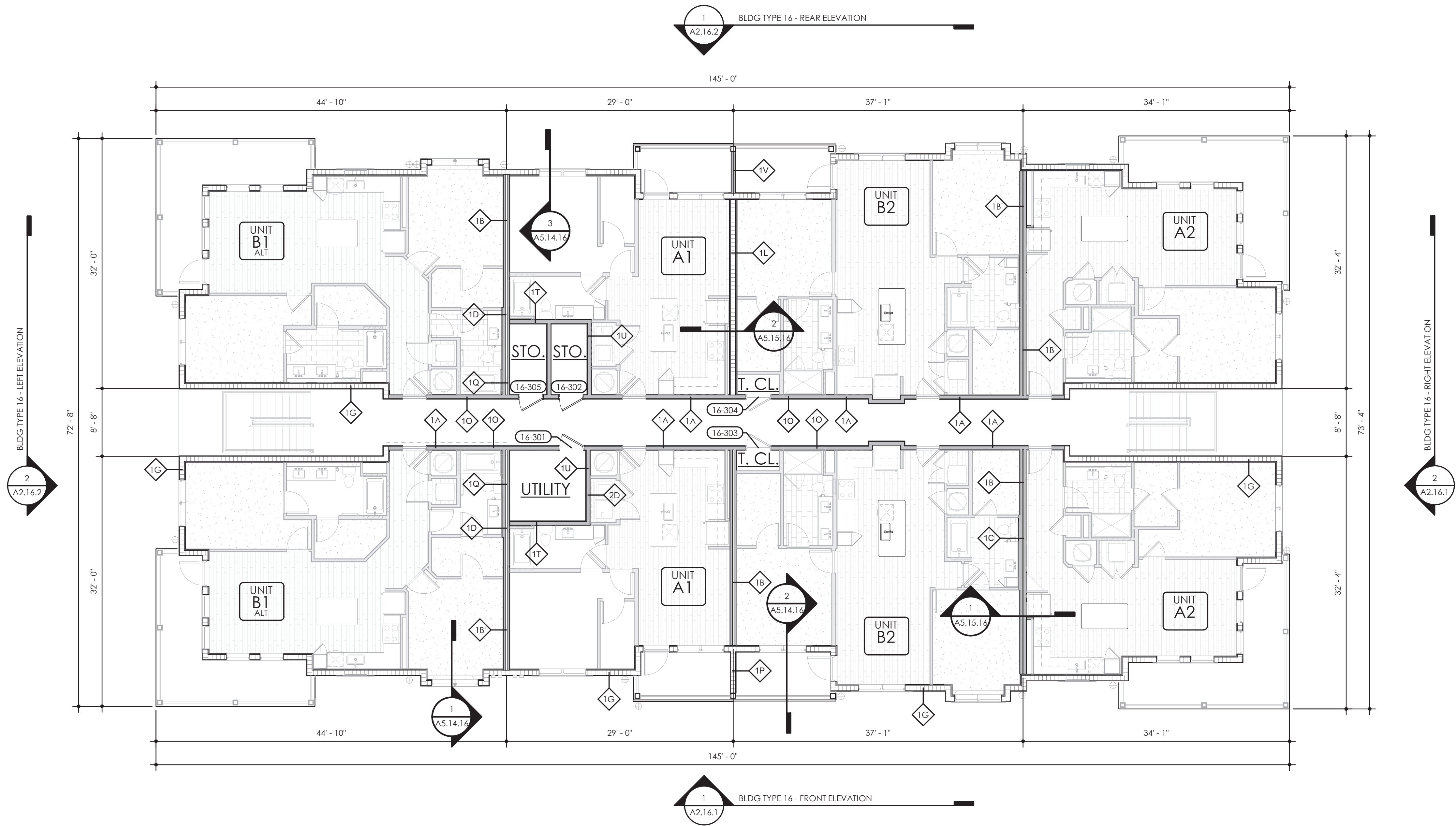
date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title
BLDG TYPE-16
MULTIFAMILY SECOND
FLOOR PLAN

Sheet Number
A0.10CC

PERMIT SET
A1.16.2





1 BUILDING TYPE 16 - MULTIFAMILY - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

TYPICAL BUILDING PLAN NOTES

- 1/8" BUILDING PLAN DIMENSIONS ARE TAKEN FROM CENTERLINE OF TENANT WALLS, FACE OF SHEATHING ON CORRIDOR WALLS, AND FACE OF SHEATHING ON EXTERIOR WALLS. REFER TO 1/4" UNIT PLANS, AND ENLARGED PLANS FOR COMPLETE DIMENSIONS AND NOTES.
- 1/4" UNIT PLANS ARE LOCATED ON SHEETS A4.01 THROUGH A4.13.
- COMMON USE TENANT AREAS DESIGNED TO COMPLY WITH FLORIDA ACCESSIBILITY CODE, FHADM-1998 AND ANSI 1171.1-2003 FROM POINT OF ACCESS TO UNIT FRONT DOOR. UNITS DESIGNED TO COMPLY WITH FHADM-1998. REFER TO SHEET A4.61 FOR REQUIREMENTS.
- ALL TENANT WALLS BETWEEN UNITS TO BE 1-HOUR RATED.
- ALL WALLS BETWEEN UNITS AND COORDINATES TO BE 1-HOUR RATED.
- TYPICAL ELEVATOR AND STAIR SHAFTS TO BE 2-HOUR RATED.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- TENANT WALL BETWEEN UNITS AND CLUBHOUSE AREAS TO RECEIVE RESILIENT CHANNELS BETWEEN INTERIOR GYP. AND STUD WALLS.
- REFER TO A4 SERIES SHEETS AND A5.01 FOR WALL ASSEMBLY INFORMATION.
- REFER TO A6 SERIES SHEETS FOR STAIR AND ELEVATOR ENLARGED PLANS, SECTIONS AND DETAILS.
- REFER TO A8 SERIES SHEETS FOR ADDITIONAL INFORMATION ON FIRE RATED ASSEMBLIES.
- BUILDING TO BE FULLY SPRINKLED WITH NFPA 13 FIRE SUPPRESSION SYSTEM.
- REFER TO MEP FOR FIRE ALARM, PULL, CONTROL PANELS, SIGNALS, HORN LOCATIONS, AND EXIT SIGNS.
- REFER TO MEP FOR ELECTRICAL SERVICES, METER BANK LOCATIONS, AND ACCESS DOOR LOCATIONS.
- BUILDING IS DESIGNED AND SHALL BE CONSTRUCTED TO MEET WIND LOADS AS NOTED ON SHEET A0.03. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS FOR HURRICANE RESISTANT CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION ON STUD SPACING AND FRAMING CONNECTION INFORMATION.
- ALL PLUMBING CLEANOUTS LOCATED WITHIN SIDEWALKS AND BREEZEWAYS TO BE FLUSH WITH FINISHED SURFACE (WITHIN 1/8" TOLERANCE).

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN OSQUEUNDO
CHARLAN • BROCK & ASSOCIATES, A.A.C.000798
In accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, these ideas, designs, and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without first obtaining the express written permission from c.b.a., inc. within dimensions shall have precedence over scale dimensions.

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
mailand florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

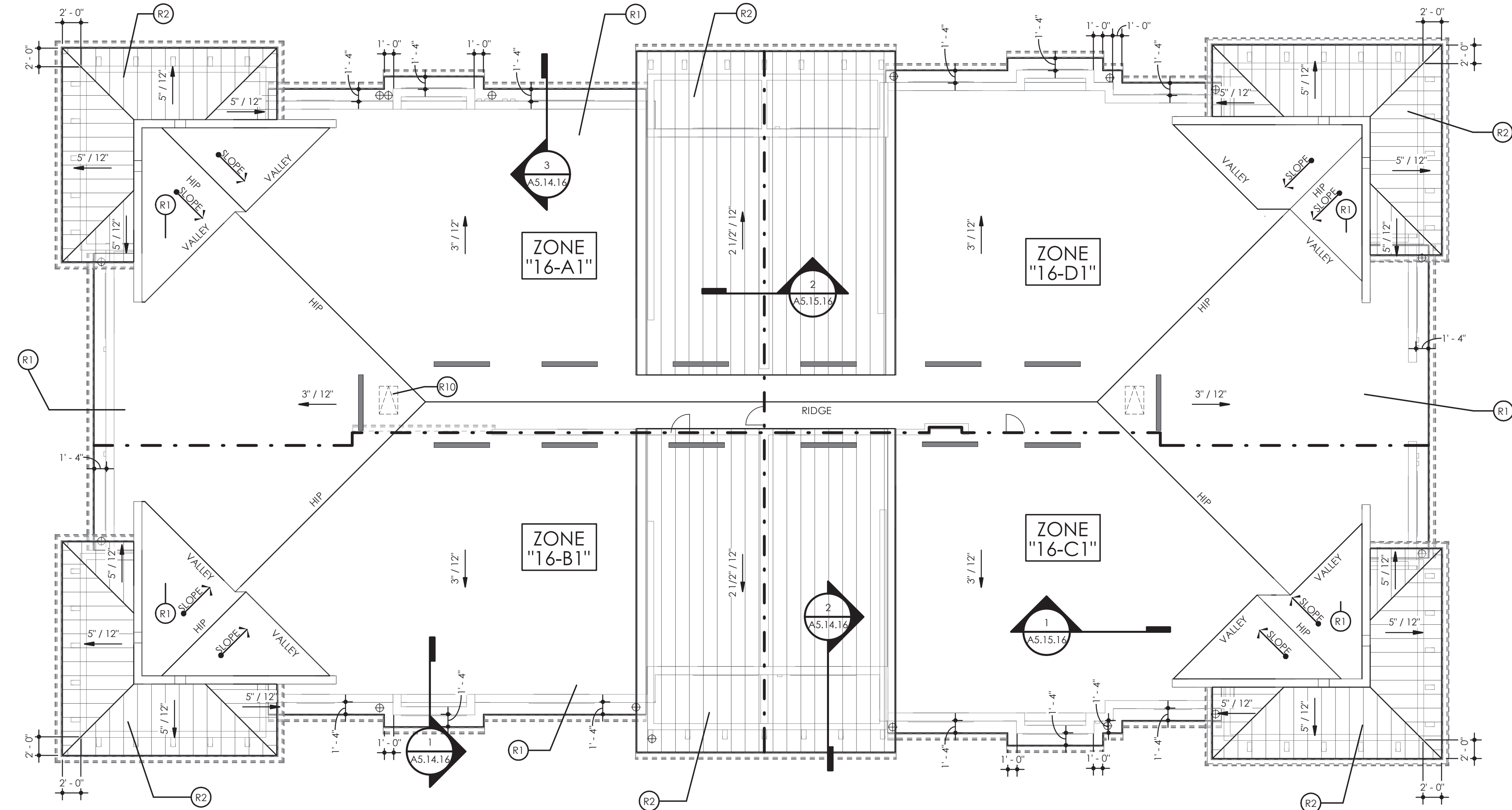
date: 2/23/24
job no: 4301.20
drawn by: TK
reviewed by: OL
issue history: Date

Sheet Title
BLDG TYPE-16
MULTIFAMILY THIRD
FLOOR PLAN

Sheet Number
A0.10CC

PERMIT SET

A1.16.3



1 BUILDING TYPE 16 - MULTIFAMILY - ROOF PLAN
SCALE: 1/8" = 1'-0"

ATTIC VENTILATION CALCULATIONS							
ROOF 'ZONES' SEPARATED BY DRAFTSTOPPING AREA CALCULATED INDIVIDUALLY PER IBC 718.4. CALCULATIONS OF REQUIRED VENTILATION ARE BASED ON IBC 1202.	ZONES	AREA	PERIMETER	REQ. VENT. SQ.FT.		PROVIDED	
				HIGH	LOW	SOFFIT LOW	OFF RIDGE VENT HIGH
						#	
FORMULA FOR REQUIRED VENTING: ROOF SQ.FT. X (1/300) = TOTAL VENTING 40% MIN. 50% MAX. HIGH VENTING 50% MIN. 60% MAX. LOW (EAVE) VENTING SOFFIT (LOW) VENTING: BASED ON SEMCO SV201 2" WIDE ALUM. SOFFIT-STRIP PROVIDING 92 SQ.IN. OF VENTING PER LIN.FT. = 0.08 SQ.FT. OFF RIDGE (HIGH) VENTING: BASED ON TAMCO VENT. EACH VENT PROVIDES 210 SQ.IN. OF VENTING = 1.46 SQ.FT.	16-A1	2,909 SF	126.58 LF	4.85	4.85	10.14 SF	4 5.84 SF
	16-B1	2,366 SF	117.17 LF	3.94	3.94	9.38 SF	3 4.38 SF
	16-C1	2,385 SF	112.84 LF	3.97	3.97	9.04 SF	3 4.38 SF
	16-D1	2,921 SF	122.24 LF	4.87	4.87	9.79 SF	4 5.84 SF

ROOF PLAN GENERAL NOTES	
1.	REFER TO ROOF PLAN FOR ROOF SLOPES.
2.	ROOFING CONTRACTOR TO PROVIDE OFF-RIDGE & SOFFIT VENTILATION IN ACCORDANCE WITH THE CURRENT BUILDING CODE. OFF-RIDGE VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT WITH SCREEN. PAINT VENTS TO MATCH ROOF. REFER TO ROOF VENT CALCULATIONS.

ROOF KEYNOTES	
R1	30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER #30 FELT
R2	STANDING SEAM METAL ROOF SYSTEM
R3	⊕ DENOTES SUGGESTED 6" GUTTER LOCATIONS
R4	SUGGESTED 3" x 4" DOWNSPOUT LOCATIONS. VERIFY LOCATIONS AND CONNECTIONS TO STORM WATER DRAINAGE WITH CIVIL/LANDSCAPE DRAWINGS. PROVIDE SPLASH BLOCK BELOW WHERE NO BOOT CONNECTION
R5	_____ CRICKET WITH 3:12 SLOPE MINIMUM, U.N.O
R6	TAPERED INSULATION + TPO ROOFING
R7	DENOTES ROOF VENTS. REFER TO ROOF CALCULATIONS FOR OVERALL SQUARE FOOTAGE OF VENTING
R8	SELF-CLOSING DOOR WITH AUTOMATIC LATCH AT DRAFTSTOPPING
R9	DENOTES DRAFTSTOPPING IN ATTIC AREA
R10	22" x 36" ATTIC ACCESS DOOR. PROVIDE 1-HR RATED ACCESS DOOR IN APARTMENT BUILDINGS, GARAGES AND MAINTENANCE BUILDINGS. ALL ATTIC ACCESS TO BE LOCKABLE. SEE DETAIL X/A7.XX
R11	PRIMARY ROOF DRAIN
R12	PROVIDE PLYWOOD WALK WITHIN SPACE FROM ATTIC ACCESS TO ROOF ACCESS DOOR
R13	PARAPET KICKERS. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION, SIZE AND DETAILS
R14	SECONDARY OVERFLOW ROOF DRAIN

STUART, FLORIDA

FL

SEAL DATE

CRISTIAN OSQUEENDO
Charlan Brock & Associates, AAC000798
In accordance with FBC Section 110.8.4.4 and Chapter 633, Florida Statutes, to the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire/safety standards as determined by the local authority.

RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLK
601 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

c b a

charlan • brock
associates

architects • planners

1770 fennell street
mailland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue history: Date

Sheet Title

BLDG TYPE-16
MULTIFAMILY ROOF
PLAN

Sheet Number

A0.10CC

A1.16.4

PERMIT SET



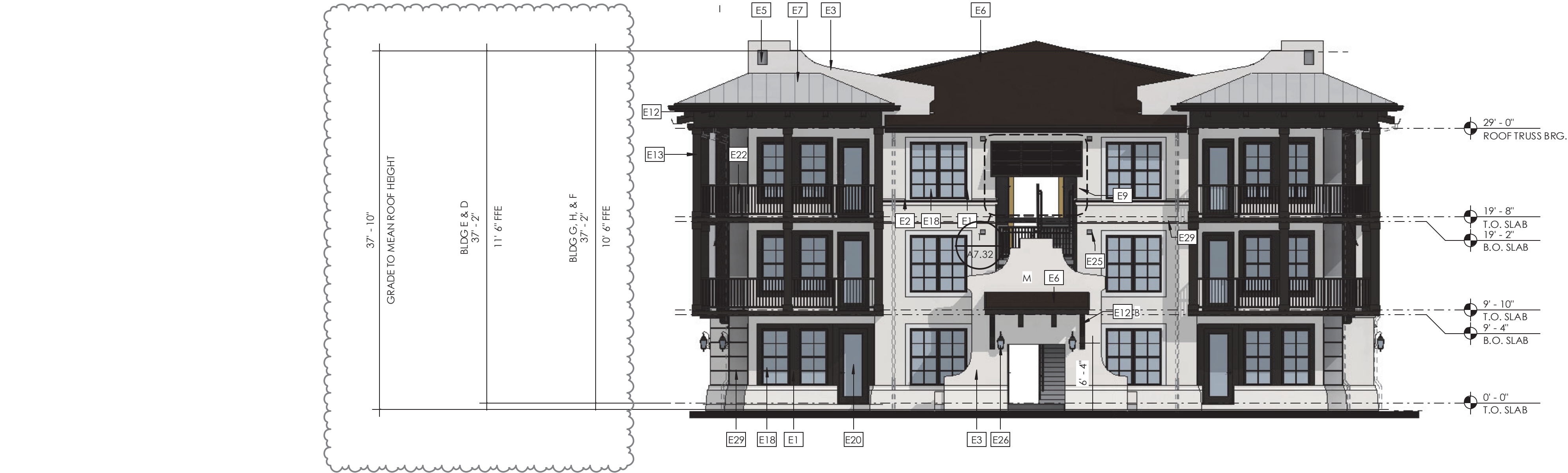
ELEVATION KEY NOTES

E1	WINDOW TRIM - RAISED STUCCO	E13	TIMBER COLUMN - PAINTED	E25	DRYER/BATH VENTS, COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2	FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14	PREFABRICATED METAL AWNING	E26	EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3	STUCCO PAINTED	E15	CONDUCTOR HEAD SCUPPER BOX	E27	EXTERIOR SIGNAGE WITH LED LIGHTING, BY OTHERS
E4	STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16	THROUGH WALL OVERFLOW SCUPPER	E28	ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5	WALL RECESS	E17	ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29	PROFILES/STUCCO REVEAL - 2"
E6	ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18	POLYETHYLENE GLASS/ALUMINUM WINDOWS, SEE FLOOR PLANS AND SCHEDULES	E30	CONTROL JOINT
E7	STANDING SEAM METAL ROOF SYSTEM	E19	STOREFRONT GLAZING SYSTEM, SEE FLOOR PLANS AND SCHEDULES	E31	RAISED STUCCO BAND
E8	ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM - SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20	EXTERIOR DOOR, SEE FLOOR PLANS AND DOOR SCHEDULES		
E9	ALUMINUM BAHAMA SHUTTER	E21	OVERHEAD ROLLING DOOR, SEE FLOOR PLANS AND DOOR SCHEDULES		
E10	FALSE VINYL LOUVER SIZE AS INDICATED	E22	42" HIGH ALUMINUM GUARD RAIL SYSTEM		
E11	MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23	BUG SCREEN ENCLOSURE FOR BALCONY		
E12	ARCHITECTURAL FOAM BRACKET	E24	METAL COPING CAP AT PARAPET WALL		



1 BLDG TYPE 16 - REAR ELEVATION

SCALE: 1/8" = 1'-0"



2 BLDG TYPE 16 - LEFT ELEVATION

SCALE: 1/8" = 1'-0"

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - STUCCO, PAINTED.
2. ALL EXTERIOR TRIM RAISED STUCCO.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.
9. PROVIDE URETHANE SEALANT WITH BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZONTAL BUILDING BANDS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS.
11. PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS BETWEEN MATERIALS.
12. SLOPE METAL FLASHING TO SHED WATER. LAP AND SEAL OVERLAPS IN FLASHING.
13. PROVIDE SEALANT END DAMS AT END OF ALL HORIZONTAL FLASHING TO PREVENT WATER RUNOFF.
14. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS, TYPICAL.
15. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"X5" ANODIZED ALUMINUM.
16. COLORS OF ALL EXTERIOR VENTS, DEVICES, ELECTRICAL EQUIPMENT, ETC. TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
17. ALL DRYER VENTS TO ALIGN HORIZONTALLY AND VERTICALLY.

ELEVATION KEY NOTES

E1 WINDOW TRIM - RAISED STUCCO	E13 TIMBER COLUMN - PAINTED	E25 DRYER/BATH VENTS. COORDINATE LOCATION WITH MEP DWGS. PAINT TO MATCH ADJACENT WALL
E2 FOAM BAND WITH HARD COAT AND FIBER REINFORCED STUCCO FINISH	E14 PREFABRICATED METAL AWNING	E26 EXTERIOR LIGHT FIXTURE BY OWNER. SEE ELECTRICAL DRAWINGS
E3 STUCCO PAINTED	E15 CONDUCTOR HEAD SCUPPER BOX	E27 EXTERIOR SIGNAGE WITH LED LIGHTING. BY OTHERS
E4 STUCCO CONTROL JOINT - TYPICAL AT OPENINGS	E16 THROUGH WALL OVERFLOW SCUPPER	E28 ELECTRICAL METER BOX. SEE ELECTRICAL DRAWINGS
E5 WALL RECESS	E17 ALUMINUM CANOPY INSTALLED PER MANUFACTURER'S SPECIFICATIONS	E29 PROFILE-STUCCO REVEAL - 2"
E6 ARCHITECTURAL 30-YEAR ROOF SHINGLE SYSTEM	E18 POST LOW E ALUMINUM WINDOWS. SEE FLOOR PLANS AND SCHEDULES	E30 CONTROL JOINT
E7 STANDING SEAM METAL ROOF SYSTEM	E19 STOREFRONT GLAZING SYSTEM. SEE FLOOR PLANS AND SCHEDULES	E31 RAISED STUCCO BAND
E8 ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE CIVIL DRAWINGS FOR STORM DRAIN CONNECTIONS WHERE APPLICABLE	E20 EXTERIOR DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	
E9 ALUMINUM BAHAMA SHUTTER	E21 OVERHEAD ROLLING DOOR. SEE FLOOR PLANS AND DOOR SCHEDULES	
E10 FALSE VINYL LOUVER SIZE AS INDICATED	E22 42" HIGH ALUMINUM GUARD RAIL SYSTEM	
E11 MOSAIC ARTWORK OVER PAINTED STUCCO FINISH	E23 BUG SCREEN ENCLOSURE FOR BALCONY	
E12 ARCHITECTURAL FOAM BRACKET	E24 METAL COPING CAP AT PARAPET WALL	

Sheet Title

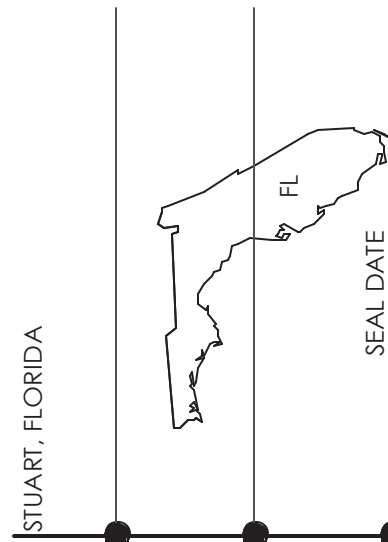
BLDG TYPE-16
MULTIFAMILY
EXTERIOR ELEVATIONS

A0.10CC

Sheet Number

A2.16.2

PERMIT SET



RIO MARINE VILLAGE

PHASE I EAST

BRIAN PAWLAK
401 HERITAGE DRIVE, STE #227
JUNIPER, FL 33458

charlan • brock
associates

architects • planners

1770 fennell street
maitland florida 32751-7208
407 660 8900 f:407 875 9948
www . cbaarchitects . com

date: 2/23/24

job no: 4301.20

drawn by: TK

reviewed by: OL

issue

history: Date

1 3/20/24