



MARTIN COUNTY, FLORIDA
DEVELOPMENT REVIEW

STAFF REPORT

A. Application Information

**WEST STUART BUSINESS CENTER
REVISED MAJOR FINAL SITE PLAN**

Applicant:	West Stuart Business Center LLC
Property Owner:	West Stuart Business Center LLC
Agent for the Applicant:	Engineering Design & Construction, Inc., Brad Currie, AICP
County Project Coordinator:	Peter Walden, Principal Planner
Growth Management Director:	Nicki van Vonno, AICP
Project Number:	E016-036
Application Type and Number:	DEV2018110010
Report Number:	2019_0506_E016-032_Staff_Report_Final
Application Received:	12/04/2018
Transmitted:	12/04/2018
Date of Report:	01/15/2019
Resubmittal Received:	02/28/2019
Transmitted:	03/01/2019
Date of report:	03/18/2019
Resubmittal received:	04/12/2019
Transmitts:	04/12/2019
Date of Report:	05/06/2019

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B. Project description and analysis

Request for approval of a Revised Major final site plan for West Stuart Business Center, LLC. The approximately 8.5 acre parcel, lot 18 of the Ellipse industrial Park, is located at 7805 SW Ellipse Way in Stuart. The Ellipse Industrial subdivision is located between I95 and the Florida turnpike. Included with this application is a request for Public Facilities Reservation.

Lot 18 has an existing final site plan for 2 warehouse / office buildings totaling 39,800 square feet and the associated infrastructure. This application proposes to add four additional buildings with a combined 52,122 square feet of building area and the associated infrastructure bringing the total building area to 91,922 square feet. The access to the site will be as originally constructed for the first part of the development of lot 18.

The site is required to meet commercial design requirements. The future land use designation for the

1 10/10/13 5.49

property is Industrial and the zoning district designation is LI, Limited Industrial.

C. Staff recommendation

The specific findings and conclusion of each review agency related to this request are identified in Sections F through T of this report. The current review status for each agency is as follows:

Section	Division or Department	Reviewer	Phone	Assessment
F	Comprehensive Plan	Peter Walden	219-4923	Comply
F	ARDP	Samantha Lovelady	288-5664	N/A
G	Development Review	Peter Walden	219-4923	Comply
H	Urban Design	Santiago Abasolo	288-5485	Comply
H	Community Redevelopment	Santiago Abasolo	288-5485	N/A
I	Property Management	Colleen Holmes	288-5794	N/A
J	Environmental	Shawn Mccarthy	288-5508	Comply
J	Landscaping	Karen Sjöholm	288-5909	Comply
K	Transportation	Lukas Lambert	288-5476	Comply
L	County Surveyor	Tom Walker	288-5418	N/A
M	Engineering	Stephanie Piche	223-7945	Comply
N	Addressing	Emily Kohler	288-5692	Comply
N	Electronic File Submission	Emily Kohler	288-5692	Comply
O	Water and Wastewater	James Christ	320-3034	Comply
O	Wellfields	James Christ	320-3034	Comply
P	Fire Prevention	Doug Killane	288-5633	Comply
P	Emergency Management	Dan Wouters	219-4941	N/A
Q	ADA	Stephanie Piche	221-1396	Comply
R	Health Department	Todd Reinhold	221-4090	N/A
R	School Board	Kimberly Everman	219-1200	N/A
S	County Attorney	Krista Storey	288-5443	N/A
T	Adequate Public Facilities	Peter Walden	219-4923	Comply

D. Review Board action

This application meets the threshold requirements for processing as a major development. As such, a review of this application is required by the Local Planning Agency (LPA) and final action by the Board of County Commissioners (BCC). Both the LPA and the BCC meetings must be public hearings. MARTIN COUNTY, FLA., LDR, ARTICLE 10

The public hearing process requires proper noticing pursuant to Sec. 10.6.E. LDR The notice of a public hearing regarding development applications shall be mailed at least 14 calendar days (seven calendar days if the application is being expedited pursuant to section 10.12) prior to the public hearing by the applicant to all owners of real property located within a distance of 500 feet of the boundaries of the affected property.

Pursuant to Sec. 10.1.F, Land Development Regulations, Martin County, Fla., (2016) it shall at all times be the applicant's responsibility to demonstrate compliance with the Comprehensive Growth Management Plan (CGMP), Land Development Regulations (LDR) and the Code.

The applicant addressed the non-compliance findings from the staff report dated, March 18, 2019 with

its resubmittal dated April 12, 2019. The previous staff reports and resubmittals are incorporated herein by reference.

E. Location and site information

Parcel number(s) and address:	7805 SW Ellipse Way
05-39-41-002-000-0018.0-1	
Existing Zoning:	LI, Limited Industrial
Future land use:	FLU-IND, Future Land Use Industrial
Commission district:	2
Planning area:	Port Salerno / 76 Cor

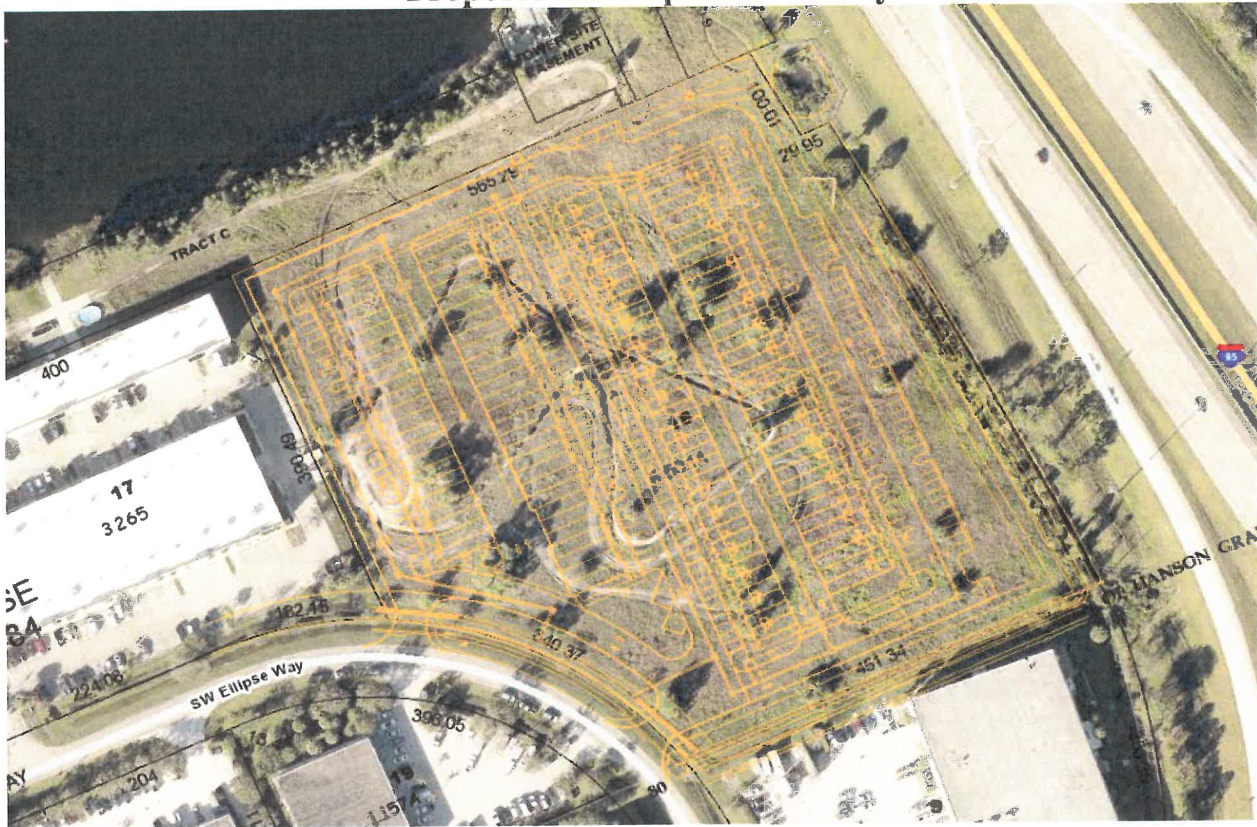
Location Map



Aerial



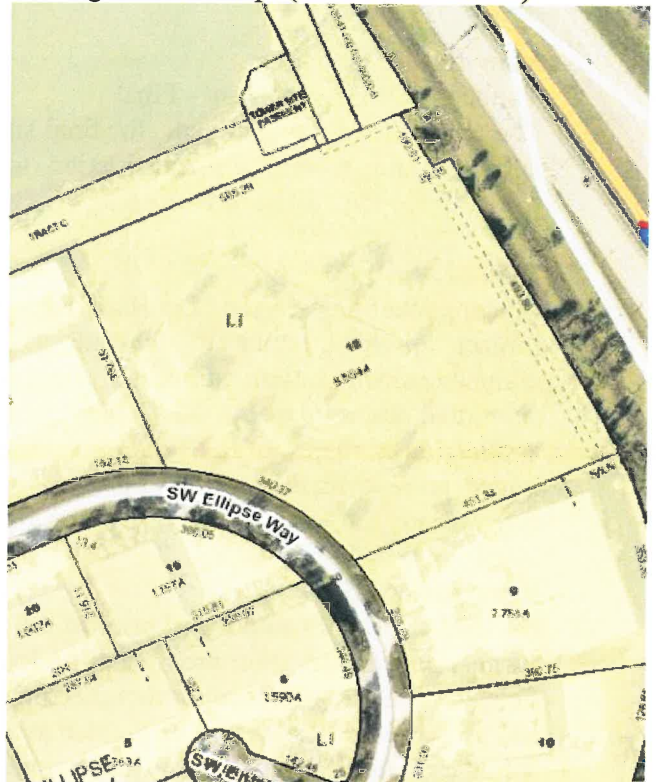
Proposed Development Overlay



Future Land Use Excerpt (Industrial)



Zoning Atlas Excerpt (Limited Industrial)



F. Determination of compliance with Comprehensive Growth Management Plan requirements - Growth Management Department

Findings of Compliance:

The Growth Management Department Development Review Division staff has reviewed the application and finds it in compliance with the applicable regulations. There are no unresolved Comprehensive Growth Management Plan requirements issues associated with this application.

G. Determination of compliance with land use, site design standards, zoning, and procedural requirements - Growth Management Department

Findings of Compliance:

The Growth Management Department Development Review Division staff has reviewed the application and finds it in compliance with the applicable regulations. There are no unresolved land use, site design standards, zoning and procedural requirements issues associated with this application.

Item #1;

A parking rate adjustment request has been submitted. The applicant has adequately shown that the additional parking has no impacts or adverse effect on surrounding development. The additional parking is pervious as required pursuant to Sec. 4.625.A. The rate adjustment will be presented at the required public hearings and the BCC will make the final decision on the request.

Additional Information:

Item #1:

Timetable Of Development - Final

The timetable of development for final site plans require all permits to be obtained within one year of approval and require all construction to be completed within two years of approval. MARTIN COUNTY, FLA., LDR, § 10.1., 5.32

Item #2:

The applicant has elected `Option 2, regarding Agency permit submittal for a consistency review after project approval. Prior to scheduling the mandatory pre-construction meeting for construction commencement authorization, all applicable local, state, and federal approved permits are to be submitted for review by the County Administrator with remittance of a \$600.00 review fee. If an application is made to any permitting agency for a modification to a permit that was required to be issued prior to final site plan approval, the application for the permit modification must be submitted concurrently to Martin County. [Section 10.9.A., LDR, MCC]

Information #3:

No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre- construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials. MARTIN COUNTY, FLA., LDR § 4.37

H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department

The proposed development complies with the requirements of Art. 4, DIV. 20 – Commercial Design – of the Martin Co., FL, Land Development Regulations.

I. Determination of compliance with the property management requirements – Engineering Department

N/A

No dedication of additional right of way is required or proposed by the Applicant pursuant to the Roadway Classifications set forth in Section 4.843.B, Land Development Regulations, Martin County, Fla., (2010) which includes Table 4.19.1 that lists the minimum right of way requirements. Therefore, the Applicant is not required to submit due diligence materials for review by the Martin County Real Property Division.

J. Determination of compliance with environmental and landscaping requirements - Growth Management Department

Environmental

Finding of Compliance:

The Growth Management Department Environmental Division staff has reviewed the application and finds it in compliance with the applicable land development regulations.

Landscape

Findings of Compliance:

The Growth Management Department staff has reviewed the application and finds it in compliance with the applicable Land Development Regulations regarding landscaping. The applicant has proposed construction of the second portion of an office /warehouse facility within an existing Industrial Park. The applicant has submitted landscape plans for the overall site that provide 2.47 acres of landscape area which equates to 29% of the 370,473 s.f development area to document compliance with Section 4.663.A.1., Land Development Regulations, Martin County, Fla. (2013). Pursuant to this regulation a minimum of 20% of the total development area shall be landscaped.

Section 4.663.A.3.b. Land Development Regulations, Martin County, Fla. (2013) requires that all nonresidential development provide at least one tree per 2,500 sq. ft. of site area; a total of 148 trees for this project. Calculation of the minimum total number of trees and shrubs required to be planted is based upon the proposed developed area and separately based upon quantities required to meet the vehicular use area planting requirements and any required bufferyard requirements. Plantings for the vehicular use area requires the establishment of 112 trees. To demonstrate compliance the applicant has proposed the planting of 102 trees plus the equivalent of 10 tree credits by the preservation of 5 existing trees for this 370,474 sq. ft. site.

Landscaped bufferyards are required between differing land uses and along certain transportation corridors. Martin County, Fla Section 4.663.B.1.a, (2013). Surrounding land use is industrial so non-compatibility buffers are not required.

Section 4.666.E.Land Development Regulations, Martin County, Fla. (2013) requires that development activity preserve at least ten percent of the total number of protected trees on the site unless it can be shown that the property would be precluded of reasonable use if the trees are not removed. Due to substantial grade changes necessary, to meet this requirement the applicant has submitted Landscape and Construction Plans to provide for removal of 1 existing protected trees and preservation of 5 existing oaks within the proposed perimeter landscape area. To demonstrate compliance with Section 4.666.D., Land Development Regulations, Martin County, Fla. (2013) he applicant has proposed preservation of existing trees equal to 10 credits to mitigate for the necessary tree removal.

Alterations cannot be made to the plans after final site plan approval. Any alteration may require an application to amend the affected approved plans.

The applicant is cautioned to consider the placement of utilities and any underground or above ground site improvement that could cause a conflict with the landscaping and possibly cause a change or amendment.

As-built landscape plans submitted prior to the release of a certificate of occupancy will be checked against the approved drawings. Inconsistencies may block the issuance of the certificate of occupancy

K. Determination of compliance with transportation requirements - Engineering Department

Findings of Compliance:

The Traffic Division of the Engineering Department finds this application in compliance.

Compliance with Adequate Public Facilities Ordinance:

Staff has reviewed the Traffic Statement prepared by O'Rourke Engineering and Planning, dated February 2019. O'Rourke Engineering and Planning stated that the site's maximum impact was assumed to be 76 directional trips during the AM peak hour. Staff finds that SW Jack James Drive is the recipient of a majority of the generated trips. The generalized service capacity of SW Jack James Drive is 750. The project impact is 10% of the maximum volume of that roadway. SW Jack James Drive is currently operating at a level of service C; it is anticipated to operate at level of service C at buildout (year 2021).

L. Determination of compliance with county surveyor - Engineering Department

N/A

The applicant has indicated that there are no proposed changes to the approved project boundary as part of the current application. Therefore, The Engineering Department was not required to review this application for consistency with the Martin County Codes for survey requirements contained in Article 4 of the Land Development Regulations. MARTIN COUNTY, FLA., LDR §10.1.F

M. Determination of compliance with engineering, storm water and flood management requirements - Engineering Department

Findings of Compliance:

The application was reviewed for compliance with the following Divisions of the Land Development Regulations. Staff's finding is summarized after each:

Division 8- Excavation, Fill, and Mining: The applicant demonstrated in the Engineer's Opinion of Probable Excavation, Fill, and Hauling that no excavation is proposed and only fill will be brought onto the site; therefore, hauling material from the site is not approved with this Development Order. The applicant demonstrated compliance with Division 8.

Division 9- Stormwater Management: The applicant has demonstrated the proposed development is included in the Master Stormwater Management System and proposed deviations from the previous permit will not affect the existing system; thereby, the required attenuation and water quality treatment is in compliance with Division 9.

Division 10 - Flood Protection: This site does not fall within a Special Flood Hazard Area. The applicant is proposing the Finished Floor Elevations above the stage of the 100-year 3-day storm event; therefore, the applicant demonstrated compliance with Division 10.

Division 14 - Parking and Loading: The applicant demonstrated compliance with the parking requirements set forth in Division 14.

Division 19- Roadway Design: The applicant is not proposing to make modifications to the existing road SW Ellipse Way; therefore, the applicant demonstrated compliance with Division 19.

The Engineering Department finds this application in compliance provided the Development Order includes conditions for the following:

1. The Owner is not authorized to haul fill off of the site. The Owner must comply with all County excavation and fill regulations.

Compliance with Adequate Public Facilities Ordinance:

This project will provide the proposed development sufficient services based upon the adopted LOS for stormwater management facilities.

N. Determination of compliance with addressing and electronic file submittal requirements – Growth Management and Information Technology Departments

Addressing

Findings of Compliance

The application has been reviewed for compliance with Division 17, Addressing, of the Martin County Land Development Regulations. Staff finds that the proposed site plan / plat complies with applicable addressing regulations. All street names are in compliance. They meet all street naming regulations in Article 4, Division 17, Land Development Regulations. Martin County, Fla. (2018).

Electronic Files

Findings of Compliance

The Information Services Department staff has reviewed the electronic file submittal and finds it in compliance with the applicable county requirements.

Both AutoCAD site plan and boundary survey were received and found to be in compliance with Section 10.2.B.5, Land Development Regulations, Martin County, Fla. (2018)

Both AutoCAD site plan and boundary survey were in State Plane coordinates and found to be in compliance with Section 10.2.B.5, Land Development Regulations, Martin County, Fla. (2018)

The AutoCAD boundary survey was received and found to be in compliance with Section 10.2.B.5, Land Development Regulations, Martin County, Fla. (2018)

O. Determination of compliance with utilities requirements - Utilities Department

Water and Wastewater Service

Findings of Compliance:

This development application has been reviewed for compliance with applicable statutes and ordinances and the reviewer finds it in compliance with Martin County's requirements for water and wastewater level of service. [Martin County, Fla., LDR, Article 4, Division 6 and 7, (2016)]

Wellfield and Groundwater Protection

Findings of Compliance:

The application has been reviewed for compliance under the Wellfield Protection Program. The reviewer finds the application in compliance with the Wellfield Protection and Groundwater Protection Ordinances. [Martin County, Fla., LDR, Article 4, Division 5] (2016)

P. Determination of compliance with fire prevention and emergency management requirements – Fire Rescue Department

Finding of Compliance;

The Fire Prevention Bureau finds this submittal in compliance with the applicable provisions governing construction and life safety standards of the Florida Fire Prevention Code and referenced publications. This occupancy shall comply with all applicable provisions of governing codes whether implied or not in this review, in addition to all previous requirements of prior reviews.

Q. Determination of compliance with Americans with Disability Act (ADA) requirements – Public Works Department

Findings of Compliance:

The Public Works Department staff has reviewed the application and finds it in compliance with the applicable Americans with Disability Act requirements. (2014 FBC, FIFTH EDITION\ACCESSIBILITY)

R. Determination of compliance with Martin County Health Department and Martin County School Board

Martin County Health Department

N/A

There are no onsite potable wells or septic disposal systems, pursuant to Section 10.1.F, LDR, Martin County, Fla. Therefore, the Department of Health was not required to review this application for consistency with the Martin County Codes.

Martin County School Board

N/A

The applicant has indicated that this application is for an industrial office/warehouse. Therefore the Martin County School Board was not required to review this application for school concurrency evaluation. MARTIN COUNTY, FLA., LDR §10.1.F.

S. Determination of compliance with legal requirements - County Attorney's Office

Review ongoing

T. Determination of compliance with the adequate public facilities requirements - responsible departments

The following is a summary of the review for compliance with the standards contained in Article 5.32.D of the Adequate Public Facilities, Land Development Regulations (LDR's), Martin County Code for a Certificate of Adequate Public Facilities Reservation.

Potable water facilities (Section 5.32.D.3.a, LDR)

Service provider – Martin County

Findings – in place

Source - Utilities and Solid Waste Department

Reference - see Section O of this staff report

Sanitary sewer facilities (Section 5.32.D.3.b, LDR)

Service provider – Martin County

Findings – positive evaluation

Source - Utilities and Solid Waste Department

Reference - see Section O of this staff report

Solid waste facilities (Section 5.32.D.3.c, LDR)

Findings – in place

Source - Growth Management Department

Stormwater management facilities (Section 5.32.D.3.d, LDR)

Findings – Positive evaluation

Source - Engineering Department

Reference - see Section M of this staff report

Community park facilities (Section 5.32.D.3.e, LDR)

Findings – in place

Source - Growth Management Department

Roads facilities (Section 5.32.D.3.f, LDR)

Findings – positive evaluation

Source - Engineering Department

Reference - see Section K of this staff report

Mass transit facilities (Section 5.32.D.3.g, LDR)

Findings - in place

Source - Engineering Department

Reference - see Section K of this staff report

Public safety facilities (Section 5.32.D.3.h, LDR)

Findings - in place

Source - Growth Management Department

Reference - see Section P of this staff report

Public school facilities (Section 5.32.D.3.i, LDR)

Findings - in place

Source - Growth Management Department

Reference - see Section R of this staff report

A timetable for completion consistent with the valid duration of the development is to be included in the Certificate of Public Facilities Reservation. The development encompassed by Reservation Certificate must be completed within the timetable specified for the type of development.

U. Post-approval requirements

Approval of the development order is conditioned upon the applicant's submittal of all required documents, executed where appropriate, to the Growth Management Department (GMD), including unpaid fees, within sixty (60) days of the final action granting approval.

Item #1:

Post Approval Requirements List: After approval the applicant will receive a letter and a Post Approval Requirements List that identifies the documents and fees required. The applicant will return the Post Approval Requirements List along with the required documents in a packet with the documents arranged in the order shown on the list.

Item #2:

Post Approval Fees: The applicant is required to pay all remaining fees when submitting the post approval packet. If an extension is granted, the fees must be paid within 60 days from the date of the development order. Checks should be made payable to Martin County Board of County Commissioners.

Item #3:

Recording Costs: The applicant is responsible for all recording costs. The Growth Management Department will calculate the recording costs and contact the applicant with the payment amount required. Checks should be made payable to the Martin County Clerk of Court.

Item #4:

One (1) copy of the recorded warranty deed if a property title transfer has occurred since the site plan approval. If there has not been a property title transfer since the approval, provide a letter stating that no title transfer has occurred.

Item #5:

Original and one (1) copy of the current Unity of Title in standard County format if a property title transfer has occurred since the site plan approval. If there has not been a property title transfer since the approval, provide a letter stating so that no transfer has occurred.

Item #6:

Ten (10) 24" x 36" copies of the approved construction plans signed and sealed by the Engineer of Record licensed in the State of Florida. Fold to 8 by 12 inches.

Item #7:

Ten (10) copies 24" x 36" of the approved site plan.

Item #8:

Original approved site plan on Mylar or other plastic, stable material.

Item #9:

Ten (10) 24" x 36" copies of the approved landscape plan signed and sealed by a landscape architect licensed in the State of Florida.

Item #10:

One (1) digital copy of site plan in AutoCAD 2010 - 2017 drawing format (.dwg). The digital version of the site plan must match the hardcopy version as submitted.

Item #11:

Original of the construction schedule.

Item #12:

Original of the Engineer's Design Certification, on the County format which is available on the Martin County website, signed and sealed by the Engineer of Record licensed in the State of Florida.

Item #13:

Original and one (1) copy or two (2) copies of the executed and signed Water and Wastewater Service Agreement with Martin County Regional Utilities and one (1) copy of the payment receipt for Capital Facility Charge (CFC) and engineering and recording fees.

V. Local, State, and Federal Permits

This application is "Option 2" for final permit review

Item #1:

STORMWATER MGMT PERMITS

The following permits must be obtained prior to scheduling a Pre-Construction meeting:

1. South Florida Water Management District (SFWMD) Environmental Resource Permit (ERP)
2. Florida Department of Environmental Protection (FDEP) NPDES Generic Permit for Stormwater Discharges for Small and Large Construction Sites

Environmental Permits:

The property owner and/or agent shall be responsible for obtaining a gopher tortoise relocation permit from Florida fish and wildlife conservation commission. All necessary permits, or a current wildlife survey showing no gopher tortoises exist onsite, shall be submitted to the growth management department, environmental division for review. The wildlife survey shall be no greater than 90 days old at the time of review. No land clearing will be authorized until this information is received. No land clearing, including installation of erosion control barricades, can take place prior to the pre-construction meeting.

W. Fees

Public advertising fees for the development order will be determined and billed subsequent to the public hearing. Fees for this application are calculated as follows:

<i>Fee type:</i>	<i>Fee amount:</i>	<i>Fee payment:</i>	<i>Balance:</i>
Application review fees:	\$8,750.00	\$8,750.00	\$0.00
Inspection fees:	\$4,000.00		\$4,000.00
Advertising fees*:	TBD		
Recording fees**:	TBD		
Mandatory impact fees:	TBD		
Non-mandatory impact fees:	TBD		

- * Advertising fees will be determined once the ads have been placed and billed to the County.
- ** Recording fees will be identified on the post approval checklist.

X. General application information

Applicant: West Stuart Business Center LLC
 George T. Kelly IV
 1935 Commerce Ln Ste 5
 Jupiter, FL 33458
 561-743-7381


Agent: Engineering Design & Construction, Inc.
 Brad Currie
 10250 SW Village Parkway, Suite 201
 Port St. Lucie, 34987
 772-462-2455

Y. Acronyms

- ADA Americans with Disability Act
- AHJ Authority Having Jurisdiction
- ARDP Active Residential Development Preference
- BCC..... Board of County Commissioners
- CGMP Comprehensive Growth Management Plan

- CIE Capital Improvements Element
- CIP Capital Improvements Plan
- FACBC Florida Accessibility Code for Building Construction
- FDEP Florida Department of Environmental Protection
- FDOT Florida Department of Transportation
- LDR..... Land Development Regulations
- LPA Local Planning Agency
- MCC..... Martin County Code
- MCHD..... Martin County Health Department
- NFPA National Fire Protection Association
- SFWMD South Florida Water Management District
- W/WWSA Water/Waste Water Service Agreement

Z. Attachments




ENGINEERS & SURVEYORS
 1100 WEST PALM BLVD. SUITE 100
 WEST PALM BEACH, FL 33411
 PHONE: 561-833-3333
 FAX: 561-833-3334
 WWW.E-S-C.COM

DATE: 08/13/25
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 PROJECT: WEST STUART BUSINESS CENTER
 SHEET NO.: [Redacted]

SCALE: AS SHOWN
 PROJECT: WEST STUART BUSINESS CENTER
 SHEET NO.: [Redacted]

DATE: 08/13/25
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 PROJECT: WEST STUART BUSINESS CENTER
 SHEET NO.: [Redacted]



KAXW LED Wall Luminaire


Specifications:
 Length: 12.00"
 Width: 3.00"
 Height: 1.75"
 Weight: 2.5 lbs

Capable Luminaire

This luminaire is capable of being used in applications where the luminaire is designed and tested for use in a hazardous location.

- All wiring and components of this luminaire must be listed for use in hazardous locations.
- The luminaire must be installed in accordance with the manufacturer's instructions.
- This luminaire is not to be used in applications where the luminaire is not designed for use.

Ordering Information	Part Number	Length	Width	Height	Weight
Example Part Number	1200-30-175-25	12.00"	3.00"	1.75"	2.5 lbs



KAD LED Area Luminaire


Specifications:
 Length: 12.00"
 Width: 13.00"
 Height: 2.50"
 Weight: 3.5 lbs

Capable Luminaire

This luminaire is capable of being used in applications where the luminaire is designed and tested for use in a hazardous location.

- All wiring and components of this luminaire must be listed for use in hazardous locations.
- The luminaire must be installed in accordance with the manufacturer's instructions.
- This luminaire is not to be used in applications where the luminaire is not designed for use.

Ordering Information	Part Number	Length	Width	Height	Weight
Example Part Number	1200-1300-250-35	12.00"	13.00"	2.50"	3.5 lbs



KAXW LED Wall Luminaire

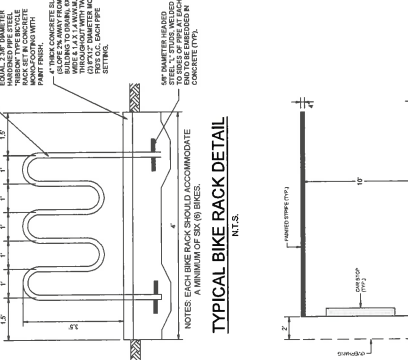
Specifications:
 Length: 12.00"
 Width: 3.00"
 Height: 1.75"
 Weight: 2.5 lbs

Capable Luminaire

This luminaire is capable of being used in applications where the luminaire is designed and tested for use in a hazardous location.

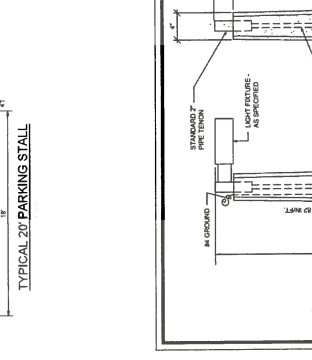
- All wiring and components of this luminaire must be listed for use in hazardous locations.
- The luminaire must be installed in accordance with the manufacturer's instructions.
- This luminaire is not to be used in applications where the luminaire is not designed for use.

Ordering Information	Part Number	Length	Width	Height	Weight
Example Part Number	1200-30-175-25	12.00"	3.00"	1.75"	2.5 lbs



CONCRETE POLE DETAIL
 08/13/25

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. THE CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE.
 3. THE POLE SHALL BE 48" O.D. GALVANNEAL STEEL.
 4. THE POLE SHALL BE 18' TALL.
 5. THE POLE SHALL BE 1/2" WALL THICKNESS.
 6. THE POLE SHALL BE 1/2" WALL THICKNESS AT THE TOP.
 7. THE POLE SHALL BE 1/2" WALL THICKNESS AT THE BOTTOM.
 8. THE POLE SHALL BE 1/2" WALL THICKNESS AT THE JOINTS.
 9. THE POLE SHALL BE 1/2" WALL THICKNESS AT THE JOINTS.
 10. THE POLE SHALL BE 1/2" WALL THICKNESS AT THE JOINTS.



TYPICAL 20' PARKING STALL

NOTES:
 1. THE STALL SHALL BE 20' LONG AND 8' WIDE.
 2. THE STALL SHALL BE 18' TALL.
 3. THE STALL SHALL BE 1/2" WALL THICKNESS.
 4. THE STALL SHALL BE 1/2" WALL THICKNESS AT THE TOP.
 5. THE STALL SHALL BE 1/2" WALL THICKNESS AT THE BOTTOM.
 6. THE STALL SHALL BE 1/2" WALL THICKNESS AT THE JOINTS.
 7. THE STALL SHALL BE 1/2" WALL THICKNESS AT THE JOINTS.



Martin County, Florida
Growth Management Department
DEVELOPMENT REVIEW DIVISION
2401 SE Monterey Road, Stuart, FL 34996
772-288-5495 www.martin.fl.us

Major Master & Final Site Plan Checklist

Please include the following items in the order shown below. In addition, if any item is not included, please identify the item and the reason for its exclusion in the narrative.

- 1. APPLICATION: Please use the new application form.
[Application](#)
- 2. AFFIDAVIT: Complete the affidavit for digital submission.
[Affidavit for digital submission](#)
- 3. If submitting the 8 1/2 by 11 or 14 inch documents digitally, include one disc or copy to the Digital Website with all the documents bookmarked as indicated in the Application Instructions. One paper packet must also be submitted, in addition to the digital submission.
[Digital website](#)
- 4. If submitting large format plans digitally, include two sets of paper plans. Each of the plans listed below should be submitted on either a disc or copied to the Digital Website. Do NOT scan the plans, but save the original .dwg or other file type as a .pdf at a minimum of 24x 36 inches and 300 dpi.
[Digital website](#)
- 5. NARRATIVE: A complete project narrative including what is being requested, the location and size of the subject property.
- 6. A check made payable to the Martin County Board of County Commissioners per the Development Review Fees.
[Development review fee schedule](#)
- 7. POWER OF ATTORNEY: A notarized power of attorney authorizing an agent to act on the owner's behalf.
- 8. RECORDED DEED: A copy of the recorded deed(s) for the subject property and any contract for purchase of the property.
- 9. PROPERTY TRANSFER: A certification of any property transfer since the property was deeded to the current property owner that is the applicant for this project.
- 10. LEGAL DESCRIPTION: Full legal description including parcel control number(s) and total acreage.
- 11. UNITY OF TITLE: A draft unity of title including the full legal description, total site acreage, and parcel control number(s).
[Unity of title form](#)
- 12. LOCATION MAP: A location map (8 1/2 x 11) showing the property and all major and minor roadways in and adjacent to the property with the property clearly outlined.
- 13. ADEQUATE PUBLIC FACILITIES: An adequate public facilities compliance statement; a reservation, deferral or an exemption.
- 14. If available, land dedication documentation.

- 15. EXCAVATION FILL AND HAULING: Engineer's Opinion of Probable Excavation, Fill and Hauling signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
[Excavation fill and hauling](#)
- 16. STORMWATER REPORT OR CALCULATIONS: A stormwater management report that is signed and sealed in accordance with the Florida Administrative Code (F.A.C.) 61G15-23.002 by a licensed Florida professional engineer. The report cover sheet and index sheet shall be signed and sealed; the report must clearly demonstrate compliance with Article 4, Division 9, Section 4.383, Martin County Land Development Regulations and its referenced Stormwater Management and Flood Protection Standards for Design and Review.
- 17. STORMWATER MAINTENANCE PLAN: A stormwater maintenance plan shall be included within this report. Section 4.386, Land Development Regulations, Martin County. MARTIN COUNTY, FLA., LDR § 4.386
- 18. TRAFFIC IMPACT ANALYSIS: A traffic impact analysis or statement signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
- 19. EVACUATION PLAN: An emergency evacuation plan if the property is located within Hurricane Surge Map Zones 1, 2, or 3.
[Hurricane surge map](#)
- 20. FIRE WILDFIRE SCORESHEET: A Florida Wildfire Risk Assessment Scoresheet.
[Wildfire risk assessment scoresheet](#)
- 21. SCHOOL IMPACT WORKSHEET: A school impact worksheet, if a residential development.
[School impact worksheet](#)
- 22. ENVIRONMENTAL ASSESSMENT: An environmental assessment of the property.
- 23. ENVIRONMENTAL WAIVER: Environmental waiver, when appropriate.
[Environmental waiver checklist](#)
- 24. PAMP: A preserve area management plan, if the environmental assessment identifies wetlands or native habitats that are required to be preserved.
- 25. LANDSCAPING ALTERNATIVE COMPLIANCE: A Landscaping Alternative Compliance Request justification statement that identifies the proposed modifications to the code.
- 26. A Landscaping Alternative Compliance Request check made payable to the Martin County Board of County Commissioners per the Development Review Fees.
- 27. CRA ALTERNATIVE COMPLIANCE: A CRA Alternative Compliance Request justification statement that identifies the proposed modifications to the code.
- 28. A CRA Alternative Compliance Request check made payable to the Martin County Board of County Commissioners per the Development Review Fees.
- 29. UTILITIES LETTERS: Letters documenting the availability of phone, cable, electric and solid waste pick-up services for the proposed development.
- 30. PROPOSED WATER SOURCES: The proposed utilities and irrigation water sources including any proposed use of wells and septic systems.
- 31. GROUNDWATER MODEL: If groundwater or surface water withdrawal is proposed, a computer ground water model shall be included unless the applicant has or will be granted a SFWMD permit allocating less than or equal to 3 MGM (or 100,000 GPD) shall be granted approval for compliance to ground water protection review.

- 32. UTILITIES WATER & WASTEWATER SERVICE AGREEMENT INFORMATION FORM: If the utility provider is Martin County Utilities, submit the completed Information Sheet.
[Information sheet](#)
- 33. UTILITY CERTIFICATION: If the utility provider is not Martin County Utilities, submit the completed Water and/or Wastewater Utility Service Certification form.
[Utility service certification](#)
- 34. AGENCY PERMITS:(OPTION ONE) All required federal, state and regional agency permits and approvals, or applications for pending permits and approvals. Submit all required federal, state and regional permits and approvals prior to the issuance of a development order by the County.
- 35. AGENCY PERMITS:(OPTION TWO) All required federal, state and regional agency permits and approvals, or applications for pending permits and approval. Submit all required federal, state and regional permits and approvals prior to the commencement of construction or development activities authorized by the County development order.
- 36. Electronic files of the master and final site plan in AutoCAD 2004 to 2007 (.dwg) and Adobe (.pdf) formats. The Adobe version must be 24 x 36 and 300 dpi.
- 37. Electronic file of the boundary survey in AutoCAD 2004 to 2007 (.dwg) format.
- 38. A boundary survey of the entire site including the legal description, parcel control number(s) and acreage, certified within 180 days of the date of this application, signed and sealed by a licensed Florida professional surveyor and mapper.
- 39. A topographic survey of the project site that extends a minimum of 200 feet outside the proposed limits of construction (or until a discernible drainage basin boundary is reached). The topography must be collected at an interval adequate to generate one-foot contours. The date of the field survey must be within 180 days of the date of this application; the survey must be signed and sealed by a licensed Florida professional surveyor and mapper.
- 40. The proposed master and final site plan.
[Site plan template](#)
- 41. Provide utilities-related calculations (as applicable) including lift station, fire flow (non-residential), irrigation (if using potable or reclaimed) and grease interceptor sizing.
- 42. Copies of any previously approved site plans.
- 43. A land clearing and erosion control plan on a single page signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
- 44. Construction plans signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
- 45. A floor plan for each floor within the proposed structures including the identification of the proposed use(s) and the area of the proposed use(s).
- 46. Architectural drawings including elevation drawings to demonstrate compliance with commercial and residential design standards.
- 47. A landscape plan.
- 48. A tree survey that identifies protected trees as defined in Section 4.666 of the LDR.
[Section 4.666](#)
- 49. A lighting plan.
- 50. PHASING PLAN: Phasing plan with timetable for completion of each phase, when applicable.

- 51. PROPERTY OWNERS: Certified list of property owners to be notified by letter of the public hearings.
- 52. AERIAL PHOTO: Recent aerial photograph of the site with the property clearly outlined.
- 53. Commercial Design drawings must be prepared by a licensed architect. [Section 4.871C, LDR]
[Licensed architect for commercial design](#)
- 54. DISCLOSURE of INTEREST AFFIDAVIT: Please submit a completed financial disclosure affidavit form. [Section 10.2.B.3., LDR, MCC]
[Disclosure of Interest Affidavit](#)



Martin County, Florida
 Growth Management Department
 DEVELOPMENT REVIEW DIVISION
 2401 SE Monterey Road, Stuart, FL 34996
 772-288-5495 www.martin.fl.us

DEVELOPMENT REVIEW APPLICATION

A. General Information:

- Type of Application:** Major Master and Final Site Plan
- Proposed Development's Name:** West Stuart Business Center Phase II
- Former Development's Name:** _____
- Previous Project Number:** _____
- Pre-Application Meeting Date:** _____
- Property Owner:**

Name or Company Name WEST STUART BUSINESS CENTER LLC

Company Representative George T. Kelly IV

Address 1935 COMMERCE LN STE 5

City JUPITER State FL Zip 33458

Phone 561 - 743 - 7381 Fax 561 - 743 - 7383

Email GeoTKIV@aol.com
- Agent:** Select from the List

Name or Company Name Engineering Design & Construction, Inc.

Company Representative Brad Currie

Address 10250 SW Village Parkway, Suite 201

City Port St. Lucie State FL Zip 34987

Phone 772 - 462 - 2455 Fax 772 - 408 - 4208

Email bradcurrie@edc-inc.com
- Contract Purchaser:** Select from the List

Name or Company Name _____

Company Representative _____

Address _____

City _____ State _____ Zip _____

Phone _____ - _____ - _____ Fax _____ - _____ - _____

Email _____
- Land Planner:** Same as the Agent

Name or Company Name _____

Company Representative _____

Address _____

City _____ State _____ Zip _____

Phone _____ - _____ - _____ Fax _____ - _____ - _____

Email _____

10. **Landscape Architect:** Select from the list
Name or Company Name Landscape Design Associates
Company Representative Sabine Marcks
Address 7301 Gullotti Place
City Port St. Lucie State FL Zip 34952
Phone 772 - 873 - 5775 Fax ___ - ___ - ___
Email _____

11. **Surveyor:** Select from the list
Name or Company Name Betsy Lindsay, Inc.
Company Representative Betsy Lindsay
Address 7997 SW Jack James Drive
City Stuart State FL Zip 34997
Phone 772 - 286 - 5753 Fax 772 - 286 - 5933
Email dwichser@betsylindsayinc.com

12. **Civil Engineer:** Select from the list
Name or Company Name Engineering Design & Construction, Inc.
Company Representative David Baggett, P.E.
Address 10250 SW Village Parkway, Suite 201
City Port St. Lucie State FL Zip 34987
Phone 772 - 462 - 2455 Fax 772 - 408 - 4208
Email davidbaggett@edc-inc.com

13. **Traffic Engineer:** Select from the list
Name or Company Name Susan O'Rourke, P.E., Inc.
Company Representative Susan O'Rourke
Address 969 SE Federal Highway, Suite 402
City Stuart State FL Zip 34994
Phone 772 - 781 - 7918 Fax 772 - 781 - 9261
Email _____

14. **Architect:** Select from the list
Name or Company Name Morel De Guiramond Architecture LLC
Company Representative Michael Morel
Address 14080 Mahogany Avenue
City Jacksonville State FL Zip 32258
Phone 561 - 758 - 8454 Fax ___ - ___ - ___
Email memorel@outlook.com

15. **Attorney:** Select from the list
Name or Company Name _____
Company Representative _____
Address _____
City _____ State _____ Zip _____
Phone ___ - ___ - ___ Fax ___ - ___ - ___
Email _____

16. Environmental Planner: Select from the list
 Name or Company Name Engineering Design & Construction, Inc.
 Company Representative Toby Overdorf
 Address 10250 SW Village Parkway, Suite 201
 City Port St. Lucie State FL Zip 34987
 Phone 772 - 462 - 2455 Fax 772 - 408 - 4208
 Email tobyoverdorf@edc-inc.com

17. Other Professional: _____
 Name or Company Name _____
 Company Representative _____
 Address _____
 City _____ State _____ Zip _____
 Phone _____ - _____ - _____ Fax _____ - _____ - _____
 Email _____

18. Parcel Control Number(s):
05-39-41-002-000-00180-1

19. Certifications by Professionals:


Section 10.2.D.7., Article 10, Development Review Procedures, Land Development Regulations (LDR), Martin County Code (MCC) provides the following:

When reviewing an application for a development permit that is certified by a professional listed in s. 403.0877, F.S., the County shall not request additional information from the application more than three times, unless the applicant waives the limitation in writing. If the applicant believes the request for additional information is not authorized by ordinance, rules, statute, or other legal authority, the County, at the applicant's request, shall proceed to process the application for approval or denial.

This box must be checked if the applicant waives the limitations.

B. Applicant or Agent Certification:

I have read this application, and to the extent that I participated in the application, I have answered each item fully and accurately.


 Applicant's signature
 Bradley J. Currie/AICP
 Printed name

10/16/12
 Date

NOTARY ACKNOWLEDGMENT

STATE OF Florida

COUNTY OF St. Lucie

I hereby certify that the foregoing instrument was acknowledged before me this 16th day of October, 2018, by Bradley J. Currie.

He or she

is personally known to me or has produced N/A as identification.



Notary public signature

Patricia Sesta

Printed name



Patricia M. Sesta
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF083414
Expires 8/11/2020

State of Florida at-large

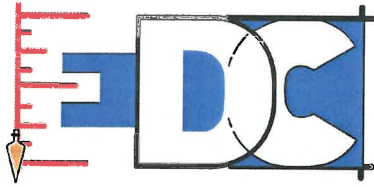


Martin County Development Review
Digital Submittal Affidavit

I, Patricia Sesta, attest that the electronic version included for the project West Stuart Business Center Phase II is an exact copy of the documents that were submitted for sufficiency, excluding any requested modifications made by the sufficiency review team. All requested modifications, if any, have been completed and are included with the packet.

Patricia Sesta
Applicant Signature

10/16/2018
Date



ENGINEERS + SURVEYORS + ENVIRONMENTAL

PROJECT NARRATIVE & COVER LETTER
West Stuart Business Center Phase II
Major Master and Final Site Plan Final Site Plan
October 16, 2018

REQUEST

On behalf of the Petitioner, Engineering Design & Construction, Inc. is requesting review and approval of a major master and final site plan for a project known as West Stuart Business Center East. The client is proposing four (4) freestanding office / warehouse buildings totaling 91,922 sf. Of the proposed square footage, 18,346 sf is proposed office and 73,576 sf is proposed warehouse. The project is located at 7805 SW Ellipse Way in Martin County, Florida.

SITE CHARACTERISTICS & PROJECT HISTORY

The subject property is located at 7805 SW Ellipse Way in Stuart, Florida. It can be identified in the below table:

Parcel ID:	Address:	Acreage:
05-39-41-002-000-00180-1	7805 SW Ellipse Way	8.5

The project currently has a Future Land Use designation of Industrial and a Zoning designation of Light Industrial (LI). The west side of the project is currently under construction.

To the north of the subject property are developed lake to serve the overall Industrial Park. This tract has a Future Land Use Designation of Industrial and an underlying Zoning designation of Light Industrial (LI).

To the west of the subject property lies is a developed industrial parcel. This parcel has a Future Land Use designation of Industrial and an underlying Zoning designation of Light Industrial (LI).

To the southwest of the subject property lies the right of way for SW Ellipse Way followed by developed commercial parcels. South of the subject parcel is a developed commercial parcel. These parcels have a Future Land Use designation of Industrial and is located in the Light Industrial (LI) Zoning district.

To the east of the subject is the Right-of-Way of I-95 and east of that is the Right-of-Way for Lost River Road.

The checklist is submitted along with this Project Narrative/Cover Letter. Most of the items on the checklist have been provided. There has been no transfers in ownership and a copy of the warranty deed is included as required. There are no land dedications,

environmental waivers or PAMP. A school impact worksheet has not been included as the proposed development is not residential. There are no landscape alternative compliance requests, no CRA alternative requests proposed for this developed. It is the intent of the applicant to section Option One in reference to agency permitting. A lighting plan has not been supplied as the proposed development is not located on a barrier island and does not have proposed public rights-of-way. It is not the intent of the petitioner to phase this project. No groundwater modeling is required. No phasing is proposed for this project.

Pursuant to Section 5.7.B of the Martin County Land Development Regulations, the petitioner request reservation of public facilities to serve this project. Martin County Utilities will be the service provider for water and wastewater service. The site will be irrigated by the lake as previously permitted under SFWMD Water Use Permit # 43-01382-W.

Based on the above justification and attached information, the Petitioner respectfully requests approval of this request.

S:\EDC-2018\18-382 - West Stuart Business Phase 2 - Kelly\ENGINEERING\Documents\Submittal Documents\Justification Statement\2018-09-10_W_Stuart_Bus_Ctr_East_Major_Master_&_FSP_Justification_Ltr_18-382.docx

West Stuart Business Center, LLC
1935 Commerce Lane
Suite 5
Jupiter, FL 33458

AGENT CONSENT FORM

Project Name: West Stuart Business Center East

BEFORE ME THIS DAY PERSONALLY APPEARED George T Kelly IV, WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act as agent for the purposes of obtaining permits and approvals from state and local government agencies for the property described below:

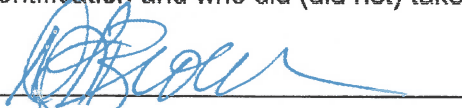
LOT 18 THE ELLIPSE ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11 PAGE 84 PUBLIC RECORDS MARTIN COUNTY FLORIDA (UNITY OF TITLE OR 2981/2237)

Parcel ID: 05-39-41-002-000-00180-1

If you have any questions, please call me at (561) 743-7381.

FURTHER AFFIANT SAYETH NOT.

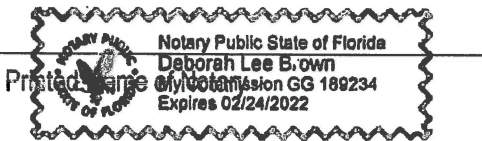
The foregoing instrument was acknowledged before me this 10 day of October, 2018, by George T Kelly IV (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.



Notary Signature



Owner's Signature



West Stuart Business Center llc

Owner's Name

1935 Commerce Ln suite 5

Street Address

Jupiter Fla 33458

City, State, Zip

2-24-22

My commission expires

561 743 7381

Telephone / Email GT Kelly GC @ bellsouth.net

Prepared by and return to:
 Matthew L. Kwasman, Esq.
 Nason Yeager Gerson White & Lioce, PA
 3001 PGA Boulevard Suite 305
 Palm Beach Gardens, FL 33410
 Ph: 561-686-3307
 File Number: 1623-24727
 Will Call No.: 155

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 3rd day of March, 2017 between Stuart Karner 2, LLC, a Florida limited liability company, whose post office address is 2257 Vista Parkway, Suite 17, Royal Palm Beach, FL 33411, grantor, and West Stuart Business Center, LLC, a Florida limited liability company, whose post office address is 1935 Commerce Lane, Suite 5, Jupiter, FL 33458, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 18 of The Ellipse, according to the Plat thereof, as recorded in Plat Book 11, Page 84, Public Records of Martin County, Florida.

Parcel Identification Number: 5-39-41-002-000-00180.10000

Subject To, covenants, restrictions and public utility easements of record, existing zoning and governmental regulations, none of which are reimposed hereby, and property taxes for the year 2017 and thereafter.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantor.

[SIGNATURES TO FOLLOW]

DoubleTime[®]

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
 Witness Name: Mr. Ken H. Jacobs
[Signature]
 Witness Name: Mike Landers

Grantor
[Signature]
 Stuart Kanner 2, L.L.C., a Florida limited liability company
 By: *[Signature]*
 Steven E. McCraney, its manager and sole member

State of Florida
 County of Palm Beach

The foregoing instrument was acknowledged before me this 3 day of March, 2017 by Steven E. McCraney the manager and sole member of Stuart Kanner 2, L.L.C., a Florida limited liability company, on behalf of said firm. He is personally known or has produced a driver's license as identification.

[Notary Seal]  **LORI A JADICK**
 MY COMMISSION # FF235377
 EXPIRES June 18, 2017

[Signature]
 Notary Public
 Printed Name: Lori Jadick
 My Commission Expires: June 18, 2017

\\fs1\doest01623\01623-24727\506497.rtf/crs/mik

DoubleTime®

LEGAL DESCRIPTION

WEST STUART BUSINESS CENTER PHASE II

PARCEL ID: 05-39-41-002-000-00180-1

LOT 18 OF THE PLAT OF THE ELLIPSE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11 AT PAGE 84, IN THE OFFICE OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA.

EASEMENT PARCEL 1:

TOGETHER WITH A NON-EXCLUSIVE ACCESS EASEMENT AS CREATED UNDER PARAGRAPH 10.3 OF THAT CERTAIN AMENDED AND RESTATED DECLARATIONS OF PROTECTIVE COVENANTS OF THE ELLIPSE, AS RECORDED IN OFFICIAL RECORDS BOOK 911, PAGE 242, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

Return to:
Martin County Growth Management Department

UNITY OF TITLE

In consideration of the issuance of a permit to West Stuart Business Center LLC, as Owner(s) for the construction of West Stuart Business Center Phase II in Martin County, Florida, and for other good and valuable considerations, the undersigned hereby agree to restrict use of lands described in **Exhibit A** attached hereto in the following manner:

Read carefully.

- ✓ **Check Box 1. - if property is non-platted/non-condominium or**
- ✓ **Check Box 2. - if property is a platted subdivision or**
- ✓ **Check Box 3. - if property is a condominium, as applicable.**

1. Non-Platted/Non-Condominium. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised, or assigned separately except in its entirety as one plot and parcel of land; with the sole exception being that a portion of said property may be sold, transferred, devised or assigned to any governmental entity.

OR

2. Platted Subdivision (Non-Condominium). That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised, or assigned separately except in its entirety as one plot and parcel of land; however that (a) individual subdivision lots may be conveyed upon approval and recordation of the plat of The Ellipse, (b) phases or portions of phases that comply with the requirements contained within the development orders may be conveyed separately upon final site plan approval of that phase or portion of a phase, (c) common elements, common open areas and developed recreation areas may be conveyed to a property owners' association or other similar entity as deemed appropriate by the Board of County Commissioners, so long as such conveyance shall be subject to the express restriction that use of the subject property shall only be for the use described on the final site plan and plat, and (d) other portions of the subject property may be conveyed and used or maintained by governmental, environmental, charitable or other organizations or agencies for such purposes as the Board of County Commissioners may deem appropriate, with the sole exception being that a portion of said property may be sold, transferred, devised, or assigned to any governmental entity.

OR

3. Condominium. That said property shall be developed as a condominium in which the underlying common elements shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately, except in its entirety as one plot or parcel of land, with the sole exception being that if any of the condominium units are developed as "land units" those parcels may be sold, transferred,

devised or assigned subject to being part of the condominium and subject to the declaration of condominium pursuant to which they were established, or a portion of said property sold, transferred, devised, or assigned to any governmental entity.

4. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their/its successors, heirs and assigns until such time as the same may be released in writing by the Martin County Board of County Commissioners.

5. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County.

6. Nothing herein contained shall limit, in any manner, the Owner, or their successors or assigns, to mortgage or encumber the property or any part thereof.

INDIVIDUAL(S)

Signed, acknowledged and notarized on this ____ day of _____, 20____.

WITNESSES:

Sign: _____
Print: _____
Sign: _____
Print: _____
Sign: _____
Print: _____
Sign: _____
Print: _____

OWNER(S):

Sign: _____
Print: George T. Kelly, IV
Sign: _____
Print: _____
Owner(s) Address: _____

Note: If two owners are involved, two witnesses are required for each signature; the same 2 witnesses can be used for both signature and both signatures need to be notarized.

STATE OF Florida
COUNTY OF Martin

I HEREBY CERTIFY that the foregoing Unity of Title was acknowledged before me this ____ day of _____, _____, by George T. Kelly, IV. He or she () is personally known to me or () has produced N/A as identification.

NOTARY PUBLIC

Name:
State of Florida at large
My commission expires:

STATE OF _____
COUNTY OF _____

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this ____ day of _____, _____, by _____. He or she () is personally known to me or () has produced _____ as identification.

NOTARY PUBLIC

Name:
State of _____ at large
My commission expires:

[STAMP]

CORPORATE

Signed, acknowledged and notarized on this ____ day of _____, 20____.

WITNESSES:

OWNER:

Sign: _____
Print: _____

Name of Corporation

Sign: _____
Print: _____

By: _____
Name:
Title:
Address:

Note: Florida Statutes requires one of the following: corporate officer's signature attested by the corporate secretary and corporate seal applied; or, corporate seal applied and one witness; or corporate officer's signature and two witnesses.

STATE OF _____
COUNTY OF _____

I HEREBY CERTIFY that the foregoing Unity of Title was acknowledged before me this ____ day of _____, _____, by _____ (name of officer/agent and title) of _____ (name of corporation) He or she () is personally known to me or () has produced _____ as identification.

NOTARY PUBLIC

Name:
State of _____ at large
My commission expires:

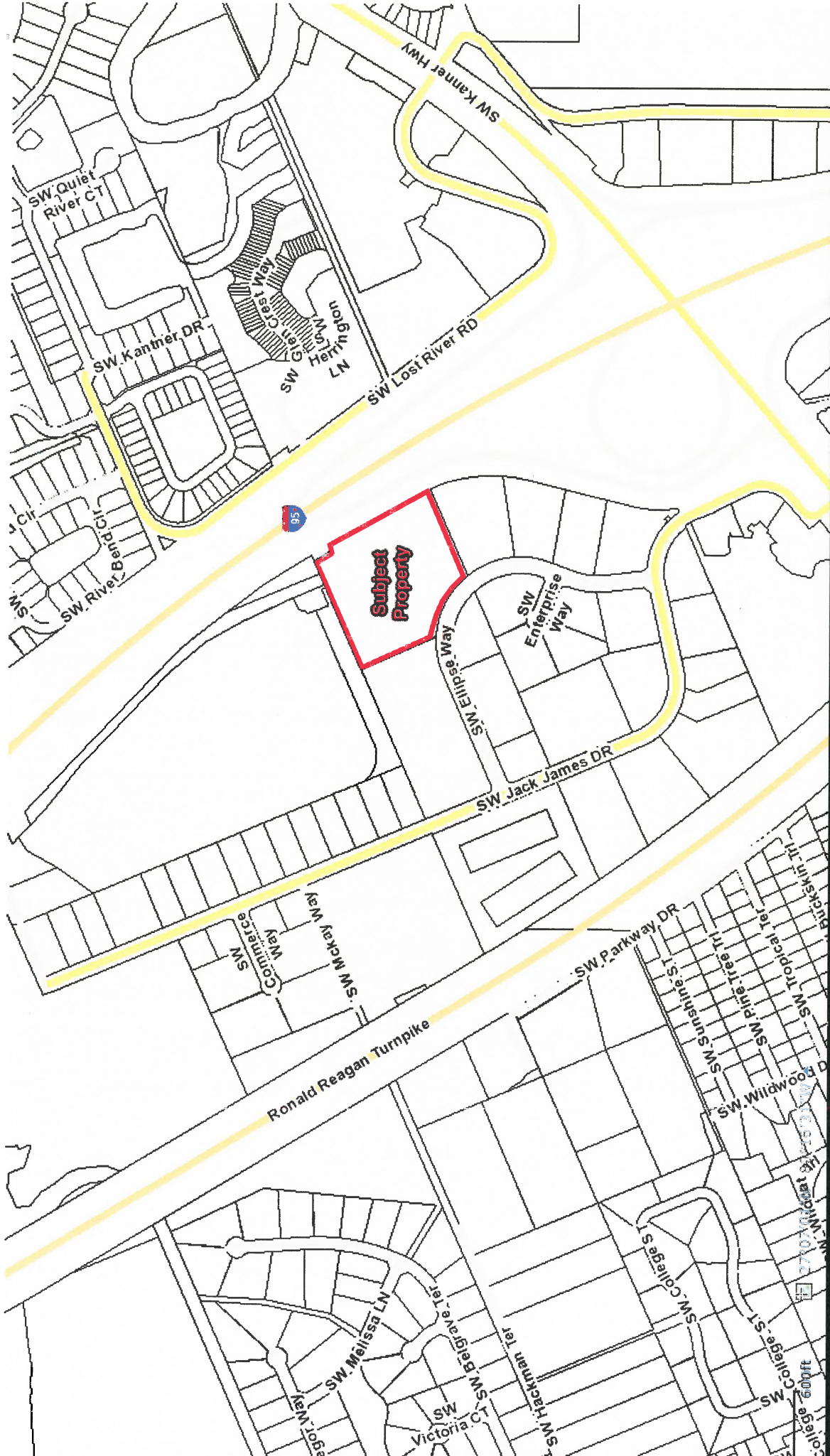
[STAMP]

**EXHIBIT A
(Legal Description)**

PARCEL ID: 05-39-41-002-000-00180-1

LOT 18 OF THE PLAT OF THE ELLIPSE, ACCORDING TO THE PLAT THEREOF,
AS RECORDED IN PLAT BOOK 11 AT PAGE 84, IN THE OFFICE OF THE CIRCUIT
COURT IN AND FOR MARTIN COUNTY, FLORIDA.

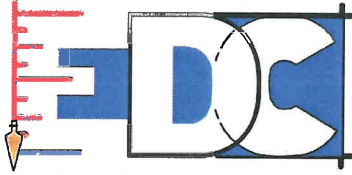
TOTAL ACREAGE / SF: 8.51 AC / 370,473.901 SF



West Stuart Business Center East

Stuart, Florida

Location Map



ENGINEERS ◉ SURVEYORS ◉ ENVIRONMENTAL

April 11, 2019

Via: Hand Delivery

Peter Walden
Martin County Growth Management
2401 SE Monterey Road
Stuart, FL 34996

**Re: West Stuart Business Center Revised Major Final Site Plan
Response to Comments, # E016-036, DEV2018110010**

Dear Pete:

On behalf of our client, please find the attached response to comments received via email on March 18, 2019 for a project known as West Stuart Business Center Revised Major Final Site Plan. Each comment is identified below followed by a response in ***bold italics***.

H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department

The South façade of Building 4, and the East and West facades of Buildings 3, 4, 5 and 6 are considered the primary façades.

Please show on the site plan the total length and width of buildings 3, 4, 5 and 6.

Unresolved Issues:

Item #1:

Primary Facades – Minimum Design Features

All primary facades on the ground floor shall have at least four of the design features identified in Section 4.872.C.2 of the LDR, along a minimum of 50% of their horizontal length. MARTIN COUNTY, FLA., LDR, § 4.872.C.2 (2013)

Remedy/Suggestion/Clarification:

The South Façade of Building 4 has only three design features. Please show on the South Elevation Façade of Building 4 one additional design feature.

RESPONSE: The south façade of Building 4 has the following four design features: 1) Window, 2) Decorative light fixture, 3) Foam medallions, 4) Stucco reveal joints in a decorative pattern. See Sheet A4.1, Drawing 5, Revision 2.

Item #2:

Primary Facades – Limitation on Blank Wall Areas

Blank wall areas shall not exceed 10 feet in vertical direction and 20 feet in horizontal direction of any primary façade. Control and expansion joints shall be considered blank wall areas unless used as a decorative pattern. Wall areas adorned with at least one of the design features set forth in Section 4.872.C.2, shall not be considered blank wall areas. Walls that are adjacent to a pedestrian arcade shall not be considered blank wall

areas. MARTIN COUNTY, FLA., LDR, § 4.872.C.3 (2013)

Remedy/Suggestion/Clarification:

The South Façade of Building 4 shows a blank wall area that exceeds 10 feet in vertical direction and 20 feet in horizontal direction. Please include on the blank wall one additional design feature from the list of Section 4.872.C.2.

RESPONSE: The south façade of Building 4 has stucco reveal joints indicated in decorative patterns. The patterns have been dimensioned to indicate there are no blank wall areas greater than 10' in vertical direction and 20' in horizontal direction. See Sheet A4.1, Drawing 5, Revision 2.

Item #3:

Roofs – Flat Roofs

Flat roofs shall have a parapet of at least one foot in height along any primary façade and shall have at least two changes in height of a minimum of two feet along each primary façade. Provide 12" height, three-dimensional cornice treatments with a minimum of three reliefs along entire length of the primary facades. MARTIN COUNTY, FLA., LDR, § 4.872.F.2 (2013)

Remedy/Suggestion/Clarification:

The South Façade of Building 4 does not have at least two changes in height. Please provide one additional change in the height along the South Façade of Building 4. Please submit an architectural detail showing the required cornice treatment along the entire length of the primary facades.

RESPONSE: The south façade of Building 4 has been revised to indicate two changes in parapet height. See Sheet A4.1, Drawing 5, Revision 2 and Sheet A4.2, Drawing 4, Revision 2.

A foam cornice detail has been added to the drawings. See Sheet A4.1, Cornice Detail, Revision 2.

Item #4:

Bicycle and pedestrian amenities shall be provided as determined by square footage of building on the site as schedule in this Code. These amenities maybe incorporated into a pedestrian arcade or similar feature that otherwise meets the requirements of this Division 20. Bike racks shall be provided within 50 feet of any customer entrance. The design of all amenities shall be of durable, long-lasting materials consistent with the design of the principle structures on the site and the principles found in Bicycle Facilities Planning and Design Handbook (FDOT 1997). Benches shall be not less than 6 feet in length and shall provide structural or vegetative shading. Required bike racks shall be the inverted "U" type and shall be designed to store a minimum of 6 bicycles each. MARTIN COUNTY, FLA., LDR, § 4.873.B (2013)

Remedy/Suggestion/Clarification:

The site plan shows only one bike rack. Bike racks shall be provided within 50 feet of any customer entrance. One bike rack is required for each building. Please show on the Site Plan three additional bike racks.

RESPONSE: See revised site plan which includes additional bike racks as requested.

Item #5:

Exterior light fixtures shall not exceed 30 feet in height within vehicular areas or 20 feet in non- vehicular pedestrian areas. MARTIN COUNTY, FLA.,LDR, § 4.873.C (2013)

Remedy/Suggestion/Clarification:

Please show on the site plan location and dimensions of the required light fixtures.

RESPONSE: Please see revised site plan.

Item #6:

The required screening of roof mounted mechanical equipment including air conditioning units and ductwork shall be as follows: when located on a flat roof, roof shall provide full parapet coverage a minimum of four feet in height, or to the highest point of the mechanical equipment whichever is lower. All mechanical equipment shall comply with the provisions of Article XI, Noise, of Article 12, Environmental Control of the Code of Laws and Ordinances. MARTIN COUNTY, FLA.,LDR, § 4.873.D (2013)

Remedy/Suggestion/Clarification:

Please show on the facades elevations the required screening.

RESPONSE: Roof mounted equipment is limited to plumbing vents. Screening is not required.

J. Determination of compliance with environmental and landscaping requirements - Growth Management Department

Landscape

Unresolved

Issues:

Item #1:

Standard Application Requirements

The deficiencies noted in this section need to be addressed by the applicant with revised plans and documentation. To ensure a successful review, the following shall be provided with your resubmittal information:

Revision dates/notes on all affected plans.

Plans should be provided with "call-out" revision clouds/notes to identify areas that have been modified from the original submittal.

A summary of changes that are provided with your resubmittal information, the staff report may be used as a template for your responses. It is important that you be specific as to what has been changed and where the changes may be found in the resubmitted materials. Resubmittal comments provided to address deficiencies such as "see the revised plans" should be replaced with more specific language such as "refer to the revised 30' dimension to the NE buffer provided on sheet 3/4 and revised landscape note 3 on sheet 2/4".

RESPONSE: Acknowledged.

Item #2:

Landscape Tabular Data

Landscape plans shall include a table which lists the gross and net acreage, acreage of development and preservation areas, number of trees and tree clusters to be protected within the developed area and within perimeter areas, and square footage of vehicular use areas (Ref. Section 4.662.A.10, LDR).

Interior and perimeter vehicular use areas should be quantified separately in the table. Tabular data shall also indicate a calculation of the minimum total number of trees and shrubs required to be planted based upon the proposed developed area and separately based upon quantities required to meet the vehicular use area planting requirements and any required bufferyard requirements.

Please also include the following:

- a. Identify each species intended to meet the required trees, shrubs, and ground cover separately in the tabular data. Tabular data shall also indicate calculations of the minimum total number of trees and shrubs to be planted based upon the proposed developed area and separately based upon quantities required to meet vehicular use planting requirements and bufferyard requirements.

Remedy/Suggestion/Clarification:

While it appears that sufficient landscape area has been provided, it is unclear from the site data table if sufficient trees have been provided based on perimeter and interior vehicular use area requirements.

There is no tally for trees required for the entire 8.5 acre site. Since 21 trees are proposed to be relocated from the 1st construction area and 7 slash pine are being omitted for the additional parking, data needs to be evaluated with respect to the entire site. Revise site data table to document required tree quantities for the entire site.

RESPONSE: The table has been updated to reflect individual requirements and a line has been added addressing the overall tree count. 5 trees have been added to replace pine trees removed for the additional parking area

Item #3:

General Landscape Design Standards

Please demonstrate compliance with the following general landscape requirements on the provided plans:

Remedy/Suggestion/Clarification:

The perimeter landscape area on the south property line is still shown within the access easement, though the site plan has labeled the area north of the easement as the landscape area, remove landscaping from easement area. Landscaping has been removed from the tower access easement on the east but only by 3 feet and the site plan still labels the easement as the landscape area. Please correct the site plan label, label the access easements on the landscape plan, and move oak trees back from this easement where they will not be impacted by truck access traffic.

RESPONSE: Landscaping was moved outside the access easement

Item #4:

Landscape Native Tree Protect & Survey

A tree survey is required to identify specific native trees required to be protected from development [Section 4.666, LDR]. Please note that trees in proposed preservation areas, palm trees and non-native species need not be identified on this survey. Existing native vegetation shall be retained to act as buffers between adjacent land uses, and to minimize nuisance dust noise and air pollution during construction.

Remedy/Suggestion/Clarification:

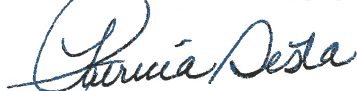
Comment not properly addressed. While replacement trees will be sufficient to mitigate please provide a tree summary table or tree disposition table to demonstrate compliance.

RESPONSE: No native hardwood trees are being removed. The site contains 2 pine trees that are being removed which are not protected.

We feel the attached adequately addresses staff comments and respectfully request the approval of this project. If you have any questions regarding this application, the attached documents, or the project, please contact our office.

Respectfully,

ENGINEERING DESIGN & CONSTRUCTION, INC.

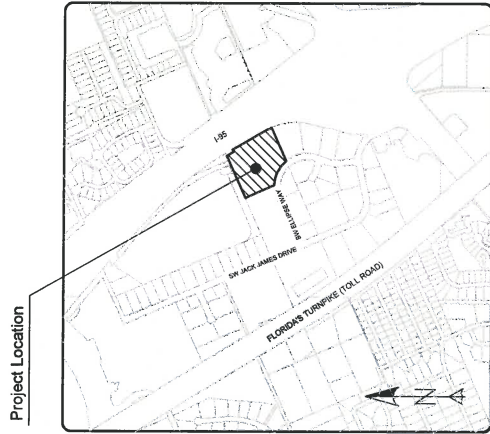


Patricia Sesta
Planner

cc: George Kelly – West Stuart Business Center, LLC

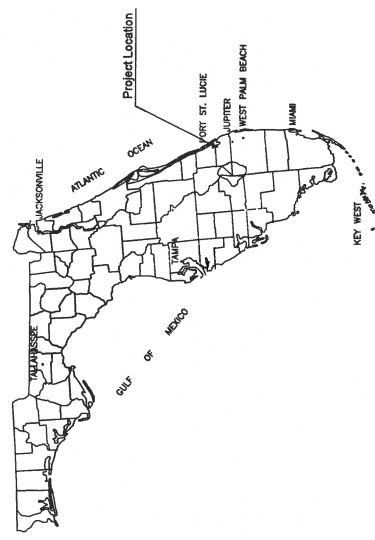
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CONSTRUCTION PLANS AND SPECIFICATIONS FOR WEST STUART BUSINESS CENTER SECTION 43, TOWNSHIP 38S, RANGE 41E MARTIN COUNTY, FLORIDA



VICINITY MAP

LOCATION MAP



INDEX OF SHEETS

1. COVER
2. DEMOLITION PLAN AND LAND CLEARING & EROSION PLAN
3. LAND CLEAR & EROSION DETAILS
4. HORIZONTAL CONTROL PLAN
5. SIGNAGE AND STRIPING PLAN
6. PAVING, GRADING, & DRAINAGE PLAN
7. UTILITY PLAN
8. PAVING, GRADING, & DRAINAGE DETAILS
9. PAVING, GRADING, & DRAINAGE DETAILS
10. UTILITY DETAILS
11. UTILITY DETAILS
12. UTILITY DETAILS
13. SPECIFICATIONS

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#81378
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FAX: 561-842-2455

DATUM NOTE:
ALL ELEVATIONS SHOWN ON THESE PLANS
ARE BASED ON THE NAVD83 DATUM.
FOR A MORE DETAILED EXPLANATION OF
THE DATUM, A TYPICAL ACCEPTED UNIVERSITY
PROFESSOR NAME IS: "MUD - 1984B - 107"



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GENERAL NOTES EROSION CONTROL

1.0 SITE DESCRIPTION

1.a Nature of Construction Activities

Development of approximately 3.80 acres of a 6.50 acre parcel consisting of clearing, site grading, installing drainage inlets, watercourse installation, and construction of a parking lot, watercourse, and site. Project will create a drainage system along SW Elipse Way, which runs drainage into a master surface water management system (SFWMD ERP 43-00428-S).

1.b Sequence of Major Soil Disturbing Activities

The following sequence of major activities shall be followed in the construction of this site. The contractor shall submit a detailed erosion control and sediment control plan that is separate and distinct from this plan and approved by the Engineer. The detailed description in this document, and is approved by the Engineer, shall be followed by the contractor for all construction activities.

1. Clearing and grubbing of site
2. Excavation of underground utilities
3. Installation of underground utilities
4. Finishing grading

1.c Area Estimates

Total site area: 6.50 Acres
Total area to be disturbed: 3.80 Acres

1.d Estimate of drainage area size for each discharge point.

Basin #1: 8.50 Acres

1.a Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:

Basin #1: 27° 06' 45" N
80° 15' 53" W

Discharge into a master surface water management system (SFWMD ERP 43-00428-S) that ultimately outfalls into the St. Lucie River.

2.0 CONTROLS

2.a Erosion and Sediment Controls

SBM matting shall be installed and maintained around the perimeter of the site to prevent track out. Paved roads shall be swept and kept clear of transported soil. Permanent perimeter berms shall be installed as part of the site grading process. Temporary perimeter berms shall be installed to prevent erosion and control wind-blown soil transport. Control berms shall be installed on-site for dust control. Filter Fabric shall be used to protect all inlets from Filtration.

2.a.1 Permanent and Temporary Stabilization Practices

Contractor shall be responsible for having water truck on-site for temporary stabilization of exposed soil. Contractor shall be responsible for documenting this portion of the SWPPP.

2.a.2 Structural Practices

Site shall be initially graded to direct runoff to a temporary on-site sediment basin. No discharge to any watercourse or maintenance around permitted surface water management system.

Temporary Control all berms in accordance with FDOT Rules (for a stabilized construction entrance and soil tracking prevention device shall be installed in accordance with FDOT Index 106. A sediment basin is to be installed as part of the site grading process. All sediment controls shall be in place prior to any soil disturbing activity upstream of the controls.

2.b Stormwater Management

Users upfield of surface water management system, the conveyance system, shall be responsible for preventing track out and preventing runoff from passing off-site prior to entering treatment facilities.

2.c Other Controls

2.c.1 Waste Disposal

Contractor shall be responsible for the proper disposal and storage of all debris, chemicals, filter, and sanitary waste per local, state and federal guidelines. No discharges are allowed into surface water management system.

2.6.2 Off-site vehicle tracking
Gravel to be installed at entrance to minimize transport of soil off of site. Paved roads are to be swept daily.

2.6.3 Application rates of all fertilizers, herbicides and pesticides used.
Any fertilizers, herbicides, and pesticides to be used shall be applied per label and rate recommended by the manufacturer's label which must be affixed to or printed directly on the container.

2.6.4 Storage, application, generation and migration of all toxic substances.
Contractor is required to properly maintain all vehicles in good working order to prevent leakage. No toxic substances to be stored on site.

3.0 MAINTENANCE

3.a All structural and non-structural controls to be visually inspected and repaired on a daily basis by the contractor. These controls are to remain in good and effective operating condition per the approved construction plans and per standard PDDT practices.

4.0 INSPECTION
Contractor is responsible for visually inspecting all berms, perimeter berms, and structural and non-structural controls. These controls are to remain in good and effective operating condition per the approved construction plans and per standard PDDT practices.

6.0 NON-STORMWATER DISCHARGES

None

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PROJECT:
WEST STUART BUSINESS CENTER
1812 SOUTH GARDNER AVENUE, SUITE 110
FORT LAUDERDALE, FLORIDA 33311
TEL: 754-445-2525
WWW.FASTLANESURVEYING.COM

DATE:
APPROVED BY: [Signature]
DATE: 11/14/2025
DRAWN BY: [Signature]
DATE: 11/14/2025

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TEL: 754-445-2525
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DATE:
APPROVED BY: [Signature]



LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED DRIVE
- PROPOSED SIDEWALK
- PROPOSED DRIVE MANHOLE
- PROPOSED DRIVE MANHOLE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED PAVES
- PROPOSED ASPHALT
- EXISTING ASPHALT
- EXISTING TREES TO REMAIN

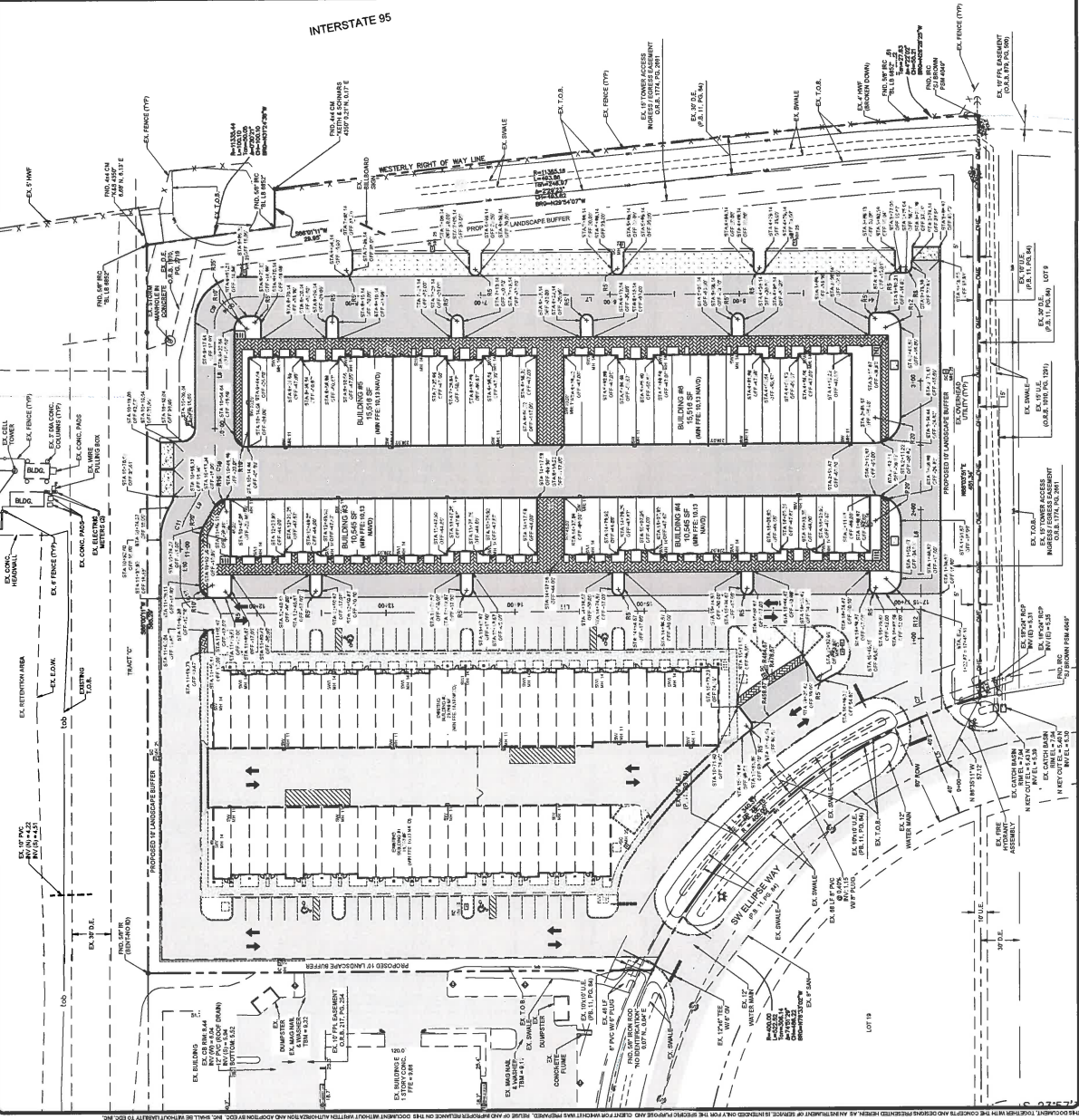
ALIGNMENT LINE DATA

LINE #	LENGTH	BEARING
L1	5.97	S88°59'43"W
L2	301.97	N42°00'17"W
L3	203.07	N62°52'43"E
L4	508.27	S24°00'17"E

ALIGNMENT CURVE DATA

CURVE #	RADIUS	LENGTH
C1	465.07	241.19
C2	40.02	24.34
C3	26.02	30.27
C4	25.02	30.27
C5	25.02	30.27
C6	25.02	30.27

DATUM NOTE:
 ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM
 (OR NAVD83).
 ALL ELEVATIONS SHALL BE REFERENCED TO THE DATUM POINT.
 1. HORIZONTAL AND VERTICAL ALIGNMENT DATA
 2. HORIZONTAL AND VERTICAL ALIGNMENT DATA



WEST STUART BUSINESS CENTER
PAYING, GRADING, & DRAINAGE PLAN

MARTIN COUNTY
FLORIDA

DAVID C. BAGGETT, P.E. (DATE)
11/17/15

17-224

6 OF 13



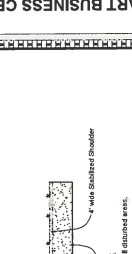
DAVID C. BAGGETT, P.E. (DATE)
11/17/15

PROJECT: WEST STUART BUSINESS CENTER
11111 WEST STUART BLVD., SUITE 301
WEST PALM BEACH, FLORIDA 33411-1111
11/17/15

LEGEND

- EXISTING SPOT ELEVATION
- FLOW ARROW
- LIGHT POLE (BY OTHER)
- EXISTING SWISS MANHOLE
- PROPOSED SWISS MANHOLE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED PAVEMENT
- PROPOSED ASPHALT
- EXISTING ASPHALT
- EXISTING TREES TO REMAIN

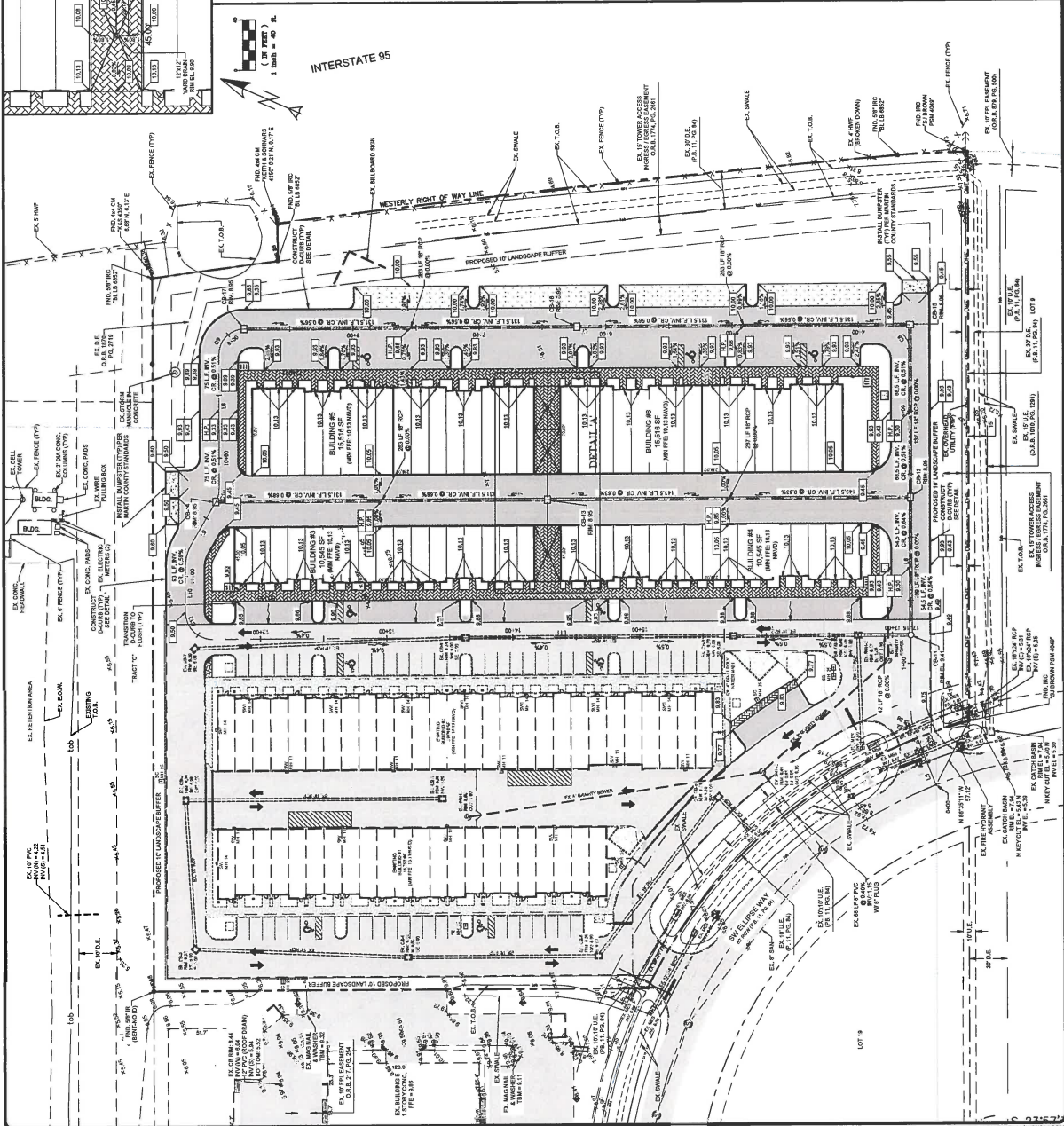
NOTE TO CONTRACTOR:
1. ALL TREE STABILIZATION SHALL BE LIMITED TO 18" DIAMETER (12" DBH) AND SHALL BE LIMITED TO 18" DIAMETER (12" DBH) TREES.
2. BEFORE ANY GRADING OR DRAINAGE IS COMPLETED, ALL TREES TO BE MAINTAINED SHALL BE IDENTIFIED AND MARKED WITH A 4" x 4" ORANGE FLAG.
3. TREES TO BE MAINTAINED SHALL BE IDENTIFIED AND MARKED WITH A 4" x 4" ORANGE FLAG.




STABILIZED SODDED SECTION

STORM SEWER INLET TABLE

Structure Name	TOP TYPE	TYPE	STATION	OFFSET	IN/IN	OUT/IN	BOTTOM ELEV.
C8-1	Type C	USF 4155 5010	1403.12	125.41	3.36	4.00 (N/A)	5.00
C8-2	Type C	USF 4155 5010	1740.14	0.00	3.36	4.00 (N/A)	5.00
C8-3	Type C	USF 4155 5010	1440.00	0.00	3.36	4.00 (N/A)	5.00
C8-4	Type C	USF 4155 5010	1310.12	0.00	3.36	4.00 (N/A)	5.00
C8-5	Type C	USF 4155 5010	1145.12	0.00	3.36	4.00 (N/A)	5.00
C8-6	Type C	USF 4155 5010	1020.12	0.00	3.36	4.00 (N/A)	5.00
C8-7	Type C	USF 4155 5010	940.00	0.00	3.36	4.00 (N/A)	5.00
C8-8	Type C	USF 4155 5010	860.00	0.00	3.36	4.00 (N/A)	5.00
C8-9	Type C	USF 4155 5010	780.00	0.00	3.36	4.00 (N/A)	5.00
C8-10	Type C	USF 4155 5010	700.00	0.00	3.36	4.00 (N/A)	5.00
C8-11	Type C	USF 4155 5010	620.00	0.00	3.36	4.00 (N/A)	5.00
C8-12	Type C	USF 4155 5010	540.00	0.00	3.36	4.00 (N/A)	5.00
C8-13	Type C	USF 4155 5010	460.00	0.00	3.36	4.00 (N/A)	5.00
C8-14	Type C	USF 4155 5010	380.00	0.00	3.36	4.00 (N/A)	5.00
C8-15	Type C	USF 4155 5010	300.00	0.00	3.36	4.00 (N/A)	5.00
C8-16	Type C	USF 4155 5010	220.00	0.00	3.36	4.00 (N/A)	5.00
C8-17	Type C	USF 4155 5010	140.00	0.00	3.36	4.00 (N/A)	5.00



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UTILITY PLAN

MARTIN COUNTY
FLORIDA

DAVID C. BURGESS, P.E. (REG.)
1000 WEST PALM BLVD, SUITE 201
WEST PALM BEACH, FL 33411
TEL: 561-832-1111

18-382

7 OF 13

UTILITY CONTACTS

- 1 STA. 14+85.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 2 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 3 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 4 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 5 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 6 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 7 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 8 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 9 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 10 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 11 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 12 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 13 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 14 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 15 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 16 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 17 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 18 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75
- 19 STA. 14+82.5
F. WATER CROSSING UNDER 4" WATER
150' FROM STATION + 4.75
- 20 STA. 14+82.5
OFF-ROAD CROSSING UNDER 4" STORM
150' FROM STATION + 4.75

LEGEND

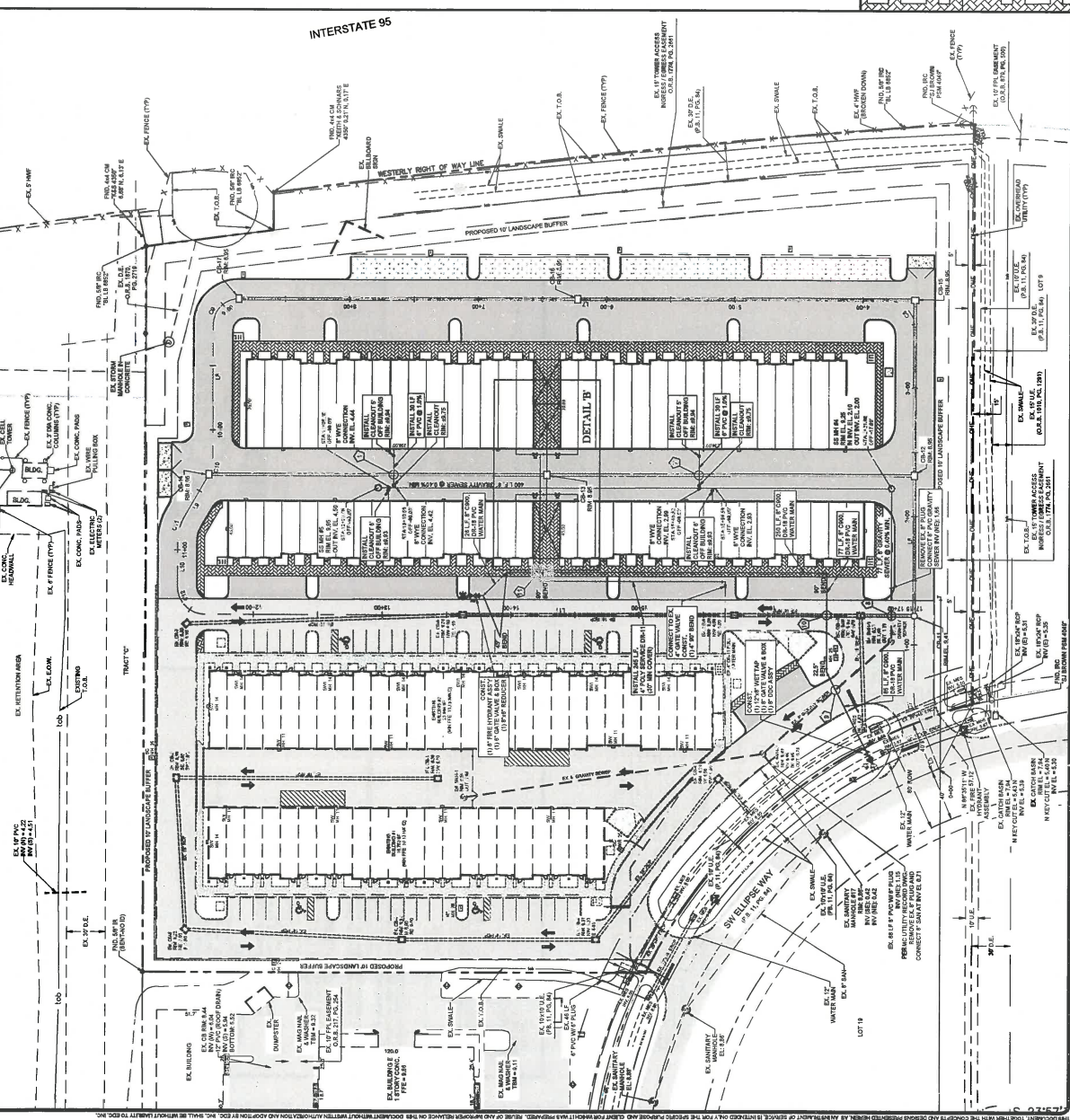
- EXISTING SPOT ELEVATION
- FLOW ARROW
- LIGHT PALE GRAY OTHERS
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED PAVEMENT
- PROPOSED ASPHALT
- EXISTING TREES TO REMAIN

DATUM NOTE

VERTICAL DATUM: NAVD83
HORIZONTAL DATUM: NAD83
ELEVATION: FEET
HORIZONTAL: DEGREES, MINUTES, SECONDS
MAGNETIC DECLINATION: 7.5° WEST
MAGNETIC NORTH: 359.5°

SCALE

1" = 40'



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DAVID C. BAGGETT, P.E.
 1115 S. PALM BEACH BLVD., SUITE 201
 WEST PALM BEACH, FL 33411
 TEL: 561-833-3333
 FAX: 561-833-3334
 WWW.DCA-FL.COM

WEST STUART BUSINESS CENTER
 PAVING, GRADING, & DRAINAGE
 MARTIN COUNTY
 FLORIDA

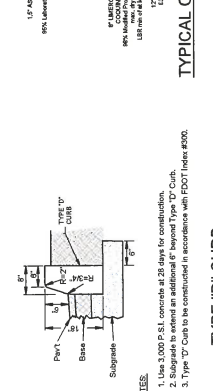
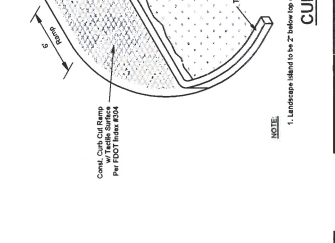
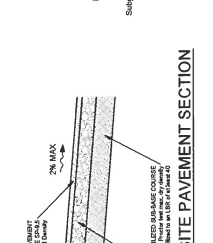
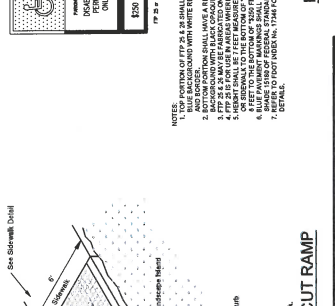
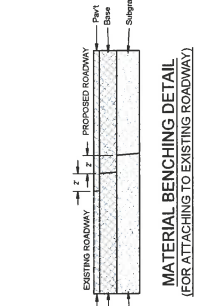
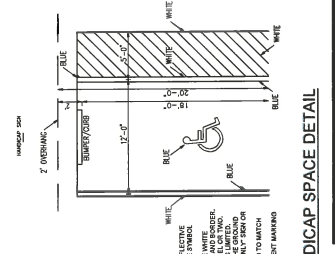
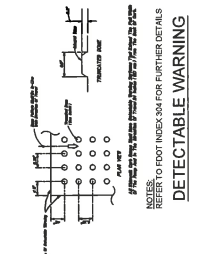
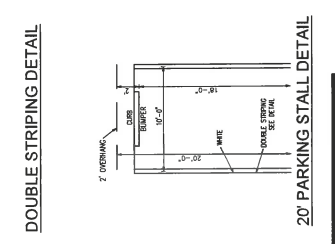
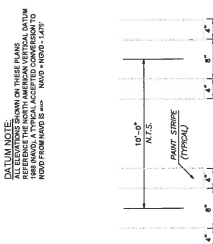
DATE: 11/26/2014
 SCALE: AS SHOWN
 PROJECT NO: 14-0001
 DRAWING NO: 18-382
 SHEET NO: 8 OF 13

18-382
8 OF 13

MARTIN COUNTY ENGINEERING - STANDARD DETAILS
R-38B
 DATE: 12/29/14

MARTIN COUNTY ENGINEERING - STANDARD DETAILS
R-39A
 DATE: 12/29/14

MARTIN COUNTY ENGINEERING - STANDARD DETAILS
R-10
 DATE: 12/29/14



SPACING OR REQUIRED ROADWAY PARKING AREA TESTS			
ITEMS TO BE TESTED	F.A.V.	DENSITY	L.B.R.
COMPLETED GRADE	300	10,000	100
FINISHED SURFACE	300	10,000	100
SUBGRADE	300	10,000	100
ASPHALT	300	10,000	100

NOTE: ALL TESTING SHALL BE CONDUCTED BY A LICENSED LABORATORY. THE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING:

- 1. Use 3,000 P.S.I. concrete at 28 days for construction.
- 2. Subgrade is defined as additional 6" beyond Type "D" Curb.
- 3. Type "D" Curb to be constructed in accordance with FOOT INLET 8000.

BARRELS AND BARS

1. ALL OPEN CUTS OF PAVEMENT MUST BE REPAIRED IN MARTIN COUNTY ENGINEERING PAPER TO ANY WORK BEING DONE IN COUNTY MAINTAINED RIGHT-OF-WAY. REPAIRING ON THE LOCATION OF THE OPEN CUT ADDITIONAL MILIERS AND PAVING.
2. ALL MATERIALS WITHIN THE ROADWAY MUST MEET FOOT SPECIFICATIONS AND BE SUPPLIED FROM A FOOT CERTIFIED SOURCE. REPAIRS TO THE ROADWAY SHALL BE TAKEN FOR EACH SIX (6) INCH LEFT OF SUB GRADE AND EACH OPEN CUT CROSSING. WHEN THE SPECIFIED COMPACTED BASE IS GREATER THAN SIX (6) INCHES (6.75) INCHES THE PERMITTES CONSULTANTS, THE PERFORMANCE OF MAXIMUM DENSITY REQUIRED SHALL BE IN ACCORDANCE WITH THE PERMITTES CONSULTANTS. THE PERFORMANCE OF MAXIMUM DENSITY REQUIRED SHALL BE IN ACCORDANCE WITH THE PERMITTES CONSULTANTS. THE PERFORMANCE OF MAXIMUM DENSITY REQUIRED SHALL BE IN ACCORDANCE WITH THE PERMITTES CONSULTANTS. THE PERFORMANCE OF MAXIMUM DENSITY REQUIRED SHALL BE IN ACCORDANCE WITH THE PERMITTES CONSULTANTS.
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4. ASPHALT MUST CONTAIN NO MORE THAN ONE PERCENT RECLAIMED ASPHALT PAVEMENT (RAP).

TRENCH DETAIL WITH PAVEMENT COVER

PIPE WITHIN BANSEROCK

TYPICAL TRENCH DETAIL

SEE SPECIFICATIONS & NOTES ON NEXT PAGE

LOCAL RESIDENTIAL (SR-30-MIN)

- 1. SUBGRADE: 12" COMPACTED OR STABILIZED SUBGRADE (SR-40)
- 2. BASE COURSE: 4" ASPHALT
- 3. SURFACE COURSE: 1" ASPHALT

COLLECTOR & LOCAL COMMERCIAL/INDUSTRIAL (SR-3.5-MIN)

- 1. SUBGRADE: 12" COMPACTED OR STABILIZED SUBGRADE (SR-40)
- 2. BASE COURSE: 4" ASPHALT
- 3. SURFACE COURSE: 1" ASPHALT

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ENGINEERS & SURVEYORS, INC.
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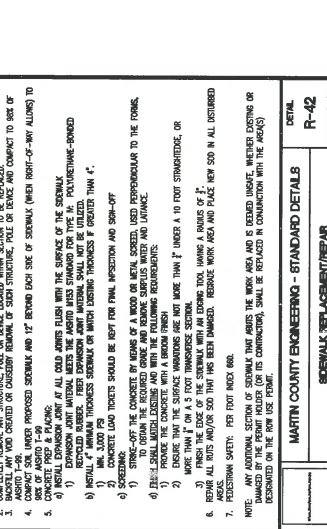
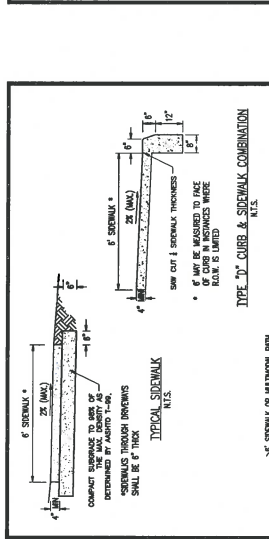
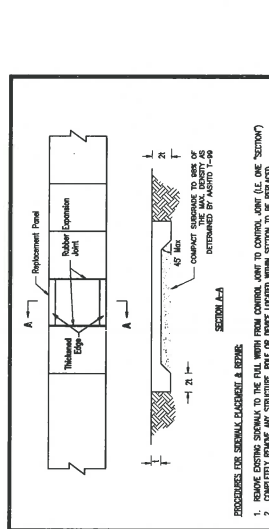
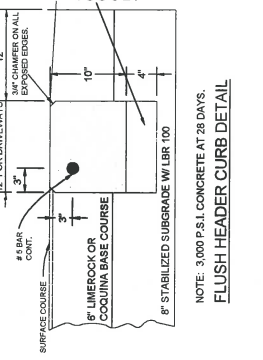
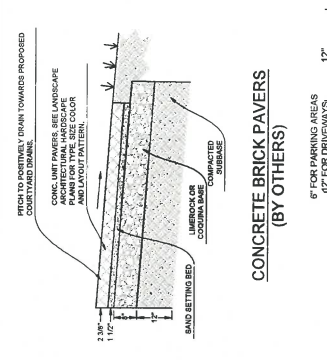
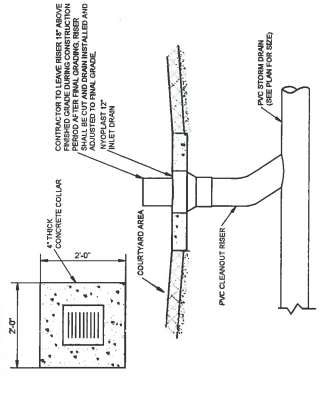
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2	ISSUED FOR PERMITS	11/19/2018
3	ISSUED FOR PERMITS	11/19/2018
4	ISSUED FOR PERMITS	11/19/2018
5	ISSUED FOR PERMITS	11/19/2018
6	ISSUED FOR PERMITS	11/19/2018
7	ISSUED FOR PERMITS	11/19/2018
8	ISSUED FOR PERMITS	11/19/2018
9	ISSUED FOR PERMITS	11/19/2018
10	ISSUED FOR PERMITS	11/19/2018

WEST STUART BUSINESS CENTER
PAVING, GRADING, & DRAINAGE
 FLORIDA

MARTIN COUNTY

DAVID C. BARNETT, P.E., D.T.
 REG. P.E.
 1100 WEST PALM BLVD., SUITE 211
 WEST PALM BEACH, FLORIDA 33411
 TEL: 561-832-1111
 FAX: 561-832-1112
 WWW.EASURV.COM

18-382
9 OF 13



NOTES:

1. SIDEWALK MATERIALS AND CONSTRUCTION SHOWN HEREIN SHALL BE IN ACCORDANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS 500 AND FOOT STANDARD SERIES INDEX 300.
2. SIDEWALK CURB SHALL BE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
3. THICKNESS SHALL BE MAINTAINED BETWEEN EDGE OF FORMAL CURB AND SIDEWALK WHERE CURB AND CUTTER DOES NOT EXIST (MINIMUM SHALL BE 4.5 FEET, UNLESS OTHERWISE APPROVED BY THE COUNTY ENGINEER).
4. A DESIRED 8 FEET SHALL BE MAINTAINED BETWEEN EDGE OF FORMAL CURB AND SIDEWALK WHERE CURB AND CUTTER DOES NOT EXIST (MINIMUM SHALL BE 4.5 FEET, UNLESS OTHERWISE APPROVED BY THE COUNTY ENGINEER).

STANDARD WATER/SEWER SEPARATION STATEMENT

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 GENERAL NOTES, SPECIFICATIONS AND SEPARATION STATEMENT

REVISION: AUGUST 2016 DWG NO. 1E

1. ALL AIR GAP SEPARATION SHALL BE UNSTRUCTURED, VERTICAL, EXTENDING THROUGH THE FLOOR AT INTERFERENCE BETWEEN THE LOWEST FOOTING FROM ANY SERVICE AND THE FLOOR LEVEL OR OVERFLOW LINE OF THE RECEIPTER.

2. THE APPROVED AIR GAP SEPARATION SHALL BE AT LEAST DOUBLE THE MINIMUM HEIGHT OF THE RECEIPTER AND SHALL BE AT LEAST DOUBLE THE MINIMUM HEIGHT OF THE RECEIPTER AND SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER.

3. THE APPROVED AIR GAP SEPARATION SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER AND SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER.

4. THE APPROVED AIR GAP SEPARATION SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER AND SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER.

5. THE APPROVED AIR GAP SEPARATION SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER AND SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER.

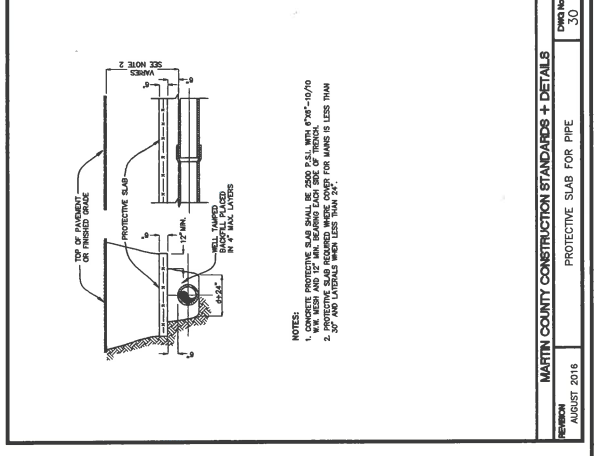
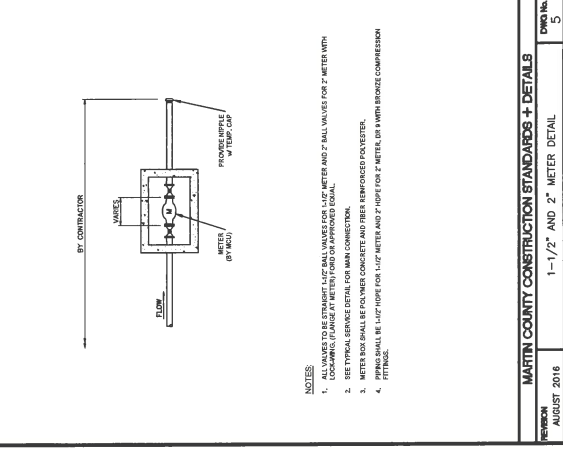
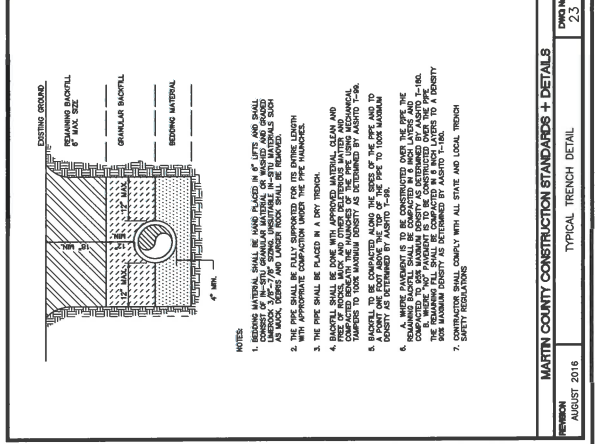
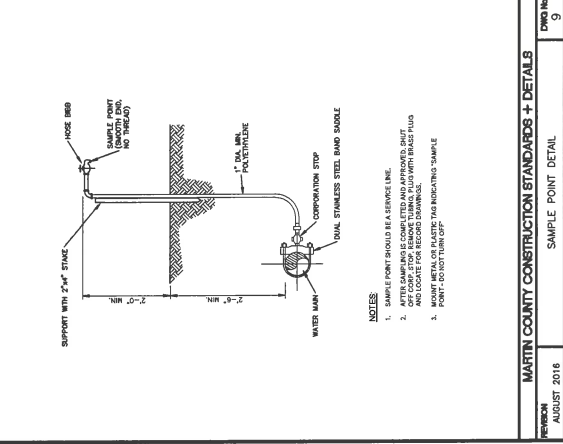
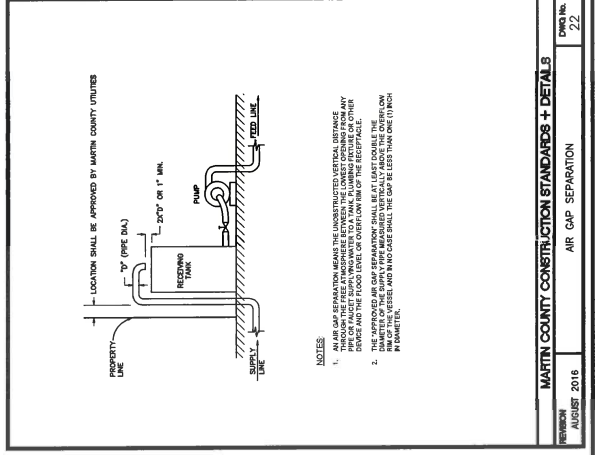
6. THE APPROVED AIR GAP SEPARATION SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER AND SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER.

7. THE APPROVED AIR GAP SEPARATION SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER AND SHALL BE AT LEAST ONE (1) FOOT ABOVE THE RECEIPTER.

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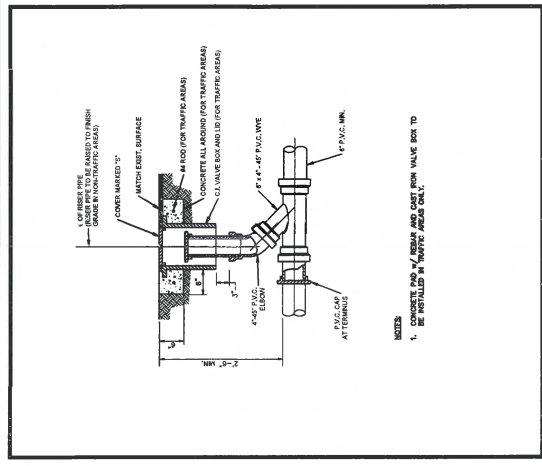
ENGINEERS & SURVEYORS
ROSE HARTUNG ENGINEERS
 1100 WEST WYOMING AVE., SUITE 101
 WEST PALM BEACH, FL 33411
 P: 561.833.7800
 F: 561.833.7801
 www.rosehartung.com
 P.E. ROSE HARTUNG, LICENSE NO. 11867
 P.E. JEFFREY M. HARTUNG, LICENSE NO. 11868

DATE	DESCRIPTION
14 NOVEMBER 2016	REVISED
01 DECEMBER 2015	ISSUED FOR PERMIT
01 DECEMBER 2015	ISSUED FOR PERMIT
01 DECEMBER 2015	ISSUED FOR PERMIT
01 DECEMBER 2015	ISSUED FOR PERMIT

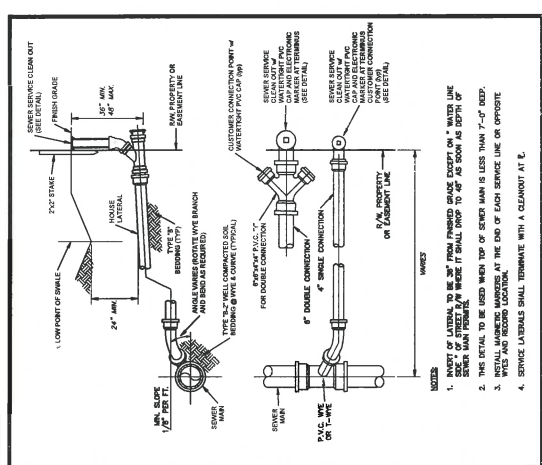
MARTIN COUNTY
 FLORIDA
UTILITY DETAILS
WEST STUART BUSINESS CENTER

DAVID C. BARRETT, P.E. (CID)
 #1179
 1435 WYVILLE PARKWAY, SUITE 204
 WEST PALM BEACH, FL 33411
 P: 561.833.7800
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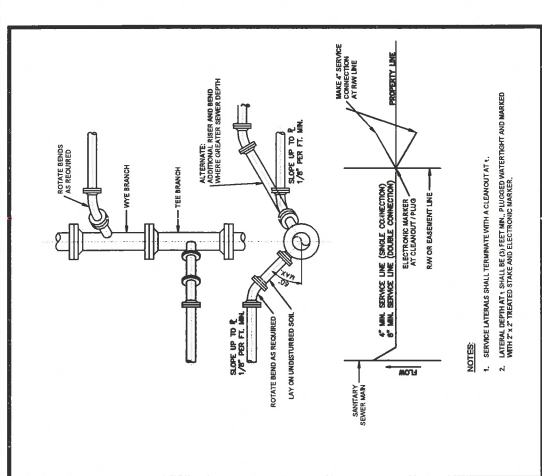
18-382
 11 OF 13



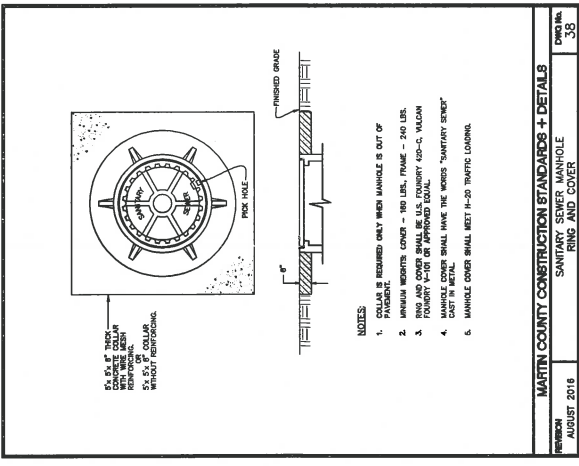
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 SEWER SERVICE CLEANOUT
 DRAWING NO. 33
 REVISION: AUGUST 2016



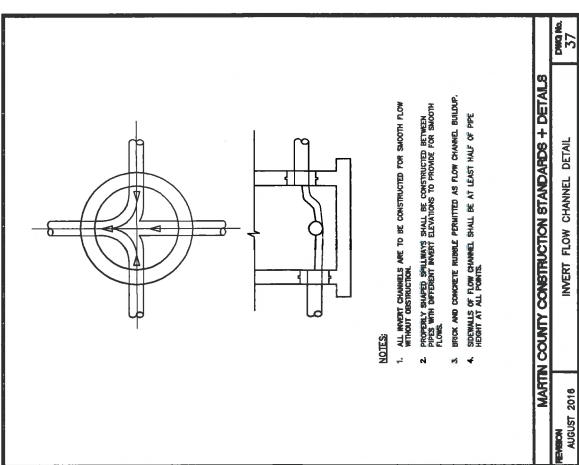
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 SANITARY SEWER LATERAL DETAIL
 DRAWING NO. 32
 REVISION: AUGUST 2016



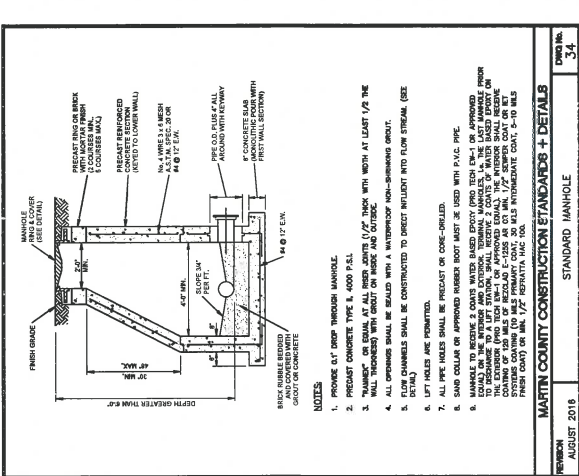
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 TYPICAL SEWER SERVICE CONNECTION
 DRAWING NO. 31
 REVISION: AUGUST 2016



MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 STANDARD MANHOLE
 DRAWING NO. 34
 REVISION: AUGUST 2016



MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 INVERT FLOW CHANNEL DETAIL
 DRAWING NO. 37
 REVISION: AUGUST 2016



MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 STANDARD MANHOLE
 DRAWING NO. 34
 REVISION: AUGUST 2016

NO.	DATE	REVISION COMMENTS
1	11/10/2016	AS SHOWN
2	08/10/2016	AS SHOWN
3	08/10/2016	AS SHOWN
4	08/10/2016	AS SHOWN
5	08/10/2016	AS SHOWN
6	08/10/2016	AS SHOWN
7	08/10/2016	AS SHOWN
8	08/10/2016	AS SHOWN
9	08/10/2016	AS SHOWN
10	08/10/2016	AS SHOWN
11	08/10/2016	AS SHOWN
12	08/10/2016	AS SHOWN
13	08/10/2016	AS SHOWN
14	08/10/2016	AS SHOWN
15	08/10/2016	AS SHOWN

WEST STUART BUSINESS CENTER
UTILITY DETAILS
FLORIDA

18-382
12 OF 13

ITEM	QUANTITY	DESCRIPTION
1	2" x 4" x 6"	DOUBLE CHECK DETECTOR BACKFLOW PREVENTER
2	2" x 4" x 6"	TEE (FLANGES - PLANS)
3	2" x 4" x 6"	TEE (FLANGES - ELEVATION)
4	2" x 4" x 6"	ADAPTER FLANGE (SLAB)
5	2" x 4" x 6"	PIPE
6	2" x 4" x 6"	PIPE
7	2" x 4" x 6"	CONCRETE SLAB
8	2" x 4" x 6"	CONCRETE SLAB
9	2" x 4" x 6"	CONCRETE SLAB
10	2" x 4" x 6"	CONCRETE SLAB
11	2" x 4" x 6"	CONCRETE SLAB
12	2" x 4" x 6"	CONCRETE SLAB
13	2" x 4" x 6"	CONCRETE SLAB
14	2" x 4" x 6"	CONCRETE SLAB
15	2" x 4" x 6"	CONCRETE SLAB

NOTES:

- CONCRETE SHALL BE 3000 PSI STRENGTH CONCRETE. TYPE OF CONCRETE SHALL BE DETERMINED BY THE ENGINEER.
- ALL EXPOSED DUCTILE IRON PIPES AND FITTINGS SHALL BE PAINTED "RED" PRIOR TO APPLICATION.
- DETECTOR METER SHALL BEAD IN GALLONS AND SHALL BE 8" HEIGHT. MANUFACTURE MODEL 115.

REVISION: AUGUST 2016
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 FIRE LINE
 DOUBLE CHECK DETECTOR ASSEMBLY
 DWG No. 17

ITEM	QUANTITY	DESCRIPTION
1	1	LOCK HYDRANT TEE
2	1	CONCRETE PAD
3	1	4" INCH IRON PIPE
4	1	6" INCH GALVANIZED IRON PIPE
5	1	CONCRETE PAD
6	1	CONCRETE PAD
7	1	CONCRETE PAD
8	1	CONCRETE PAD
9	1	CONCRETE PAD
10	1	CONCRETE PAD
11	1	CONCRETE PAD
12	1	CONCRETE PAD
13	1	CONCRETE PAD
14	1	CONCRETE PAD
15	1	CONCRETE PAD

NOTES:

- HYDRANTS SHALL BE INSTALLED PLUMB AND TRUE.
- CONCRETE SHALL BE 3000 PSI STRENGTH CONCRETE. TYPE OF CONCRETE SHALL BE DETERMINED BY THE ENGINEER.
- HYDRANTS SHALL NOT BE PLACED IN A WALL, BOUNDARY OR BISCAYNE.
- HYDRANT BARRELS AND BONNET SHALL BE COLORED YELLOW.
- HYDRANT AND GATE VALVE SHALL BE IDENTIFIED BY NUMBER AND POSITIONED BETWEEN THE FIRE HYDRANT AND GATE VALVE.
- SPRINT CHANGING RESTRICTIONS SHALL BE PROVIDED BY OWNER AT BOTH ENDS SO THAT WHEN USED WITH ALL.
- MINIMUM CONCRETE SHALL BE 4" THICK AND 12" WIDE ABOUT THE PROJECT SHALL HAVE A MINIMUM OF 12" CLEARANCE FROM THE HYDRANT AND GATE VALVE.
- HYDRANT SHALL BE 18" HIGH FROM FINISHED GROUND TO THE TOP OF THE BONNET.
- HYDRANT SHALL BE 12" HIGH FROM FINISHED GROUND TO THE TOP OF THE BONNET.
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REVISION: AUGUST 2016
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 FIRE HYDRANT INSTALLATION DETAIL AND NOTES
 DWG No. 7

ITEM	QUANTITY	DESCRIPTION
1	1	1/2" VALVE
2	1	1/2" VALVE
3	1	1/2" VALVE
4	1	1/2" VALVE
5	1	1/2" VALVE
6	1	1/2" VALVE
7	1	1/2" VALVE
8	1	1/2" VALVE
9	1	1/2" VALVE
10	1	1/2" VALVE
11	1	1/2" VALVE
12	1	1/2" VALVE
13	1	1/2" VALVE
14	1	1/2" VALVE
15	1	1/2" VALVE

NOTES:

- ALL ABOVE GROUND SHALL BE 150 PSI RATED WITH FLANGES BOND TO EACH OTHER.
- ALL ABOVE GROUND SHALL BE 150 PSI RATED WITH FLANGES BOND TO EACH OTHER.
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REVISION: AUGUST 2016
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 TYPICAL ABOVE GROUND METER
 (3" OR LARGER)
 DWG No. 6

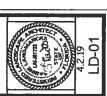
ITEM	QUANTITY	DESCRIPTION
1	1	12" VALVE
2	1	1/2" VALVE
3	1	1/2" VALVE
4	1	1/2" VALVE
5	1	1/2" VALVE
6	1	1/2" VALVE
7	1	1/2" VALVE
8	1	1/2" VALVE
9	1	1/2" VALVE
10	1	1/2" VALVE
11	1	1/2" VALVE
12	1	1/2" VALVE
13	1	1/2" VALVE
14	1	1/2" VALVE
15	1	1/2" VALVE

NOTES:

- ALL ABOVE GROUND SHALL BE 150 PSI RATED WITH FLANGES BOND TO EACH OTHER.
- ALL ABOVE GROUND SHALL BE 150 PSI RATED WITH FLANGES BOND TO EACH OTHER.
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REVISION: AUGUST 2016
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 UTILITY MARKER DISC
 VALVE SETTING DETAIL
 DWG No. 18

Scale:	1" = 30'
Drawn by:	SM
Checked by:	SM
Client No.:	18121 Bp.dwg
DM:	11.2.18



Landscaping Legend:

QTY_Symbol Name (N=Native)(R=required to meet code)

32	CS	Silver Buttonwood (N)(R)
27	CE	Conocarpus erectus, 10' Ht, 4' Spr, 2.5' cal
13	PE	Slash Pine (N)(R)
17	QV	Pinus eliotii, 12' Ht, 5' Spr, 2.5' cal
21	QV2	Quercus virginiana, 14' Ht, 5' Spr, 2" cal
204	CHR	Red Tin Cocoplum (N)(R)
349	CHR1	Red Tin Cocoplum (N)(R)
34	CLU	Small-leaf Clusia
250	CE5	Silver Buttonwood (N)(R)
696	ILE	Illex vomitoria, 15 gal, 4' Ht, 36" o.c.
73	JAT	Compact Jatropha
124	POD	Podocarpus macrophyllus, 3 gal, 24"x12", 24" o.c.
294	TR1	Flordia Ficus (N)(R)

Shrubs:

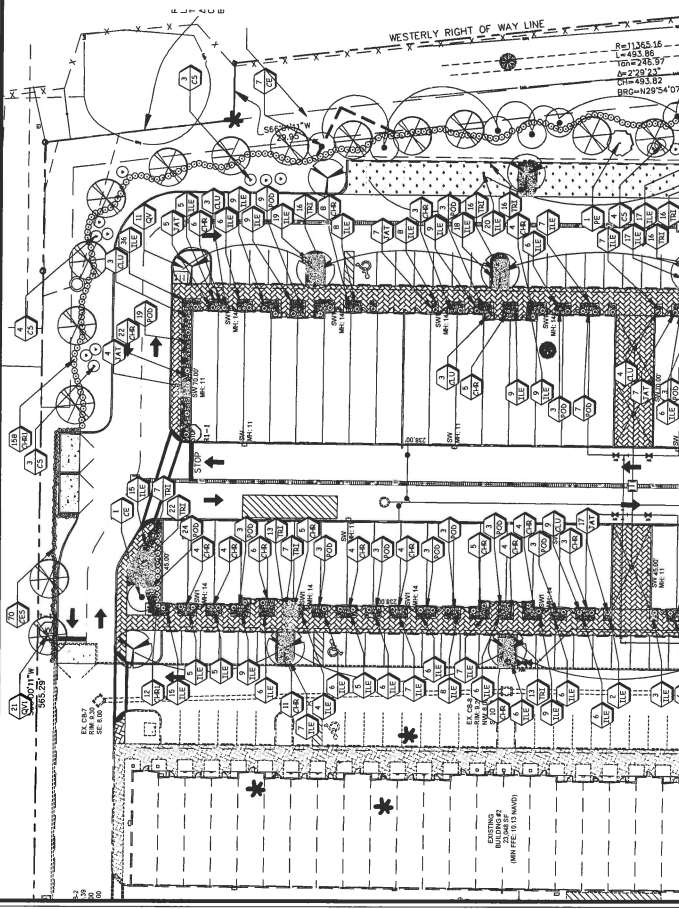
- Chrysobalanus icaco, Bedchip, 3 gal, 18"x18", 24" o.c.
- Chrysobalanus icaco, Bedchip, 3 gal, 24"x18", 36" o.c.
- Clusia gurtiferia, 15 gal, 4' Ht, 36" o.c.
- Conocarpus erectus, 3 gal, 24"x18", 24" o.c.
- Dwarf Yaupon Holly (N)(R)
- Florida Ficus (N)(R)
- Podocarpus macrophyllus, 3 gal, 24"x12", 24" o.c.
- Podocarpus macrophyllus, 3 gal, 24"x12", 24" o.c.
- Podocarpus macrophyllus, 3 gal, 24"x12", 24" o.c.

Grasses:

- Flordia Ficus (N)(R)
- Podocarpus macrophyllus, 3 gal, 24"x12", 24" o.c.

Water Efficient Design Options

Design Options	Points
a. Utilization of moisture sensing controller other than one with low, moderate and high water usage zones indicated on the landscape plan	5
c. Twenty-five percent to 50% of the grass areas are made up of drought tolerant grass species from the list	10
d. Fifty-one percent or more of the grass areas are made up of drought tolerant grass species from the list	10
e. Twenty-five percent to 50% of the required shrubs are made up of drought tolerant species from the list	10
f. Fifty-one percent or more of the required shrubs are made up of drought tolerant species from the list	10
g. Twenty-five percent to 50% of the required trees are made up of drought tolerant species from the list	10
h. Fifty-one percent or more of the required trees are made up of drought tolerant species from the list	10
i. Twenty-five percent more than the required shade trees planted in the vehicular use area	5
j. Fifty percent more than the required shade trees planted in the vehicular use area	5
k. Sod areas less than 50 percent of the total landscaped areas	10
l. Utilization of compacted mulch beds at least three inches deep in all planted areas except ground cover.	10
m. Utilization of mulch	5
n. Utilization of native plant species in stormwater retention systems from turf grass or sod. As permitted in division 9 of article 4, LDR.	5
o. Total points awarded:	50



Notes:

1. 20% of the required trees are low water use.
2. 100% of the required shrubs are low water use.
3. All sod areas to be Argentine Bahia, Paspalum notatum.
4. All landscape areas are low water use areas, unless otherwise indicated. Retention Area will not receive irrigation, therefore it is indicated as a low water use area. No landscaping shall be placed in a manner that would create conflicts with the utility operation and maintenance of any existing or proposed water/wastewater utility lines.
5. Florida No. 1
6. All landscaping meets FDOT clearance and sight distance criteria.
7. All landscaping to receive irrigation from non-potable source, providing 100% coverage and 50% overlap.
8. Trees placed within 10' of a structure shall be installed in a 24" x 24" x 24" trench to be installed with 24" root barrier. Refer to sheet LD-02 for installation details.
9. All landscaping placed within safe sight triangle to be maintained to provide sight window between 24" and 8'.
10. The use of Cypress mulch is prohibited.

Landscaping Data:

Total Landscaped Area: 12,940 sf
 Total Buffer Area: (2,720 sf North, 6,530 sf East, 3,690 sf South)
 Vehicular Use Area (VUA): 77,303 sf
 Landscaping Area required (500 sf/5000 sf VUA): 7,730 sf
 Total Area Required: 43,816 sf
 Total Area Provided: 70,389 sf

The minimum landscape requirement of 20% of total Development area is being met (154,382 x 20% = 30,876 sf)
 The requirement of 1 tree/2,500 sf (154,382/2,500=62) is being met.

Landscape Data

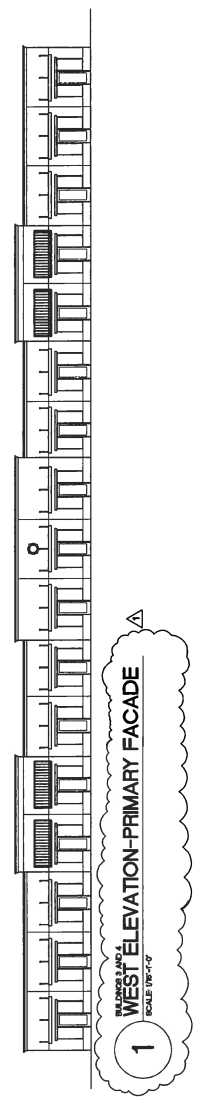
Exterior	Buffer Type	Required	Provided	Shrubs
North/272'	Perimeter	9	9	1/30 LF
East/653'	Perimeter	22	22	
South/340'	Perimeter	12	12	
West	not required			
Landscape Area	15 areas	3 trees/area	N/A	
Parking Islands	17 islands	45 trees/island	N/A	
Interior	Interior trees removed from prev. phase	17	17	
		5"	5	
Total		110	110	432
				471

*prev. phase provided 2 extra trees, total removed was 7

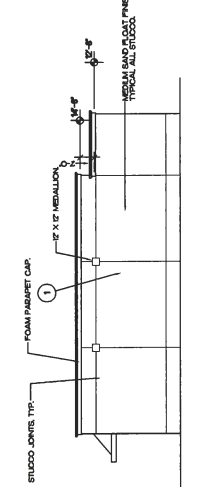
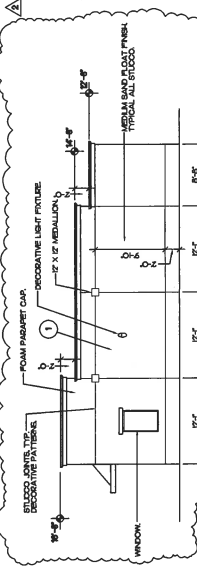
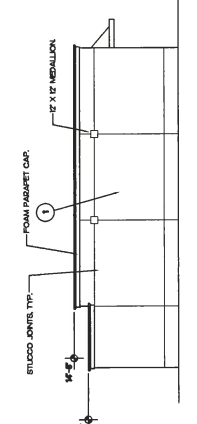
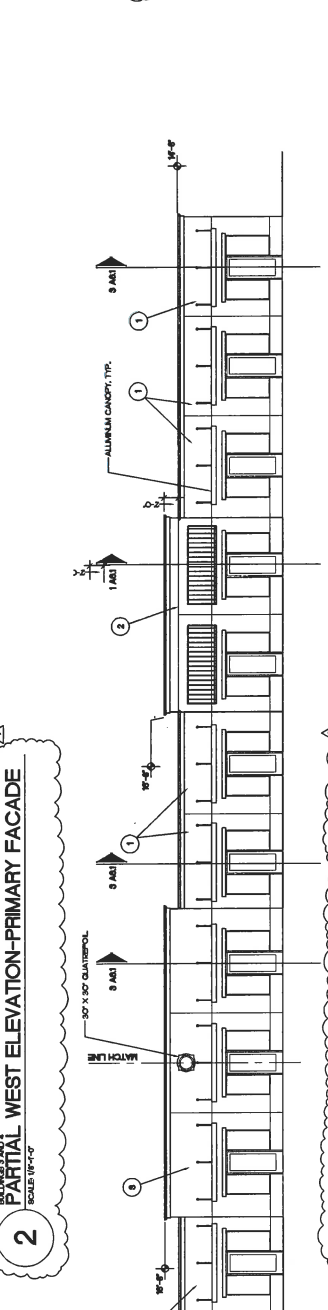
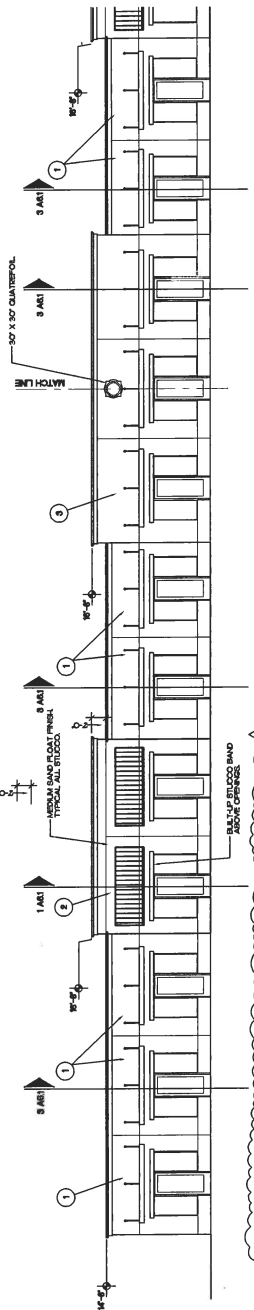
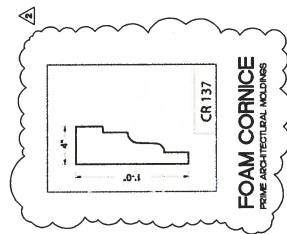
100% of required/proposed trees are native
 88% of required/proposed shrubs are native
 100% of required/proposed groundcovers/grasses are native

ARCHITECTURAL DESIGN REQUIREMENTS COMPLIANCE

1. PRIMARY WALL PLANES OFFSET A MINIMUM OF 5".
2. CANOPY OVERHANGS OVER WINDOWS AND DOORS IN INCLEMENTS OF 10" OR LESS.
3. PARAPETS A MINIMUM OF 12" IN HEIGHT.
4. THREE-DIMENSIONAL CORNICE TREATMENTS.
5. PARAPETS OF TWO CHANGES IN HEIGHT AT A MINIMUM OF 2".
6. WINDOWS



- PROPOSED COLORS**
- 1 PR0909-2 MESA BEIGE
 - 2 PR0909-3 TUSCAN BROWN
 - 3 PR0909-4 CRAFTSMAN GOLD
 - 4 CANOPY ROOFING-BLACK



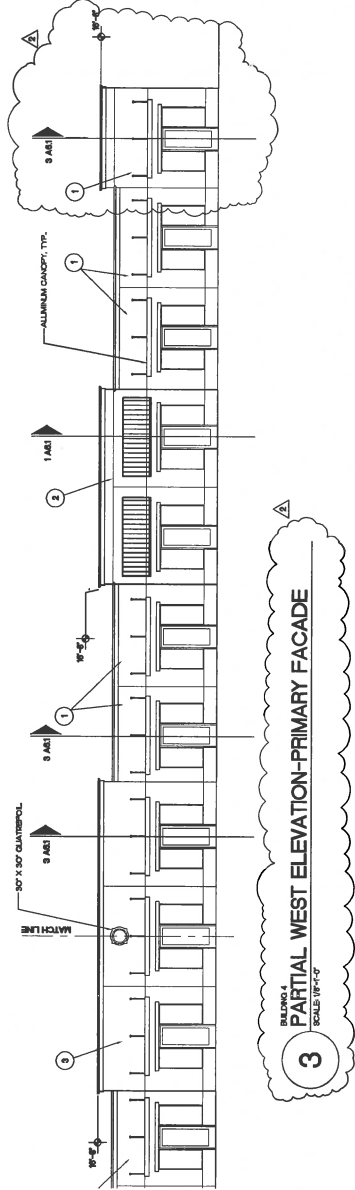
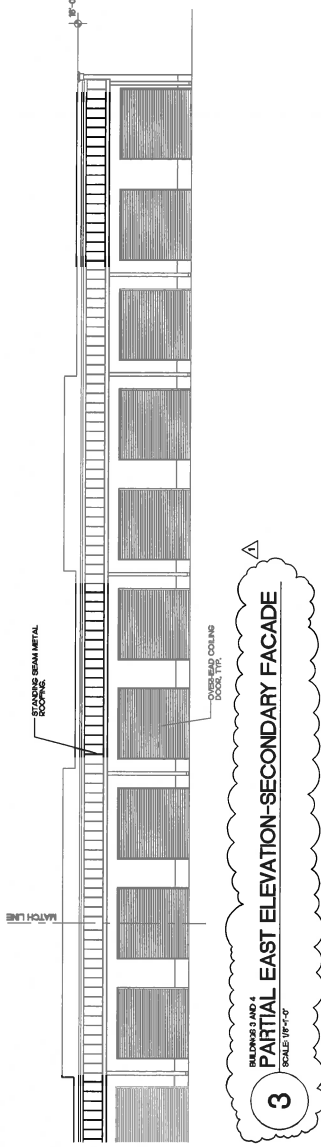
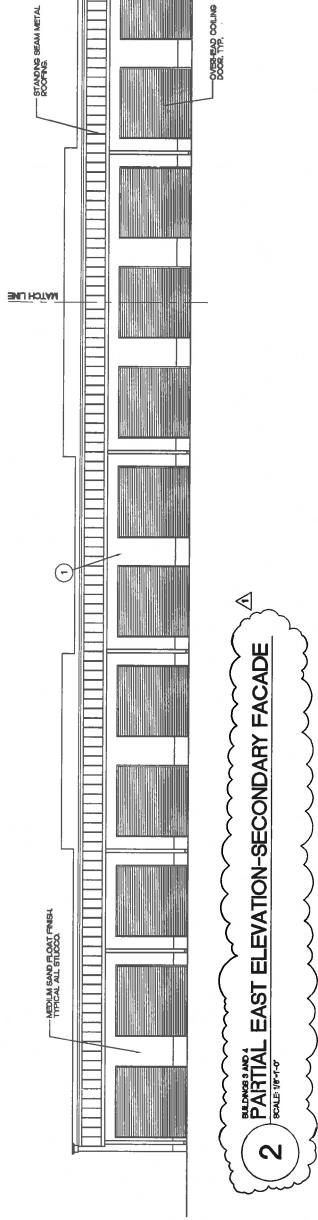
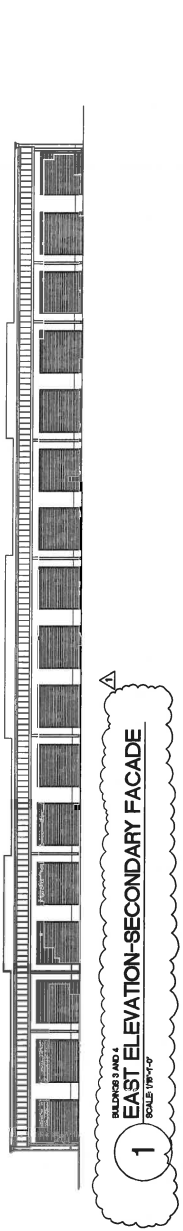
West Sturt Business Center
Section 43, Township 38S, Range 4E
Martin County, Florida

Revisions:
1/20/19
3/28/19

Sheet:
Cover:
Buildings 3 and 4
Exterior Elevations

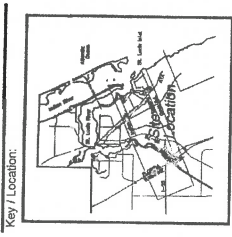
Drawn:
Date:
10/3/18
Proj. No.:
8005
Sheet No.:

A4.1





10000 W. BOULEVARD
SUITE 100
WEST PALM BEACH, FL 33411
TEL: 561-833-1100
WWW.LUCIDOANDASSOCIATES.COM



Project Team:
 Engineer: [Name]
 Designer: [Name]
 Drafter: [Name]
 Checker: [Name]
 Project Manager: [Name]

West Coast Business Center Final Site Plan

Date: 12.12.17
 By: JJ
 Description: Final Resubmittal
 Initial Submittal: 12.12.17

RECEIVED
 HW 01 2018
 GROWTH MANAGEMENT
 DEPARTMENT



SCALE: 1" = 30'
 0 15' 30' 60'

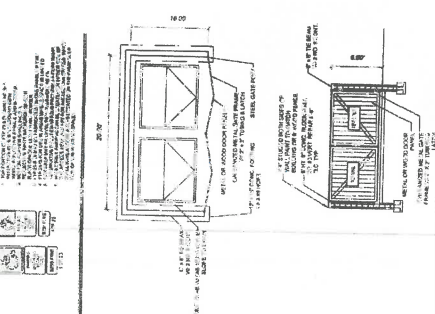
REG. # 1018
 Thomas P. Lucido
 Designer: JJ
 Manager: DF
 Project Number: 16745
 Manager Number: [Number]
 Computer File: [Path]

Site Data:
 Total Site Area: 370,474 sf. (8.50 Ac.) (100%)
 Site Development Area: 165,188 sf. (3.79 Ac.) (46%)
 Impervious Area: 126,916 sf. (2.91 Ac.) (34%)
 Building Footprint: 39,800 sf. (0.91 Ac.) (11%)
 Subgrade & Paved Areas: 10,122 sf. (0.23 Ac.) (3%)
 Landscaping Area: 243,558 sf. (5.59 Ac.) (66%)
 Undeveloped Area: 203,517 sf. (4.68 Ac.) (55%)
 Existing Use: Vacant Industrial
 Future Land Use Designation: Industrial

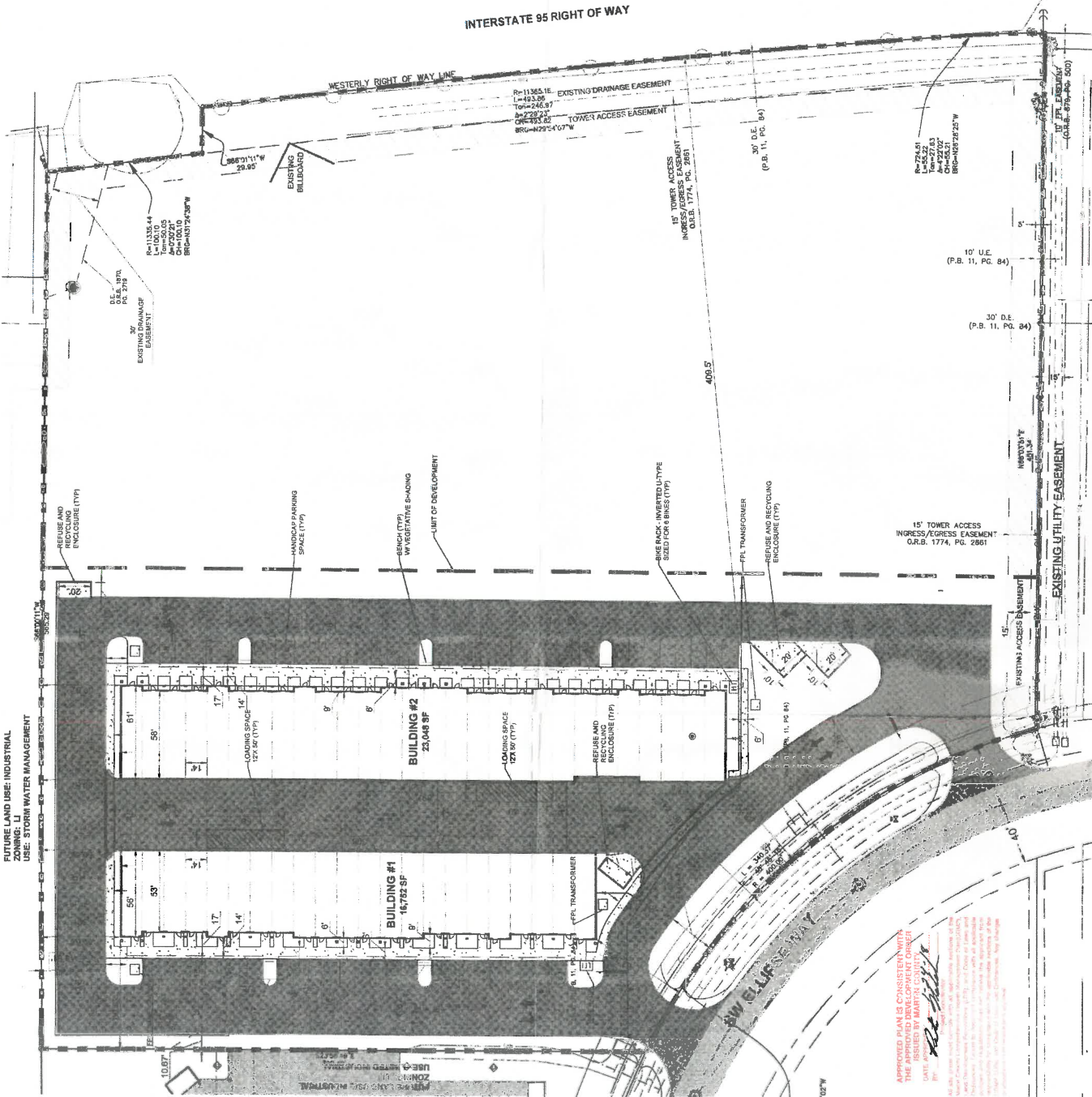
Building Data
 Gross Floor Area: 39,800 sf.
 Total Building Area: 39,800 sf.
 Proposed Height: 20 Feet
 Stories: Single Story
 Building Coverage: 11%
 Open Space: 86%

Parcel Control Number
 5-38-41-02-000-00180-1

Parking Requirements
 Office: 7,860 sf @ 1 space per 100 sf = 79 Spaces
 Warehouse: 31,940 sf @ 1 space per 1,000 sf = 32 Spaces
 Minimum Parking Required: 53 Spaces
 Parking Provided: 68 Spaces
 Includes 4 Handicap Spaces



General Notes
 1. Owner's construction methods, including those specified in all drawings, shall be used to construct the project. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 2. All construction shall be in accordance with the applicable codes and regulations of the State of Florida and the City of West Palm Beach.
 3. The contractor shall be responsible for maintaining access to all existing and proposed easements and utilities.
 4. All construction shall be completed within the specified time frame.
 5. The contractor shall be responsible for protecting all existing trees and vegetation on the site.



FUTURE LAND USE: INDUSTRIAL
 ZONING: I-1
 USE: STORM WATER MANAGEMENT

APPROVED PLANS ARE CONSIDERED VALID FOR THE PROJECT ONLY AND ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF LUCIDO & ASSOCIATES, INC. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL SEAL OF THE REGISTERED PROFESSIONAL ENGINEER.

THOMAS P. LUCIDO
 REGISTERED PROFESSIONAL ENGINEER
 No. 12451
 State of Florida

DISCLOSURE OF INTEREST AFFIDAVIT

BEFORE ME, the undersigned authority, duly authorized to take acknowledgments and administer oaths, personally appeared the undersigned person on the date set forth below, who, first being duly sworn, deposes and says under penalties of perjury:

1. That the record property owner(s) of the Real Property described in Exhibit "A" to this Affidavit is (are) as follows:

Name	Address
West Stuart Business Center LLC	1935 Commerce Ln #5 Jupiter FL 33458

(If more space is needed attach separate sheet)

2. That the following is a list of every natural person and entity with any legal or equitable interest in the property (as defined in Section 10.2.B.3. Land Development Regulations, Martin County Code):

Name	Address	Interest
Michael M. Canter	2901 SE Gran Park Way Stuart FL 34997	50%
George T Kelly	1935 Commerce Ln #5 Jupiter FL 33458	25%
Patrick B Kelly	1935 Commerce Ln #5 Jupiter FL 33458	25%

(If more space is needed attach separate sheet)

3. That the following is a list of those, who have any interest in a contract for sale of the property, or a conveyance of any interest in the property, including but not limited to, real estate brokers and salespersons; and any and all mortgagees of the property:

Name	Address	Interest

(If more space is needed attach separate sheet)

4. That the following is a list of all other applications for which the applicant has an interest as defined in subsection b. and c. of Section 10.2.B.3. Land Development Regulations, Martin County Code currently pending before Martin County. The list shall include any development applications, waiver applications, road opening applications, and lien reduction requests.

Application Name and/or Project Number	Names & Addresses of Parties involved	Date	Type of Application	Status of Application*
EO16-32 DO01201700199	Michael M Conter 2901 Gran Park way Stuart Fl 34997	Aug 9 2018	Minor Final Site Plan	A
"	George T Kelly 1937 Commerce way #5 Jupiter Fl 33458	"	"	"
"	Patrick B Kelly 1935 Commerce Ln #5 Jupiter Fl 33458	"	"	"

(If more space is needed attach separate sheet)

- Status defined as:
A = Approved

P = Pending
D = Denied
W = Withdrawn

This Affidavit is given for the purpose of establishing compliance with the provisions of Section 10.2.B.3 Land Development Regulations; Martin County Code.

FURTHER AFFIANT SAYETH NOT.

AFFIANT

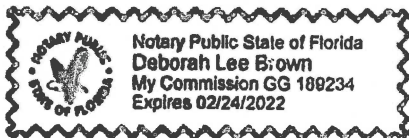
George T. Kelly IV

STATE OF Florida
COUNTY OF Palm Beach

The foregoing Disclosure of Interest Affidavit was sworn to, affirmed and subscribed before me this 10 day of October 2018, by George T. Kelly IV, who is personally known to me or have produced _____ as identification.

Deborah Lee Brown
Notary Public, State of Florida
Print Name: Deborah Brown
My Commission Expires: 2-24-2022

(Notary Seal)



Appendix
Article 10.2.B.3. Article 10, Development Review Procedures;
Land Development Regulations; Martin County Code

10.2.B. Application submittal for development approval. Applications for development approval shall comply with the following described procedures:

1. Initiation. A development application shall be filed with the County Administrator by the owner or other person having a power of attorney from the owner to make the application.
2. Acceptance of the application. A development application will be received for processing on any working day.
3. Verification of property ownership. The documents required below are required prior to an application being determined complete. After the application is determined to be complete, the applicant has a continuing obligation to provide revised documents to reflect any changes to the information provided that may occur before and as of the date of the final public hearing or final action on the application.
 - a. Proof of ownership must be provided for any application for any type of development order. The applicant shall provide a copy of the recorded deed for the subject property, and shall certify any subsequent transfers of interests in the property. If the applicant is not the owner of record, the applicant is required to report its interest in the subject property.
 - b. The applicant must disclose the names and addresses of each and every natural person or entity with any legal or equitable interest in the property of the proposed development, including all individuals, children, firms, associations, joint adventures, partnerships, estates, trusts, business trusts, syndicates, fiduciaries, corporations, limited liability company, professional associations and all other groups or combinations.
 - c. For those entities that are a firm, association, joint adventure, partnership, estate, trust, business trust, syndicate, fiduciary, corporation, limited liability company, professional associations and all other groups or combinations thereof, every natural person or entity that enjoys a legal or equitable interest in property of the proposed development shall be disclosed including but not limited to any partners, members, shareholders, trustees, and stockholders.
 - d. The disclosure required in b. and c. above shall not apply to companies that are publicly traded and to consultants and contractors who may perform professional services or work related to the property.
 - e. In addition, the disclosure must include those having any interest in a contract for sale of the property, or a conveyance of any interest in the property, including but not limited to, real estate brokers and salespersons; and any and all mortgagees of the property.
 - f. The applicant must list all other applications for which they have an interest as defined in subsection b. and c. above that is currently pending before Martin County. The list shall include any development applications, waiver applications, road opening applications, and lien reduction requests.
 - g. Any development order, including applications for Planned Unit Developments which was granted or approved based on false or incomplete disclosure will be presumed to have been fraudulently induced and will be deemed by the Martin County Board of County Commissioners to be void ab initio and set aside, repealed, or vacated.

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

West Stuart Business Center
1935 Commerce Ln, Ste 5
Jupiter, FL 33458

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear West Stuart Business Center,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

When attending a public hearing, a member of the public may speak during the public comment portion of the public hearing. A person may also participate in the public meeting as an Intervenor.

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If any person decides to appeal any decision made with respect to any matter considered at the meetings or hearings of any board, committee, agency, council or advisory group, that person will need a record of the proceedings and, for such purpose, may need to insure that a verbatim record of the proceedings is made, which record should include the testimony and evidence upon which the appeal is to be based.

For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

RFP Holdings, LLC
PO Box 480577
Delray Beach, FL 33448

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear RFP Holdings, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Ted Glasrud Associates, FL, LLC
759 SE Federal Hwy, # 217
Stuart, FL 34994

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Ted Glasrud Associates, FL, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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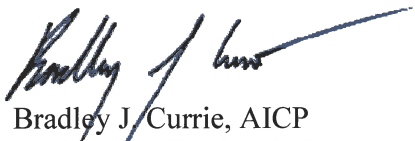
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Sincerely,

A handwritten signature in black ink, appearing to read "Bradley J. Currie", with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Cedrus Inc.
9011 SW Old Kansas Ave.
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Cedrus Inc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Stuart, Florida 34996

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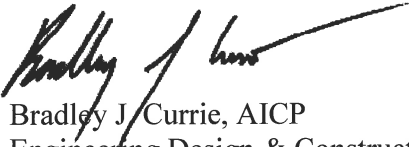
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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Michel J. Ecchio
19496 Liberty Road
Boca Raton, FL 33434

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Michel J. Ecchio,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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2401 S.E. Monterey Road
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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Impact Enterprises, LLC
8189 SW Yachtsman Dr.
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Impact Enterprises, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

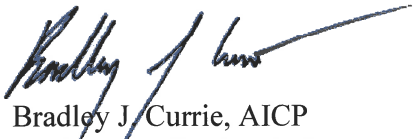
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For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

American Towers, Inc.
PO Box 723597
Atlanta, GA 31139

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear American Towers, Inc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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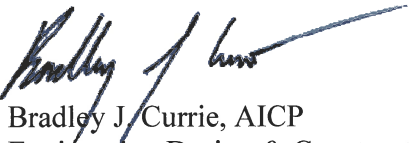
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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Tidewater Pointe Homeowners Assoc.
6123 Lyons Road
Coconut Creek, FL 33073

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Tidewater Pointe Homeowners Assoc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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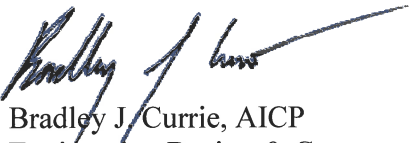
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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Dept. of Transportation
3400 W. Commercial Blvd.
Ft. Lauderdale, FL 0

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Dept. of Transportation,

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Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

HP Extreme LLC
7825 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear HP Extreme LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Stuart, Florida 34996

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

RCA Holdings, LLC
7802 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear RCA Holdings, LLC,

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Sincerely,

A handwritten signature in black ink, appearing to read "Bradley J. Currie", with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Hayden Real Estate Investments, LLC
750 Tanglewood Trl.
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Hayden Real Estate Investments, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Raphael Bloom Living Trust
Patricia M. Bloom Living Trust
11241 SW Wyndham Way
Port St. Lucie, FL 34987

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Raphael Bloom Living Trust and Patricia M. Bloom Living Trust,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Stuart, Florida 34996

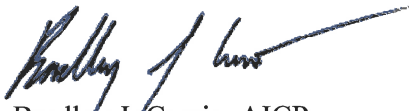
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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Beach Dairy Real Estate LLC
8385 SW Mastead Drive
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Beach Dairy Real Estate LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

TC 789 LLC
126 Grand Palm Way
Palm Beach Gardens, FL 33418

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear TC 789 LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

DR Horton, Inc.
6123 Lyons Road, Ste 100
Coconut Creek, FL 33073

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear DR Horton, Inc.,

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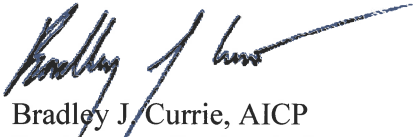
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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Ted Glasrud Associates, FL, LLC
1700 W. Highway 36 # 650
Roseville, MN 55113

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Ted Glasrud Associates, FL, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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2401 S.E. Monterey Road
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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Old Reliable Companies of Florida
7845 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Old Reliable Companies of Florida,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Elite Professional Plaza Condo. Assoc.
1340 US Highway 1, Ste 102
Jupiter, FL 33469

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Elite Professional Plaza Condo. Assoc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Lynda R. Zielke (Tr)
1140 SW Chapman Way Unit 411
Palm City, FL 34990

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Lynda R. Zielke (Tr),

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Sincerely,

A handwritten signature in black ink, appearing to read "Bradley J. Currie", with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

RBP Enterprises LLC
7861 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear RBP Enterprises LLC,

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Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Lake 101 LLC
7605 SE Rivers Edge St.
Jupiter, FL 33458

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Lake 101 LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Stuart, Florida 34996

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When attending a public hearing, a member of the public may speak during the public comment portion of the public hearing. A person may also participate in the public meeting as an Intervenor.

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If any person decides to appeal any decision made with respect to any matter considered at the meetings or hearings of any board, committee, agency, council or advisory group, that person will need a record of the proceedings and, for such purpose, may need to insure that a verbatim record of the proceedings is made, which record should include the testimony and evidence upon which the appeal is to be based.

For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Tidewater Pointe LLC
1699 SW Sunset Trail
Palm City, FL 34990

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Tidewater Pointe LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

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For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,

A handwritten signature in black ink, appearing to read "Bradley J. Currie", with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

River Glen Condo. Assoc., Inc.
789 S. Federal Hwy, Ste 101
Stuart, FL 34994

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear River Glen Condo. Assoc., Inc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

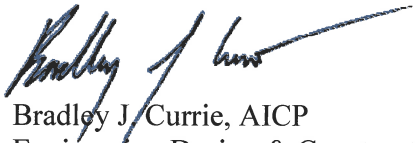
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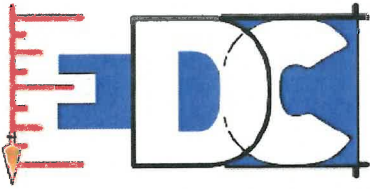
For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,



Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map



ENGINEERS • SURVEYORS • ENVIRONMENTAL

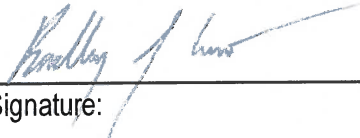
January 30, 2019

Martin County Growth Management Department
Attn: Peter Walden
2401 SE Monterey Road
Stuart, FL 34996

RE: West Stuart Business Center -- Revised Major Final Site Plan
Project # E016-036

To Whom It May Concern:

This letter is to certify that the above referenced sign was installed per Martin County requirements. The sign was posted according to and complies with the standards of the notice provisions of Article 10, Section 10.6: Development Review Procedures.



Signature:


January 30, 2019

Date

STATE OF FLORIDA
COUNTY OF ST LUCIE

The foregoing instrument was acknowledged before me this 30th day of January 20 19, Brad Currie, personally appeared before me.

(NOTARY SEAL)



Signature of Notary Public – State of Florida
Patricia Sesta

Name of Notary Typed, Printed, or Stamped

Personally Known X OR Produced Identification _____

Type of Identification Produced _____

OFFICE / WAREHOUSE
FOR LEASE
From \$970.00 / Month
561-743-7381

NOTICE
OF PROPOSED DEVELOPMENT
NEXT STUART BUSINESS CENTER
PROJECT # 2014-00000





561-743-7381
Call or Text for more info
4871 E. State Road, Suite 100
Tampa, FL 33610
www.commercialrealty.com

**OFFICE / WAREHOUSE
FOR LEASE**
From \$970.00 / Month
561-743-7381

SELECT
CENTRAL



NOTICE
OF PROPOSED DEVELOPMENT

WEST STUART BUSINESS CENTER

Call and view of drawings and
other information available from:

St. Johns County Growth Management Department
770.248.5482

PROJECT # E016-036

Tommy Hawkins & Sons, Inc.
Tommy Hawkins & Sons, Inc.
Tommy Hawkins & Sons, Inc.

RENAISSANCE

ELECTRIC CONNECTION
Commercial & Residential
Service & Repair
24/7
377-4617

**OFFICE / WAREHOUSE
FOR LEASE**
From \$970.00 / Month
561-743-7381

**NOTICE
OF PROPOSED DEVELOPMENT**
WEST STUART BUSINESS CENTER
The Board of Planning and Zoning Ordinance is reviewing the
application for a proposed development.
If you have any questions, please contact:
City of Stuart Planning Department
(772) 223-1000
PROJECT # 15-0018

Tommy Hawkins & Sons, Inc.
Paving Contractors
377-4617

Tommy Hawkins & Sons, Inc.
Paving Contractors
377-4617

Tommy Hawkins & Sons, Inc.
Paving Contractors
377-4617

Tommy Hawkins & Sons, Inc.
Paving Contractors
377-4617

Tommy Hawkins & Sons, Inc.
Paving Contractors
377-4617



LEGAL DESCRIPTION

WEST STUART BUSINESS CENTER

PARCEL ID: 05-39-41-002-000-00180-1

LOT 18 OF THE PLAT OF THE ELLIPSE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11 AT PAGE 84, IN THE OFFICE OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA.

EASEMENT PARCEL 1:

TOGETHER WITH A NON-EXCLUSIVE ACCESS EASEMENT AS CREATED UNDER PARAGRAPH 10.3 OF THAT CERTAIN AMENDED AND RESTATED DECLARATIONS OF PROTECTIVE COVENANTS OF THE ELLIPSE, AS RECORDED IN OFFICIAL RECORDS BOOK 911, PAGE 242, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

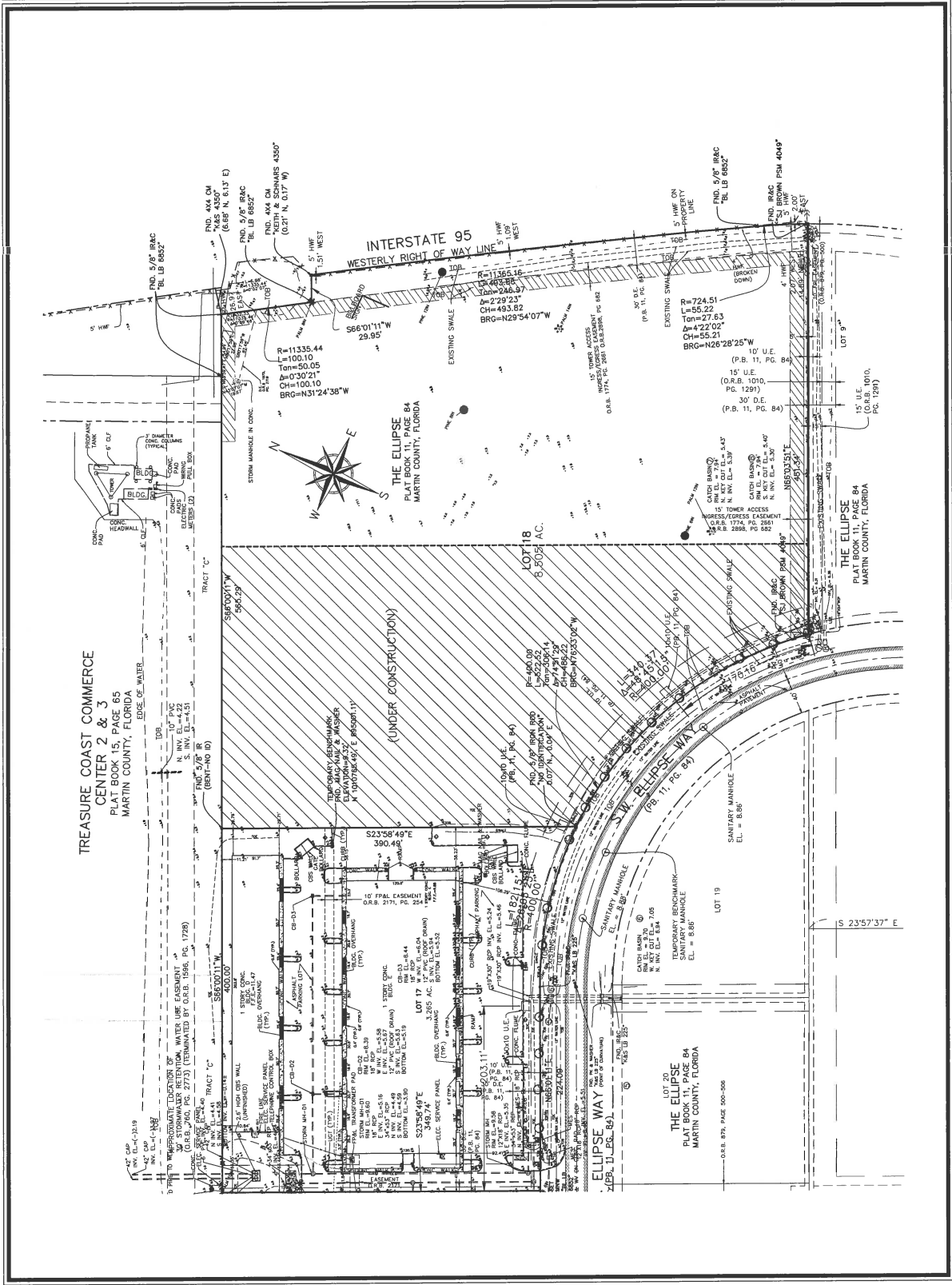
B **BETSY LINDSAY, INC.**
 SURVEYING AND MAPPING
 7977 SW JACK JAMES DRIVE SUART, FLORIDA 34997
 (772) 286-5753 (772) 286-5933 FAX
 LICENSED BUSINESS NO. 6852

DATE	REVISIONS
07/29/11	ISSUE PERMITS
07/29/11	ISSUE LOCAL DEC.
07/29/11	ISSUE STATE DEC.
12/27/12	REVISION TO PERMITS
12/27/12	REVISION TO LOCAL DEC.
12/27/12	REVISION TO STATE DEC.
12/27/12	ISSUE PERMITS
12/27/12	ISSUE LOCAL DEC.
12/27/12	ISSUE STATE DEC.

DATE: 9/17/02
 SCALE: 1" = 50'-0"
 FIELD BKG. DEC. 2
 DRAWN BY: B.L./E.L.
 CHECKED BY: E.L.L.

LOT 18 - PLAT OF THE ELLIPSE
 MARTIN COUNTY, FLORIDA
 ALTA BOUNDARY SURVEY
 MPC TREASURE COAST PROPERTIES, FLORIDA GENERAL PARTNERSHIP

SHEET NO. 2
 OF 2 SHEETS
 PROJECT NO. 02-744



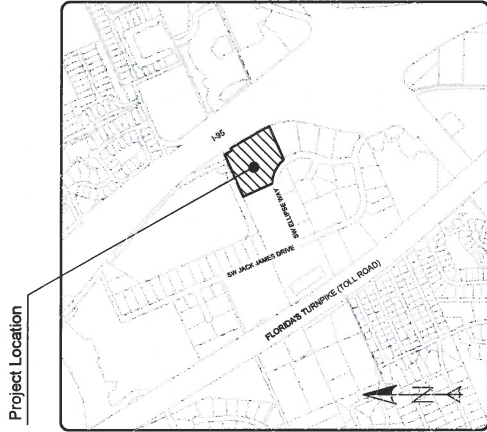
CONSTRUCTION PLANS AND SPECIFICATIONS FOR WEST STUART BUSINESS CENTER

SECTION 43, TOWNSHIP 38S, RANGE 41E
MARTIN COUNTY, FLORIDA

WEST STUART BUSINESS CENTER - CONSTRUCTION PLANS 22 FEBRUARY 2019 #18-382

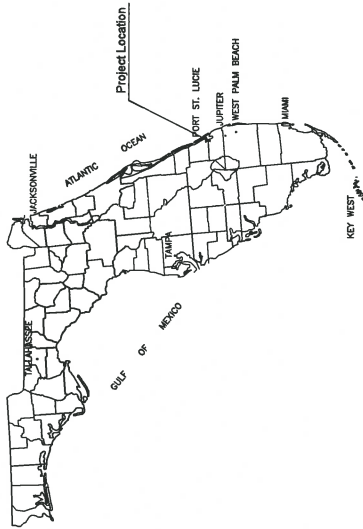
INDEX OF SHEETS

1. COVER
2. DEMOLITION PLAN AND LAND CLEARING & EROSION PLAN
3. LAND CLEAR & EROSION DETAILS
4. HORIZONTAL CONTROL PLAN
5. SIGNAGE AND STRIPING PLAN
6. PAVING, GRADING, & DRAINAGE PLAN
7. UTILITY PLAN
8. PAVING, GRADING, & DRAINAGE DETAILS
9. PAVING, GRADING, & DRAINAGE DETAILS
10. UTILITY DETAILS
11. UTILITY DETAILS
12. UTILITY DETAILS
13. SPECIFICATIONS



VICINITY MAP

LOCATION MAP



DATUM NOTE:
ALL ELEVATIONS SHOWN ON THESE PLANS
ARE BASED ON THE MEAN SEA LEVEL DATUM
FOR FLORIDA. A TYPICAL ACCEPTED CONVERSION TO
NAD 83 DATUM IS AS FOLLOWS:
NAD 83 ELEVATION = MEAN SEA LEVEL DATUM ELEVATION + 1.158

DAVID C. BAGGETT, P.E. (A) (EIT)
#81375
10338 SW WILLOW PARKWAY, SUITE 201
WEST PALM BEACH, FL 33411
TEL: 561-774-4624
FAX: 561-774-4625

REGISTERED PROFESSIONAL ENGINEER
IN THE STATE OF FLORIDA
#17000
#17000



U.S. CERTIFICATE OF AUTHORIZATION 1897

GENERAL NOTES EROSION CONTROL

1.0 SITE DESCRIPTION

1.a Nature of Construction Activities

Development of approximately 3.00 acres of a 8.50 acre parcel consisting of... (text continues)

1.b Sequence of Major Soil Disturbing Activities:

The following sequence of major activities shall be followed... (text continues)

1.c Area Estimates

Total site area: 8.50 Acres
Total area to be disturbed: 3.00 Acres

1.d Estimate of drainage area size for each discharge point.

Basin #1: 8.50 Acres

1.e Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point:

Basin #1 27° 05' 45" N
80° 15' 53" W

Discharge into a master surface water management system (SPMD ERP 43-00029-S) that ultimately outfalls into the St. Lucie River.

2.0 CONTROLS

2.a Erosion and Sediment Controls

Silt fences shall be installed and maintained around the perimeter of the disturbed area of the project... (text continues)

2.a.1 Permanent and Temporary Stabilization Practices

Contractor shall be responsible for having water truck on-site for temporary stabilization... (text continues)

2.a.2 Structural Practices

Site shall be initially graded to direct runoff to a temporary on-site... (text continues)

2.b Stormwater Management

Upon completion of surface water management system, the conveyance... (text continues)

2.c Other Controls

2.c.1 Waste Disposal

Contractor shall be responsible for the proper disposal and storage of all... (text continues)

3.0 MAINTENANCE

Contractor is responsible for visually inspecting all fences, practices, basins, and... (text continues)

4.0 INSPECTION

Contractor shall be responsible for visually inspecting all fences, practices, basins, and... (text continues)

5.0 NON-Stormwater Discharges

None

6.0 DESIGN DETAILS

None

7.0 SOIL TRACKING TYPE A

None

8.0 SOIL TRACKING TYPE B

None

9.0 SOIL TRACKING TYPE C

None

10.0 SOIL TRACKING TYPE D

None

11.0 SOIL TRACKING TYPE E

None

12.0 SOIL TRACKING TYPE F

None

13.0 SOIL TRACKING TYPE G

None

14.0 SOIL TRACKING TYPE H

None

15.0 SOIL TRACKING TYPE I

None

16.0 SOIL TRACKING TYPE J

None

17.0 SOIL TRACKING TYPE K

None

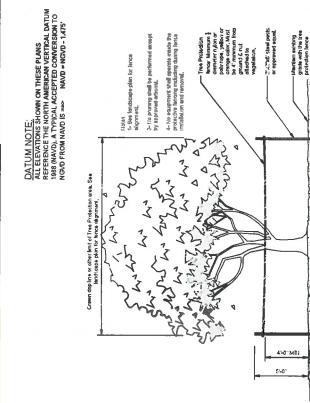
18.0 SOIL TRACKING TYPE L

None

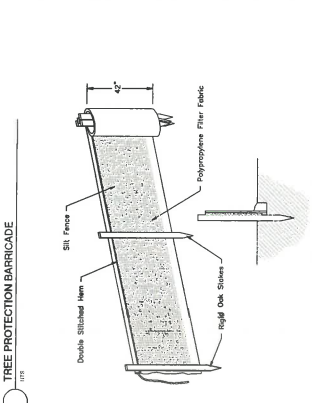
19.0 SOIL TRACKING TYPE M

None

DATUM NOTE:
ALL ELEVATIONS SHOWN ON THESE PLANS
UNLESS OTHERWISE NOTED, ARE REFERRED TO THE
NAD 83 DATUM. A TYPICAL ACCEPTED CONVERSION TO
NAD 83 FROM NAD 83 IS: NAD 83 - 1987



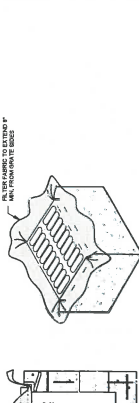
TREE PROTECTION BARRICADE



Recommended Tie-in

1. Silt fence shall be installed per manufacturer's specifications prior to the start of construction and shall not be removed until construction is complete.
2. Remove sediment shall be installed in areas with a slope greater than 1:1 and shall be installed in accordance with the approved construction plan and per standard FDOT practices.

SILT FENCE DETAIL



SILT FENCE DETAIL

1. THE SILT FENCE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE.
2. REMOVE SEDIMENT SHALL BE INSTALLED IN AREAS WITH A SLOPE GREATER THAN 1:1 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN AND PER STANDARD FDOT PRACTICES.



FILTER FABRIC DETAIL

1. THE SILT FENCE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE.
2. REMOVE SEDIMENT SHALL BE INSTALLED IN AREAS WITH A SLOPE GREATER THAN 1:1 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN AND PER STANDARD FDOT PRACTICES.

18-382

3 OF 13

WEST STUART BUSINESS CENTER

LAND CLEARING & EROSION DETAILS

MARTIN COUNTY

FLORIDA

DAVID C. BURGESS, P.E. (A197)

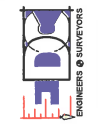
1000 SW WALLACE PARKWAY, SUITE 200

DAVIE, FLORIDA 33317

WWW.DCBENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER

NO. 14377 (CIVIL) - 12/15/2017



DAVID C. BOBBETT, P.E., LICENSE NO. 12072
 ENGINEERS & SURVEYORS
 11000 W. UNIVERSITY BLVD., SUITE 200
 TAMPA, FL 33613
 TEL: 813.289.8888
 WWW.DCBOSURV.COM

DATE: 08/14/2014
 SCALE: AS SHOWN
 DRAWING NO.: 18-382
 SHEET NO.: 4 OF 13

DESIGN COMMENTS:
 THIS PLAN IS THE PROPERTY OF ENGINEERS & SURVEYORS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ENGINEERS & SURVEYORS.

HORIZONTAL CONTROL PLAN

MARTIN COUNTY
 FLORIDA

WEST STUART BUSINESS CENTER

18-382

4 OF 13



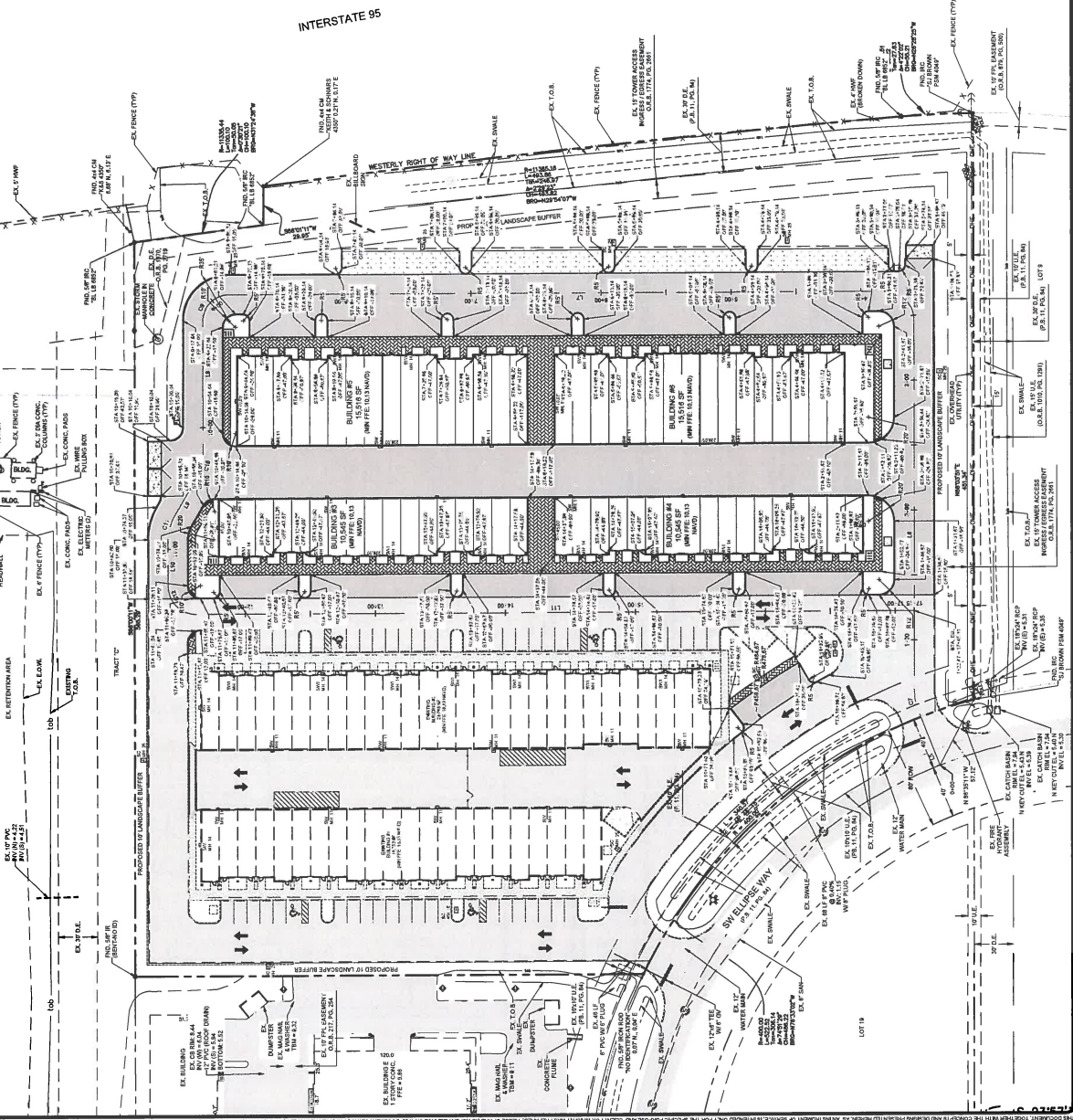
LEGEND

- EXISTING SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB OR OTHER
- EXISTING CONC. MANHOLE
- EXISTING DRAINAGE MANHOLE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EXISTING ASPHALT
- EXISTING TREES TO REMAIN


ALIGNMENT LINE DATA		
LINE #	LENGTH	BEARING
L1	535'	S65°52'52"E
L2	382.42'	N34°00'17"W
L3	248.00'	N65°09'25"E
L4	508.87'	S24°00'17"E

ALIGNMENT CURVE DATA		
CURVE #	RADIUS	LENGTH
C1	446.67'	241.19'
C2	40.00'	242.54'
C3	25.00'	39.27'
C4	25.00'	39.27'
C5	25.00'	39.27'
C6	25.00'	39.27'

DATUM NOTE:
 1. ALL ELEVATIONS SHALL BE REFERENCED TO THE 1985 MEAN SEA LEVEL DATUM.
 2. ALL ELEVATIONS SHALL BE FIELD MEASUREMENTS AND NOT TO BE BASED ON ANY PREVIOUS PLANS OR RECORDS.



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ENGINEERS & SURVEYORS
 1100 SOUTH MIAMI AVENUE, SUITE 201
 MIAMI, FLORIDA 33130
 PHONE: 305-371-1234
 FAX: 305-371-1235
 WWW.EASURV.COM

WEST STUART BUSINESS CENTER
SIGNAGE AND STRIPING PLAN
 FLORIDA

MARTIN COUNTY

DAVID O. BARRETT, P.E.
 1100 SOUTH MIAMI AVENUE, SUITE 201
 MIAMI, FLORIDA 33130
 PHONE: 305-371-1234
 FAX: 305-371-1235
 WWW.EASURV.COM

DATE: 14 NOVEMBER 2014
 SCALE: 1" = 40' (SEE PLAN)
 DRAWN: [Name]
 CHECKED: [Name]
 DESIGNED BY: [Name]

DESIGNER COMMENTS

19-382

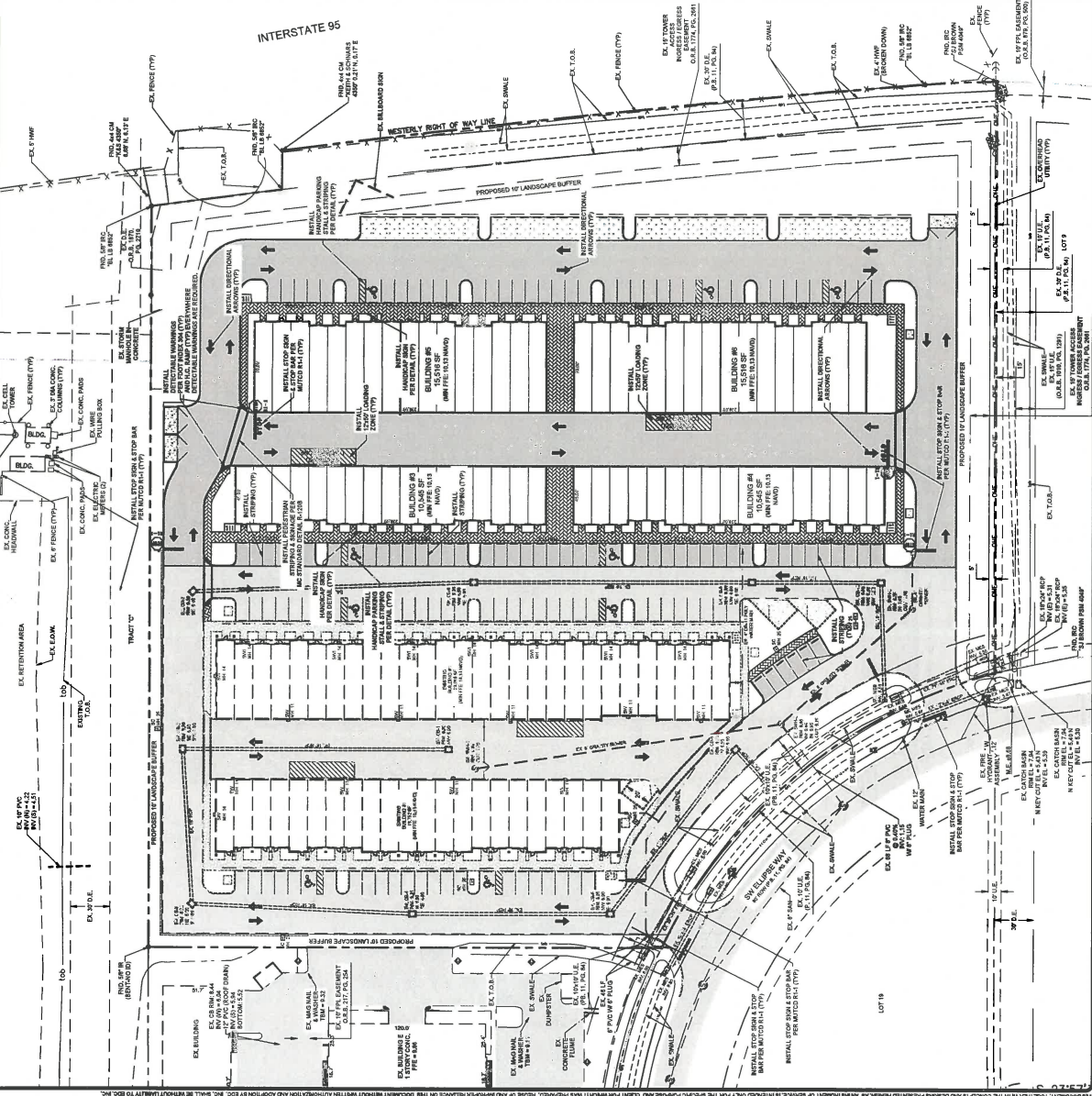
5 OF 13

LEGEND

- EXISTING BROD ELEVATION
- FLOW ARROW
- EXISTING SIGNAGE
- EXISTING DRIVE MANHOLE
- PROPOSED DRIVE MANHOLE
- PROPOSED DRIVE MANHOLE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED PAVERS
- PROPOSED ASPHALT
- EXISTING ASPHALT
- EXISTING TREES TO REMAIN

DATUM NOTE:
 ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE DATUM OF MEAN SEA LEVEL (MSL) UNLESS OTHERWISE NOTED. THE DATUM POINT IS LOCATED AT THE INTERSECTION OF THE CENTERLINE OF THE ROAD AND THE CENTERLINE OF THE PROPERTY LINE.

NOTE TO CONTRACTOR:
 1. VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION.
 2. VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION.



THIS DOCUMENT, TOGETHER WITH THE CONTRACT AND SPECIFICATIONS, SHALL BE THE SOLE REFERENCE FOR THE CONTRACTOR IN THE PERFORMANCE OF HIS OBLIGATIONS UNDER THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

ENGINEERS & SURVEYORS
DAVID C. BURGESS & ASSOCIATES
 1400 NW 15TH AVE, SUITE 201
 MIAMI, FL 33136
 P: 305.375.4541
 F: 305.375.4542
 www.dcburgess.com

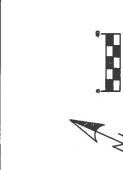
DATE	DESCRIPTION
11/05/2014	ISSUED FOR PERMIT
11/05/2014	ISSUED FOR PERMIT
11/05/2014	ISSUED FOR PERMIT
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DATE	DESCRIPTION
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11/05/2014	ISSUED FOR PERMIT
11/05/2014	ISSUED FOR PERMIT
11/05/2014	ISSUED FOR PERMIT

MARTIN COUNTY
UTILITY PLAN
WEST STUART BUSINESS CENTER
 FLORIDA

DAVID C. BURGESS & ASSOCIATES
 1400 NW 15TH AVE, SUITE 201
 MIAMI, FL 33136
 P: 305.375.4541
 F: 305.375.4542
 www.dcburgess.com

18-382
 7 OF 13

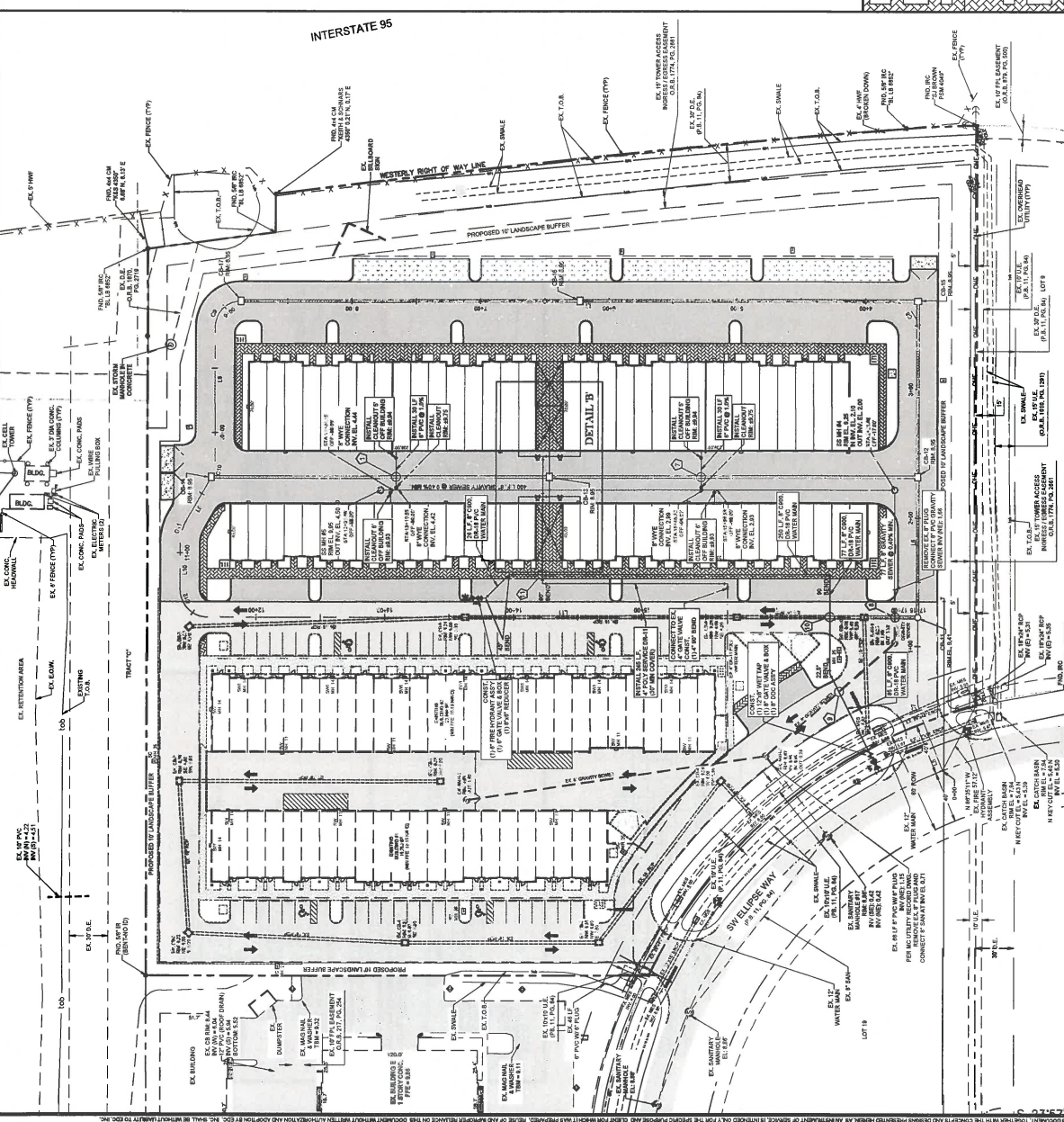
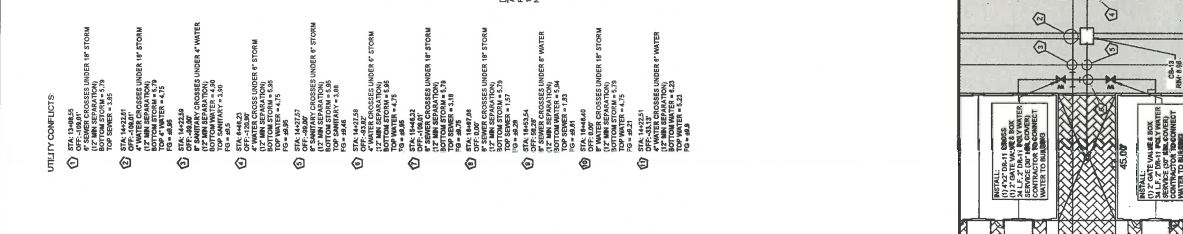
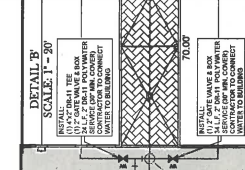


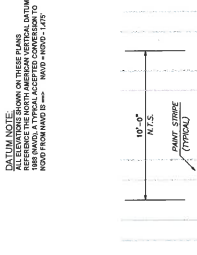
LEGEND

	EXISTING SPOT ELEVATION
	FLOW ARROW
	LIGHT PIPE (PT) OTHERS
	EXISTING SEWER MANHOLE
	PROPOSED SEWER MANHOLE
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	EXISTING ASPHALT
	EXISTING TREES TO REMAIN

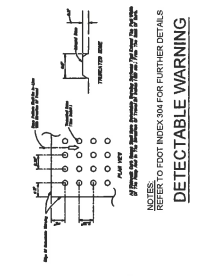
DATUM NOTE:
 ALL ELEVATIONS ARE REFERENCED TO THE MEAN SEA LEVEL DATUM (MSL) UNLESS OTHERWISE SPECIFIED. ALL ELEVATIONS ARE REFERENCED TO THE MEAN SEA LEVEL DATUM (MSL) UNLESS OTHERWISE SPECIFIED. ALL ELEVATIONS ARE REFERENCED TO THE MEAN SEA LEVEL DATUM (MSL) UNLESS OTHERWISE SPECIFIED.

- UTILITY CONFLICTS**
- 1. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 2. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 3. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 4. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 5. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 6. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 7. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 8. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 9. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 10. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 11. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75
 - 12. STA. 14+28.50
 EX. 12" WATER UNDER 1' STORM
 BOTTOM ELEVATION +1.75
 TOP WATER +4.75

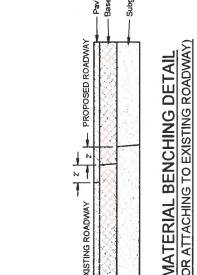




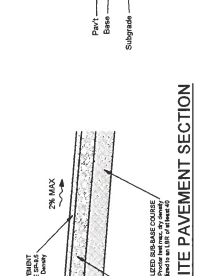
DETECTABLE WARNING
REFER TO FOOT INDEX FOR FURTHER DETAILS



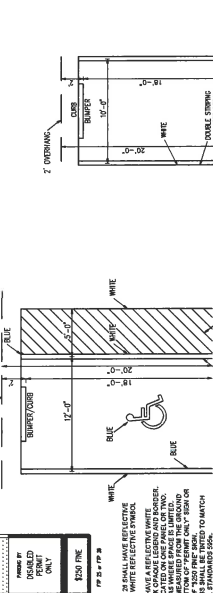
MATERIAL BENCHING DETAIL
(FOR ATTACHING TO EXISTING ROADWAY)



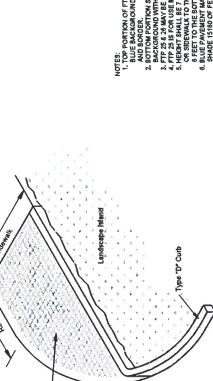
TYPICAL ON-SITE PAVEMENT SECTION



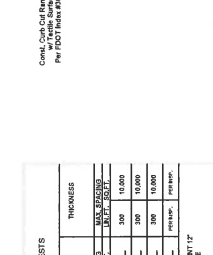
TYPE 'D' CURB



DOUBLE STRIPING DETAIL



HANDICAP SPACE DETAIL

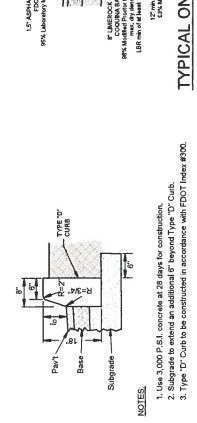


CURB CUT RAMP

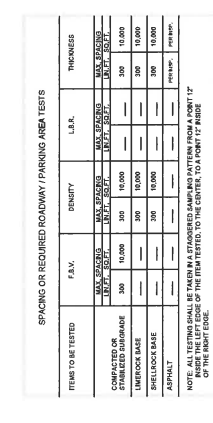
ITEMS TO BE TESTED	F.A.V.	DENSITY	L.B.R.	THICKNESS	
				MIN. TESTED	MAX. TESTED
STABILIZED GRANULAR	300	10,000	10,000	300	10,000
SHELLSOCK BASE	---	10,000	---	---	---
ASPHALT	---	10,000	---	---	---

NOTE: ALL TESTING SHALL BE TAKEN AS A STANDARD SAMPLE AND SETTING FROM A POINT 12\"/>

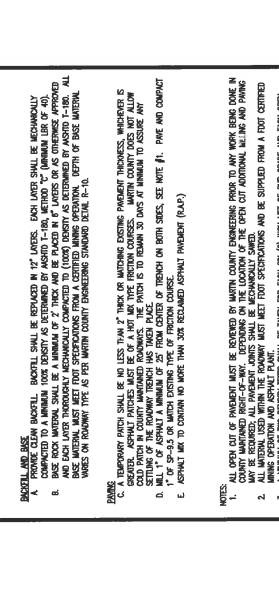
SPACING OR REQUIRED ROADWAY PARKING AREA TESTS



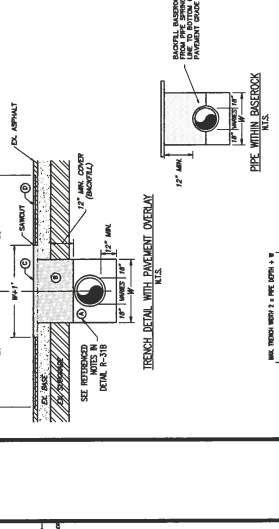
TYPICAL TRENCH DETAIL



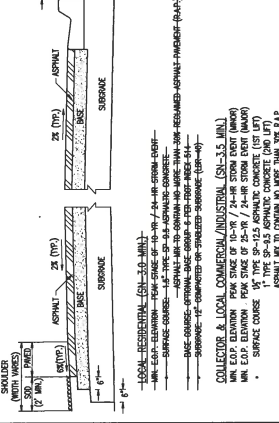
TRENCH DETAIL WITH PAVEMENT OVERLAY



TYPICAL OPEN CUT TRENCH



PIPE WITHIN TRENCH



FLEXIBLE PAVEMENT SECTION

NOTES:

- Use 3,000 P.S.I. concrete at 28 days for construction.
- Subgrade to extend an additional 6\"/>

NOTES:

- SHOULDER DESIGN
- BASE COURSE SHALL BE 4\"/>

NOTES:

- SHOULDER DESIGN
- BASE COURSE SHALL BE 4\"/>

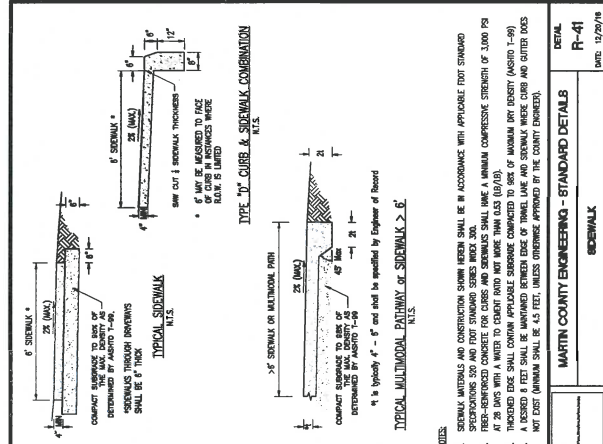
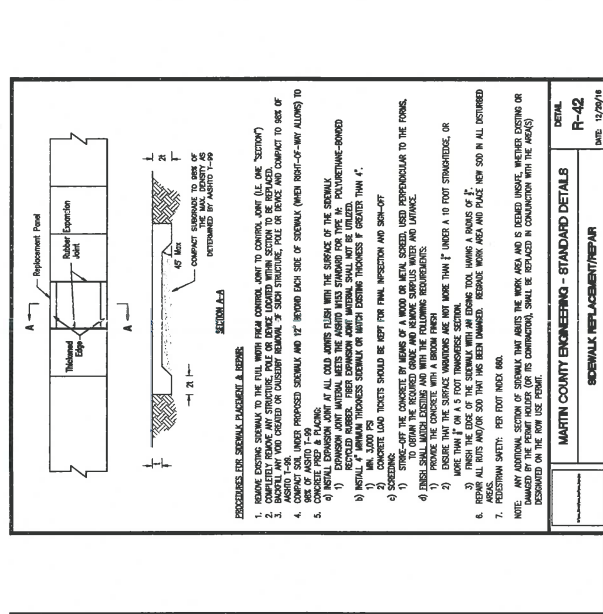
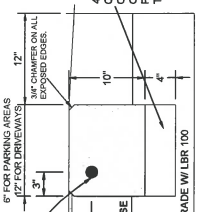
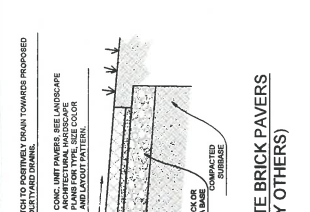
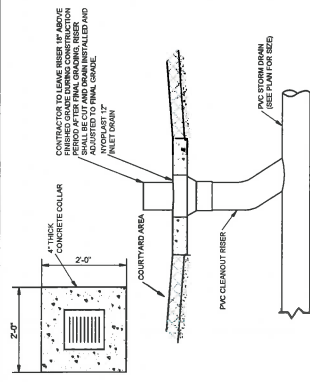
ENGINEERS & SURVEYORS
DAVID C. BURGESS, P.E.
DAVID C. BURGESS & ASSOCIATES, P.A.
1000 WEST PALM BLVD., SUITE 100
WEST PALM BEACH, FL 33411
TEL: 561-835-1111
WWW.DCB-PA.COM

DATE: _____
DESIGNED BY: _____
CHECKED BY: _____
SCALE: _____
PROJECT: _____
SHEET NO.: _____

WEST STUART BUSINESS CENTER
PAVING, GRADING & DRAINAGE
DETAILS
FLORIDA
MARTIN COUNTY

DAVID C. BURGESS, P.E.
DAVID C. BURGESS & ASSOCIATES, P.A.
1000 WEST PALM BLVD., SUITE 100
WEST PALM BEACH, FL 33411
TEL: 561-835-1111
WWW.DCB-PA.COM

18-382
8 OF 13



PROCEDURES FOR SIDEWALK ELONGATION & BEARING:

1. FINISH THE SIDEWALK TO THE FINISHED GRADE WITH A FINISH THAT PROVIDES A FINISH TO THE SIDEWALK.
2. FINISH THE SIDEWALK TO THE FINISHED GRADE WITH A FINISH THAT PROVIDES A FINISH TO THE SIDEWALK.
3. FINISH THE SIDEWALK TO THE FINISHED GRADE WITH A FINISH THAT PROVIDES A FINISH TO THE SIDEWALK.
4. FINISH THE SIDEWALK TO THE FINISHED GRADE WITH A FINISH THAT PROVIDES A FINISH TO THE SIDEWALK.
5. FINISH THE SIDEWALK TO THE FINISHED GRADE WITH A FINISH THAT PROVIDES A FINISH TO THE SIDEWALK.
6. FINISH THE SIDEWALK TO THE FINISHED GRADE WITH A FINISH THAT PROVIDES A FINISH TO THE SIDEWALK.
7. FINISH THE SIDEWALK TO THE FINISHED GRADE WITH A FINISH THAT PROVIDES A FINISH TO THE SIDEWALK.

NOTES:

1. SIDEWALK MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE FOOT STANDARD SPECIFICATIONS AND FOOT STANDARD SERIES INDEX 200.
2. FINISH-REINFORCED CONCRETE FOR CURBS AND SIDEWALKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
3. FINISH-REINFORCED CONCRETE FOR CURBS AND SIDEWALKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
4. A DESIRED 8 FEET SHALL BE MAINTAINED BETWEEN EDGE OF TRAIL LINE AND SIDEWALK WHERE CURB AND GUTTER DOES NOT EXIST (MINIMUM SHALL BE 4.5 FEET, UNLESS OTHERWISE APPROVED BY THE COUNTY ENGINEER).

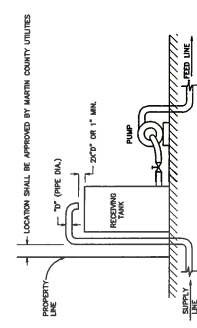
DATE: 11/10/2018	SCALE: 1/4" = 1'-0"	PROJECT NO: 18-382	DATE: 11/10/2018
DESIGNED BY: [REDACTED]	CHECKED BY: [REDACTED]	DATE: 11/10/2018	SCALE: 1/4" = 1'-0"
MARTIN COUNTY ENGINEERING - STANDARD DETAILS			
SIDEWALK REPLACEMENT/REPAIR			
R-42			
DATE: 12/29/18			

DATE: 11/10/2018	SCALE: 1/4" = 1'-0"	PROJECT NO: 18-382	DATE: 11/10/2018
DESIGNED BY: [REDACTED]	CHECKED BY: [REDACTED]	DATE: 11/10/2018	SCALE: 1/4" = 1'-0"
MARTIN COUNTY ENGINEERING - STANDARD DETAILS			
SIDEWALK			
R-41			
DATE: 12/29/18			

STANDARD WATER/SEWER SEPARATION STATEMENT

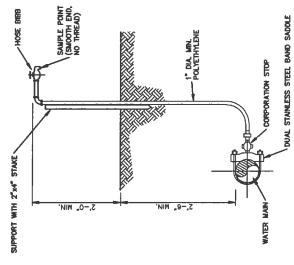
THIS STATEMENT IS REQUIRED FOR ALL NEW CONSTRUCTION OF WATER AND SEWER LINES AND CONNECTIONS TO EXISTING LINES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (FDOT) AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (FDOT) AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (FDOT) AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO THE START OF CONSTRUCTION.

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
GENERAL NOTES, SPECIFICATIONS AND SEPARATION STATEMENT
REVISION: AUGUST 2016
DWG No. 1E



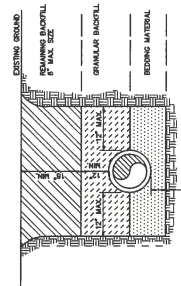
- NOTES:**
1. AN AIR GAP SEPARATION MEANS THE UNRESTRICTED VERTICAL DISTANCE BETWEEN THE FLOOD LEVEL OF THE RECEIVING PROPERTY LINE AND THE FLOOD LEVEL OF OVERFLOW RIM OF THE RECEIVING PROPERTY LINE.
 2. THE DIAMETER OF THE SUPPLY PIPE SHALL BE AT LEAST ONE (1) INCH IN DIAMETER.

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
AIR GAP SEPARATION
REVISION: AUGUST 2016
DWG No. 22



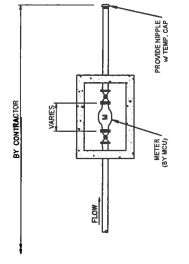
- NOTES:**
1. SAMPLE POINT SHALL BE A SERVICE LINE.
 2. AFTER SAMPLE IS COMPLETE AND APPROVED, SHUT OFF COUP FOR REMAINING DURATION OF 15 MIN WITH VALVE FULLY OPEN.
 3. POINT DO NOT TURN OFF.

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
SAMPLE POINT DETAIL
REVISION: AUGUST 2016
DWG No. 9



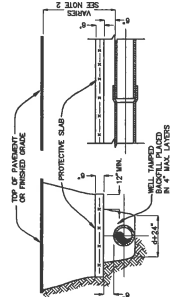
- NOTES:**
1. BEDDING MATERIAL SHALL BE HAND PLACED IN 6\"/>
 2. WITH PERMISSIBLE COMPACTOR UNDER THE FULL WEIGHT OF THE PIPE.
 3. THE PIPE SHALL BE PLACED IN A DRY TRENCH.
 4. BACKFILL SHALL BE DONE WITH APPROVED MATERIAL, CLEAN AND COMPACTED IN 6\"/>
 5. A POINT ONE FOOT ABOVE THE TOP OF THE PIPE TO DETERMINE DENSITY AS DETERMINED BY ASTM D-155.
 6. REMAINING BACKFILL SHALL BE COMPACTED IN 6\"/>
 7. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL TRENCH SAFETY REGULATIONS.

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
TYPICAL TRENCH DETAIL
REVISION: AUGUST 2016
DWG No. 23



- NOTES:**
1. LOCATIONS TO BE STANFORD 1/4\"/>
 2. SEE TYPICAL SERVICE DETAIL FOR MAIN CONNECTION.
 3. METER AND SEAL SHALL BE FOR W/RE CONCRETE AND TIE REINFORCED POLYESTER.
 4. FITTINGS SHALL BE 1/2\"/>

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
1-1/2\"/>



- NOTES:**
1. SEE NOTES ON SHEET FOR THE PROTECTIVE SLAB. SEE 7\"/>
 2. PROTECTIVE SLAB REQUIRED WHERE COVER FOR MAIN IS LESS THAN 2\"/>

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
PROTECTIVE SLAB FOR PIPE
REVISION: AUGUST 2016
DWG No. 30



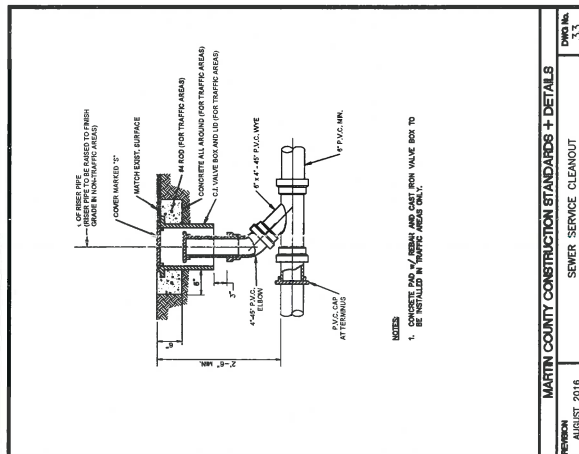
PROJECT: WEST STUART BUSINESS CENTER
DATE: 11/18/2016
SCALE: AS SHOWN
LAYOUT: UTILITY DETAILS
DESIGNED BY: JAVIER
CHECKED BY: JAVIER
DATE: 11/18/2016

NO.	DESCRIPTION	DATE

WEST STUART BUSINESS CENTER
UTILITY DETAILS
FLORIDA
MARTIN COUNTY



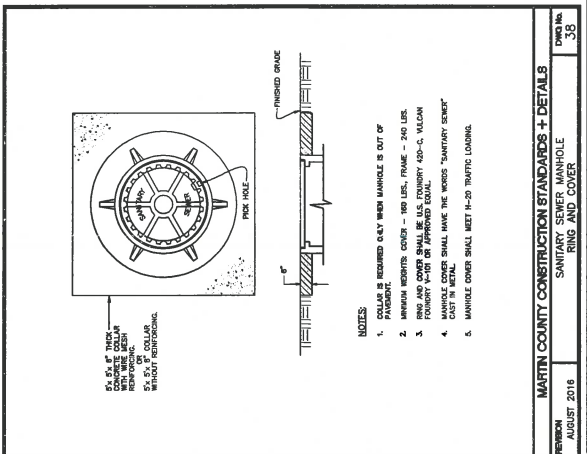
18-382
10 OF 13



NOTES:

1. CONCRETE PAD w/ BENCH AND CAST SINK VALVE BOX TO BE INSTALLED IN TRAFFIC AREA ONLY.

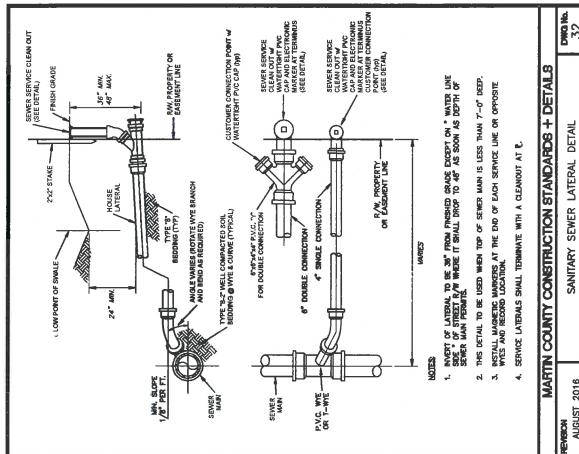
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 SEWER SERVICE CLEANOUT
 REVISION AUGUST 2016 DWG NO. 33



NOTES:

1. COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT.
2. MANHOLE RINGS COVER - 180 LBS. FRAME - 240 LBS.
3. FRAME WITH RINGS SHALL BE APPROVED QUALITY 420-C MCM OR EQUIVALENT.
4. MANHOLE COVER SHALL HAVE THE WORDS "SANITARY SEWER" CAST IN METAL.
5. MANHOLE COVER SHALL MEET H-20 TRAFFIC LOADING.

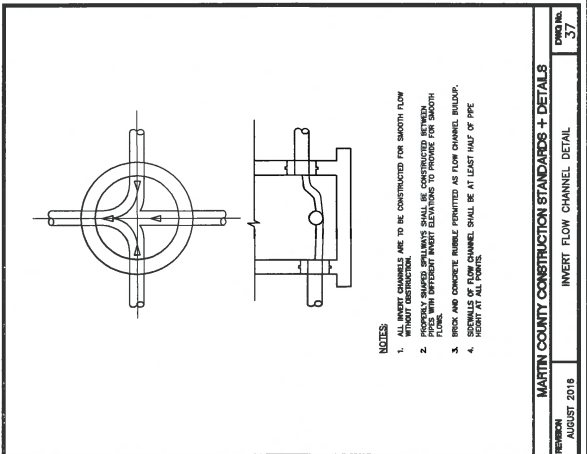
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 SANITARY SEWER MANHOLE RING AND COVER
 REVISION AUGUST 2016 DWG NO. 35



NOTES:

1. IF SERVICE LINE IS OF SMALLER DIAMETER THAN MAIN LINE, SERVICE LINE SHALL BE 1\"/>
- 2. THIS DETAIL TO BE USED WHEN TOP OF SERVICE MAIN IS LESS THAN 7'-0\"/>
- 3. WYLS AND RECORD INDICATOR AT THE END OF EACH SERVICE LINE OR OPPOSITE.
- 4. SERVICE LATERALS SHALL TERMINATE WITH A CLEANOUT AT E.

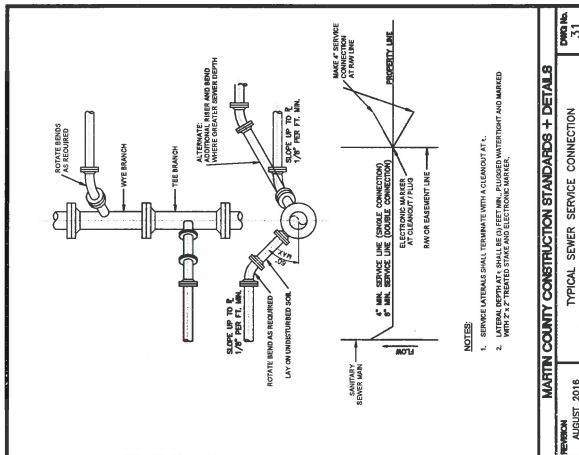
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 SANITARY SEWER LATERAL DETAIL
 REVISION AUGUST 2016 DWG NO. 32



NOTES:

1. ALL INVERT CHANNELS ARE TO BE CONSTRUCTED FOR SMOOTH FLOW WITHOUT OBSTRUCTIONS.
2. PROPERLY SLOPED CHANNELS SHALL BE CONSTRUCTED BETWEEN ALL MANHOLES WITH SUFFICIENT SPACING TO PROVIDE FOR SMOOTH FLOW.
3. BRICK AND CONCRETE CHANNELS PERMITTED AS FLOW CHANNEL BUILDUP.
4. SLOPES OF FLOW CHANNEL SHALL BE AT LEAST HALF OF PIPE SLOPE AT ALL POINTS.

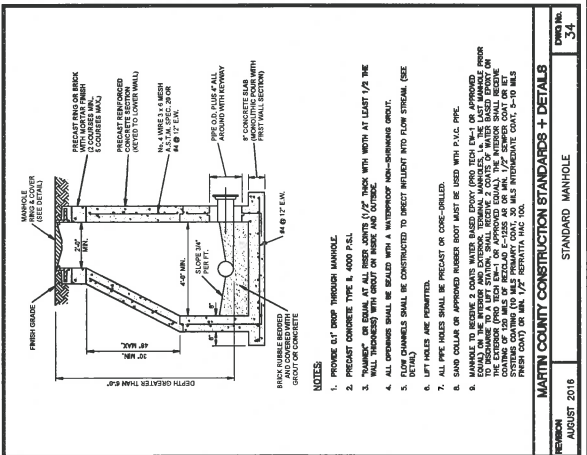
MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 INVERT FLOW CHANNEL DETAIL
 REVISION AUGUST 2016 DWG NO. 37



NOTES:

1. SERVICE LATERALS SHALL TERMINATE WITH A CLEANOUT AT E.
2. LATERAL SUPPORT SHALL BE PROVIDED WITHIN 4\"/>
- 3. WYLS AND RECORD INDICATOR SHALL BE PROVIDED AT THE POINT OF ENTRY.

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 TYPICAL SEWER SERVICE CONNECTION
 REVISION AUGUST 2016 DWG NO. 31

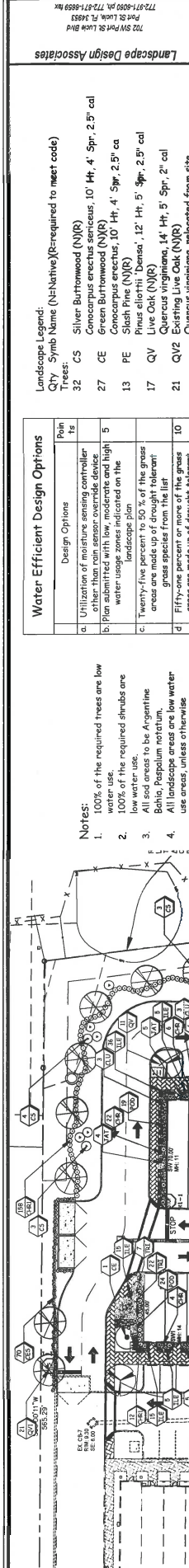


NOTES:

1. PROVIDE 6\"/>
- 2. PRECAST CONCRETE TYPE I, 4000 P.S.I.
- 3. "RAMMED" OR EQUAL AT ALL JOINTS 1\"/>
- 4. ALL JOINTS SHALL BE SEALED WITH A WATERPROOF MEM-BARRIER GROUT.
- 5. ALL JOINTS SHALL BE SEALED WITH A WATERPROOF MEM-BARRIER GROUT.
- 6. LIFT HOLES ARE PERMITTED.
- 7. ALL PIPE HOLES SHALL BE PRECAST OR CORE-BUILT.
- 8. SAND COLLAR OR APPROVED RUBBER FOOT MUST BE USED WITH P.V.C. PIPE.
- 9. MANHOLE TO RECEIVE 2 COATS WATER BASED JOINT (PRO TECH E-1) OR APPROVED EQUIVALENT. IF MANHOLE IS TO RECEIVE 2 COATS OF WATER BASED JOINT (PRO TECH E-1) OR APPROVED EQUIVALENT, THE JOINT SHALL RECEIVE 2 COATS OF WATER BASED JOINT (PRO TECH E-1) OR APPROVED EQUIVALENT. IF MANHOLE IS TO RECEIVE 2 COATS OF WATER BASED JOINT (PRO TECH E-1) OR APPROVED EQUIVALENT, THE JOINT SHALL RECEIVE 2 COATS OF WATER BASED JOINT (PRO TECH E-1) OR APPROVED EQUIVALENT.
- 10. FINISH TOP OF MANHOLE SHALL BE 1\"/>
- 11. FINISH TOP OF MANHOLE SHALL BE 1\"/>
- 12. FINISH TOP OF MANHOLE SHALL BE 1\"/>

MARTIN COUNTY CONSTRUCTION STANDARDS + DETAILS
 STANDARD MANHOLE
 REVISION AUGUST 2016 DWG NO. 34

THIS DOCUMENT, TOGETHER WITH THE COMMENTS AND DESIGN PRESENTED HEREIN, IS THE PROPERTY OF ENGINEER DAVID C. BAGGETT, P.E., D.B. FOR THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT ONLY. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS DOCUMENT.



Water Efficient Design Options

Design Options	Point
a. Utilization of moisture sensing controller other than rain sensor override device	5
b. Plant submitted with low, moderate and high water usage tags to be planted on the landscape plan	10
c. Twenty-five percent to 50% of the grass areas are made up of drought tolerant grass species from the list	10
d. Fifty-one percent or more of the grass areas are made up of drought-tolerant grass species from the list	10
e. Twenty-five percent to 50% of the required shrubs are made up of drought tolerant species from the list	10
f. Fifty-one percent or more of the required shrubs are made up of drought tolerant species from the list	10
g. Twenty-five percent to 50% of the required trees are made up of drought tolerant species from the list	10
h. Fifty-one percent or more of the required trees are made up of drought tolerant species from the list	10
i. Twenty-five percent more than the required shade trees planted in the landscape plan	5
j. Fifty percent more than the required shade trees planted in the landscape plan	5
k. Sod areas less than 50 percent of the total landscaped areas	10
l. Utilization of compacted mulch beds at least three inches deep in all planted areas	5
m. Utilization of mulch	5
n. Utilization of native plant species in stormwater retention areas, other than turf grass or sod. As permitted in division 9 of article 4, LDC.	50

Total points awarded: 50

Notes:

- 100% of the required trees are low water use.
- 100% of the required shrubs are low water use.
- All sod areas to be Argentine Bahia, Paspalum notatum. All landscape areas are low water use.
- Retention Areas will not receive irrigation, therefore it is indicated as a low water use area. No landscaping shall be placed in a manner that would create conflicts with the intended operation and maintenance of any existing or proposed water/wastewater utility lines.
- All landscape material to be Florida No.1
- All landscaping meets FDOT clearance and sight distance
- All landscaping to receive irrigation from non-potable source, providing 100% coverage and 50% overlap. All trees placed within 10' of a structure, sidewalk, utility line or infiltration trench to be installed with 24" root barrier. Refer to sheet LD-02 for installation details.
- All landscaping placed within safe sight triangle to be maintained to provide sight window between 24" and 8'.
- The use of Cypress mulch is prohibited.

Landscape Data:

Total Landscape Area: (2,720 sf North, 5,550 sf East, 3,690 sf South, PL) 12,940 sf
 Vehicular Use Area (VUA): 77,303 sf
 Landscape Area required (500 sf/5000 sf VUA): 7,730 sf
 Total Area Required: 43,816, sf
 Total Area Provided: 70,389 sf

The minimum landscape requirement of 20% of total Development area is being met (154,382 x 20% = 30,876 sf)
 The requirement of 1 tree/2,500 sf (154,382/2,500=62) is being met.

Landscape Data

Exterior Buffer/Length	Buffer Type	Canopy Tree, 1/30 LF		Shrubs 1/2 LF	
		Required	Provided	Required	Provided
North/272'	Perimeter	9	9	51	108
East/653'	Perimeter	22	22	218	249
South/340'	Perimeter	12	12	113	114
West	not required				
Interior Landscape Area	15 areas	3 trees/area		N/A	
Parking Islands	17 Islands	45	45	N/A	
		1 trees/Island		N/A	
Interior trees removed from prev. phase		17	17		
		5*	5		
Total		110	110	432	471

*prev. phase provided 2 extra trees, total removed was 7

100% of required/proposed trees are native
 80% of required/proposed shrubs are native
 100% of required/proposed groundcovers/shrubs are native

- Landscape Legend:**
- City Symb Name (N=Native)(R=required to meet code)
- 32 CE Silver Buttonwood (N)(R)
 - 27 CE Coconac erectus caecicus, 10' Ht, 4' Spr, 2.5' cal
 - 13 PE Slash Pine (N)(R)
 - 17 QV Live Oak (N)(R)
 - 21 QV2 Quercus virginiana, 14' Ht, 5' Spr, 2' cal
 - 204 CHR Red Tip Coccoloba (N)(R)
 - 349 CHRI Red Tip Coccoloba (N)(R)
 - 350 CE Small-leaf Cuban
 - 250 CES Dwarf Yucca Holly(N)(R)
 - 696 ILE Ilex vomitoria, 'Stokes Dwarf', 3 gal, 18"x18", 24" o.c.
 - 73 JAT Jatropha integerrima 'Compacta', 10 gal, 4' Ht, 36" o.c.
 - 124 POD Podocarpus macrophyllus, 3 gal, 24"x12", 24" o.c.
 - 294 TRI Florida Gama Grass (N)(R)
 - Thysanotum floridanum, 3 gal, 24" o.c.

Maintenance of Required Landscaping

1. Encroachment into required bufferways and landscaped areas by vehicles, boats, mobile homes or trailers shall not be permitted, and required landscaping shall be replaced or made of materials or products of the parking of vehicles and equipment.
2. Required landscaping shall be maintained as to all lines, trunks, limbs, neat and safety appearance, free of refuse and debris. If vegetation which is required to be planted dies it shall be replaced with equivalent vegetation. All trees for which credit was awarded and which subsequently die, shall be replaced with equivalent vegetation according to the standards established in the Martin County Landscape Code.
3. All landscaping shall be established free from disease, pests, weeds and fire. Maintenance shall include weeding, fertilizing, pruning, mowing, edging, mulching or other maintenance, as needed and in accordance with acceptable horticultural practices. Periodic maintenance shall be provided to ensure the establishment of harmful exotic species within landscaping and preservation areas.
4. Regular landscape maintenance shall be provided for repair or replacement. Regular landscape maintenance shall be provided for the repair or replacement of required walls, fences or structures to a structurally sound condition as shown on this plan.
5. The property owner is responsible for replacing any required landscaping in easement areas that may be disturbed by future maintenance.
6. All prohibited, exotic and invasive species shall be removed from the entire site prior to the issuance of a certificate of occupancy.

West Stuart Business Center Landscape Plan

Martin County

Scale: 1" = 30'

Graphic Scale

North Arrow

LD-01

PLANTING NOTES:

1. CONTRACTOR SHALL PERSONALLY ACQUAINT HIMSELF WITH THE EXISTING SITE CONDITIONS AND THE EXTENT AND SCOPE OF WORK REQUIRED.
2. THE PLANT LIST INDICATES THE MAKES, SPECIES, AND QUANTITIES OF PLANT MATERIALS. QUANTITIES HAVE BEEN PROVIDED TO THE CONTRACTOR AS CONVENIENT FOR THE CONTRACTOR'S RESPONSIBILITY FOR HIS/HER OWN QUANTITY COUNT. IN CASE OF DISCREPANCIES BETWEEN THE DRAWINGS AND PLANT LIST, THE QUANTITIES ON THE DRAWINGS SHALL PREVAIL.
3. NO SUBSTITUTES OR VARIETIES LISTED WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
4. PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.
5. THE LOCATIONS OF PLANTS AS SHOWN IN THESE PLANS ARE APPROXIMATE. THE FINAL LOCATIONS WILL BE APPROVED BY THE LANDSCAPE ARCHITECT. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
6. ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.
7. ALL TREES MUST BE STAKED AS SHOWN ON THE LANDSCAPE DETAIL SHEET WITHIN 24 HRS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 12 MONTHS BUT NO LONGER THAN 18 MONTHS. CONTRACTOR RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.
8. ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT DIRECTION.
9. ALL SOD EDGES SHALL BE TRIMMED AS PER THE LANDSCAPE ARCHITECT'S DIRECTION.
10. ALL SHRUBS, TREES, GROUNDCOVERS, SOD AND WILDOFLOWER AREAS SHALL HAVE IMPROVED SOIL AS PER PLANTING SIGN NOTES.
11. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
12. SODK PLANTS IMMEDIATELY WITH WATER FOLLOWING PLANTING.
13. MAINTAIN THE ORIGINAL GRADE OF THE TREE BASE.
14. DO NOT BREAK ROOTBALL.
15. ALL PLANT SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE ON LOCALITY OF THE PROJECT.
16. THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF THE CONTRACT OR ACCEPTANCE BY THE LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE. PLANTING SAUGERS RESTORED, AND DEFECTIVE WORK CORRECTED.
17. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY THE CREWS DURING THE PERFORMANCE OF THE WORK UPON THE PREMISES. UNUSUED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.
18. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR.
19. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME DURING THIS PERIOD, THE CONTRACTOR SHALL COMMENCE ANY MATERIALS WHICH HAVE DIED. REQUIRING REPLACEMENT FOR THE DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM, AUTOMOBILES OR OTHER UNUSUAL EVENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS FOR THE ENTIRE DURATION OF THE WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT AGREEMENT.
20. ALL LABOR AND MATERIAL FOR SODK, AMENDMENTS AND FERTILIZERS THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROJECTS VEGE SHALL BE INCLUDED IN THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL. SHALL BE INCLUDED IN THE CONTRACTORS BID TO PERFORM THE WORK PRESENTED IN THIS PLAN SET.
21. NO LANDSCAPING ADDED UNDER THIS PROJECT SHALL BE LOCATED SUCH THAT SAID LANDSCAPING OBSCURES MOTORIST'S VISIBILITY OF ANY EXISTING SIGNS.

PLANTING SOIL AND BACKFILL

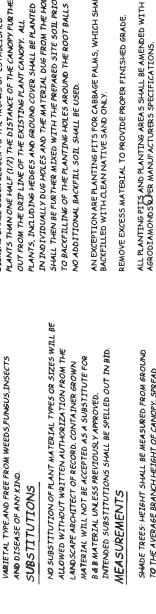
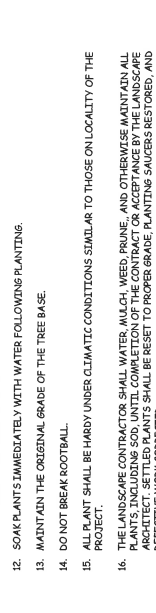
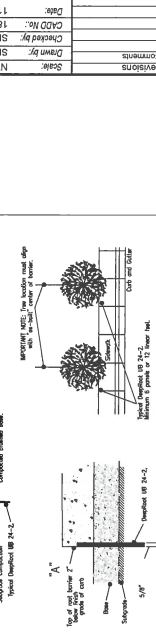
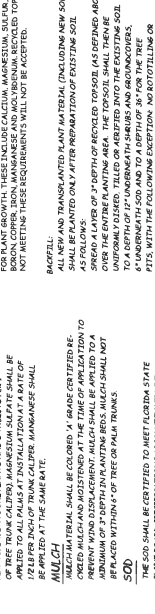
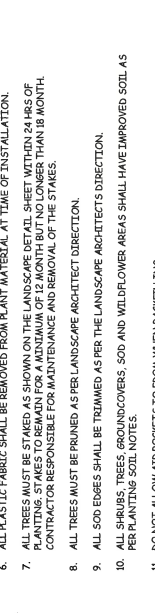
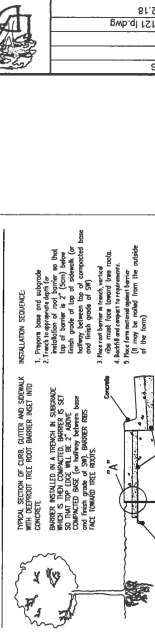
PLANTING SOIL SHALL BE SLOW RELEASE UNIFORM IN COMPOSITION, 80% BY AND FREE FLOWING. THE FERTILIZER SHALL BE DELIVERED TO THE CONTRACTOR IN BAGS AND BANDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUFACTURER'S REQUIREMENTS OF 5% (FERTIC) NITROGEN, 3% (P) PHOSPHORUS, 3% (K) POTASSIUM AND 1% (S) SULFUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUFACTURER'S REQUIREMENTS OF 5% (FERTIC) NITROGEN, 3% (P) PHOSPHORUS, 3% (K) POTASSIUM AND 1% (S) SULFUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUFACTURER'S REQUIREMENTS OF 5% (FERTIC) NITROGEN, 3% (P) PHOSPHORUS, 3% (K) POTASSIUM AND 1% (S) SULFUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUFACTURER'S REQUIREMENTS OF 5% (FERTIC) NITROGEN, 3% (P) PHOSPHORUS, 3% (K) POTASSIUM AND 1% (S) SULFUR.

FERTILIZER

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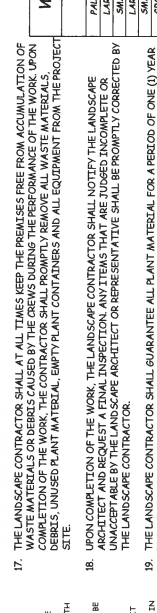
MULCH

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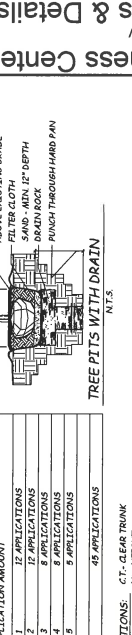


WATERING SCHEDULE

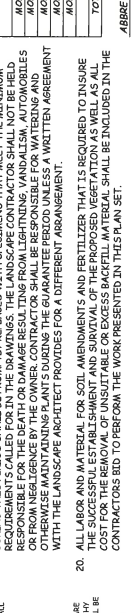
APPLICATION SCHEDULE	APPLICATION AMOUNT
PALM TREES	20 GAL/APPLICATION/PLANT
SMALL TREES	20 GAL/APPLICATION/PLANT
LARGE SHRUBS	10 GAL/APPLICATION/PLANT
GROUNDCOVER	5 GAL/APPLICATION/PLANT
MONTH 1	12 APPLICATIONS
MONTH 2	8 APPLICATIONS
MONTH 3	8 APPLICATIONS
MONTH 4	5 APPLICATIONS
MONTH 5	4 APPLICATIONS
TOTAL	45 APPLICATIONS



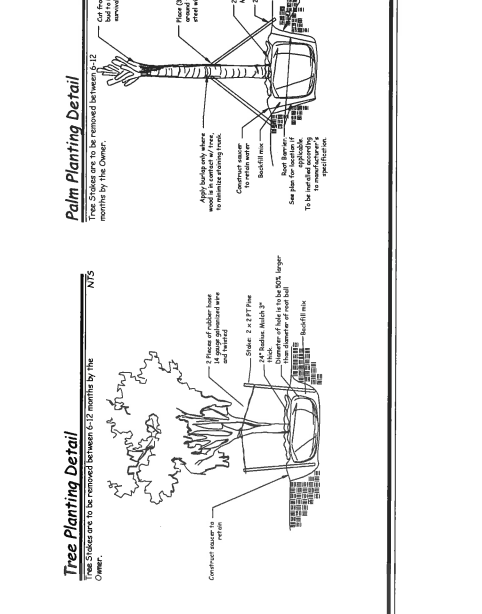
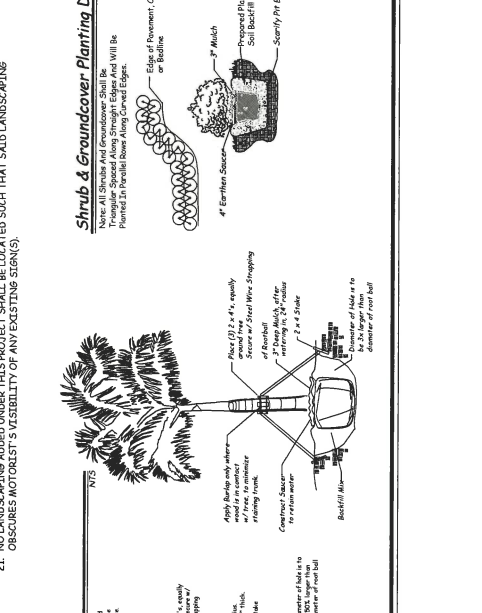
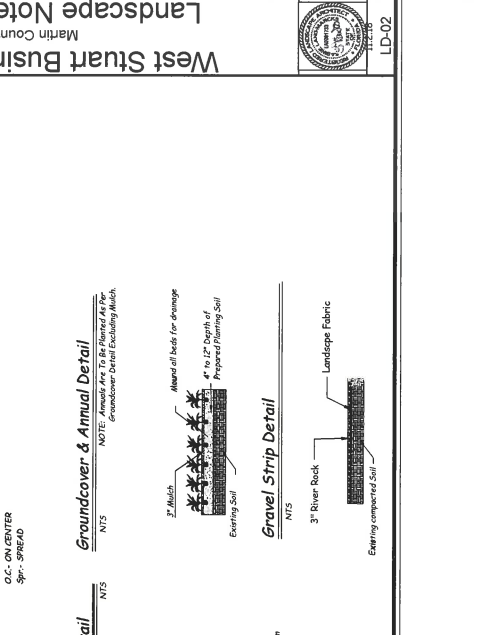
GROUNDCOVER & ANNUAL DETAIL



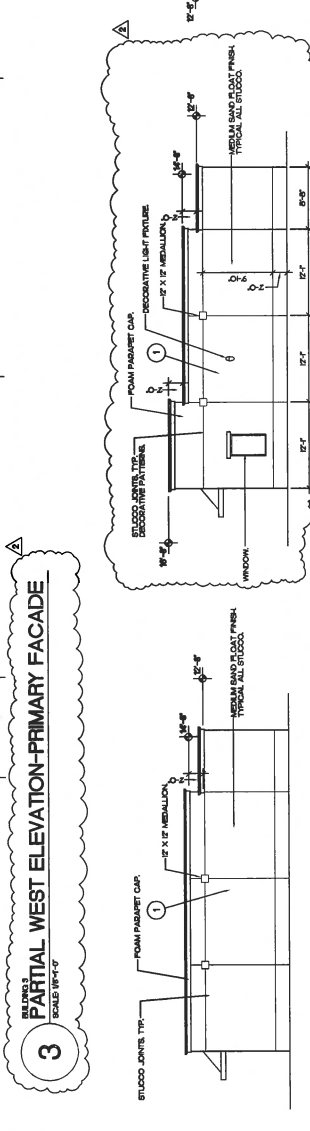
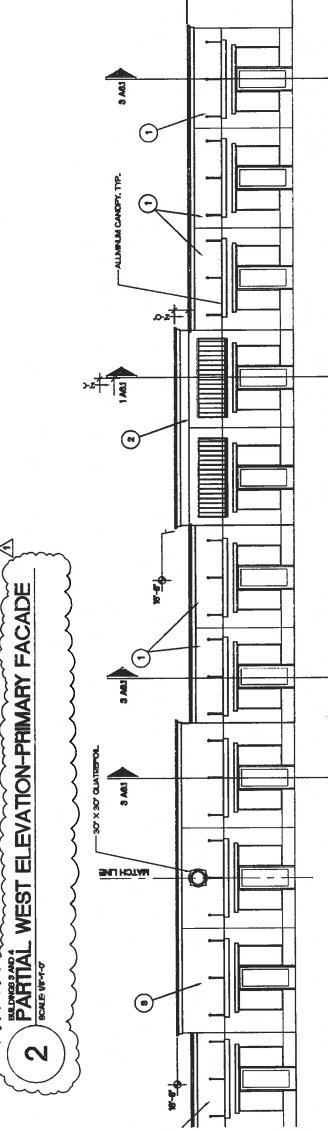
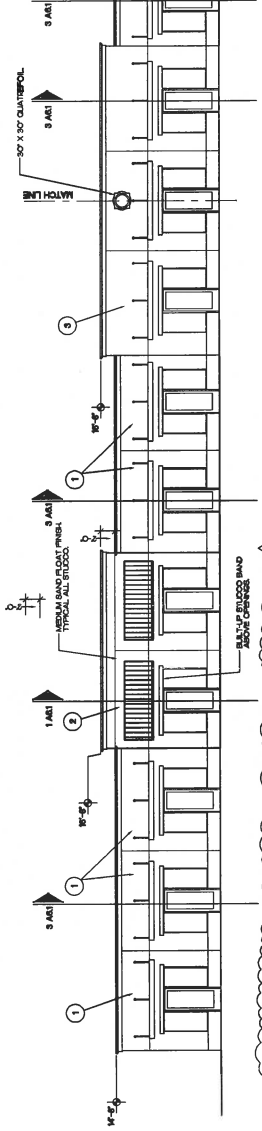
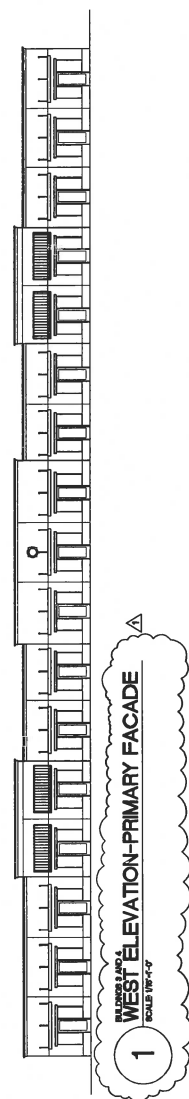
SHRUB & GROUNDCOVER PLANTING DETAIL



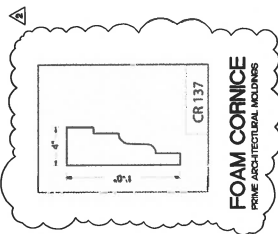
TREE PLANTING DETAIL



ARCHITECTURAL DESIGN REQUIREMENTS COMPLIANCE
 1. CANOPY HEIGHTS: A MINIMUM OF 6'.
 2. CANOPIES LOCATED OVER WINDOWS AND DOORS IN INCREMENTS OF 10' OR LESS.
 3. CANOPIES LOCATED OVER PATIOES AND PORCHES IN INCREMENTS OF 10' OR LESS.
 4. CANOPIES LOCATED OVER PATIOES AND PORCHES IN INCREMENTS OF 10' OR LESS.
 5. DECORATIVE LIGHT FIXTURES.
 6. MINIMUM OF TWO CHANGES IN HEIGHT OF THE PARAPETS AT A MINIMUM OF 2'.
 7. WINDOWS.



- PROPOSED COLORS**
 1. PPG0093 MESA BEIGE
 2. PPG0093 TUSCAN BEGG
 3. PPG0094 CRAFTSMAN GOLD
 4. CANOPY ROOFING-BLACK



West Stuart Business Center
 Section 43, Township 38S, Range 4E
 Math County, Florida

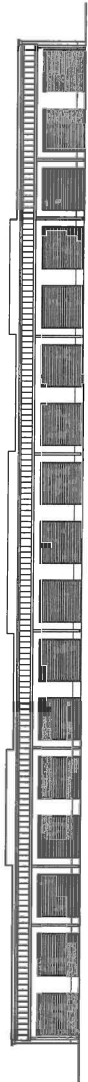
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PROJECT	Building 8 and 4 Exterior Elevations
SHEET NO.	8006



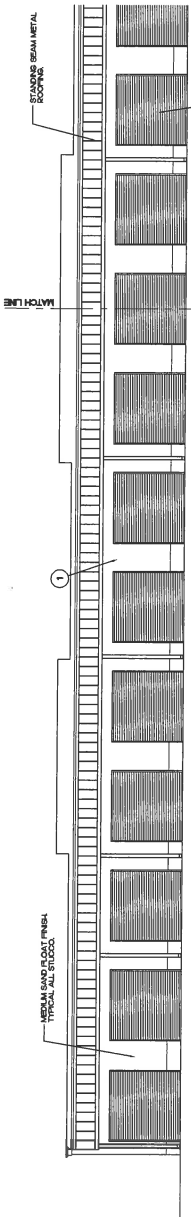
Marcel De Guaramond
Architecture LLC

1400 Melbourne Avenue
Jacksonville, Florida
(904) 728-8454

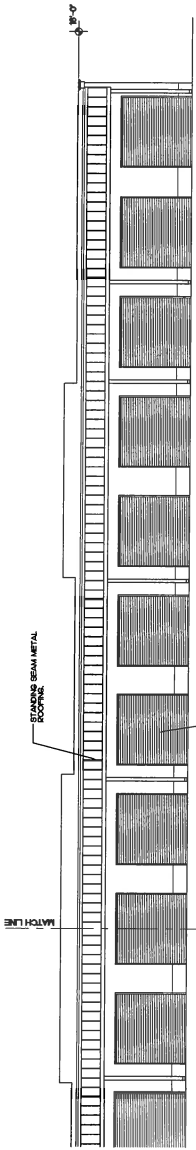
Corporate Member
Michael Reed
AIA 003312



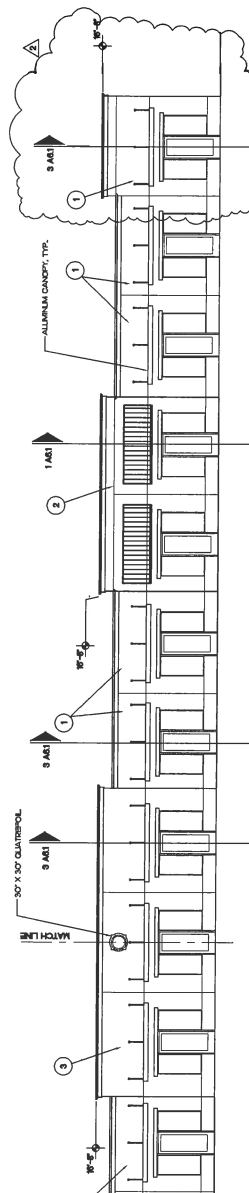
BUILDINGS 3 AND 4
EAST ELEVATION-SECONDARY FACADE
SCALE: 1/8"=1'-0"



BUILDINGS 3 AND 4
PARTIAL EAST ELEVATION-SECONDARY FACADE
SCALE: 1/8"=1'-0"



BUILDINGS 3 AND 4
PARTIAL EAST ELEVATION-SECONDARY FACADE
SCALE: 1/8"=1'-0"



BUILDINGS 3 AND 4
PARTIAL WEST ELEVATION-PRIMARY FACADE
SCALE: 1/8"=1'-0"

West Stuart Business Center
Section 43 Township 38S, Range 41E
Martin County, Florida

Revisions
1 1/20/18
2 3/26/18

Contract:
Buildings 3 and 4
Exterior Elevations

Drawn:
Date: 10/12/18
Proj. No.: 9006
Sheet No.: