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COUNTY EXHIBIT # 1

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On agenda: 12/17/2019

Final action:

Title: FIRST PUBLIC HEARING TO CONSIDER AN ORDINANCE ESTABLISHING DIVISION 4, OLD PALM CITY COMMUNITY REDEVELOPMENT CODE, IN ARTICLE 12, LDR, AND AMENDING THE ZONING ATLAS

Attachments: 1. [OPC.StaffRpt.LDRandZoningAtlas.pdf](#), 2. [Ordinance.OPC.pdf](#), 3. [Art.12 Div.4 OldPalmCity.pdf](#), 4. [Art.12 Div.1 2019-09-27.pdf](#), 5. [OPC.PublicComment.pdf](#), 6. [Public Notice.pdf](#)

History (0) Text

PLACEMENT: Public Hearings - Quasi-Judicial

TITLE:

FIRST PUBLIC HEARING TO CONSIDER AN ORDINANCE ESTABLISHING DIVISION 4, OLD PALM CITY COMMUNITY REDEVELOPMENT CODE, IN ARTICLE 12, LDR, AND AMENDING THE ZONING ATLAS

EXECUTIVE SUMMARY:

This is the first public hearing before the Board on a proposed ordinance to amend the Land Development Regulations (LDRs) to: (1) create Division 4, Old Palm City Community Redevelopment Code, of Article 12; (2) amend the Zoning Atlas to assign the Old Palm City Redevelopment Zoning District and other zoning districts for consistency with the Future Land Use Map; and (3) repeal Section 3.265, Old Palm City Community Redevelopment Area, LDR. The proposed amendment of the LDRs and Zoning Atlas is a companion to CPA 19-24, Old Palm City FLUM.

DEPARTMENT: Growth Management

PREPARED BY: Name: Irene A. Szedlmayer, AICP
Title: Senior Planner

FILED FOR RECORD
COMMISSION RECORDS
MARTIN COUNTY, FL
Date 12/17/19
CAROLYN TIMMANN
CLERK OF CIRCUIT COURT
By MKV D.C.

REQUESTED BY: Board of County Commissioners

PRESET:

PROCEDURES: Quasi-Judicial

BACKGROUND/RELATED STRATEGIC GOAL:

Between November 2017 and August 2018, the period when the Board considered and adopted “glitch bill” amendments to the zoning regulations for the CRAs, the Board recognized that more substantive changes were needed to facilitate infill development and redevelopment of socially and economically vibrant, environmentally-sustainable, compact, walkable neighborhoods in the Community Redevelopment Areas (CRAs).

In December 2017, the Board directed CPA 18-10, CRA Text Amendments, to strengthen Comprehensive Growth Management Plan goals, objectives and policies that encourage in-fill development and redevelopment in the CRAs, and in June 2018, the Board of County Commissioners approved a contract with the Treasure Coast Regional Planning Council to develop new Land Development Regulations for the CRAs.

The goal of the overall work program-amendment of the text of the Comprehensive Plan, amendment of the Land Development Regulations, amendment of the Future Land Use Map, and amendment of the Zoning Atlas--is to facilitate achievement of CGMP Goal 4.2 (“To alleviate the negative impacts of inadequate public facilities and services and substandard structures for affected areas in the County.”) and 4.3. (“To provide opportunities for mixed residential and nonresidential uses, including Traditional Neighborhood Development.”).

The staff report for CPA 19-24, Old Palm City FLUM, identifies dozens of public meetings and public hearings at which this overall work effort regarding Martin County’s CRAs has been reviewed and discussed and members of the public have had the opportunity to ask questions and to be heard. In addition to the public meetings and public hearings, the TCRPC interviewed more than 60 residents, business and property owners in the CRAs, members of the NACs and the CRA Board, members of the LPA, and individual County Commissioners. The proposed Division 4, Old Palm City Community Redevelopment Code, of Article 12 was the specific subject of presentations to the Old Palm City (OPC) Neighborhood Advisory Committee on August 19, 2019, October 21, 2019 and November 18, 2019. Article 12, Division 3 and the proposed amendments to Zoning Atlas were presented to the Community Redevelopment Agency on November 25, 2019.

Both the OPC NAC and the Board of the Community Redevelopment Agency voted to support adoption of the proposed Article 12, Division 4 and approval of the amendment of the Zoning Atlas.

This application will be presented to the Local Planning Agency (LPA) at a public hearing on December 5, 2019.

ISSUES:

The changes proposed involve a change to the permitted uses in zoning districts. Pursuant to Section 125.66 (4)(b), Florida Statutes (F.S.), the Board must consider the proposed

changes to the zoning code at two public hearings. The second public hearing must be held at least 10 days after the first public hearing; and after 5 PM unless a majority plus one of the Board agrees to hold the hearing before 5 PM.

Section 125.66 (4)(b), F.S. is set forth below:

“(b) In cases in which the proposed ordinance or resolution changes the actual list of permitted, conditional, or prohibited uses within a zoning category, or changes the actual zoning map designation of a parcel or parcels of land involving 10 contiguous acres or more, the board of county commissioners shall provide for public notice and hearings as follows:

1. The board of county commissioners shall hold two advertised public hearings on the proposed ordinance or resolution. At least one hearing shall be held after 5 p.m. on a weekday, unless the board of county commissioners, by a majority plus one vote, elects to conduct that hearing at another time of day. The first public hearing shall be held at least 7 days after the day that the first advertisement is published. The second hearing shall be held at least 10 days after the first hearing and shall be advertised at least 5 days prior to the public hearing.”

LEGAL SUFFICIENCY REVIEW:

This is a quasi-judicial matter because the ordinance includes a proposed amendment to the Zoning Atlas to assign the Old Palm City Redevelopment Zoning District and other zoning districts to the parcels within the Old Palm City Community Redevelopment Area. It involves the application of a policy to a specific site. Quasi-judicial proceedings must be conducted with more formality than a legislative proceeding. In quasi-judicial proceedings, parties are entitled - as a matter of due process- to cross examine witnesses, present evidence, demand that witnesses testify under oath, and demand a decision based on a correct application of the law and competent substantial evidence in the record.

RECOMMENDED ACTION:

RECOMMENDATION

1. Move that the Board receive and file the agenda item summary and all attachments including the staff report for the record as Exhibit 1.
2. Move that the Board consider the attached draft ordinance that (A) creates Division 4, Old Palm City Community Redevelopment Code, in Article 12 of the LDR; (B) amends the Zoning Atlas to assign the Old Palm City Redevelopment Zoning District and other zoning districts for consistency with the Future Land Use Map; and (C) repeals Section 3.265, Old Palm City Community Redevelopment Area, LDR.
3. Move that the Board schedule the second public hearing for February 18, 2020 prior to 5:00 PM in order to coincide with the hearing date for other related matters.

ALTERNATIVE RECOMMENDATIONS

Move that Board direct staff to make certain changes and bring the matter back to the Board at a future date certain.

FISCAL IMPACT:

RECOMMENDATION

Staff time.

Funding Source	County Funds	Non-County Funds
Subtotal		
Project Total		

ALTERNATIVE RECOMMENDATIONS

1. Staff time.

DOCUMENT(S) REQUIRING ACTION:

<input type="checkbox"/> Budget Transfer / Amendment <input type="checkbox"/> Chair Letter <input type="checkbox"/> Contract / Agreement <input type="checkbox"/> Grant / Application <input type="checkbox"/> Notice <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input type="checkbox"/> Other:
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MARTIN COUNTY, FLORIDA
Growth Management Department



**Amendment of the
Land Development Regulations
and
Amendment of the Zoning Atlas**

Project	Update of the Land Development Regulations for the CRAs
Staff	Irene A. Szedlmayer, AICP
Date of this Report	November 22, 2019

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A. Introduction

Normally, the adoption of an amendment to the Land Development Regulations (LDR) and the adoption of an amendment of the Zoning Atlas to re-zone a property are subjects of two separate staff reports, plus an ordinance and a resolution. This staff report, however, reviews both the proposed adoption of Division 4, Old Palm City Redevelopment Code, Article 12, LDR and the proposed amendment of the Zoning Atlas to assign the Old Palm City Redevelopment Zoning District.

Article 12, Redevelopment Code, LDR, became effective on November 7, 2019. Section 12.1.01.B, Adoption and modification of the Redevelopment Code, provides as follows:

“The adoption or modification of the Redevelopment Code and Redevelopment Zoning Districts and the assignment of land to a Redevelopment Zoning District and Subdistrict shall be by ordinance amending the [LDR]. When such ordinance assigns land to a Redevelopment Zoning District and Subdistrict, public notice shall be the same as for development applications and for amendments to the Martin County zoning atlas as set forth in Article 10.”

Therefore, the procedure for amendment of the LDR and amendment of the Zoning Atlas concerning Old Palm City has been modified. Rather than the adoption of an ordinance to amend the LDR and the adoption of a separate resolution to amend the Zoning Atlas, staff recommends the adoption of a single ordinance to amend both the LDR and the Zoning Atlas.

B. Background

The Land Development Regulations (LDRs) governing the Community Redevelopment Areas (CRA) were initially adopted between 2001 and 2006. Different consulting firms and different staff worked on different CRAs. The ordinances were codified as Article 3 of the LDRs, Zoning Districts, Division 6, Redevelopment Overlay Districts. There were significant deficiencies in those regulations regarding which standards were mandatory versus which were merely encouraged, and which provisions applied only in the zoning overlays and which applied throughout the CRA. These ambiguities in the text led to varying staff interpretations over time. Furthermore, while codified in Article 3, Zoning Districts, the regulations included provisions regarding streets, landscaping, and stormwater. Questions related to how provisions for landscaping and street design in the zoning code related to landscaping and street standards in Article 4, Site Development Standards, required difficult interpretations in the face of unclear text. Additionally, the regulations included inadequate attention to the existing neighborhoods in which they were to be implemented. The need to amend Article 3, Division 6 was recognized years ago, but in the face of constraints on staff time during boom times in land development and construction, and the magnitude of a task that was beyond staff's capacity, caused time to pass with no resolution.

In 2017 and 2018, staff was able to recommend "glitch bills" to the Board of County Commissioners. However, the glitch bills were limited in scope. The focus was to reduce ambiguity and inconsistency in the codes and clarify rules without significant substantive change. The need for more substantial amendments was acknowledged.

In June 2018, the Board of County Commissioners approved a contract between the Community Redevelopment Agency and the Treasure Coast Regional Planning Council to develop new Land Development Regulations for the CRAs. The Treasure Coast Regional Planning Council and its staff have substantial knowledge and expertise in the areas of urban design, town planning and redevelopment and a long history of providing such assistance to counties, towns and cities in the region.

Dana Little, Urban Design Director, TCRPC, and Jessica Cortor Seymour, RA, LEED AP, Regional Planner, TCRPC, have drafted proposed amendments of the LDRs for the CRAs. The TCRPC worked with the Office of Community Development, the Growth Management Department, the Public Works Department, William M. Spikowski, FAICP, Spikowski Planning Associates, and received further input from the Community Redevelopment Agency, the Old Palm City Neighborhood Advisory Committee and members of the public who participated.

Treasure Coast Regional Planning Council staff will present the proposed Article 12, Division 4 at the December 5, 2019 public hearing.

C. Article 12, Division 4, Old Palm City Community Redevelopment Code

A copy of the proposed Article 12, Redevelopment Code, Division 4, Old Palm City Community Redevelopment Code, is included in this agenda item. Article 12, Redevelopment Code, Division 1, General, was adopted on September 24, 2019 and became effective on November 8, 2019. Art. 12, Div. 1 will be applicable in all six Martin County CRAs. Because Division 4, Old Palm City Community Redevelopment Code, the subject of this agenda item, cannot be fully understood without reference to Division 1, Division 1 is also included in the agenda packet.

1. Because the goal for a vibrant, compact, walkable Old Palm City CRA has not substantially changed, the proposed LDR are intended to facilitate a built environment that is consistent with the vision established in the Old Palm City Community Redevelopment Plan, adopted in 2003 and revised in 2009.
2. Article 12, Division 4 establishes the Old Palm City (OPC) Redevelopment Zoning District and re-states the vision for the community. (Div. 4, page 1)
3. Division 4 includes the Regulatory Plan for OPC. The Regulatory Plan assigns different land areas to the zoning subdistricts. OPC will have five zoning subdistricts: Core, Corridor, Industrial, Multifamily, and Detached zoning subdistricts. (Div. 4, pages 2 & 3) The Regulating Plan is attached as Exhibit A of this staff report.

The Core zoning subdistrict is depicted in the rose color on the Regulating Plan and is assigned to land in the Mapp Road corridor and along Martin Downs Boulevard, generally land within the Town Center Zoning Overlay or the Gateway Zoning Overlay.

The Martin Highway corridor is assigned the Corridor (pale rose), Detached (tan), or Industrial (yellow) zoning subdistricts. The brown depicts the Multifamily subdistrict. The dark blue represents the Public Service District-1.

4. Division 4 also includes a Street Regulating Plan. The Street Regulating Plan designates primary streets, secondary street, and civic places. Primary Streets are most of Mapp Road and the portions of Martin Highway and Martin Downs Blvd. within the OPC. Secondary Streets are All American Blvd., Mapp Road, south of Martin Highway, 34th Street, 29th Street, a segment of 27th Street, Cornell Avenue, and Palm City School Avenue. Noted civic places are proposed pocket parks on the river and the Ripple Project. (Div. 4, page 4 and 5)
5. Permitted use groups and development standards vary by zoning subdistrict.
6. The permitted use groups for the Core, Corridor, Industrial, Multifamily, and Detached subdistricts remain consistent, though not identical, with the permitted uses in effect in OPC now. (Div. 4, page 7) Some changes to the permitted uses include these:
 - a. Individual uses with similar impacts are assembled into Use Groups in Art. 12, Div. 1.
 - b. Hotels and motels are grouped as one permitted use and allowed in the Core and Corridor subdistricts. Previously hotels were distinguished from motels, and hotels were permitted in all 3 Zoning Overlays, but motels were permitted only in the Gateway Zoning Overlay.
 - c. The Construction services, limited impact use group includes trades and skilled services and construction industry trades. It is permitted in the Core, Corridor and Industrial subdistrict. Construction services, extensive impact, permits outdoor storage of construction equipment, and is permitted only in the Industrial subdistrict.
 - d. Retail and services -extensive was added to Retail and services-limited and Retail and services-general. Retail and services-extensive impact, which includes flea markets, commercial kennels, plant nurseries and landscaping services, and other uses, is permitted only in the Industrial subdistrict.

7. The development standards for the Core, Corridor, Industrial, Multifamily, and Detached zoning subdistricts are set forth in Table OPC-5. (Div. 4, page 9). The development standards remain consistent, though not identical, with the development standards in effect now. Adjustments to the development standards include these:

- a. Maximum Building Height. Whereas the current maximum height in the Town Center Zoning Overlay is two stories and 28 feet, Division 4 will allow three stories and 40 feet in the Core zoning subdistrict. All other zoning subdistricts establish a maximum building height of three stories and 35 feet.
- b. Maximum building size and maximum building size per floor. The current code regulates building size as set forth below. Division 4 does not regulate building size.

	Gateway District- Martin Downs Blvd.	Town Center District- Mapp Road	Boulevard District – Martin Highway
Max. building size, gross floor area	18,000 sq. ft.	22,000 sq. ft.	50,000 sq. ft.
Max. gross floor area, per floor	6,000 sq. ft.	11,000 sq. ft.	none

- a. The 20 percent minimum open space standard applicable in the Core, Corridor and Industrial subdistricts is the same standard applicable to a mixed-use project in the Mixed-Use Future Land Use Overlay or conventional development on land with the General Commercial or Industrial future land use designation. A minimum of 30% open space is required in the Multifamily and Detached zoning subdistricts, consistent with the R-2B and R-1A zoning districts.
- b. Residential Density and Minimum Lot Area.
 - (1) The maximum residential density in the Core and Corridor subdistricts is 15 dwelling units per acre, the same maximum density as currently applicable to mixed-use projects in the Mixed-Use Overlay.
 - (2) The maximum residential density in the Multifamily zoning subdistrict is 10 dwelling units per acre. The Multifamily subdistrict is designated to two small segments of SW 27th Street, to an area where there is currently substantial multifamily development, and to the area that now has the Medium Density future land use designation.
 - (3) The current code requires a minimum lot width of 50 feet for detached single-family residential dwellings and a minimum lot width of 16 feet for a townhouse. There is no minimum lot area. The typical existing residential lot in the Old Palm City CRA measures 50 ft. by 150 ft. or 7,500 sq. ft.
 - (4) In the Detached zoning subdistrict, the proposed density is one dwelling unit per lot. Minimum lot width is 50 feet. In the Multifamily subdistrict, the proposed minimum lot width is 25-feet. In order to accommodate the varied depths of the platted lots of record, no minimum lot area is established.

D. Amendment of the Zoning Atlas

1. Application Information

Applicant: Martin County Board of County Commissioners

Represented By: Susan Kores, Manager, Office of Community Development

Property Owners:	Multiple
Planner in charge:	Irene A. Szedlmayer, AICP
Growth Management Director:	Nicki van Vonno, AICP
Project Number:	CPA 19-23
Application Received:	03/26/2019
LPA Meeting Date:	12/05/2019
BCC Meeting Date:	12/17/2019
BCC Meeting Date	February 2020

2. Project description and analysis

a) Introduction

This application involves the Old Palm City Community Redevelopment Area (CRA) which measures approximately 610 acres (including 50+ acres of right-of-way). Old Palm City is a waterfront community, bordered on the east by the South Fork of the St. Lucie River. The lots on or near the water between Martin Highway and Martin Downs Boulevard were created in 1912 with the recording of the "Map of Palm City." In 1916, the amended plat of Palm City extended west to what is now Mapp Road. See Figure 1.

Currently, 17 different zoning districts are assigned to Old Palm City's 610 acres:

1. R-1A (Single-family Residential)
2. R-2B (Single-family Residential)
3. RS-4 (Low Density Residential District)
4. R-3A (Liberal Multiple-family)
5. RM-5 (Medium Density Residential)
6. HB-1 (Limited Business District)
7. B-1 (Business)
8. B-2 (Business -Wholesale Business)
9. COR-1 (Commercial Office/Residential-1)
10. LC (Limited Commercial)
11. CC (Community Commercial)
12. GC (General Commercial)
13. PUD-C (Planned Unit Development-Commercial)

Figure 1. Location Map



- 14. LI (Limited Industrial)
- 15. PS (Public Service)
- 16. PS-2 (Public Service)
- 17. PR (Public Recreation District)

Additionally, Old Palm City CRA has three separate zoning overlay districts:

- 1. Gateway Zoning Overlay (Martin Downs Boulevard)
- 2. Town Center Zoning Overlay (Mapp Road)
- 3. Boulevard Zoning Overlay (Martin Highway)

See Figures 2 and 3.

The request is to amend the Martin County Zoning Atlas to replace 15 of 17 zoning districts with the Old Palm City Redevelopment Zoning District, to eliminate the three zoning overlay districts, and to assign the Public Service District to several properties owned by Martin County for consistency with the proposed amendments to the Future Land Use Map. Two PUD zoning districts will remain in place as will the PS Public Servicing District. These zoning districts are not affected by the proposed amendment of the Zoning Atlas. See Figure 4.

Figure 2. Current Zoning Atlas for Old Palm City CRA



Figure 3. CRA Zoning Overlay Districts



The permitted uses and development standards for the Old Palm City Redevelopment Zoning District are set forth in Article 12, Redevelopment Code, Division 1, General, and Division 4, Old Palm City Community Redevelopment Code, LDR. As explained in the first part of this report, permitted uses and development standards vary depending on the zoning subdistrict. The zoning subdistricts for the Old Palm City CRA are established by Division 4 of Article 12. The location of the zoning subdistricts is shown on the Regulating Plan, which is also established in Division 4 of Article 12. Five zoning subdistricts are proposed for the Old Palm City CRA: Core, Corridor, Industrial, Multifamily, and Detached-1.

Figure 4. Proposed Zoning Atlas for the Old Palm City CRA

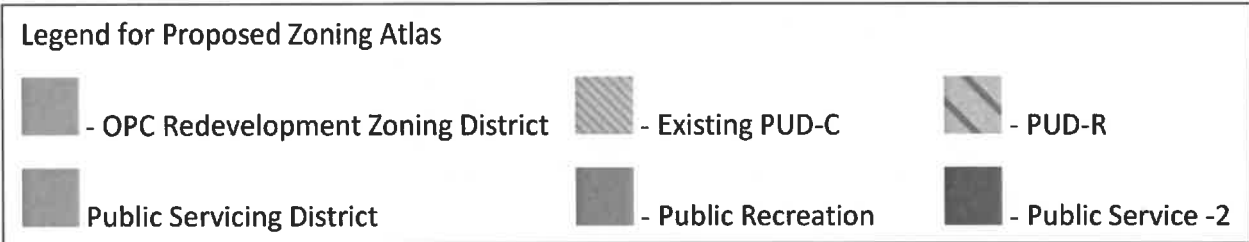
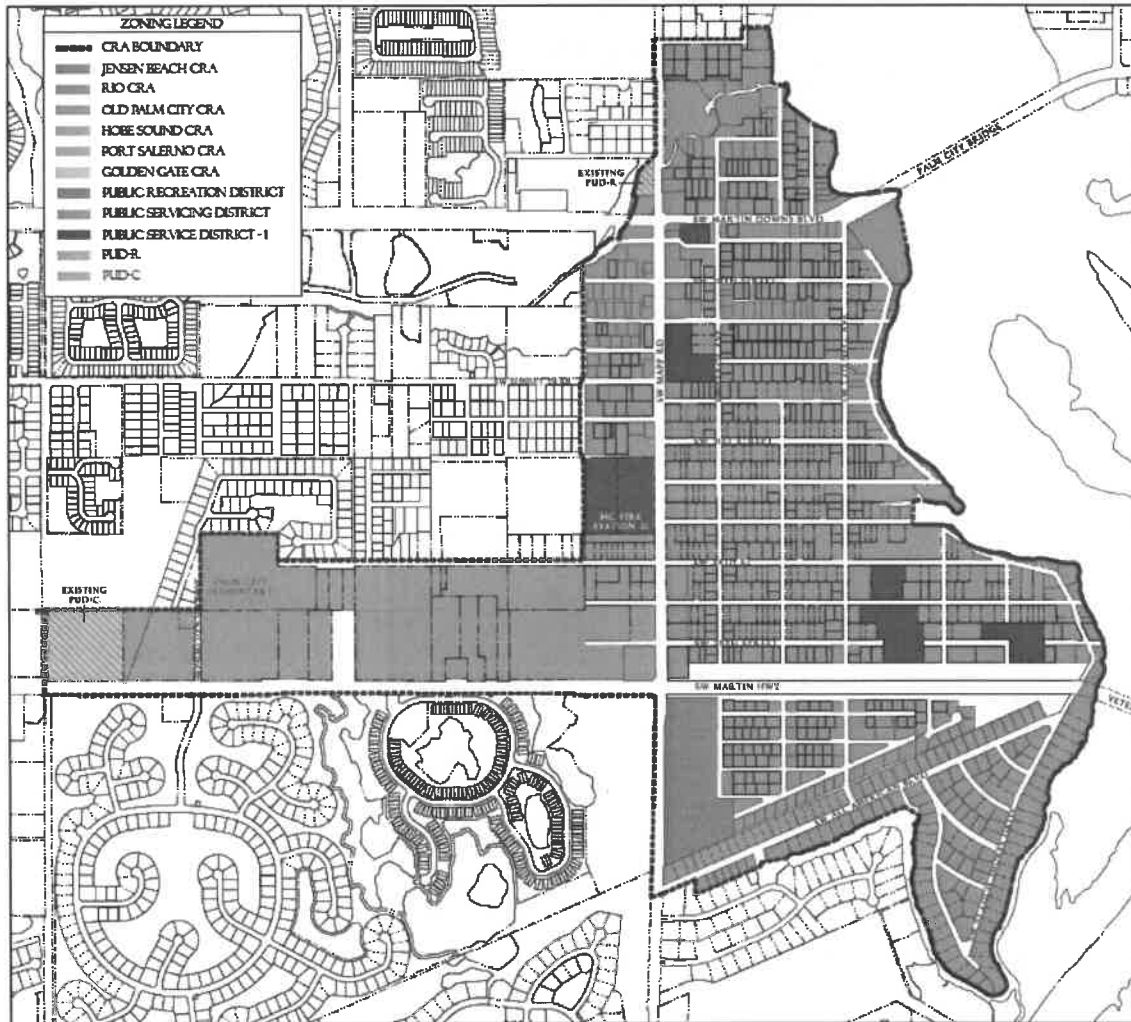
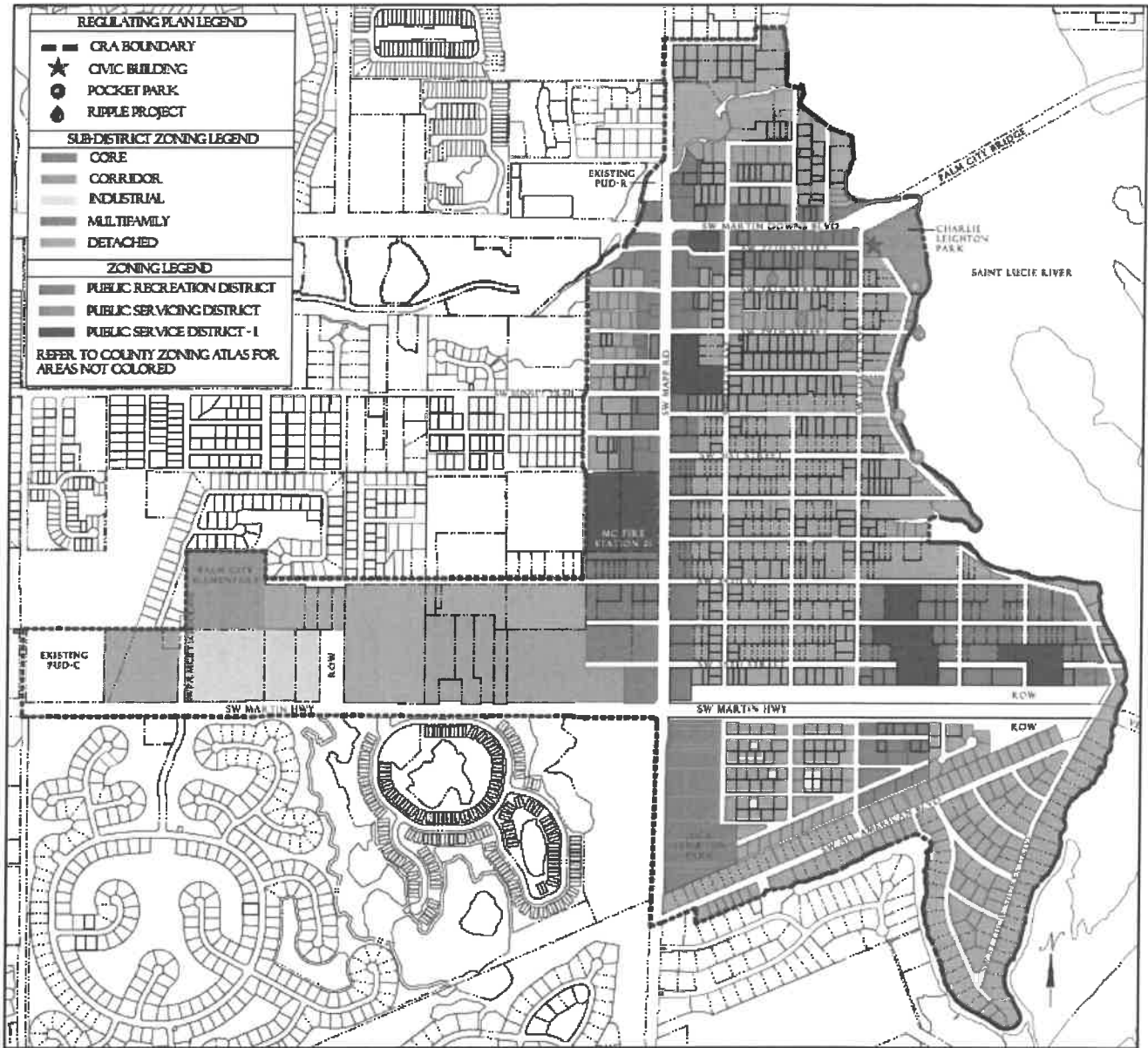
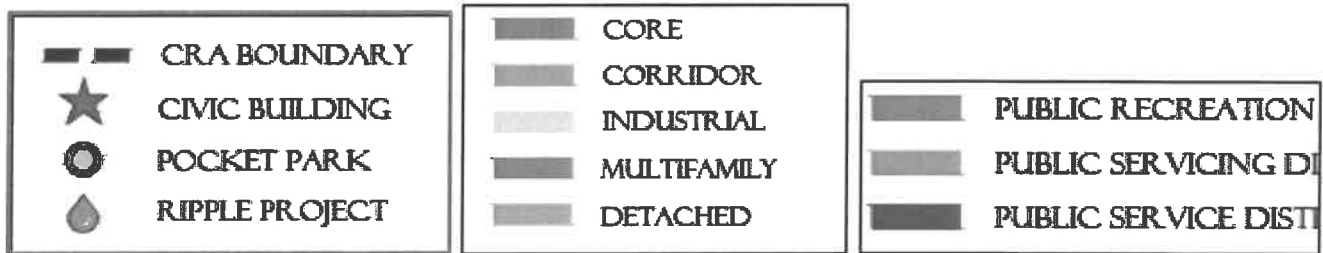


Figure 5. Proposed Old Palm City Regulating Plan



Enlarged Legend for Figure 5:



b) Description of the Old Palm City Subdistricts

The Old Palm City Redevelopment Zoning District will have five subdistricts. The subdistricts are described in Article 12, Division 1 as follows:

CORE: The Core subdistrict is a pedestrian-oriented center for surrounding neighborhoods and the entire CRA. These are centers of dining, shopping, housing, and entertainment, with shaded sidewalks, large windows, intimate pedestrian spaces, outdoor dining, and richly detailed building facades. A broad mix of uses is encouraged in the Core subdistrict.

CORRIDOR: The Corridor subdistrict is intended to extend the pedestrian-oriented building types, frontages and streetscapes along a major roadway.

INDUSTRIAL: The Industrial subdistrict identifies areas where industrial uses are permitted and encouraged.

MULTIFAMILY: The Multifamily subdistrict allows for denser and more varied residential buildings.

DETACHED: The Detached subdistrict is predominately single family homes with front yards and walkable sidewalks. (Detached-1 and Detached-2 differ regarding minimum lot area and open space.)

c. Adjacent Zoning Districts (See Figure 2 on page 7)

Adjacent zoning districts are entirely residential or institutional. Several residential PUDs are located to the south and west of the Old Palm City CRA. The permitted uses and development standards for the zoning subdistricts proposed for the Old Palm City CRA are consistent with the permitted uses and development standards currently applicable. Therefore, the proposed Old Palm City Redevelopment Zoning District and zoning subdistricts are compatible with the zoning adjacent to the Old Palm City CRA. The proposed Old Palm City Redevelopment Zoning District and subdistricts should have no negative impact on nearby zoning districts. Nor should these nearby zoning districts negatively impact the proposed Old Palm City Redevelopment Zoning District.

3. *Standards for Amendments to the Zoning Atlas*

The Martin County Land Development Regulations (LDR), Article 3, Section 3.2.E.1. provides the following “Standards for amendments to the Zoning Atlas.”

“The Future Land Use Map of the CGMP [Comprehensive Growth Management Plan] establishes the optimum overall distribution of land uses. The CGMP also establishes a series of land use categories, which provide, among other things, overall density and intensity limits. The Future Land Use Map shall not be construed to mean that every parcel is guaranteed the maximum density and intensity possible pursuant to the CGMP and these Land Development Regulations. All goals, objectives, and policies of the CGMP shall be considered when a proposed rezoning is considered. The County shall have the discretion to decide that the development allowed on any given parcel of land shall be more

limited than the maximum allowable under the assigned Future Land Use Category; provided, however, that the County shall approve some development that is consistent with the CGMP, and the decision is fairly debatable or is supported by substantial, competent evidence depending on the fundamental nature of the proceeding. If upon reviewing a proposed rezoning request the County determines that the Future Land Use designation of the CGMP is inappropriate, the County may deny such rezoning request and initiate an appropriate amendment to the CGMP.”

Pursuant to Section 3.2.E.2., LDR, the following factors must be considered:

- a. *Whether the proposed zoning amendment is consistent with all applicable provisions of the Comprehensive Plan.*

The Old Palm City Redevelopment Zoning District and the Core, Corridor, Detached-1, and Industrial zoning subdistricts are consistent with all applicable provisions of the Comprehensive Plan, as is the Public Service District -1, proposed to be assigned to several County-owned properties.

- b. *Whether the proposed zoning amendment is consistent with all applicable provisions of the LDR.*

Any development proposal, pursuant to the Old Palm City Redevelopment Zoning District, will be required to comply with all applicable LDRs including uses, density, set-backs, height, open-space, wetlands, uplands, landscaping, stormwater, etc. The Old Palm City Redevelopment Zoning District and Core, Corridor, Detached-1, and Industrial zoning subdistricts are consistent with all applicable provisions of the Land Development Regulations.

- c. *Whether the proposed district amendment is compatible with the character of the existing land uses in the adjacent and surrounding area and the peculiar suitability of the property for the proposed zoning use.*

The Old Palm City Redevelopment Zoning Code was developed expressly for the land to which it will apply—the Old Palm City CRA. It is compatible with the existing land uses within the Old Palm City CRA as well as those in adjacent and surrounding areas. The PS-1 (Public Service District -1, proposed to be assigned to several County-owned properties, is intended to implement CGMP policies for lands designated Institutional-General on the Future Land Use Map. PS-1 is designed to minimize the potential for negative impacts on surrounding properties. It is appropriate for the Fire Station and stormwater treatment area sites.

- d. *Whether and to what extent there are documented changed conditions in the area.*

The analysis required for this section is similar to the analysis required pursuant to CGMP Section 1.11.C.(1) when considering the proposed amendment to the Future Land Use Map. The amendment of the Zoning Atlas will not substantially change the land uses or intensity of development permitted. Rather, the intent is to modify the regulatory framework in order to simplify interpretation and implementation for

property owners, developers and County staff and provide greater flexibility regarding permitted uses. The intent is to realize more efficiently and effectively the longstanding vision for the CRAs as represented in the Redevelopment Plans adopted in the late 1990s and early 2000s. Therefore, whether or not there are documented changed conditions in the area does may not be a pertinent factor. Because the Old Palm City CRA is identified as an area in need of redevelopment, the lack of substantial change may offer support for the proposed new zoning.

The PS-1 Zoning District is proposed for land acquired by the County for public service purposes. The PS-1 district is more appropriate than the currently assigned residential and commercial zoning districts and the proposed Old Palm City Redevelopment Zoning District and subdistricts.

- e. Whether and to what extent the proposed amendment would result in demands on public facilities.*

The land subject to the re-zoning is located within the Primary Urban Service District. Therefore, pursuant to CGMP Objective 4.7A., the full range of public facilities and services at the adopted Level of Service are to be provided or programmed to be provided. The maximum residential density allowed within the proposed Core and Corridor subdistricts is the same as that permitted pursuant to the current Old Palm City Mixed-Use Future Land Use Overlay and the land area included within these subdistricts is mostly the same land as is located within the Mixed-Use Future Land Use Overlay. Therefore, the amendment of the Zoning Atlas will not create demand on public facilities that is not anticipated by the current zoning. When a proposed site plan is reviewed, Comprehensive Plan policies and the LDR ensure that present or planned public facilities and services are capable of meeting and maintaining the adopted LOS. Additionally, the County Impact Fee program is designed to mitigate such impacts and ensure development pays for itself.

- f. Whether and to what extent the proposed amendment would result in a logical, timely and orderly development pattern which conserves the value of existing development and is an appropriate use of the County's resources.*

The proposed Old Palm City Redevelopment zoning district is designed to encourage infill development and redevelopment and such infill development and redevelopment would be logical, timely and orderly, would conserve or improve the value of existing development, and is an appropriate use of County resources. Additionally, by providing for residential development within the CRA, it may be possible to help extend the life of the boundary of the Primary Urban Service District.

- g. Consideration of the facts presented at the public hearings.*

Whatever facts are presented at the public hearing on this proposed amendment of the Zoning Atlas should be taken into account in the decision-making. The hearing provides the public an opportunity to participate in the review and decision-making process.

4. Staff Review

The rezoning process does not include review of a site plan. Therefore, departments related to site plan review are not included in this rezoning staff report. The current review is as follows:

Division or Department	Reviewer	Phone	Assessment
Comprehensive Plan	Irene Szedlmayer	288-5931	Comply
County Attorney	Krista Storey	288-5443	Review Ongoing
Adequate Public Facilities	Irene Szedlmayer	288-5931	Exempt

The choice of the most appropriate zoning district for the subject property is a policy decision the Local Planning Agency (LPA) and the Board of County Commissioners (BCC) are asked to consider based on the “standards for amendments to the zoning atlas” provided in Section 3.2 E.2., Land Development Regulations, Martin County Code.

5. Review Board Action

The review and recommendation of the LPA are required on this application. Final action is by the BCC. Both the LPA and the BCC meetings are advertised public hearings.

6. Location and Site Information

Location: Located on the western shore of the South Fork of the St. Lucie River, in the vicinity of Martin Highway and Martin Downs Boulevard.

Parcel numbers: numerous

Existing zoning: 17 different zoning districts and 3 zoning overlays. See pages 4 through 6 of this report.

Future Land Use: This amendment of the Zoning Atlas is proposed concurrently with the amendment of the Future Land Use Map. The Low Density Residential, Medium Density Residential, Commercial Office/Residential, Limited Commercial, General Commercial and General Institutional future land use designations are proposed to be changed to the CRA Center, CRA Neighborhood. Public Conservation, Recreational or General Institutional future land use designations. Additionally, the repeal of the Old Palm City Mixed-Use Future Land Use Overlay is proposed.

Commission District: 5

Community Redevelopment Area: Old Palm City CRA

Municipal Service Taxing Unit: District 5 MSTU

Planning Area: Palm City

7. Determination of compliance with the Comprehensive Growth Management Plan

Findings of Compliance:

The staff of the Growth Management Department Comprehensive Planning Division has reviewed the application and finds it in compliance with applicable Goals, Policies and Objectives. There are no unresolved Comprehensive Growth Management Plan issues associated with this application.

8. Determination of compliance with land use, site design standards, zoning, and procedural requirements

Findings of Compliance:

The staff of the Growth Management Department Comprehensive Planning Division has reviewed the application and finds it in compliance with the applicable regulations. There are no unresolved issues associated with this application. Changes to the zoning atlas authorize no development activity. Any specific department issues will be addressed at such time as development of the subject site is proposed.

E. Recommendation

Staff recommends adoption of the proposed ordinance to:

- (1) establish Division 4, Old Palm City Community Redevelopment Code, of Article 12, Martin County LDR,
- (2) repeal Section 3.265, Article 3, Old Palm City Community Redevelopment Area, Martin County LDR, and
- (3) amend the Zoning Atlas to assign the Old Palm City Redevelopment Zoning District and other districts for consistency with the Future Land Use Map.

F. Attachments

Article 12, Redevelopment Code, Division 4, Old Palm City Community Redevelopment Code
Article 12, Redevelopment Code, Division 1, General
Public Notification

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**BEFORE THE BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA**

ORDINANCE NUMBER

AN ORDINANCE OF MARTIN COUNTY, FLORIDA, CREATING DIVISION 4, OLD PALM CITY COMMUNITY REDEVELOPMENT CODE OF ARTICLE 12, LAND DEVELOPMENT REGULATIONS, MARTIN COUNTY CODE; REPEALING SECTION 3.265, OLD PALM CITY COMMUNITY REDEVELOPMENT AREA; AMENDING THE ZONING ATLAS TO ASSIGN THE OLD PALM CITY REDEVELOPMENT ZONING DISTRICT AND OTHER DISTRICTS FOR CONSISTENCY WITH FUTURE LAND USE MAP; PROVIDING FOR APPLICABILITY, CONFLICTING PROVISIONS, SEVERABILITY, FILING WITH THE DEPARTMENT OF STATE, CODIFICATION, AND AN EFFECTIVE DATE.

WHEREAS, the Board of County Commissioners (BCC) has adopted the Martin County Comprehensive Growth Management Plan within which are included goals, objectives, and policies related to zoning and land development; and

WHEREAS, on September 10, 2019, the Board of County Commissioners adopted a new chapter of the Comprehensive Growth Management Plan, Chapter 18, Community Redevelopment Element; and

WHEREAS, Chapter 163, Part II, Florida Statutes, requires the implementation of the goals, objectives and policies of a comprehensive plan through the adoption of consistent land development regulations; and

WHEREAS, creation of Article 12, Redevelopment Code, Land Development Regulations has been proposed to implement Chapter 18 of the Comprehensive Growth Management Plan; and

WHEREAS, Article 12, Redevelopment Code, Division 1, General, Land Development Regulations, was adopted by the Board of County Commissioners on September 24, 2019; and

WHEREAS, on December 5, 2019, the Local Planning Agency held public hearings on the proposed adoption of Article 12, Division 4, Old Palm City Community Redevelopment Code, and the proposed amendment of the Zoning Atlas regarding the Old Palm City Community Redevelopment Area; and

WHEREAS, on December 17, 2019, the Board of County Commissioners held a public hearing on the proposed amendment of the Land Development Regulations to create Article 12, Division 4, Old Palm City Community Redevelopment Code, and the proposed amendment of the Zoning Atlas regarding the Old Palm City Community Redevelopment Area; and

WHEREAS, on February 18, 2020, the Board of County Commissioners held a second public hearing on the proposed amendment of the Land Development Regulations to create Article 12, Division 4, Old Palm City Community Redevelopment Code, and the proposed amendment of the Zoning Atlas regarding the Old Palm City Community Redevelopment Area; and

WHEREAS, the Local Planning Agency and the Board of County Commissioners have provided for full public participation in the review of the proposed amendments of the Land Development Regulations and the Zoning Atlas; and

WHEREAS, the Board of County Commissioners finds the proposed amendments consistent with the goals, objectives and policies of the Comprehensive Growth Management Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS, MARTIN COUNTY, FLORIDA, THAT:

PART I: ADOPTION OF DIVISION 4, OLD PALM CITY COMMUNITY REDEVELOPMENT CODE, ARTICLE 12, REDEVELOPMENT, LAND DEVELOPMENT REGULATIONS, MARTIN COUNTY CODE

Division 4, Old Palm City Community Redevelopment Code, of Article 12, Redevelopment, Land Development Regulations, Martin County Code, attached hereto as Exhibit A, is hereby adopted.

PART II. REPEAL OF SECTION 3.265, OLD PALM CITY COMMUNITY REDEVELOPMENT AREA, ARTICLE 3, DIVISION 6, REDEVELOPMENT OVERLAY DISTRICTS, LAND DEVELOPMENT REGULATIONS, MARTIN COUNTY CODE

The entirety of Section 3.265, Rio Community Redevelopment Area, Land Development Regulations, Martin County Code, is hereby repealed.

PART III. AMENDMENT OF MARTIN COUNTY ZONING ATLAS

A. The Zoning Atlas is hereby amended to change the zoning districts on approximately ___ acres of the 610 acres comprising the Old Palm City CRA, as illustrated in Exhibit B attached hereto. The amendment changes the R-1A Single-family Residential, R-2B Single-family Residential, R-4 Multiple-Family Residential, R-3A Liberal Multiple-Family, RM-5 Medium Density Residential, HB-1 Limited Business, B-1 Business, B-2 Business-Wholesale

Business, COR-1 Commercial Office/Residential-1, LC Limited Commercial, CC Community Commercial, GC General Commercial, and LI Limited Industrial zoning districts, to the Old Palm City Redevelopment Zoning District. The amendments eliminate the Gateway, Town Center and Boulevard Zoning Overlay Districts. Finally, the amendments assign the PS-1 Public Service-1 District to several publicly-owned parcels for consistency with the Future Land Use Map and assign the PUD-R zoning district to correct a scrivener's error.

B. Pursuant to Section 5.32.B.3.f., Land Development Regulations, Martin County Code, this rezoning action is hereby determined to meet the requirements for a Certificate of Public Facilities Exemption.

C. Pursuant to Section 14.1C.5.(2), Comprehensive Growth Management Plan, Martin County Code, regarding preliminary development approvals, the land that is the subject of this amendment of the Zoning Atlas is subject to a determination of level of service capacity at final site plan approval and no rights to obtain final development orders, nor any other rights to develop the subject property have been granted or implied by this Board.

PART IV. CONFLICTING PROVISIONS.

Special acts of the Florida Legislature applicable only to unincorporated areas of Martin County, County ordinances and County resolutions, or parts hereof, in conflict with this ordinance are hereby superseded by this ordinance to the extent of such conflict except for ordinances concerning the adoption or amendment of the Martin County Comprehensive Plan.

PART V. SEVERABILITY.

If any portion of this ordinance is for any reason held or declared to be unconstitutional, inoperative or void by a court of competent jurisdiction, such holding shall not affect the remaining portions of this ordinance. If the ordinance or any provision thereof shall be held to be inapplicable to any person, property or circumstance by a court of competent jurisdiction, such holding shall not affect its applicability to any other person, property or circumstance.

PART VI. APPLICABILITY OF ORDINANCE.

This Ordinance shall be applicable throughout the unincorporated area of Martin County.

PART VII. FILING WITH DEPARTMENT OF STATE.

The Clerk be and hereby is directed forthwith to scan this ordinance in accordance with Rule 1B-26.003, Florida Administrative Code, and file same with the Florida Department of State via electronic transmission.

PART VIII: CODIFICATION.

Provisions of this ordinance shall be incorporated into the Martin County Land Development Regulations. The word "ordinance" may be changed to "article," "section," or other word, and the sections of this ordinance may be renumbered or re-lettered.

PART IX. EFFECTIVE DATE.

The effective date of this ordinance, if Comprehensive Plan Amendment CPA 19-24, Old Palm City FLUM, is not timely challenged, shall be 31 days after the state land planning agency notifies the local government that the plan amendment package is complete. If CPA 19-24, Old Palm City FLUM, is timely challenged, this amendment shall become effective on the date the state land planning agency or the Administration Commission enters a final order determining this adopted amendment to be in compliance. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective. If a final order of noncompliance is issued by the Administration Commission, this amendment may nevertheless be made effective by adoption of an ordinance affirming its effective status, a copy of which resolution shall be sent to the state land planning agency.

DULY PASSED AND ADOPTED THIS _____th DAY OF FEBRUARY, 2020.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA**

**BY: _____
CAROLYN TIMMANN
CLERK OF THE CIRCUIT COURT
AND COMPTROLLER**

**BY: _____
, CHAIRMAN**

**APPROVED AS TO FORM AND LEGAL
SUFFICIENCY**

**BY: _____
KRISTA A. STOREY
SENIOR ASSISTANT COUNTY ATTORNEY**

Exhibit A

Article 12, Division 4, Old Palm City Community Redevelopment Code

DRAFT

Exhibit B

Legal description of the Old Palm City Redevelopment Zoning District

DRAFT



Division 4, Article 12
Old Palm City Community Redevelopment Code

Section 12.4.01. Purpose.

1. Old Palm City is an intimate, interconnected community that exhibits a traditional small town setting that forms the foundation for a pleasant, quality living environment. Schools, small shops and neighborhood serving businesses, parks and the St. Lucie River are within easy walking distance of residents within the community. This division is intended to:
 - a. Improve Old Palm City as a desirable place to live, and conduct business.
 - b. Strengthen Old Palm City’s character and economic well-being through both public and private redevelopment initiatives.
 - c. Promote and accomplish the goals, objectives, and policies of the Martin County Comprehensive Growth Management Plan and achieve the vision for Old Palm City as set forth in its Community Redevelopment Plan.
2. **Old Palm City Redevelopment Zoning District.** This Article 12, Division 4 of the Martin County Land Development Regulations establishes the Old Palm City Redevelopment Zoning District and the permitted uses and development standards applicable therein.
3. **Organization.** How this Division is organized:

Section 12.4.01	Purpose
Section 12.4.02	Regulating Plan
Section 12.4.03	Permitted Uses
Section 12.4.04	Development Standards
Section 12.4.05	Building Type & Frontage Type Standards
Section 12.4.06	Street Standards
Section 12.4.07	Parking Standards
Section 12.4.08	Stormwater Standards
Section 12.4.09	Landscape Standards
Section 12.4.10	Wall & Fence Standards
Section 12.4.11	Sign Standards
Section 12.4.12	Architectural Standards



Regulating Plan

12.4.02

Section 12.4.02. Regulating plan. Figures OPC-2 and OPC-3 are the Regulating Plans that apply to the Old Palm City Redevelopment Zoning District. Section 12.1.02 describes the purpose and content of Regulating Plans.

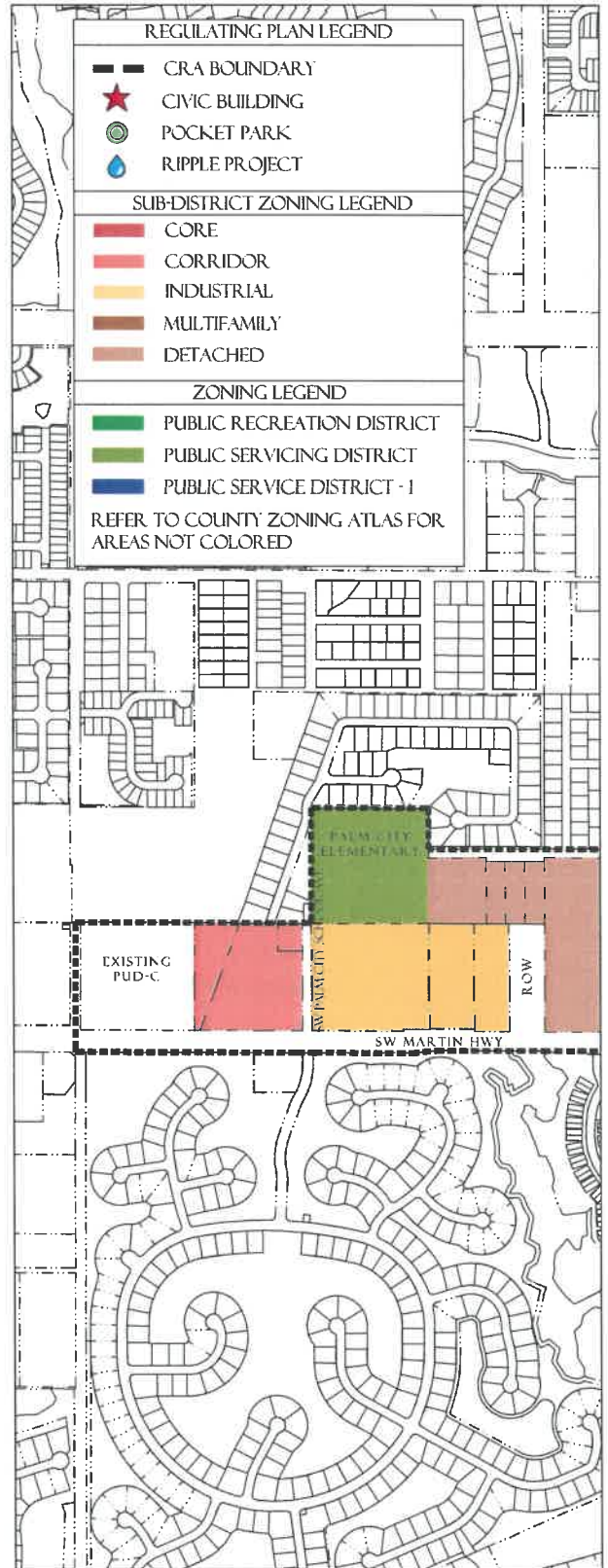
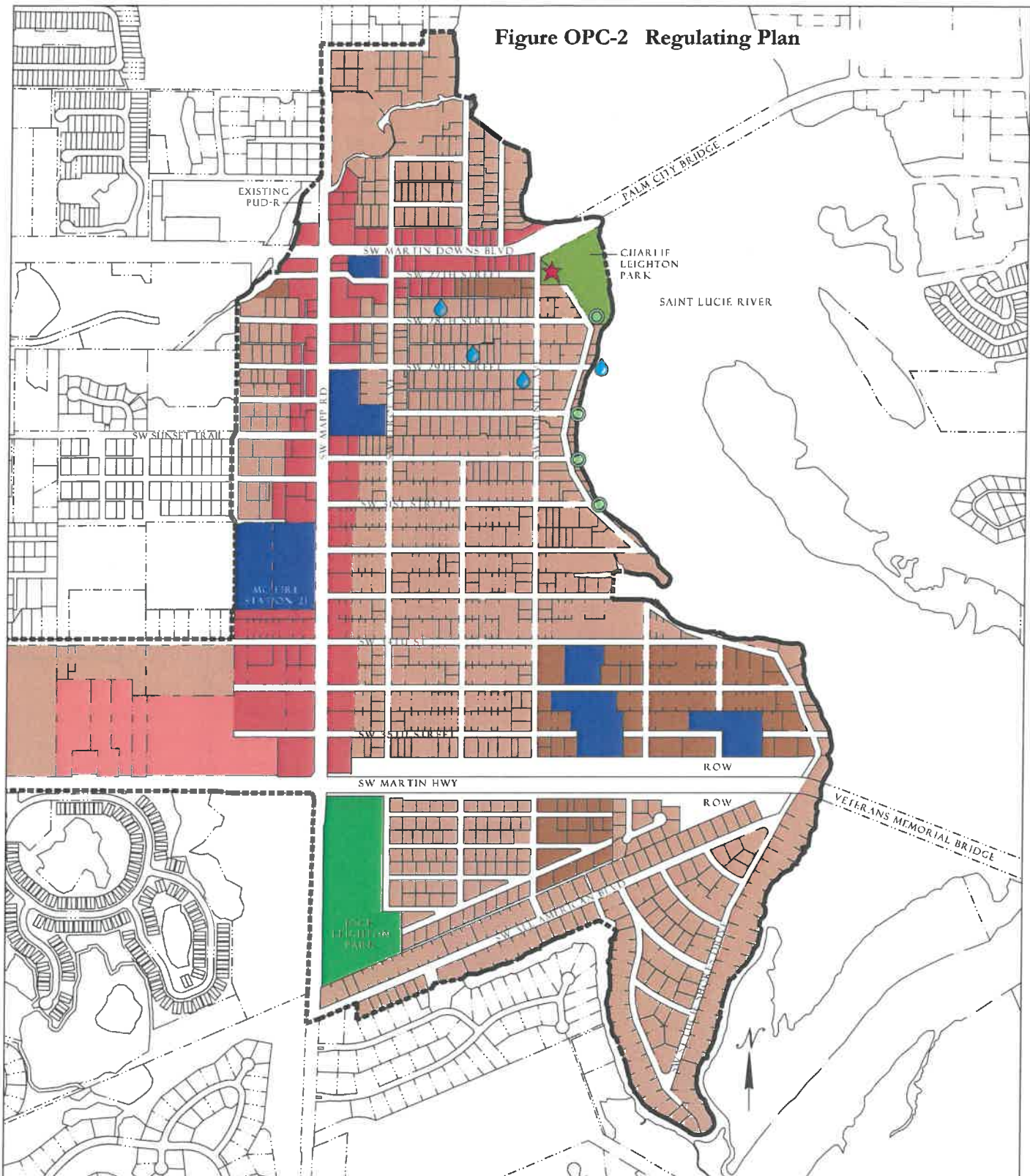




Figure OPC-2 Regulating Plan





Regulating Plan

12.4.02

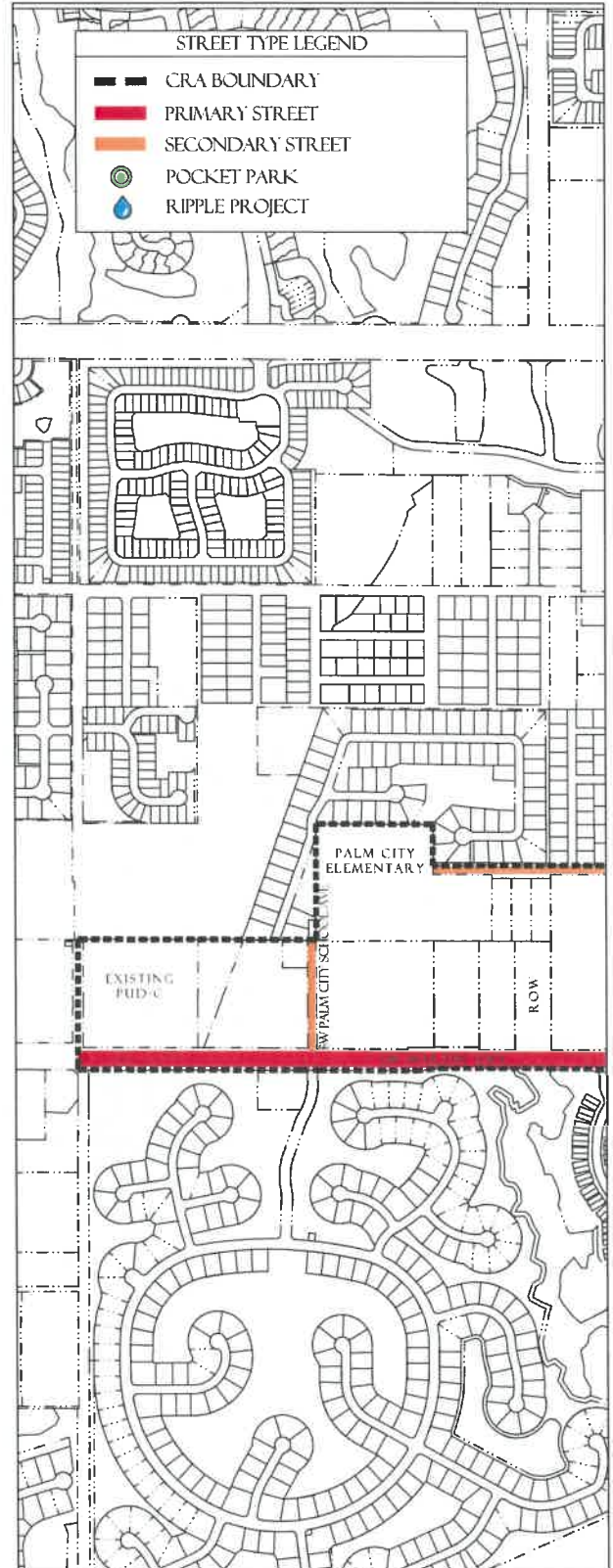
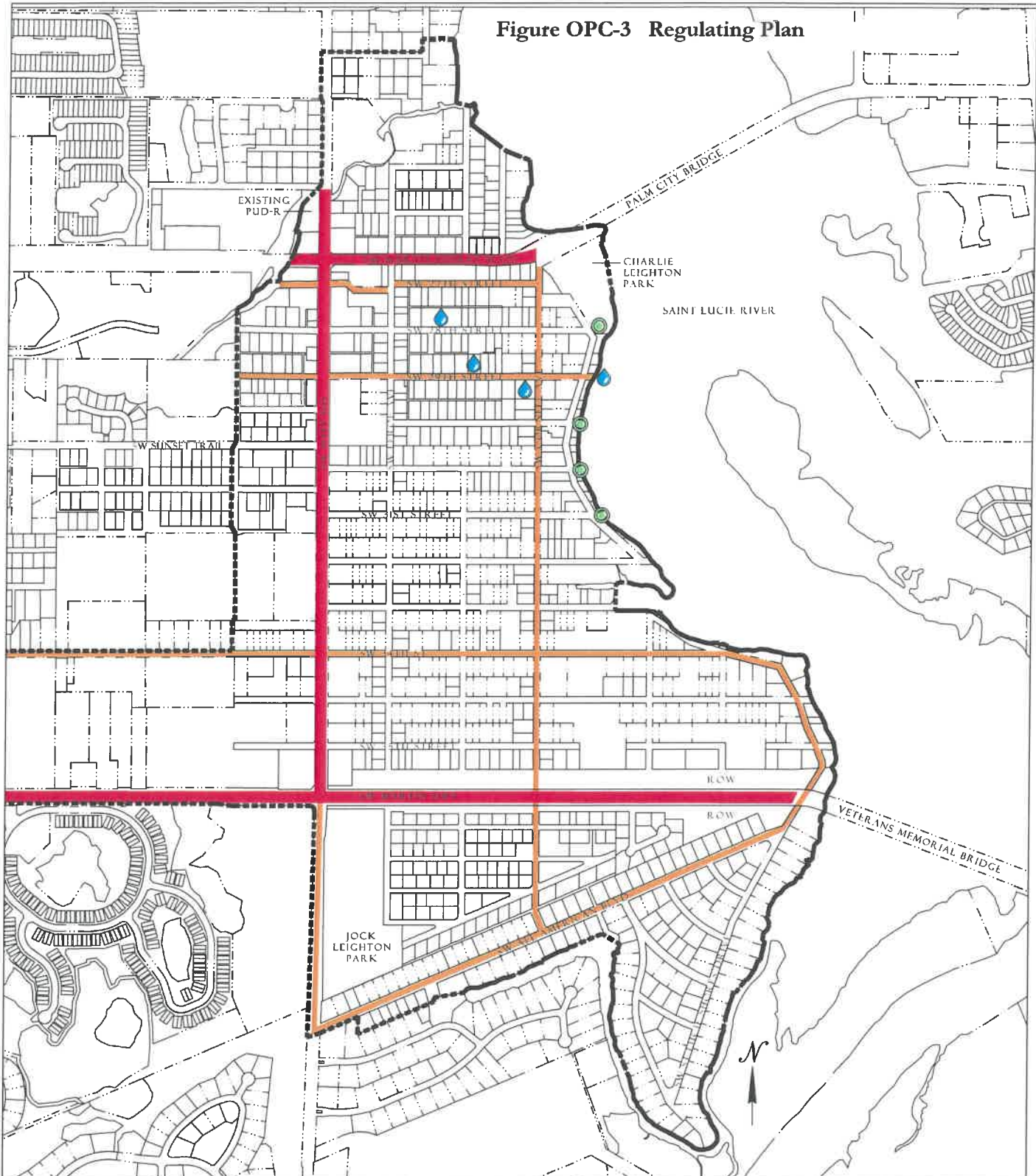




Figure OPC-3 Regulating Plan





Permitted Uses

12.4.03

Section 12.4.03. Permitted Uses. Table **OPC-4** identifies permitted uses in the Old Palm City Redevelopment Zoning District.

1. The Use Groups listed in the first column of Table **OPC-4** are described in Section 12.1.03.
2. The remaining columns identify the Subdistricts shown on the Regulating Plan.
 - a. “P” in a row below a column means that any use in that use group is permitted within that Subdistrict, provided the use can be developed in accordance with all applicable requirements of the LDR.
 - b. If “P” is not shown in a row, the use group is not permitted in that Subdistrict.
3. For uses that are functionally similar but not clearly permitted in a Subdistrict see Section 12.1.03.3.

Table OPC-4 Use Groups Permitted in Old Palm City Subdistricts

	Core	Corridor	Industrial	Multifamily	Detached
Residential Use Groups, see 12.1.03					
Accessory dwelling units	P	P	P ¹	P	P
Mobile homes	-	-	-	-	-
Other dwelling types	P	P	P ¹	P	-
Single-family dwellings	-	-	-	P	P
Bed and breakfast inns	P	P	-	P	P
Agricultural Use Groups, see 12.1.03					
Urban farming	-	-	P	-	-
Commercial & Business Use Groups, see 12.1.03					
Business & professional offices	P	P	P	-	-
Construction services, limited	P	P	P	-	-
Construction services, extensive	-	-	P	-	-
Convenience store with fuel	-	-	-	-	-
Drive-through facility	-	-	-	-	-
Drive-through restaurant	-	-	-	-	-
Hotels, motels, resorts spas	P	P	-	-	-
Marinas	-	-	-	-	-
Medical offices	P	P	P	-	-
Parking lots and garages	P	-	-	-	-
Restaurants	P	P	P	-	-
Retail & services, limited impact	P	P	P	-	-
Retail & services, general impact	P	P	P	-	-
Retail & services, extensive impact	-	-	P	-	-
Recreational vehicle parks	-	-	-	-	-
Vehicular service and maintenance	-	-	P	-	-
Wholesale trades and services	-	-	P	-	-
Working waterfront	-	-	-	-	-
Public & Institutional Use Groups, see 12.1.03					
Institutional uses, limited impact	P	P	P	P	P
Institutional uses, general impact	P	P	P	-	-
Industrial Use Groups, see 12.1.03					
Limited impact industries	-	-	P	-	-
Extensive impact industrial industries	-	-	-	-	-
Footnotes, see above					
¹ Residential development in the Industrial Subdistrict shall be within a Mixed-Use Projects.					



Development Standards

12.4.04

Section 12.4.04. Development Standards.

1. All new development, substantial improvements of a building, and substantial renovations of a building exterior shall comply with the Development Standards in Table **OPC-5**.
2. **Existing Buildings.** Whenever substantial improvement of a building or substantial renovation of a building exterior triggers the obligation to comply with this Division, the Growth Management Director may authorize incremental compliance with its requirements proportional to the nature and scope of the existing and proposed improvements if full compliance would be unreasonable. An application for alternative compliance shall not be required, but the Growth Management Director may require that the proposal be presented to the Neighborhood Advisory Committee for review and comment. See Section 4.871.B, Div. 20, Article 4.
3. **Accessory Dwelling Units.** Standards for accessory dwelling units are provided in Development Standards 12.1.04.8.
4. **Building Types.** Each new building, and any substantial improvement, must meet the standards for one of the Building Types permitted in the Subdistrict where it is located, see Table **OPC-5**. Building Type diagrams do not prescribe use or architectural style and are illustrative. Dimensions provided in tables are regulatory requirements.
5. **Façade Transparency.** Shopfront, Mixed-use, Office, Apartment and Courtyard Building façades facing streets or civic open spaces at the ground level must have transparent windows which cover between 40 percent and 70 percent of the wall area. Building façades above ground level must have transparent windows which cover between 20 percent and 50 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than forty percent.

Draft 11-20-2019
Development Standards

12.4.04



Table OPC-5 - Development Standards in Old Palm City Subdistricts

	Core	Corridor	Industrial	Multifamily	Detached
Lot Size, see 12.1.04.1					
Lot area - sf in minimum	-	-	15,000	-	-
Lot width - feet in minimum	-	-	100	25	50
Height, see 12.1.04.2					
Building height, max in stories	3	3	3	3	3
Building height, max in feet	40	35	35	35	35
Ceiling height, max in feet	Established in 12.4.05 for certain building types				
Density, see 12.1.04.3					
Residential density, max in units/acre	15	15	10 ¹	10	1 per lot
Hotel/motel density, max in units/acre	20	20	-	-	-
Building Coverage, see 12.1.04.4					
Building coverage, max %	80	60	50	60	50
Open Space, see 12.1.04.5					
Open space, min in %	20	20	20	30	30
Building & Parking Placement, see 12.1.04.6					
Build-to Zone min/max in ft	Established in 12.4.05 for certain building types				
Side and Rear setbacks	Established in 12.4.05 for certain building types				
Frontage percentage, min %	Established in 12.4.05 for certain building types				
Parking Setbacks, min in feet	Established in 12.4.05 for certain building types				
Building Types, see 12.4.05					
Shopfront Building	P	P	P	-	-
Mixed-use Building	P	P	P	-	-
Office Building	P	P	P	-	-
Apartment Building	P	P	-	P	-
Courtyard Building	P	P	-	P	-
Townhouse	P	P	-	P	-
Live/Work Building	P	P	P	-	-
Side Yard House	-	P	-	P	P
Cottage	P	P	-	P	P
Cottage Court	P	P	-	P	-
Duplex	-	-	-	P	-
All Yard House	-	-	-	P	P
Outbuilding	P	P	P	P	P
Industrial Building	-	-	P	-	-
Footnotes, see above					
¹ Residential development in the Industrial Subdistricts shall be within a Mixed-Use Projects.					



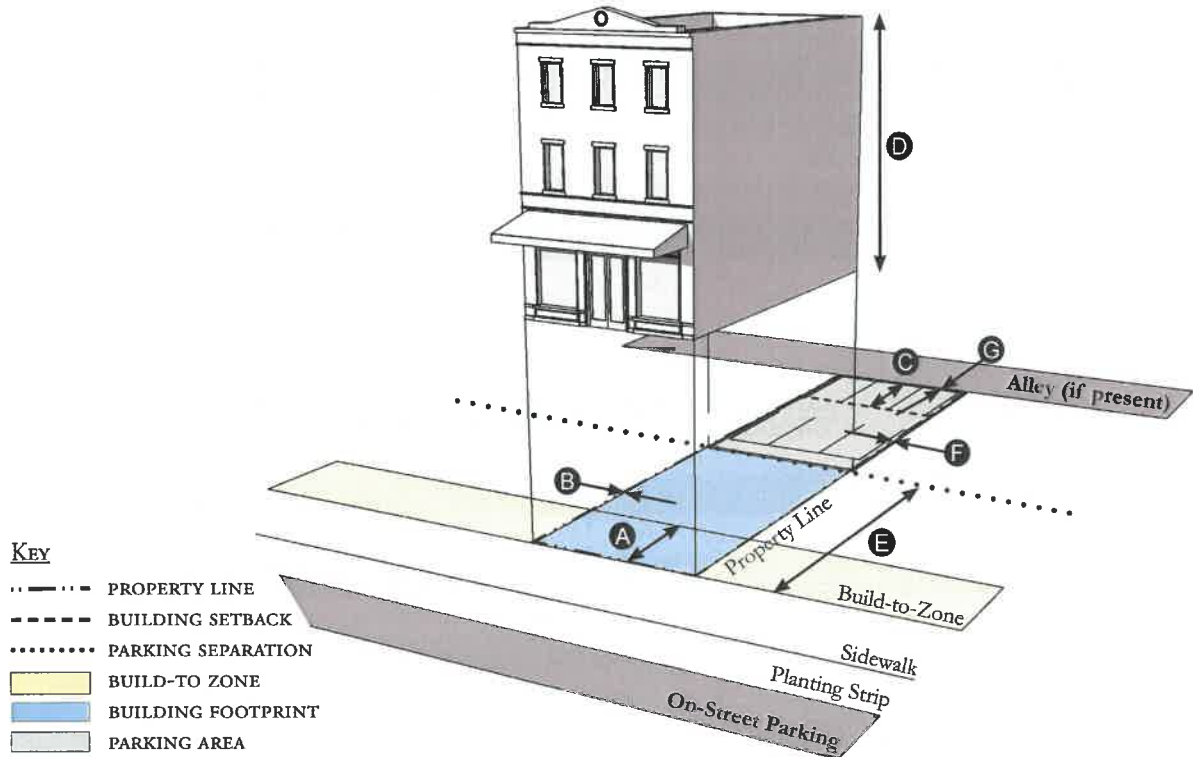
Building Type & Frontage Type Standards

12.4.05

Section 12.4.05. Building Type & Frontage Type Standards.

- Building Types.** The following Building Type standards shall apply in the Old Palm City Subdistricts. Table OPC-5 provides additional Development Standards.

Figure OPC-5.01 - Shopfront Building



Building Placement, see 12.1.04.6	
Frontage	80% min.
Front Build-to-Zone	0' min., 15' max. (A)
Side at Street Build-to-Zone	0' min., 15' max.
Side at Property Line Setback ¹	0' or 5' (B)
Rear Yard Setback ¹	10' min./5' min. with alley (C)

Height, see 12.1.04.2	
Ceiling at Ground Level	12' min.
Building Height	Refer to Table OPC-5 (D)

Parking Placement, see 12.1.04.6	
Front Setback	30' min. (E)
Side at Street Setback	10' min.
Side at Property Line	0' min. (F)
Rear Setback	5' min./0' min. with alley (G)

A side yard driveway is permitted.

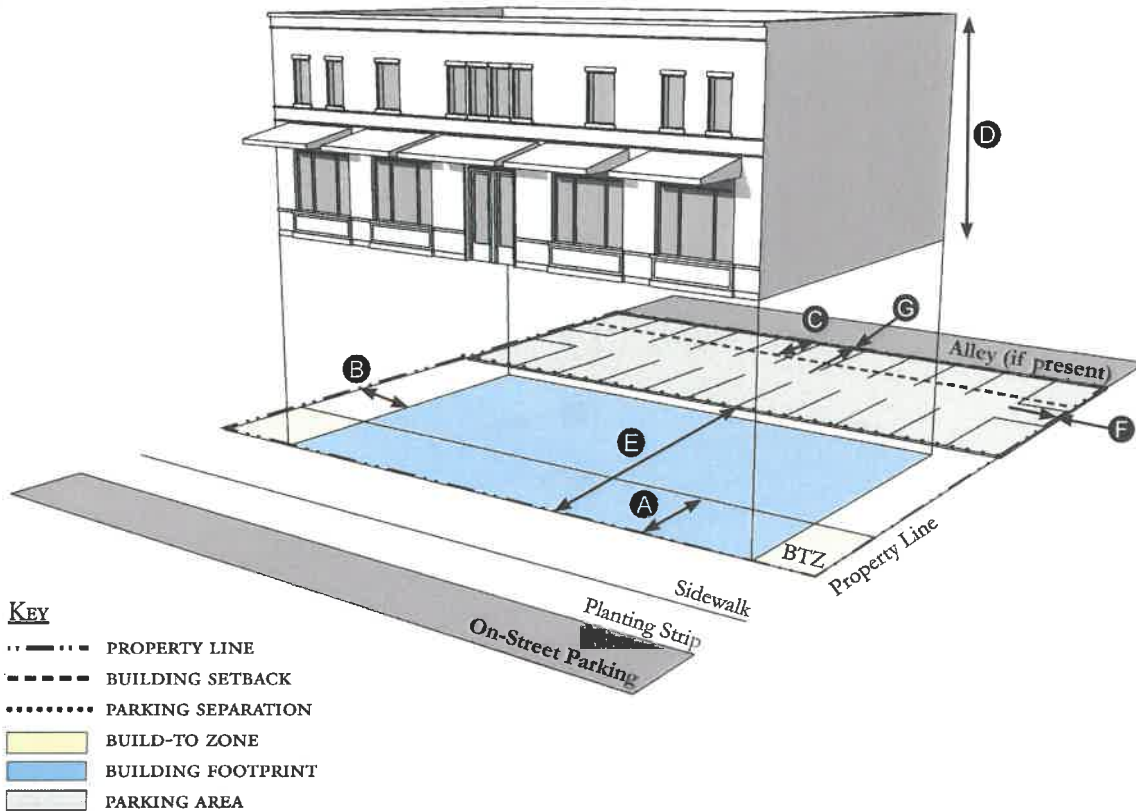
Permitted Subdistricts, see 12.4.02		
Core	Corridor	Industrial
Description		
A Shopfront Building has ground level space immediately adjoining the sidewalk that can accommodate business uses with doors and large windows facing the sidewalk.		
Façade Transparency, see 12.2.04.6		%
Ground level facing streets or civic open spaces		40-70
Above the ground level		20-50
Notes		
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.		
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table OPC-5.		

Draft 11-20-2019 Building Type & Frontage Type Standards

12.4.05



Figure OPC-5.02 - Mixed-Use Building



KEY

- PROPERTY LINE
- BUILDING SETBACK
- PARKING SEPARATION
- BUILD-TO ZONE
- BUILDING FOOTPRINT
- PARKING AREA

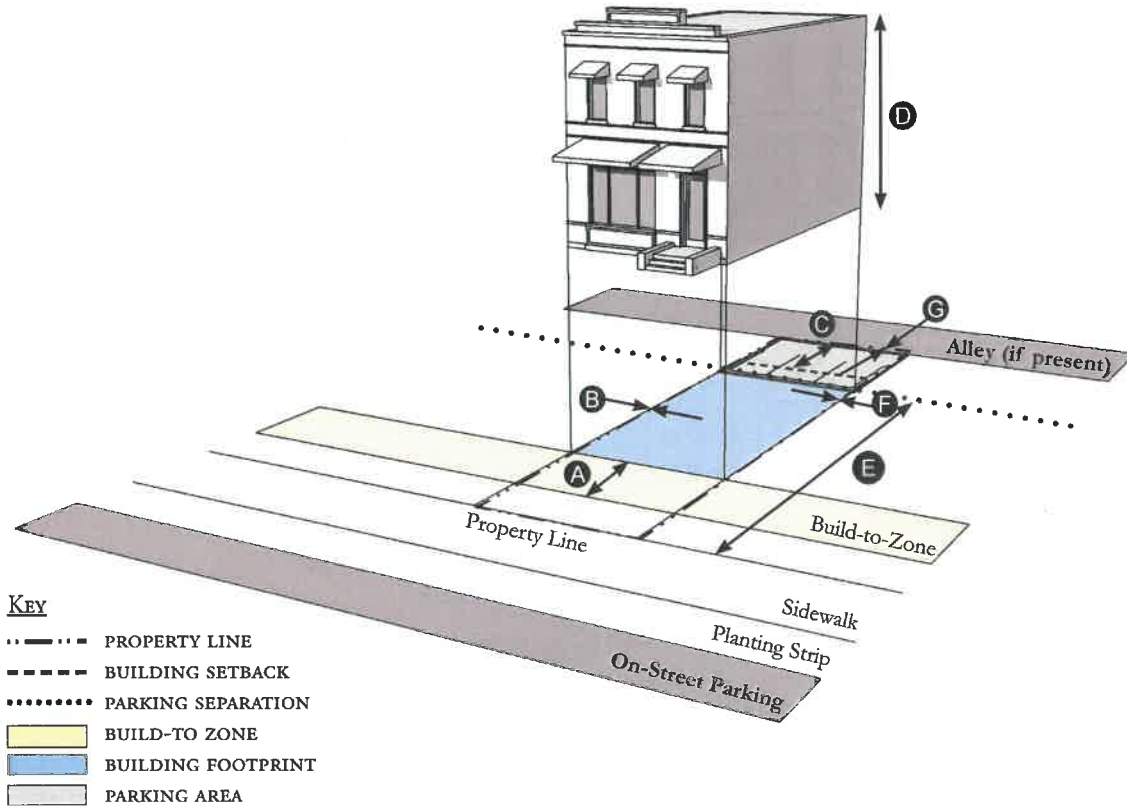
Building Placement, see 12.1.04.6	
Frontage	80% min.
Front Build-to-Zone	0' min., 15' max. (A)
Side at Street Build-to-Zone	5' min., 15' max.
Side at Property Line Setback ¹	5' min., 10' max. (B)
Rear Yard Setback ¹	10' min./5' min. with alley (C)
Height, see 12.1.04.2	
Ceiling at Ground Level	12' min.
Building Height	Refer to Table OPC-5 (D)
Parking Placement, see 12.1.04.6	
Front Setback	30' min. (E)
Side at Street Setback	10' min.
Side at Property Line	0' min. (F)
Rear Setback	5' min./0' min. with alley (G)
A side yard driveway is permitted.	

Permitted Subdistricts, see 12.4.02		
Core	Corridor	Industrial
Description		
A Mixed-Use Building has multiple tenants or occupancies and may contain residences, lodging and/or businesses to the extent permitted in the Subdistrict. Mixed-Use Buildings may have a shop frontage on the ground level.		
Façade Transparency, see 12.2.04.6		%
Ground level facing streets or civic open spaces		40-70
Above the ground level		20-50
Notes		
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.		
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table OPC-5.		



Draft 11-20-2019
Building Type & Frontage Type Standards
 12.4.05

Figure OPC-5.03 - Office Building



Building Placement, see 12.1.04.6		
Frontage	80% min.	
Front Build-to-Zone	10' min. / 15' max.	A
Side at Street Build-to-Zone	10' min. / 15' max.	
Side at Property Line Setback ¹	0' or 5'	B
Rear Yard Setback ¹	10' min./5' min. with alley	C
Height, see 12.1.04.2		
Ceiling at Ground Level	12' min.	
Building Height	Refer to Table OPC-5	D
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

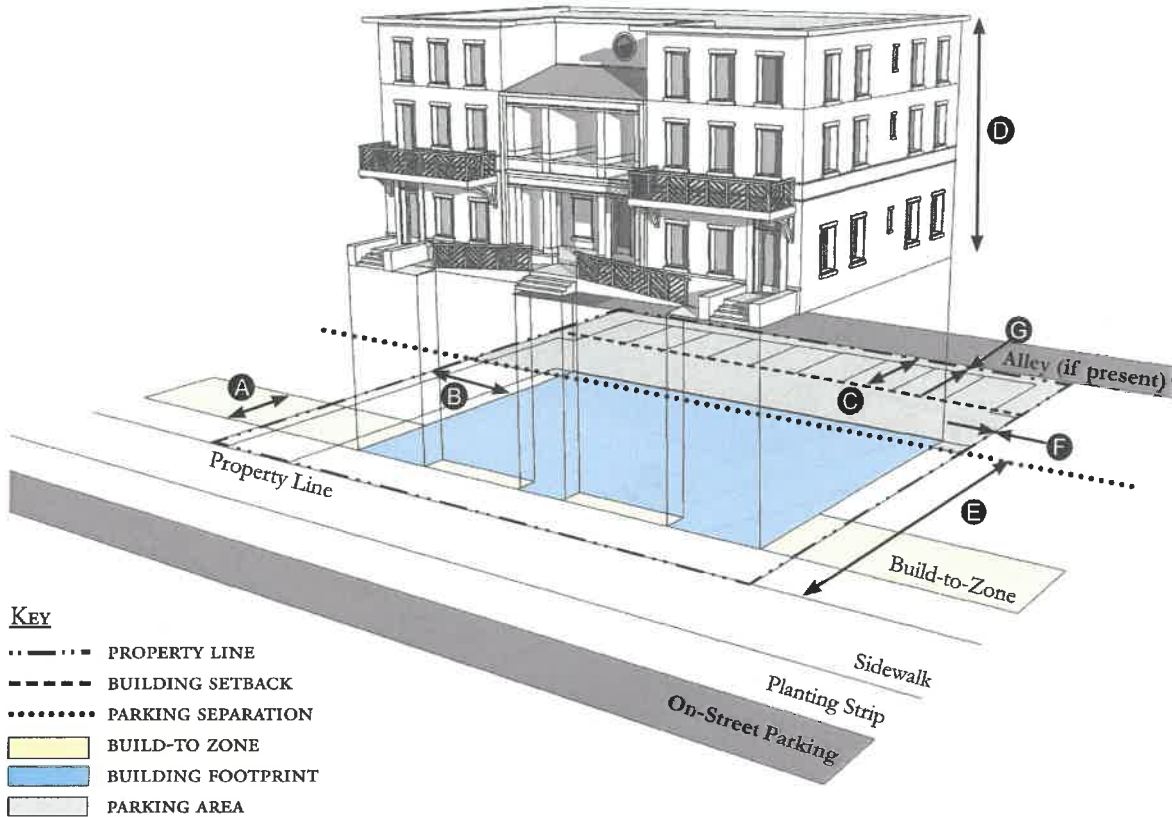
Permitted Subdistricts, see 12.4.02		
	Core	Corridor
Description		
An Office Building has a one or more commercial tenants, occupancies, or businesses. An Office Building may have a shopfront frontage on the ground level.		
Façade Transparency, see 12.2.04.6		
		%
Ground level facing streets or civic open spaces		40-70
Above the ground level		20-50
Notes		
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.		
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table OPC-5.		

Draft 11-20-2019 Building Type & Frontage Type Standards

12.4.05



Figure OPC-5.04 - Apartment Building



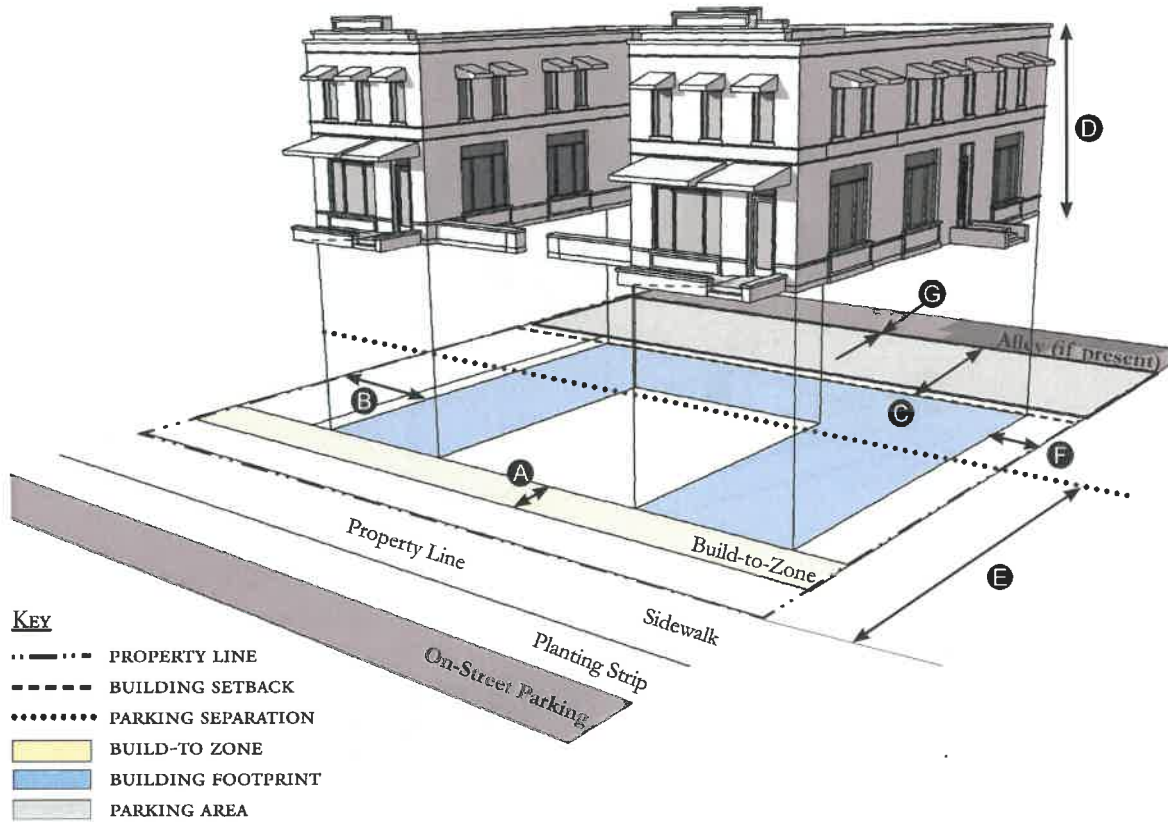
KEY

- PROPERTY LINE
- BUILDING SETBACK
- PARKING SEPARATION
- BUILD-TO ZONE
- BUILDING FOOTPRINT
- PARKING AREA

Building Placement, see 12.1.04.6	
Frontage	60% min.
Front Build-to-Zone	10' min. / 25' max. (A)
Side at Street Build-to-Zone	10' min. / 15' max.
Side at Property Line Setback ¹	5' min. (B)
Rear Yard Setback ¹	10' min./5' min. with alley (C)
Height, see 12.1.04.2	
Ceiling at Ground Level	Not applicable
Building Height	Refer to Table OPC-5 (D)
Parking Placement, see 12.1.04.6	
Front Setback	30' min. (E)
Side at Street Setback	10' min.
Side at Property Line	5' min./0' min. with alley (F)
Rear Setback	5' min./0' min. with alley (G)

Permitted Subdistricts, see 12.4.02		
Core	Corridor	Multifamily
Description		
An Apartment Building contains multiple residences above and/or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. Off-street parking is provided to the side or rear.		
Façade Transparency, see 12.2.04.6		%
Ground level facing streets or civic open spaces		40-70
Above the ground level		20-50
Notes		
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.		
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table OPC-5.		

Figure OPC-5.05 - Courtyard Building



Building Placement, see 12.1.04.6

Frontage Percentage	80% min. includes courtyard	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	5' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	D
Building Height	Refer to Table OPC-5	

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min./0' min. with alley	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.4.02

	Core	Corridor	Multifamily
--	------	----------	-------------

Description

A Courtyard Building accommodates multiple dwellings or businesses arranged around and fronting on a central green that may be partially or wholly open to the street.

Façade Transparency, see 12.2.04.6

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

The proportions of the courtyard space shall be at least as deep as it is wide.

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.

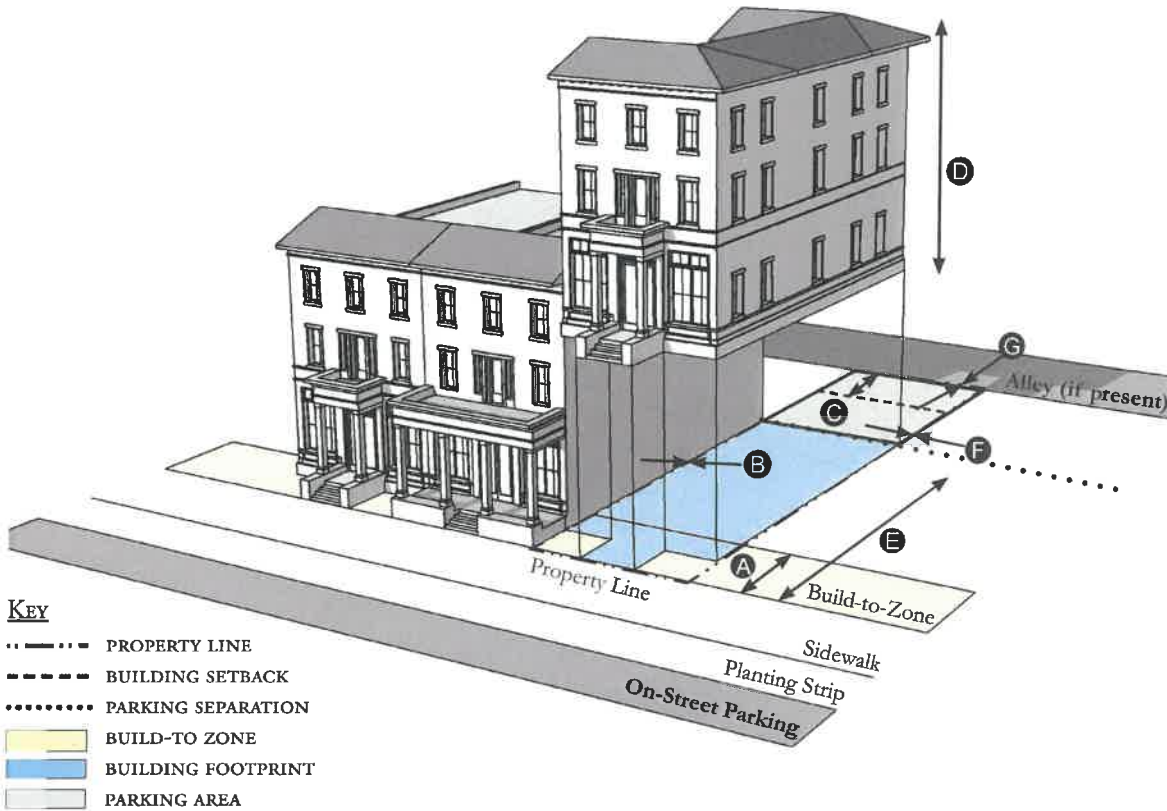
For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table OPC-5.

Draft 11-20-2019 Building Type & Frontage Type Standards

12.4.05



Figure OPC-5.06 - Townhouse



Building Placement, see 12.1.04.6

Frontage	80% min.	
Front Build-to-Zone	0' min., 15' max.	(A)
Side at Street Build-to-Zone	0' min., 15' max.	
Side at Property Line Setback ¹	0' min.	(B)
Rear Yard Setback ¹	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable
Building Height	Refer to Table OPC-5/2 stories min. (D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	0' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Permitted Subdistricts, see 12.4.02

Core	Corridor	Multifamily
------	----------	-------------

Description

A Townhouse is a building with common walls on one or both sides and often a private garden to the rear. Service and parking access are from the rear.

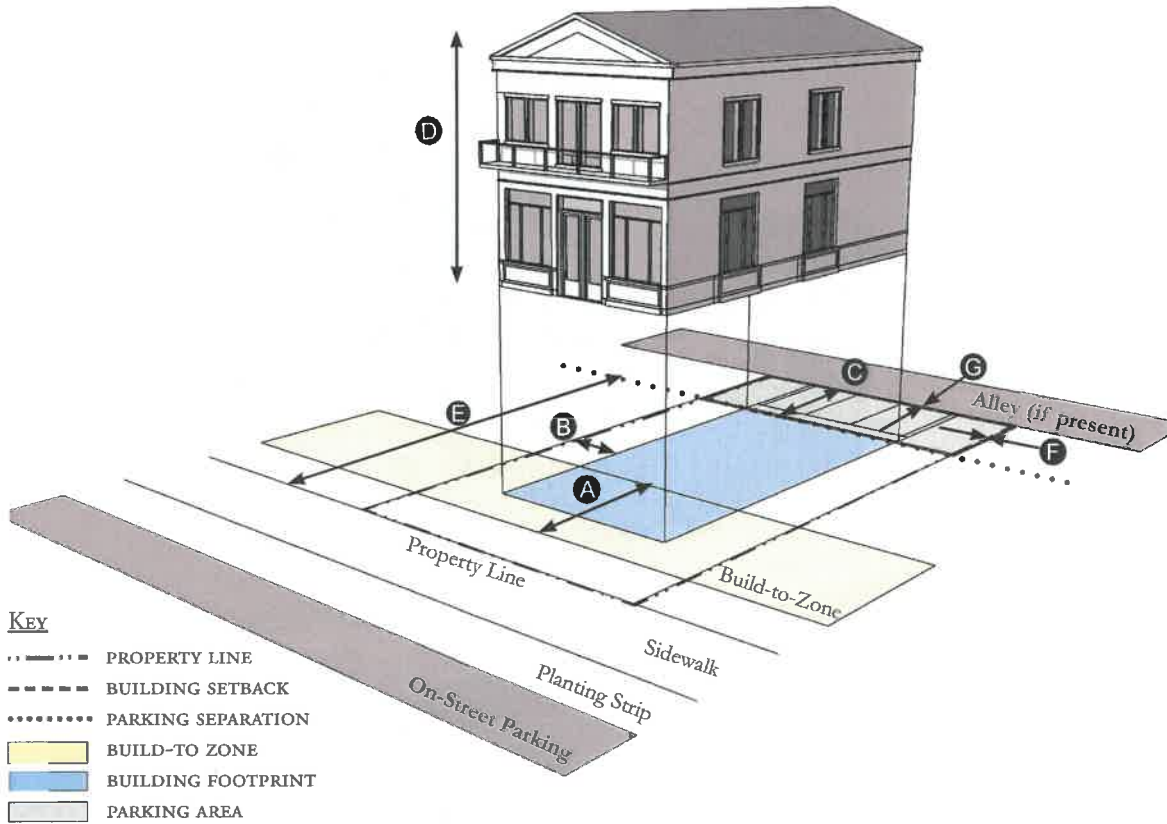
Notes

Townhouses shall have a maximum grouping of 8 dwelling units and a minimum Setback of 15 feet between buildings

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table OPC-5.

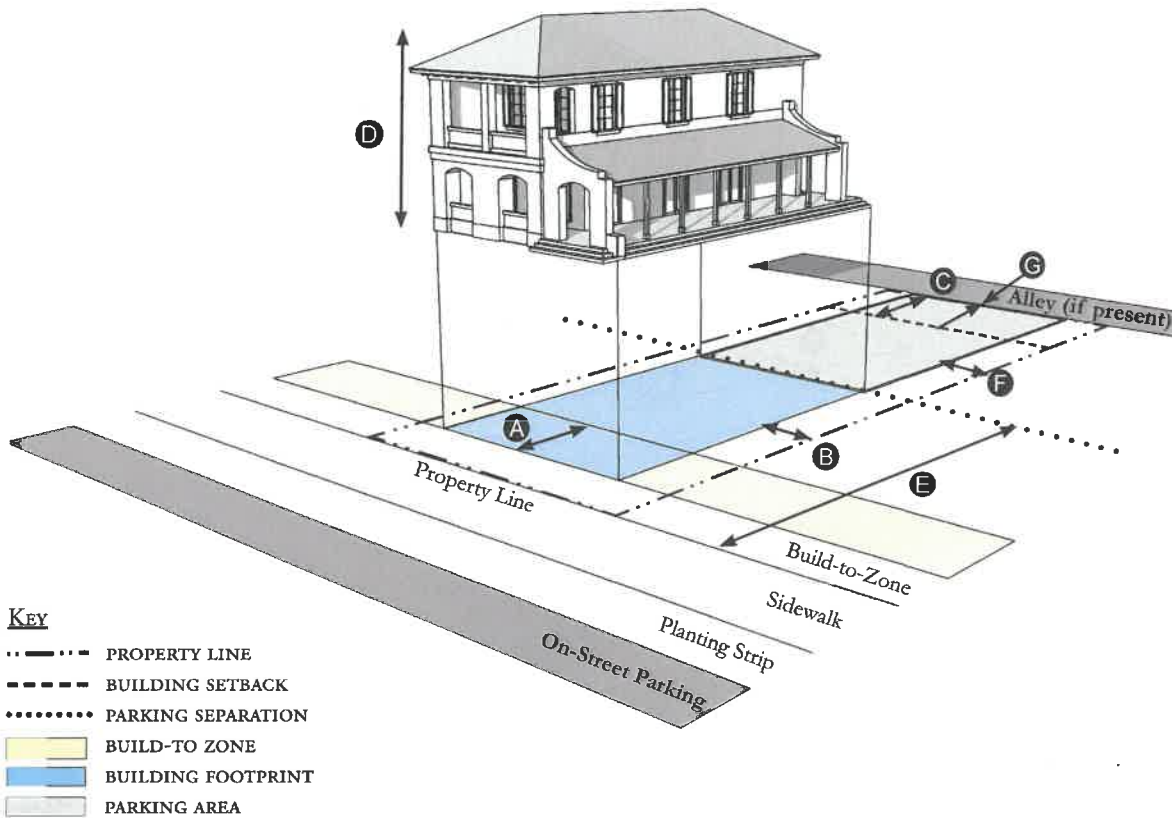
Figure OPC-5.07 - Live/Work Building



Building Placement, see 12.1.04.6	
Frontage	80% min.
Front Build-to-Zone	10' min., 25' max. (A)
Side at Street Build-to-Zone	10' min.
Side at Property Line Setback ¹	10' min. (B)
Rear Yard Setback ¹	10' min. (C)
Height, see 12.1.04.2	
Ceiling at Ground Level	12' min.
Building Height	Refer to Table OPC-5 (D)
Parking Placement, see 12.1.04.6	
Front Setback	30' min. (E)
Side at Street Setback	10' min.
Side at Property Line	0' min. (F)
Rear Setback	5' min./0' min. with alley (G)
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.	

Permitted Subdistricts, see 12.4.02		
Core	Corridor	Industrial
Description		
A Live/Work Building consists of commercial and residential uses. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activities or industry.		
Notes		
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.		
For permitted Lot Size, Density, Building Coverage, and Open Space, see Table OPC-5.		

Figure OPC-5.08 - Side Yard House



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min.	
Side at Property Line Setback	5' min., 10' min. other side	B
Rear Yard Setback	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	35' / 3 stories max.	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min./0' min. with alley	G

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Permitted Subdistricts, see 12.4.02

Corridor	Detached	Multifamily

Description

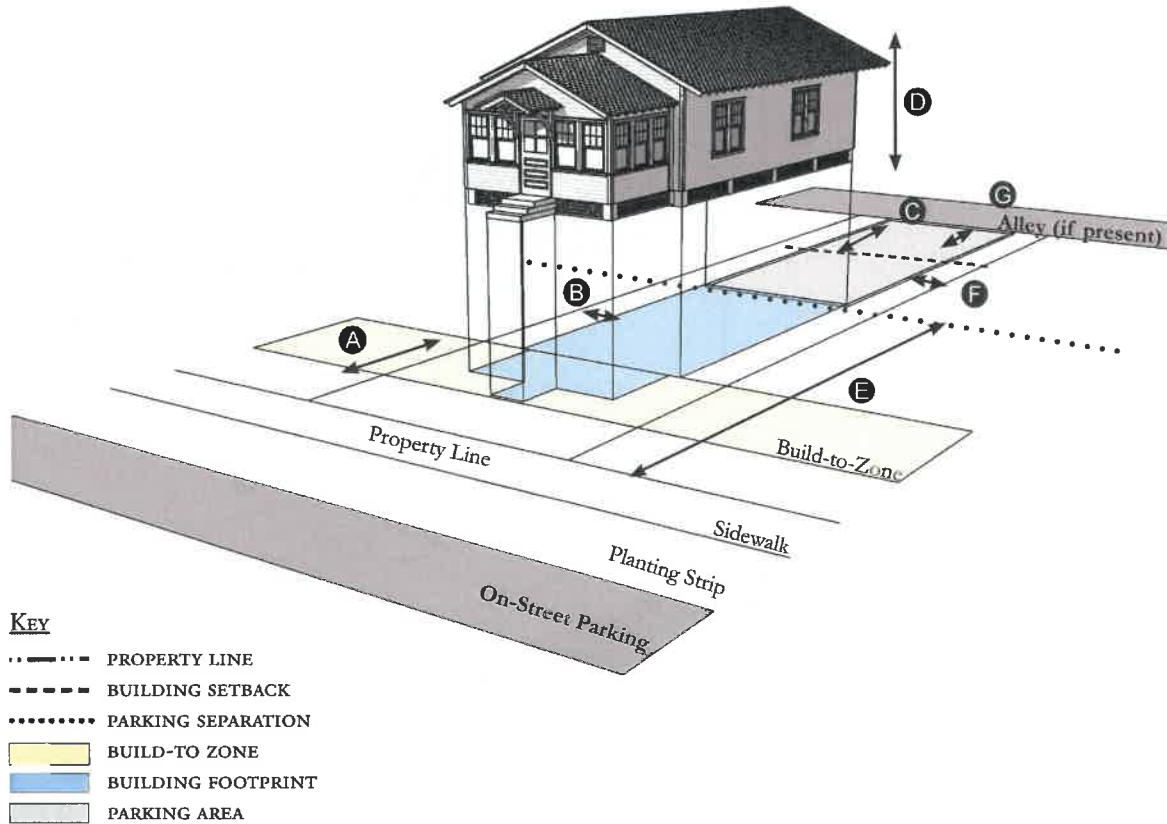
A Side Yard House is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard type houses.

Notes

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table OPC-5.

Figure OPC-5.09 - Cottage

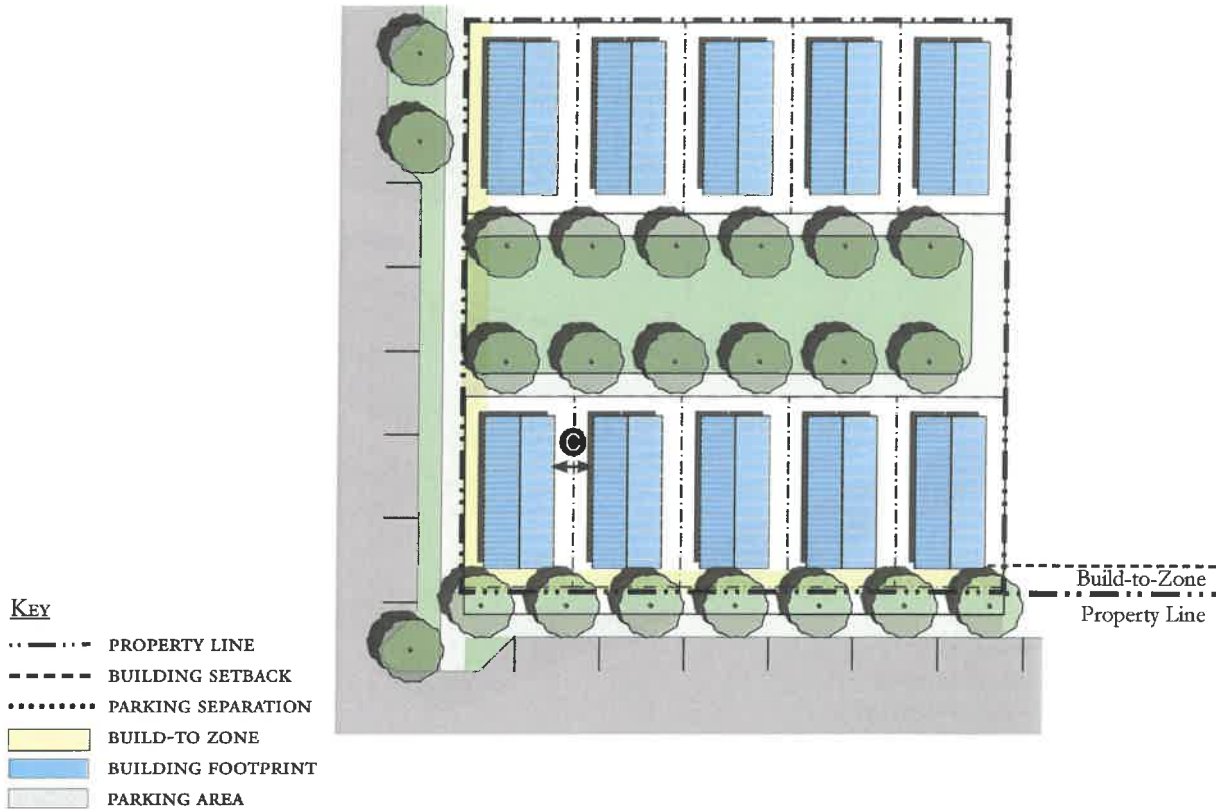


Building Placement, see 12.1.04.6		
Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	(A)
Side at Street Build-to-Zone	5' min., 10' max.	
Side at Property Line Setback	5' min.	(B)
Rear Yard Setback	10' min.	(C)
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	30' / 2 stories max.	(D)
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min.	(G)
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.		

Permitted Subdistricts, see 12.4.02		
Core	Corridor	Multifamily
Detached		
Description		
A Cottage is a detached building with a small front yard often located on a narrow lot. Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.		
Notes		
Cottages shall not exceed a footprint of 2,000 square feet.		
¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.		
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table OPC-5.		



Figure OPC-5.10 - Cottage Court



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	6' min.	A
Side/Rear at Street Build-to-Zone	6' min.	
Side/Rear at Property Line Setback	6' min.	B
Unit Separation	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	30' / 2 stories max.	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min	G

Permitted Subdistricts, see 12.4.02

Core	Corridor	Multifamily
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Description

A Cottage Court is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas.

Notes

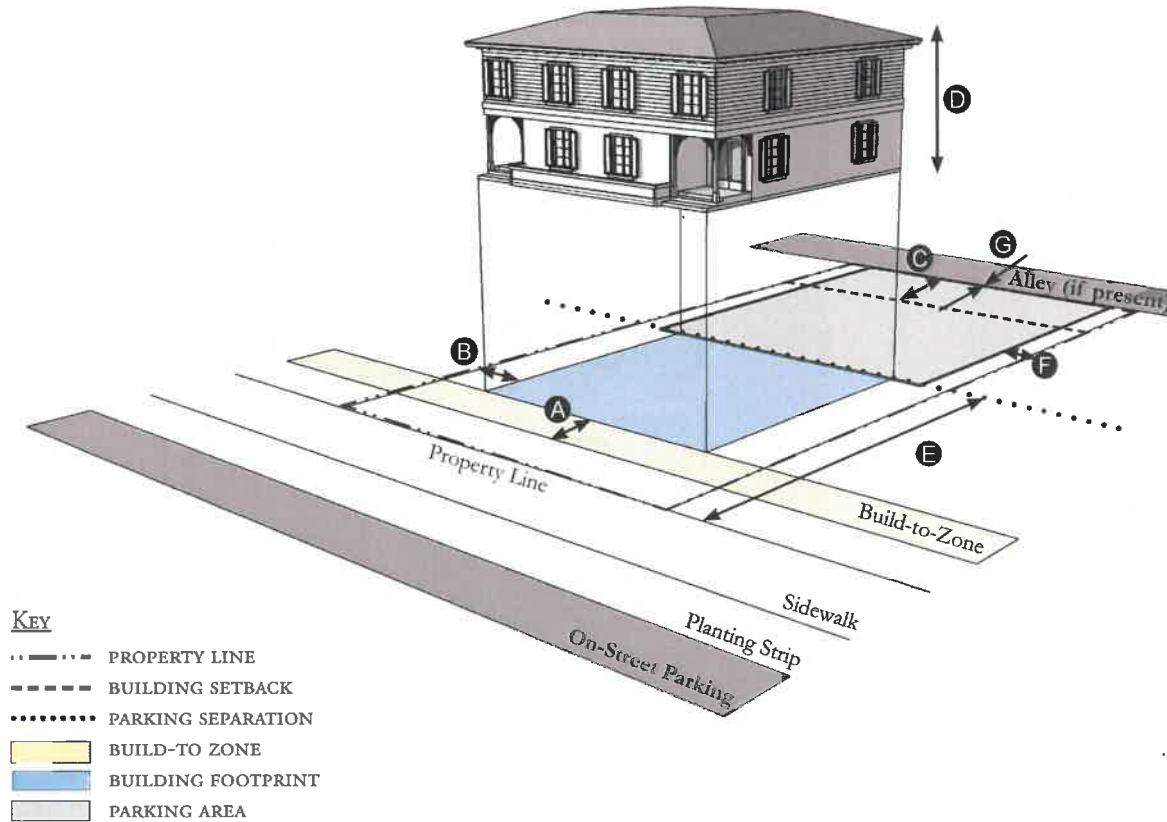
¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table OPC-5.



Draft 11-20-2019 Building Type & Frontage Type Standards 12.4.05

Figure OPC-5.11 - Duplex



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	(A)
Side at Street Build-to-Zone	10' min	
Side at Property Line Setback	5' min.	(B)
Rear Yard Setback	10' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	35' / 3 stories max.	(D)

Parking Placement, see 12.1.04.6

Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Permitted Subdistricts, see 12.4.02

Multifamily

Description

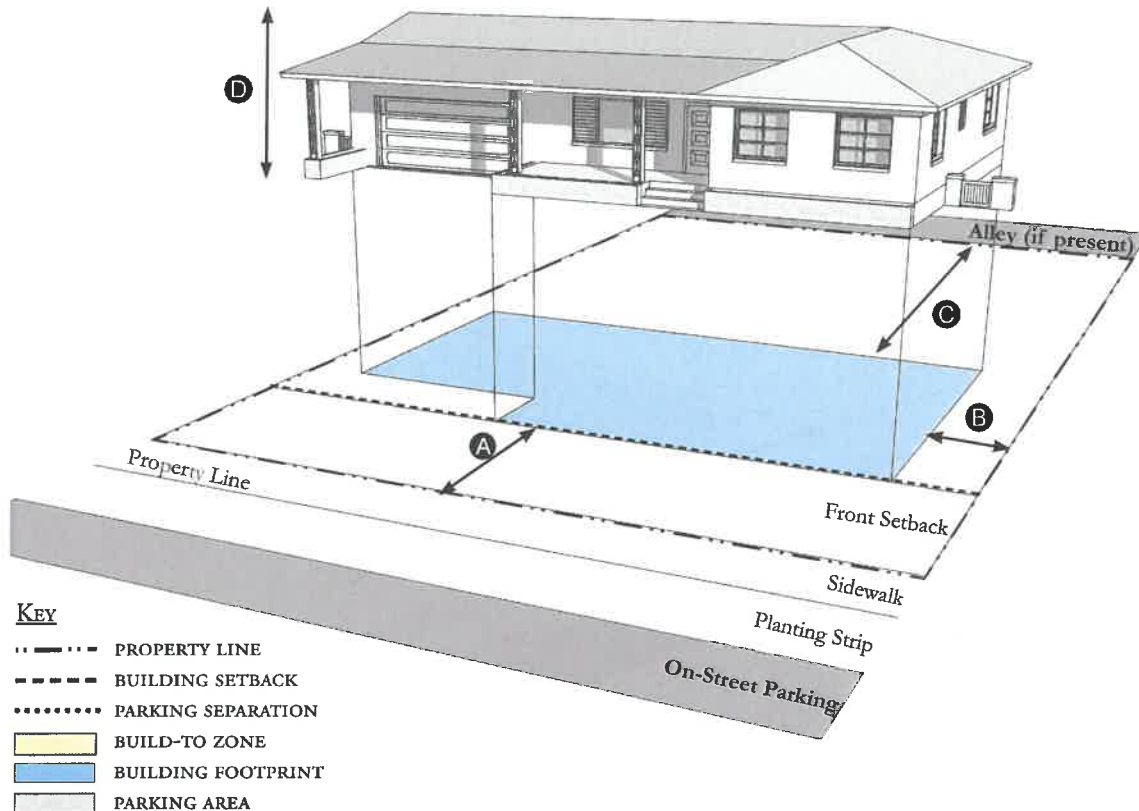
A Duplex is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.

Notes

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table OPC-5.

Figure OPC-5.12 - All Yard House



Building Placement, see 12.1.04.6

Frontage	Not Required	
Front Setback	20' min.	(A)
Side at Street Setback	6' min.	
Side at Property Line Setback	6' min.	(B)
Rear Yard Setback	10' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	35' / 3 stories max.	(D)

Parking Placement, see 12.1.04.6

Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Permitted Subdistricts, see 12.4.02

Multifamily	Detached
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Description

An All Yard House has yards on all sides and may contain accessory structures toward the rear.

Notes

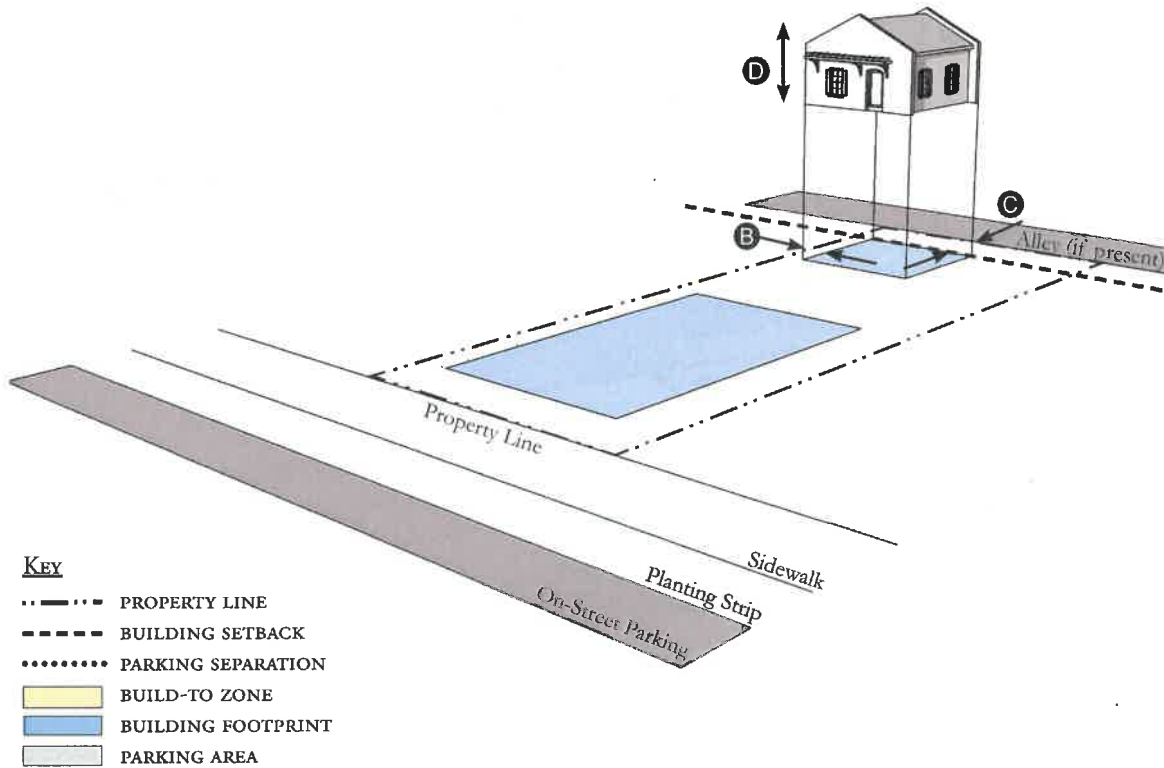
For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table OPC-5.



Building Type & Frontage Type Standards

12.4.05

Figure OPC-5.13 - Outbuilding



KEY

- PROPERTY LINE
- - - - BUILDING SETBACK
- PARKING SEPARATION
- BUILD-TO ZONE
- BUILDING FOOTPRINT
- PARKING AREA

Building Placement, see 12.1.04.6

Frontage	Not Required	
Front Build-to-Zone	Not applicable	
Side at Street Build-to-Zone	Not applicable	
Side at Property Line Setback	5' min.	B
Rear Yard Setback	5' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	24' / 2 stories max.	D

Permitted Subdistricts, see 12.4.02

Core	Corridor	Multifamily
Detached		

Description

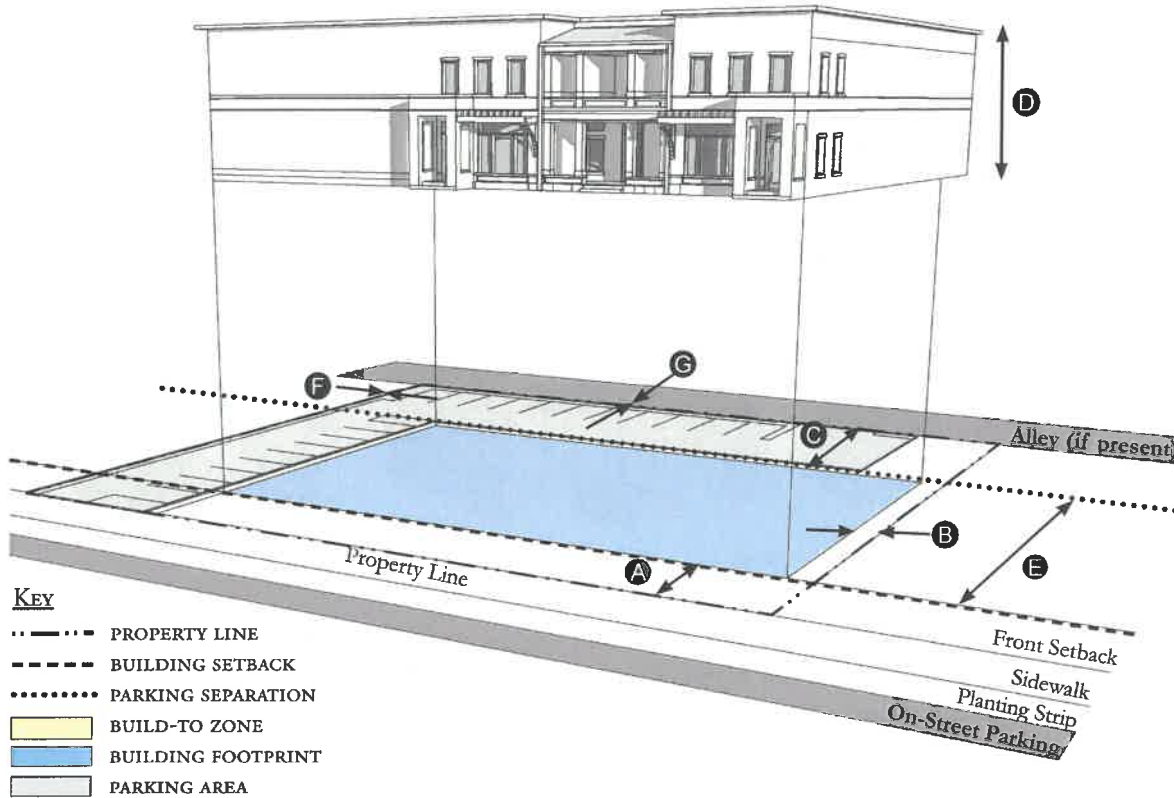
An Outbuilding is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. Outbuildings may include a garage, shed, workshop, or accessory dwelling unit.

Notes

Outbuildings shall not exceed a footprint of 850 square feet.
 For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table **OPC-5**.



Figure OPC-5.14 - Industrial Building



Building Placement, see 12.1.04.6	
Frontage	Not Required
Front Setback ¹	20' min. (A)
Side at Street Build-to-Zone	5' min.
Side at Property Line Setback ²	5' min. (B)
Rear Yard Setback	10' min./5' min. with alley (C)
Height, see 12.1.04.2	
Ceiling at Ground Level	Not applicable
Building Height	35' / 3 stories max. (D)
Parking Placement, see 12.1.04.6	
Front Setback	30' min. (E)
Side at Street Setback	5' min.
Side at Property Line	5' min. (F)
Rear Setback	5' min./0' min. with alley (G)
Parking shall not be located between the building and the street.	

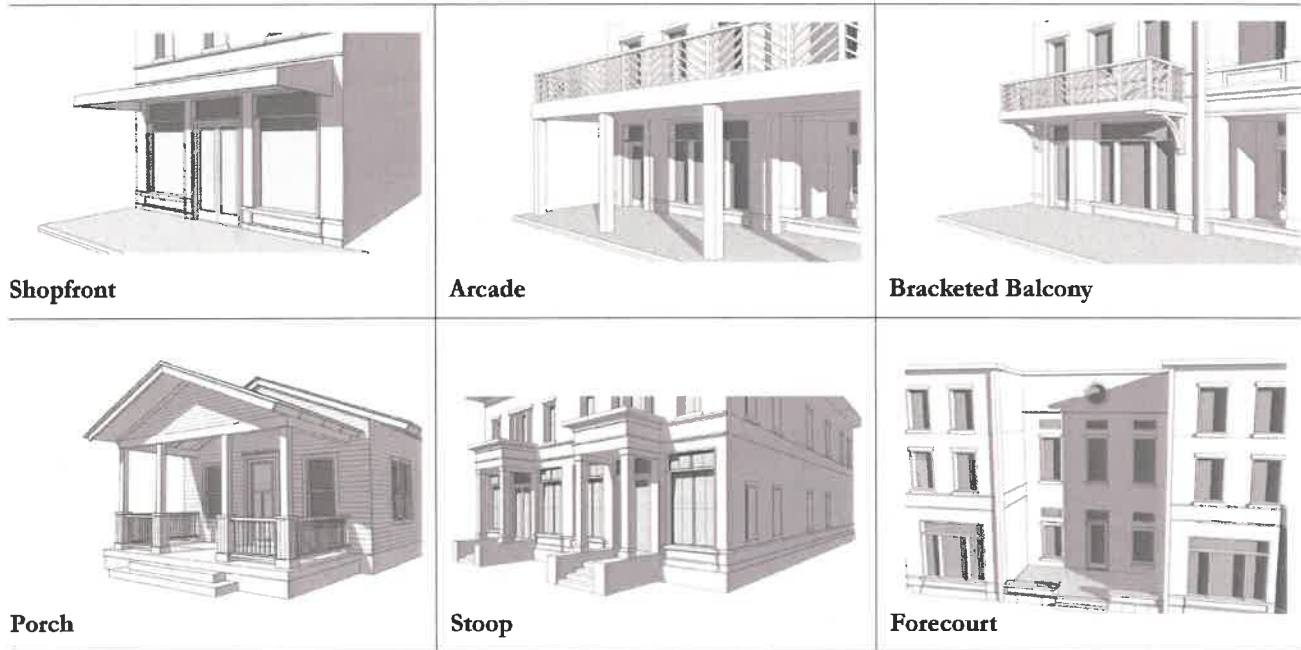
Permitted Subdistricts, see 12.4.02	
Industrial	
Description	
An Industrial Building will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking and loading shall be accommodated in Alleys or Secondary Streets whenever possible.	
Notes	
¹ Measured from existing Right-of-Way or edge of pavement.	
² Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling.	
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table OPC-5.	



Building Type & Frontage Type Standards

12.4.05

Figure OPC-5.15 - Frontage Types Matrix



2. **Frontage Types.** Using one or more of the permitted frontage types indicated in Table OPC-5.16 are required within the Core and Corridor Subdistricts. Standards for Frontage Types are found in 12.1.05. Frontage Types are encouraged in the Industrial, Multifamily and Detached Subdistricts, but are not required.

Table OPC-5.16 - Permitted Frontage Types Matrix

Subdistrict	Shopfront	Arcade	Bracketed Balcony	Porch	Stoop	Forecourt
Core	P	P	P	P	-	P
Corridor	P	P	P	P	P	P
Industrial	-	-	-	-	-	-
Multifamily	-	-	-	-	-	-
Detached	-	-	-	-	-	-

Primary Streets shall include the required Principal Entrance & Frontage Type.

**Section 12.4.06. Street Standards.**

1. **Applicability.** Street Standards that apply in all Redevelopment Zoning Districts are provided in Section 12.1.06. The additional street standards which apply in the Old Palm City Redevelopment Zoning District are specified in this section.
2. **Street Regulating Plan.** A Street Regulating Plan is provided in Figure **OPC-3**, Section 12.2.02. That Regulating Plan identifies the following features:
 - a. **Primary Streets** allow movement through as well as within the Old Palm City Redevelopment Zoning District.
 - b. **Secondary Streets** are local streets that supplement the primary streets to provide an interconnected street network that serves users of all ages and abilities and that fully integrates residential neighborhoods with shopping, employment, and civic features. The secondary street network is priority for street improvements within the neighborhood.
 - c. **Recommended Future Streets** would become additional streets to complete a highly interconnected street network.
 - d. **Recommended Future Alleys** are not required but are strongly encouraged within the blocks created by the construction of proposed streets. Alleys may be designed and constructed as the alley type in Section 12.1.06.
3. **Shade Trees.** Seventy-five percent of all street trees and trees planted in fulfillment of the requirements regarding perimeter landscaping for vehicular use areas that front Mapp Road, Martin Downs Boulevard, and Martin Highway, shall be of the following species:
 - a. Canopy trees (60 percent minimum):
 - i. Live or Laurel Oak
 - ii. Magnolia
 - iii. Mahogany
 - iv. Red Maple
 - v. Bald Cypress
 - vi. Buttonwood
 - vii. Gumbo Limbo
 - b. Palm trees:
 - i. Medjool or Canary Island Date Palm
 - ii. Royal Palm
 - iii. Ribbon Palm
 - iv. Sabal Palm (3:1 ratio)
4. **Improvements To Existing Streets.** The planting of new shade trees shall be required for project approval and shall be coordinated with existing or future CRA and County streetscape improvements. As provided in Section 12.1.06, the County Engineer may allow deviations from these minimum standards when necessary due to the location of existing buildings, constrained right-of-way, or to meet other goals for the particular street section.



Street Standards

12.4.06

- a. **Mapp Road**, every block shall be complemented with a bench and a garbage container. The landscape islands shall be sized appropriately to the maximum mature size of the tree. The landscaping shall include trees with a minimum height of 16 feet, with a four-foot clear trunk, and four-inch caliper at the time of planting, planted at a maximum of 30-foot intervals. The species mix shall be governed by Section 12.4.06.3 Shade Trees.
- b. **Martin Downs Boulevard**. The landscaping shall include trees with a minimum height of 16 feet, with a four-foot clear trunk, and four-inch caliper at the time of planting, planted at a maximum of 30-foot intervals. The species mix shall be governed by Section 12.4.06.3 Shade Trees.
- c. **Martin Highway**. The landscaping shall include trees with a minimum height of 16 feet, with a four-foot clear trunk, and four-inch caliper at the time of planting, planted at a maximum of 30-foot intervals. The species mix shall be governed by Section 12.4.06.3 Shade Trees.

**Section 12.4.07. Parking Standards.**

1. **Applicability.** Parking Standards found in Sections 4.621 through 4.628, Div. 14, Article 4, are modified for all Redevelopment Zoning Districts in Section 12.1.07. Those modified Parking Standards apply in the Old Palm City Redevelopment Zoning District except as specified otherwise in this section.
2. **Parking rates.** Refer to Parking Standards Section 12.1.07 for parking rates applicable to Redevelopment Zoning Districts.
3. **Special Parking Alternatives for Redevelopment Centers (SPARC) program.** The SPARC program described in Section 12.1.07 is authorized within the Old Palm City CRA.
4. **Screening of Parking from Residential Uses.** There shall be an alley between parking areas and adjacent residential uses. Where an alley is not possible, there shall be a visual barrier between parking areas and residential uses. Refer to Landscaping Standards Section 12.4.09 Vehicular Use Areas.
5. **Parking structures.** Whenever a parking structure or surface parking provided beneath a building is located on a Primary Street, as identified on the Street Regulating Plan, Section 12.4.02, ground level commercial space shall be provided for a depth of no less than 20 feet measured from the front of the building.
6. **Distributing Parking.** Where more than 200 parking spaces are provided onsite, such parking shall be distributed such that no more than 50 percent of the spaces are grouped in a single area of the parcel. Methods of distributing parking include locating parking adjacent to the rear or sides of a building or by physically separating parking areas with other buildings or landscaped areas.
7. **Approved parking surfaces.**
 - a. Residential-only development shall provide parking on a paved surface.
 - b. Nonresidential development shall provide the required number of parking spaces on paved surfaces; however, any overflow parking may be provided on a grassed surface. Accessible spaces and access aisles shall meet the requirements set forth in the Americans with Disabilities Act.
 - c. Existing parking surfaces shall comply with the requirements of this sub-section, no later than five years from the effective date of this Division.



Stormwater Standards

12.4.08

Section 12.4.08. Stormwater Standards.

1. Stormwater management standards are provided in Sections 4.381 through 4.390, Div. 9, Article 4 and apply in Redevelopment Zoning Districts except as modified in Section 12.1.08.



Section 12.4.09. Landscape Standards.

1. Table **OPC-9** identifies which of the landscaping, buffering, and tree protection standards in Div. 15, Article 4 apply in the Old Palm City Redevelopment Zoning District and which standards are modified, replaced, or do not apply in this Redevelopment Zoning District.

Table OPC-9 - Landscaping, Buffering, and Tree Protection Standards

Div. 15, Article 4		In OPC CRA
General Requirements		
4.661.A	Purpose and intent	Applies as written
4.661.B	Applicability	Does not apply
4.661.C	Glossary	Applies as written
Application Requirement		
4.662.A	Landscape Plan	Modified by 12.4.09.2
4.662.B	Irrigation Plans	Applies as written
Landscape Design Standards		
4.663.A	General requirements	
A.1	Required landscape area	Replaced by 12.3.09.3
A.2	Landscape area credits	Applies as written
A.3	Required tree planting	Modified by 12.4.09.4
A.4-5	Vehicular use areas	Modified by 12.4.09.6
A.6	Service areas	Modified by 12.4.09.7
A.7	Commercial buildings	Does not apply
4.663.B	Buffer-yard requirements	Does not apply
4.663.C	Add't req. for landscaping	Does not apply
4.663.D	Water efficient landscaping	Applies as written
4.663.E	Preserve area interface	Applies as written
Landscape Material Standards		
4.664	(All Subsections)	Applies as written
Maintenance of Required Landscaping		
4.665	(All Subsections)	Applies as written
Tree Protection		
4.666	(All Subsections)	Applies as written
Alternative Compliance		
4.667	(All Subsections)	Replaced by 12.1.13.3
Certificate of Compliance		
4.668	(All Subsections)	Applies as written

2. **Single family dwellings or duplexes.** Single Family Dwellings and duplexes are not required to submit a Landscape Plan or comply with Vehicle Use Areas Required tree planting and landscape area do apply to single family dwellings and duplexes.



Landscape Standards

12.4.09

3. Required landscape area.

- a. Table **OPC-10** indicates the minimum percentage of the total developed area that must be landscaped.
- b. Landscaping shall be permitted in easements only with the written permission of the easement holder. A written agreement shall specify the party responsible for restoring disturbed landscape areas, shall be submitted to the county in a form acceptable to the County Attorney, and shall be recorded in the public records.
- c. Exposed dirt yards are prohibited.

4. Required tree planting.

- a. Table **OPC-10** indicates the minimum number of trees that must be planted.
- b. Trees planted in adjacent right-of-way as indicated in Section 12.4.06, or in other nearby public space, shall be credited towards meeting the number of trees required by Table **OPC-10**. Any private use of the public right-of-way requires the approval of the County Engineer, a right-of-way use permit, a construction agreement, and an indemnification agreement.
- c. Trees planted in Vehicular Use Areas shall be credited towards meeting the number of trees required by Table **OPC-10**
- d. FPL's *Right Tree/Right Place Guidelines* shall be considered when trees are planted near utilities.

Table OPC-10 - Required Landscape Area & Tree Planting

Subdistrict	Minimum Percentage	One Tree for this Amount of Total Site Area
Core	0%	1,500 sf
Corridor	10%	1,500 sf
Industrial	Not Required	Not Required
Multifamily	Not Required	3,000 sf
Detached	Not Required	3,000 sf

5. Landscape Plan. Development applications shall include a landscape plan prepared by a qualified professional that provides the location and type of existing and proposed features that are identified in Table **OPC-11**, which are summarized from the detailed requirements in Section 4.662.A, Div. 15, Article 4.

- a. **Column A** requirements apply to an application for a final site plan.
- b. **Column B** requirements apply to an application for a building permit for a Small Site which is defined as the construction or expansion of a principal building or accessory structure on a lawfully established lot or adjacent lots, provided the parcel being developed is less than one-half acre.
- c. **Column B** requirements also apply to an application for a substantial improvement or substantial renovation of a building exterior on any lot regulated by Article 12, as those terms are defined in Section 4.871.B, Div. 20, Article 4.



Table OPC-11 - Landscape Plan Application Requirements

Div. 15, Article 4		In OPC CRA	
		A	B
1	Property boundaries	Yes	Yes
2	Land use features	Yes	Yes ¹
3	Structures & paving	Yes	Yes ¹
4	Utilities	Yes	Yes
5	Vehicular use areas	Yes	Yes
6	Water bodies	Yes	Yes
7	Tree survey	Yes	-
8	Installation methods	Yes	-
9	Development areas	Yes	-
10	Ditches & swales	Yes	-
11	Tabular data	Yes	-

¹On-site features only

6. Vehicular Use Areas.

a. **Perimeter landscaping.** Landscaping shall be provided along the perimeter of vehicular use areas in accordance with the following standards:

- i. The side of a vehicular use area fronting Mapp Road, Martin Downs Boulevard, or Martin Highway shall be planted with trees at 30-foot intervals. The trees shall be 16 feet in height, with a four-foot clear trunk, and four-inch caliper at the time of planting.
- ii. The side of a vehicle use area abutting a residential property (existing detached single family residential or Detached subdistrict) shall be planted with trees with a minimum height of 16 feet, four-foot clear trunk, and four-inch caliper, at 25-foot intervals in a landscape area that is at least eight feet wide. A five-foot wall or hedge shall also be provided. The trees, landscaped buffer and the wall, fence or hedge may be reduced or eliminated with the written consent of the owner of the residential property, which shall be recorded in the public records.
- iii. A wall, fence, berm or hedge shall be provided around all vehicle use areas. Between the vehicle use area and a road right-of-way, the wall, fence, berm or hedge shall not exceed four feet in height. For the remainder of the lot, it shall be no more than six feet in height. Walls and landscaping around parking areas shall provide pedestrian access every 50 linear feet. No wall, fence, or hedge is required along the side of a parking area that abuts another parking area.

b. **Interior landscaping.** If a vehicular use area is larger than 15,000 square feet, landscaping shall be provided within its interior in accordance with Section 4.663.A.4, Div. 15, Article 4, except that these interior landscape areas may also be used as stormwater management and conveyance facilities. If a vehicular use area is equal to or smaller than 15,000 square feet, no interior landscaping, terminal islands, interior



Landscape Standards

12.4.09

medians, or interior islands are required.

7. **Service areas.** Service function areas including dumpsters, shall be screened in accordance with Section 4.663.A.6, Div. 15, Article 4, except that landscaping shall not be required around the perimeter of the screen, and an enclosure shall be a finished masonry wall. All nonconforming enclosures shall be brought into compliance no later than two years from the effective date of this Division.



Section 12.4.10. Wall & Fence standards.

1. Walls and fences must comply with the Wall and Fence Standards established for all Redevelopment Zoning Districts in Section 12.1.10 except where modified below.
2. **Types.**
 - a. Chain link fences are not permitted in the in Core Subdistrict.



Sign Standards

12.4.11

Section 12.4.11. Sign Standards.

1. Signs must comply with the Sign Standards established for all Redevelopment Zoning Districts in Section 12.1.11 except where modified below.
2. **Wall signs.** Table **OPC-12** supersedes the signage-area table in Section 4.700, Div. 16, Article 4.
3. **Freestanding signs.** One freestanding sign is permitted per building or each 200 lineal feet of property frontage. The freestanding sign shall be a pedestal sign with a maximum square footage of 50 square feet per sign face.
4. **Murals** are permitted, but shall not contain advertising.
5. **Types of signs permitted.** The list of permitted signs in Section 4.703, Div. 16, Article 4 is adjusted by adding the following type of sign:
 - a. **Sandwich or sidewalk signs** as defined in Section 4.693, Div. 16, Article 4, are permitted in the Core and Corridor Subdistricts, provided the signs do not exceed 6 square feet per face, do not unreasonably obstruct pedestrian or vehicular movement, and are moved off sidewalks or other public property by 9:00 PM daily.
6. **Lettering and logo size.** Table **R-12** provides the maximum height of lettering and logos. Section 4.699, Div. 16, Article 4 establishes how the height of irregularly shaped features shall be measured.

Table OPC-12 - Sign Size Limitations

Subdistrict	Percent of Building Face Allowable for Wall Signs	Maximum Size Per Wall Sign	Maximum Height of Lettering and Logos for All Signs
Core	12%	32-sf	24 inches
Corridor	15%	32-sf	24 inches
Industrial	15%	32-sf	24 inches
Multifamily	-	-	-
Detached	-	-	-



Section 12.4.12. Architectural Standards. The following Architectural Standards are applicable within Old Palm City Redevelopment Zoning District:

1. **Accessory Structures.** Materials shall be or have the appearance of that of the primary structure.
2. **Historic Structures.** Structures identified as historically and architecturally contributing shall be candidates for historic protection as set forth in Div.13, Article 4.
3. **Architectural Guidelines.** The *Old Palm City Design Regulations* illustrate the architectural styles that are preferred within the Old Palm City Redevelopment Zoning District. The Design Guidelines are available by searching on the County website: www.martin.fl.us. All applications for new development and redevelopment shall include architectural drawings.
4. **Architectural styles.**
 - a. All new development in the Old Palm City zoning and mixed-use overlays is required to be in the Florida Vernacular style.
 - b. All new development in the Old Palm City CRA, outside the zoning and mixed-use overlays, is required to be in the Florida Vernacular, Florida Bungalow, Caribbean, or Mediterranean Revival architectural style.
 - c. Any substantial improvement of an existing structure or substantial renovation of a building exterior shall be consistent with the existing architectural style of the structure or the Florida Vernacular, if in a zoning or mixed-use overlay, or consistent with the existing architectural style of the structure or one of the four identified architectural styles, if outside the zoning and mixed-use overlays.
 - d. Design regulations in Old Palm City, a publication available from the Community Redevelopment Agency, provides helpful guidance regarding the intent and aspirations of the Old Palm City CRA zoning code, especially the building types and architectural styles.
5. **Florida Vernacular.** The Florida Vernacular style is derived from several different building styles within the Sunshine State, and is a blend of many traditional architectural styles, including, Colonial, Victorian, Queen Anne, etc. The Florida Vernacular also consists of many variations, including Key West, Cracker, Bungalow, Caribbean, and Coastal. General characteristics:
 - a. Metal standing seam or “V” crimp roofs predominant. Asphaltic shingle or wooden shakes are also used.
 - b. Roofs are primarily gabled with slope 6:12 or greater with deep (two feet to four feet) overhangs, exposed rafters, and roof vents.
 - c. Vertically proportioned massing.
 - d. Horizontal wood lap siding (four inch to six inches exposed) with vertical corner boards.
 - e. Vertically proportioned windows (double hung) and doors with wooden surrounds and sills.
 - f. Deep porches are signature Florida Vernacular. Many porches are full-length or wrap around, with post supports. Sometimes the roof of the porch has a different slope



Architectural Standards

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than the primary building.

- g. Usually sits on continuous skirted base, concealing crawl space for ventilation.
- h. Other elements of this style include widow walks, cupola or tower, Bahama shutters, exposed structural details (beams, rafters), shingles, post and rails, and picket fences.

6. **Florida Bungalow.** Florida Bungalow is itself a variation of the countrywide Bungalow style, which began in California, evolving from the Craftsmen Style. Homes generally have low and simple lines with wide projecting roofs and large porches with tapered wooden posts or masonry piers. Variations of this style include, Prairie, Craftsman or “Stick” style. General characteristics and elements:

- a. Predominately gabled roofs with shallow slopes (3:12-6:12) with asphalt shingles, deep overhangs, exposed rafters.
- b. The roof often has shed dormers.
- c. Primarily wood or masonry exterior finishes, commonly stucco, or wood siding and shingles.
- d. Continuous masonry or stone building base, steps, and pedestal for porch columns.
- e. Wooden brackets, railings, and tapered columns are very common
- f. Vertically proportioned windows (double hung with multiple vertically divided lights).
- g. Doors have wooden surrounds.
- h. Porches with tapered posts are the most obvious bungalow

7. **Caribbean or Anglo-Caribbean.** Caribbean or Anglo-Caribbean is a hybrid of Wood Vernacular and Spanish or Mediterranean detailing and materials. A prominent feature is the clear distinction between first and second floors, between the massive and masonry (Mediterranean), and the delicate and wood (Wood Vernacular). General characteristics and elements:

- a. Typically, hipped roofs with 4:12 to 8:12 slopes, of wood or asphalt shingles, metal, or slate.
- b. Deep overhangs often with different, shallower roof slope.
- c. Exposed rafters and thin eaves.
- d. Combination of masonry or stone and wood façades, typically ground floor stucco-masonry and wood siding second floor, with long covered balconies and porches, louvered openings and shutters.
- e. Vertical or square proportioned windows (double hung or casement) and doors, with deep openings to give the impression of thickness and solidity.
- f. Columns (smooth and round or squared masonry), posts, wooden and masonry balustrades, and brackets are common elements.
- g. Front porches and balconies under the primary roof, and loggias are common elements.
- h. Examples:
 - i. HOUSE, WINDSOR, FL: Materials are another important aspect of proper



Anglo-Caribbean design. They should be local whenever possible. Here a concrete base, wooden upper story and wooden shingle roof create a logical building system for Florida. The masonry base continues as a property wall and also defines a courtyard within.

- ii. HOUSE, ROSEMARY BEACH, FL: The Anglo-Caribbean style is showcased in the Florida Panhandle at Rosemary Beach. Large roofs shed water and provide shade to interior spaces, while porches and loggias offer outdoor rooms with pleasant properties. Roof vents can help keep materials dry

8. **Mediterranean Revival.** The Mediterranean Revival style is characterized and recognized by barrel tile roofs, richly painted stucco masonry façades, arched openings and windows, and the appearance of solidity and permanence. Mediterranean Revival style variations include Mission and Santa Fe, or Pueblo revival. General characteristics and elements:

- a. The roofs are generally shallow sloped hipped or gabled roofs (3:12 to 6:12).
- b. The building has irregular massing with a variety of shapes and heights.
- c. The building has eclectic ornamentation.
- d. The building has arcades, loggias, balconies, porches, and courtyards.
- e. Windows and doors are generally of vertical or square proportions, sometimes with arches and ornamentation. The openings are deep and cast shadows which give the impression of thickness and solidity.
- f. Brackets, balconies, shutters and other supporting elements are usually wood or iron.

Article 12

Redevelopment Code

*Land Development Regulations for
Community Redevelopment Areas
within Martin County, Florida*

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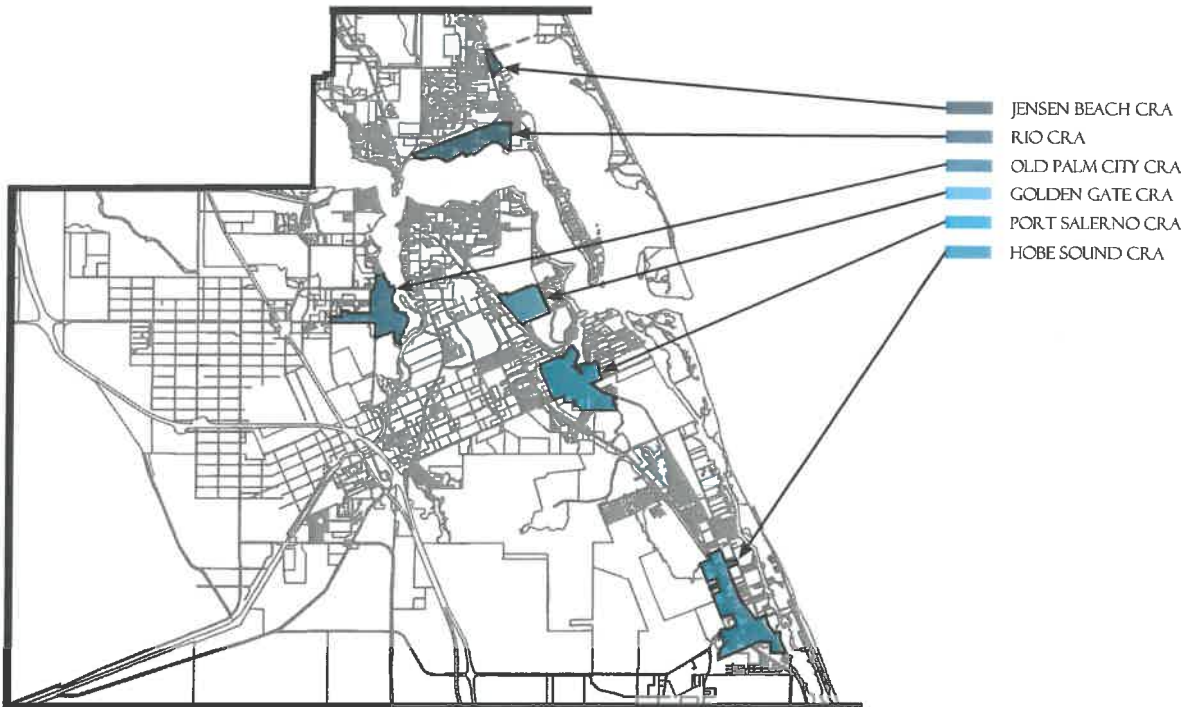
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Section 12.1.01. Purpose & Intent. The Redevelopment Code provides zoning procedures to implement Comprehensive Growth Management Plan policies by providing opportunities for traditional neighborhood design and mixed residential and commercial uses in redeveloping areas. The Redevelopment Code shall be adopted only for Community Redevelopment Areas (CRA) that have been formally designated by Martin County in accordance with the Comprehensive Growth Management Plan.

Section 12.1.01.A. Content of the Redevelopment Code. Each CRA shall have its own Redevelopment Zoning District. Article 12 provides Redevelopment Code and Redevelopment Zoning Districts for each of the following CRA, as shown in Figure 12-1:

1. Jensen Beach CRA Division 2
2. Rio CRA Division 3 (reserved)
3. Old Palm City CRA Division 4 (reserved)
4. Hobe Sound CRA Division 5 (reserved)
5. Port Salerno CRA Division 6 (reserved)
6. Golden Gate CRA Division 7 (reserved)

Figure 12-1 - Martin County Community Redevelopment Areas





Purpose & Intent

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Section 12.1.01.B. Adoption and modification of the Redevelopment Code. The adoption or modification of the Redevelopment Code and Redevelopment Zoning Districts and the assignment of land to a Redevelopment Zoning District and Subdistrict shall be by an ordinance amending the Land Development Regulations. When such ordinance assigns land to a Redevelopment Zoning District and Subdistrict, public notice shall be the same as for development applications and for amendments to the Martin County zoning atlas as set forth in Article 10.

Section 12.1.01.C. Function of the Redevelopment Code; consistency with other regulations. Development under the Redevelopment Code shall comply with all requirements of the Martin County Land Development Regulations and General Ordinances, except where such requirements are in conflict with the requirements of this Article 12. In the case of conflicting requirements, Article 12 supersedes the requirements of the Martin County Land Development Regulations and General Ordinances.

Section 12.1.01.D. Comprehensive Plan. All development in a CRA shall comply with the Martin County Comprehensive Growth Management Plan (CGMP). In the event of a conflict between the CGMP and a requirement of this Article, the stricter shall apply.

Section 12.1.01.E. Form-based code. The Redevelopment Code is a form-based code, land development regulations that foster predictable built results and a high-quality public realm by using physical form (rather than full separation of uses) as the code's primary organizing principle.

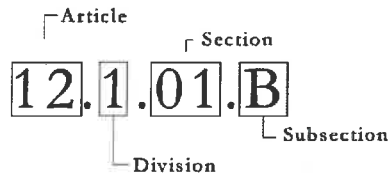
Section 12.1.01.F. Subdistricts. The land in each Redevelopment Zoning District is controlled by a Regulating Plan. The Regulating Plan may identify the following Subdistricts:

1. The **Core** Subdistrict is intended to be a pedestrian-oriented center for surrounding neighborhoods and the entire CRA. These are centers of dining, shopping, housing, and entertainment, with shaded sidewalks, large windows, intimate pedestrian spaces, outdoor dining, and richly detailed building facades. A broad mix of uses is encouraged in the Core Subdistrict.
2. The **Corridor** Subdistrict is intended to extend the pedestrian-oriented building types, frontages, and streetscapes along a major roadway.
3. The **General** Subdistrict offers a wide variety of housing, civic spaces, and pedestrian-oriented businesses. The General Subdistrict also fosters a mix of uses but is more residential in scale and character.
4. The **Waterfront** Subdistrict is defined by marinas and working waterfronts. In some Redevelopment Zoning Districts, it may also promote a mixed-use waterfront environment with restaurants, entertainment, resort and residential uses.
5. The **Industrial** Subdistrict identifies areas where industrial uses are permitted and encouraged.
6. The **Multifamily** Subdistrict allows for denser and more varied residential buildings.
7. The **Detached** Subdistrict is predominantly single-family homes with front yards and walkable sidewalks.
8. The **Mobile Home** Subdistrict identifies where mobile homes are permitted.



Section 12.1.01.G. How to use Article 12.

1. Review the standards in Division 1, which apply to all Redevelopment Zoning Districts.
2. Division 2 through Division 7 establish standards specific to each Redevelopment Zoning District(s). Review the Division applicable to the specific site.
3. Locate the site on the Regulating Plan. The Regulating Plan identifies the Subdistrict of each site in the Redevelopment Zoning District, the existing street network, the lot pattern, and additional regulatory information pertaining to that Redevelopment Zoning District.
4. Determine Permitted Uses for the Subdistrict.
5. Determine applicable Development Standards for the Subdistrict including lot size, density, and height.
6. Determine the permitted Building Types for the Subdistrict and development standards that correspond to those types.
7. Review applicable Stormwater Standards, Parking Standards, Wall and Fence Standards, Sign Standards, Architectural Standards and other standards that may be specific to the Redevelopment Zoning District and the Subdistrict.
8. Organization of Article 12 numbering.





Regulating Plan

12.1.02

Section 12.1.02. Regulating Plan

1. **Purpose.** A Regulating Plan is adopted for each Redevelopment Zoning District. The Regulating Plan illustrates zoning Subdistricts and provide detail about the existing and desired character of individual streets, blocks, and civic spaces. Certain standards in Redevelopment Zoning Districts are keyed to specific features shown on the Regulating Plan to manage the form and scale of buildings and their relationship with other buildings and the public realm.
2. **Content.** Regulating Plans contain regulatory information including the following:
 - a. **Boundary.** Boundary of the Redevelopment Zoning District.
 - b. **Subdistricts.** All land in a Redevelopment Zoning District is assigned to a Subdistrict that provides regulations for the characteristics and location of that land. Subdistricts are designated on the regulating plans.
 - c. **Primary and Secondary Streets and Alleys.** Primary Streets are intended to develop over time as pedestrian environments and, as such, are held to higher standards regarding building placement, building frontage, and the location of parking and service uses. Streets not designated as Primary Streets are Secondary Streets. Secondary Streets can accommodate service functions and vehicular-oriented development needs, including parking, loading, and drive-through facilities. Alleys are important assets in the Redevelopment Zoning Districts, performing many functions within small rights-of-way.
 - d. **Required Commercial Frontage.** Portions of Primary Streets within Redevelopment Zoning Districts are intended to support businesses, civic uses, and reinforce local character. These streets are designated as Required Commercial Frontage and are held to stricter standards regarding allowable frontage types and uses located within sidewalk level stories. Required Commercial Frontage shall be non-residential and open to the public at the ground level. Frontages shall be shopfront and arcades. Required Commercial Frontage shall be provided for a depth of no less than 20 feet measured from the front of the building.
 - e. **Recommended Future Street and Alley Connections.** Potential future connections may also be illustrated on Regulating Plans. Future connections are desired new vehicular or pedestrian connections to existing streets or alleys that will improve the overall transportation network. Future connections are not precise alignments or specific locations. The final street designations, exact alignment, location, maintenance responsibility and dedication of these intended links of the transportation network will be determined during the development review and approval process.
 - f. **Marine Service Areas.** Marine Service Areas cannot be converted to permanent housing unless the marine service uses can be replaced on the same parcel or another parcel not already designated a Marine Service Area. See CGMP Policy 4.13A.8(4).



Section 12.1.03. Permitted Uses.

1. Table 12-2 below identifies potential uses of land included in “use groups” with similar impacts. Each use group contains one or more of the uses described in Article 3 (see definitions in Div. 1, Article 3, standards for specific uses in Div. 3, Article 3). Each Redevelopment Zoning District contains a table describing which use groups are permitted.
2. All uses listed in Table 12-2 are not permitted in every Redevelopment Zoning District or Subdistrict.
3. The Growth Management Director may approve uses other than those listed in the Permitted Use Tables upon a finding that the use is functionally similar to the permitted uses and that the use is not likely to generate harmful impacts or create incompatibilities with other uses in the area. Prior to the decision, the Growth Management Director may request a recommendation from the Neighborhood Advisory Committee for that Redevelopment Zoning District. The Growth Management Director shall keep a record of all such determinations.
4. **Accessory Dwelling Units.** Standards for accessory dwelling units are provided with Development Standards Section 12.1.04.

Table 12-2 - Permitted Uses in Each Use Group

Residential Use Groups	Residential Uses in this Use Group
Accessory dwelling units	Accessory dwelling units, as accessory use
Mobile homes	Mobile homes Single-family detached dwellings
Other dwelling types	Apartment hotels Multifamily dwellings Single-family detached dwellings, if established prior to the effective date of this ordinance Townhouse dwellings
Single-family dwellings	Single-family detached dwellings Duplex dwellings Modular homes Family day care, as accessory use
Bed and breakfast inns	Bed and breakfast inns
Agricultural Use Groups	Agricultural Uses
Urban Farming	Urban Agriculture Agrihood Farmer’s Market, limited to open air markets and quarter acre fixed sites

I

Permitted Uses

12.1.03

Table 12-2 - Permitted Uses in Each Use Group Continued

Commercial & Business Use Groups	Commercial & Business Uses in this Use Group
Business & professional offices	Business & professional offices
Construction services, limited impact	Construction industry trades Trades & skilled services
Construction services, extensive impact	Construction sales & service
Convenience store with fuel	Convenience store with fuel
Drive-through facility	Drive-through facility, excluding restaurants with drive-through facilities
Drive-through restaurant	Drive-through restaurant
Hotels, motels, resorts & spas	Hotels, motels, resorts & spas
Marinas	Marinas, commercial Marine fuel sales Marine power sales, service and repair Watercraft sales, rentals, and charters Marine education & research
Medical offices	Medical services Veterinary medical services
Parking lots & garages	Parking lots & garages
Restaurants	Restaurants, convenience without drive-through facilities Restaurants, general
Retail & services, limited impact	Ancillary retail use Artisan, art studio, galleries Health and fitness club Limited retail sales & services
Retail & services, general impact	Commercial amusements, indoor Commercial day care Financial institutions Funeral homes General retail sales & services Residential storage facilities Theater, indoor
Retail & services, extensive impact	Commercial amusements, outdoor Flea markets Golf courses Golf driving ranges Plant nurseries & landscape services Kennels, commercial Shooting ranges, indoor Theater, outdoor
Recreational vehicle parks	Recreational vehicle parks
Vehicular service & maintenance	Vehicular service & maintenance
Wholesale trades & services	Wholesale trades & services
Working waterfront	Working waterfront Boat yards



Table 12-2 - Permitted Uses in Each Use Group Continued

Public & Institutional Use Groups	Public & Institutional Uses in this Use Group
Institutional uses, limited impact	Administrative services, not-for-profit Community centers Cultural or civic uses Neighborhood assisted residences with six or fewer residents Neighborhood boat launch Places of worship Post offices Protective & emergency services Public libraries Public parks and recreation areas, passive Residential care facilities, where such use was lawfully established prior to the effective date of this ordinance
Institutional uses, general impact	Educational institutions Public parks & recreation areas, active Residential care facilities Recycling drop-off centers Utilities
Industrial Use Groups	Industrial Uses in this Use Group
Limited impact industries	Limited impact industries
Extensive impact industries	Extensive impact industries



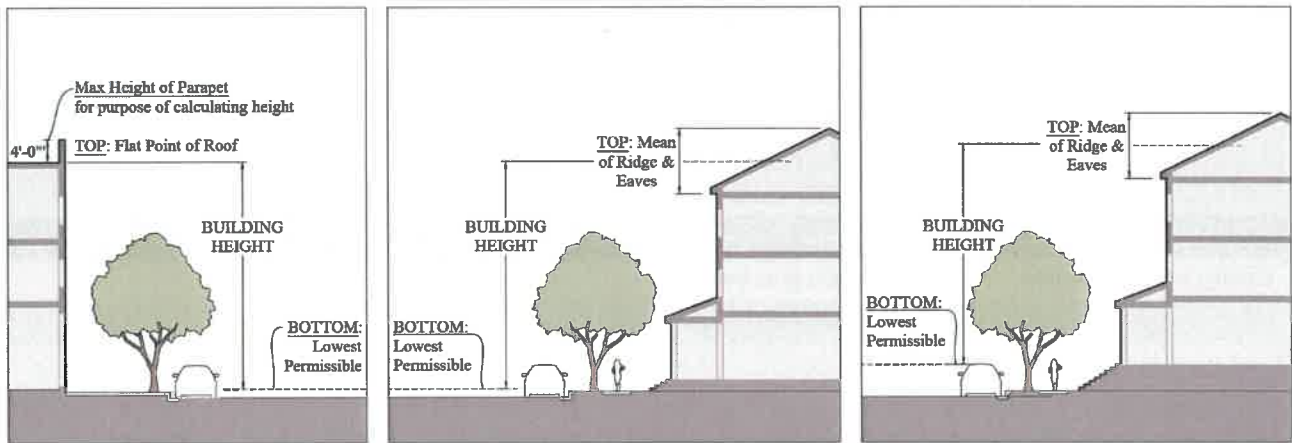
Development Standards

12.1.04

Section 12.1.04. Development Standards. Development Standards are established for all Redevelopment Zoning Districts. The following provisions apply in all Redevelopment Zoning Districts, except as they may be modified in a particular district:

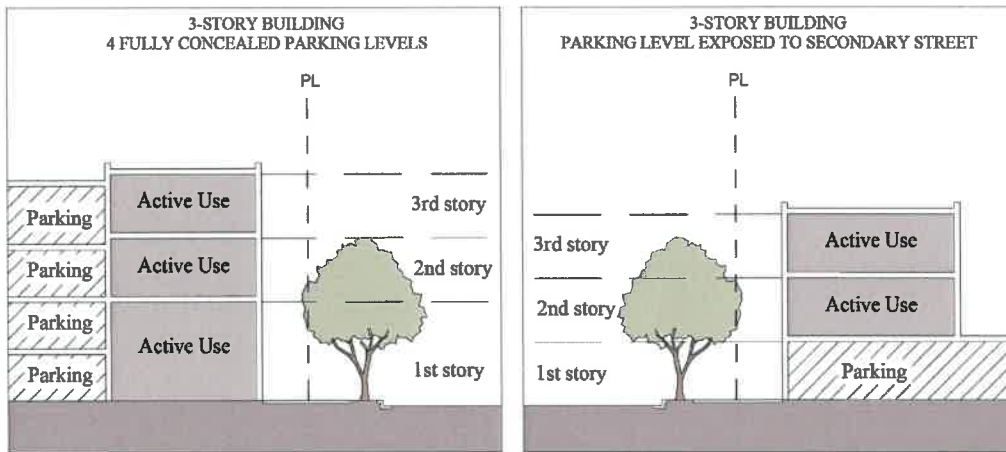
- 1. Lot Size.** Lot width shall be measured pursuant to Section 3.15.B, Div. 2, Article 3. Section 3.15.C, Div. 2, Article 3 provides exceptions to minimum lot size requirements.
- 2. Height.** Height is measured in accordance with Section 3.14, Div. 2, Article 3. Height exceptions are described in Section 3.14.B, Div. 2, Article 3. See Figure 12-3 for illustration. In case of a conflict between illustrations and text, Section 3.14, Div. 2, Article 3 controls.

Figure 12-3 - Building Height Diagrams



- Where maximum building heights are established in stories, all levels devoted to parking are considered as individual stories except when screened by a liner building with active use provided for a depth of no less than 20 feet measured from the front of the building. See Figure 12-4 for illustration. Under all circumstances the 40' and 4-story height limit shall not be exceeded.

Figure 12-4 - Parking Screened by Uses

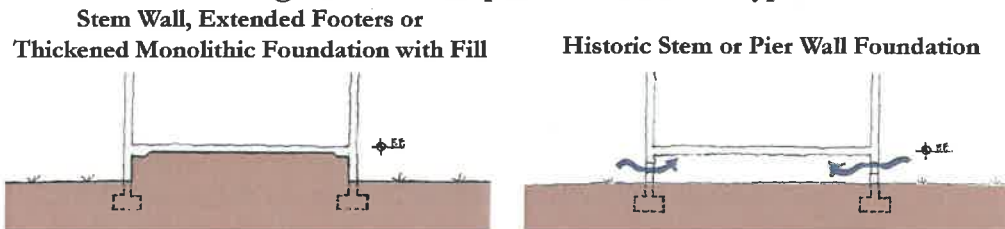


- Minimum ceiling heights are provided for certain Building Types in individual Redevelopment Zoning Districts. Ceiling height is measured from finished floor to finished ceiling.

3. **Density.** The permitted densities shall be gross residential densities and the gross land area of which this density is applied is described as follows. These densities shall be applied to contiguous land areas under common ownership, with the following provisions and exceptions:
 - a. In cases where land abuts the waters of the Atlantic Ocean, St. Lucie River, Indian River, Loxahatchee River, Intracoastal Waterway, Lake Okechobee or any tributary or manmade canal, the boundary of the land shall be delineated as established by State Statutes.
 - b. No submerged land areas waterward of the boundary described above shall be included under this definition.
 - c. No land areas proposed to be allocated to nonresidential uses shall be included under this definition except for contiguous land areas for:
 - i. Utilities under common ownership and principally supporting the residential use;
 - ii. Recreational facilities for the primary use of on-site residents;
 - iii. Dedication to the County or other County-approved agencies or notfor-profit corporations;
 - iv. In mixed-use projects in the six designated CRAs as described in Chapter 18.
 - v. The MUV future land use designation, as described in Policy 4.13A.15.
 - d. Maximum gross density is defined as maximum allowable units divided by gross land areas.
 - e. For development proposed for previously platted lots in a CRA and subject to calculation of gross residential density, the property owner may opt to include within the gross land area one-half of any right-of-way adjoining the development site.
 - f. **Small Dwelling Units.** When the lot is one acre or less, dwelling units of 800 square feet or less shall count as one-half a dwelling unit.
 - g. **Small Dwelling Units in Affordable Housing.** When the lot is larger than one acre, dwelling units of 800 square feet or less shall count as one-half a dwelling unit if at least 50 percent of the units qualify as affordable housing, as defined in the CGMP.
4. **Building Coverage.** Building coverage means the horizontal area measured from the building footprint of the roofed area at the ground floor of the principal and accessory structures on a lot.
5. **Open Space.** The open space requirements shall apply on a lot-by-lot basis unless the lot has been approved as part of a final site plan which demonstrates compliance on a project-wide basis, for example, by way of setting aside common areas such as upland and wetland preserve areas and other eligible open spaces.
6. **Building and Parking Placement.**
 - a. **Frontage.** Frontage is the percentage of the total width of a lot minus the required setbacks which is required to be occupied by the primary façade of a building. Building Frontage requirements are established for each Building Type.
 - i. The primary façade shall be generally parallel to the right-of-way, located in accordance with the minimum and maximum front setbacks of the Subdistrict or permitted Building Type.
 - ii. The location of the primary façade is not changed by the projection of

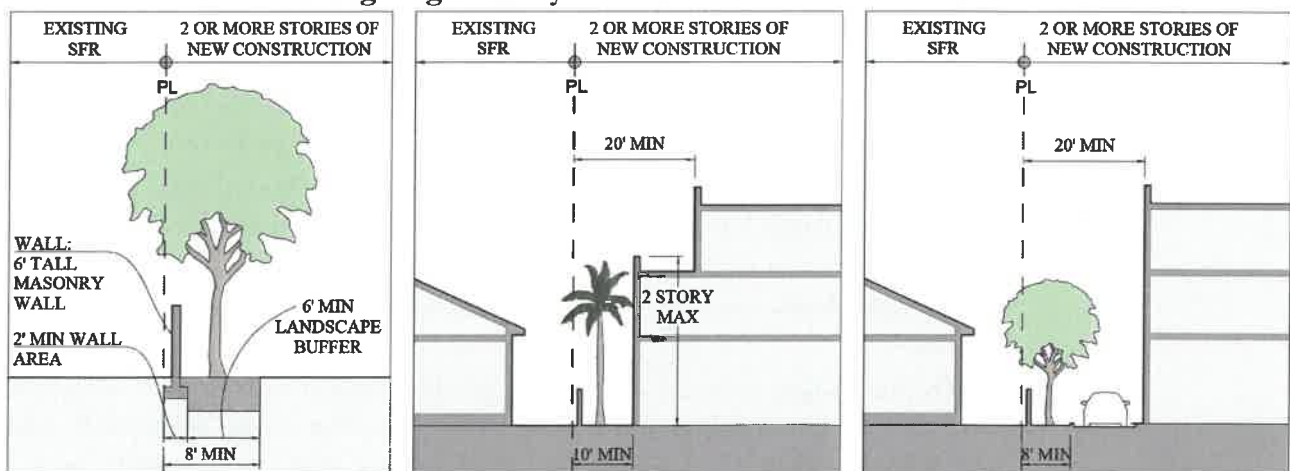
14. **Residential Development.** When residential use is proposed on the first floor of a building, elevation of the first floor at least twenty-four inches above the finished grade as measured along the front building line is required.

Figure 12-5 - Acceptable Foundation Types



15. **Building Transitions.** Where commercial, multifamily, or mixed-use construction along the rear or side yard of a property directly abuts a residential Subdistrict or an existing single family home with less than thirty feet (30') separation, such as a street, alley, railroad, waterway, park, right-of-way, or other public open space between them; the following shall apply:
- For buildings or portions of buildings two stories or less in height, a minimum side and rear setback of 10 feet from the property line shall be provided, unless a greater setback is required by another standard.
 - A minimum side and rear building setback of 20 feet shall be provided from the property line for the portion of the building that is over two stories in height.
 - A solid finished masonry wall six feet in height shall be located within 2 feet of the inside and adjacent to the portion of the property line which directly abuts the residential property followed by a minimum of a 6 foot planting strip with a hedge or tree. Walkways and other pedestrian or bicycle connections through the wall shall provide links encouraged by the CGMP to promote necessary or desirable connectivity between properties.

Figure 12-6 - Building Transition Requirements between Existing Single Family Residential and New Construction



16. **Substantial Improvement.** A substantial improvement is defined in Section 8.1, Article 8. Refer to Section 12.1.12 Applicability for Nonconforming uses, structures and lots as well as alternative compliance.



Building Type & Frontage Type Standards

12.1.05

Section 12.1.05. Building Types & Frontage Types.

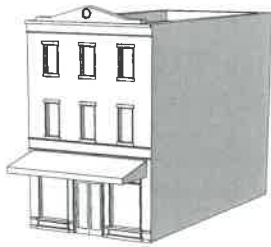
1. **Building Types** are required in Redevelopment Zoning Districts. Building Types do not prescribe use or architectural style. The following Building Types shall be incorporated or modified for use in Redevelopment Zoning Districts:
 - a. A **Shopfront Building** has ground-floor space immediately adjoining the sidewalk that can accommodate business uses with doors and large windows facing the sidewalk.
 - b. A **Mixed-Use Building** has multiple tenants or occupancies and may contain residences, lodging and/or businesses to the extent permitted in the Subdistrict. Mixed-use buildings may have a storefront frontage on the ground floor.
 - c. An **Office Building** has a one or more commercial tenants, occupancies, or businesses. An office building may have a storefront frontage on the ground floor.
 - d. An **Apartment Building** contains multiple residences above or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. Off-street parking is provided to the side or rear.
 - e. A **Courtyard Building** accommodates multiple dwellings or businesses arranged around and fronting on a central green that may be partially or wholly open to the street.
 - f. A **Townhouse** is a building with common walls on one or both sides and often has a private garden to the rear. Service and parking access are from the rear.
 - g. A **Live/Work Building** consists of commercial and residential uses. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activities or industry.
 - h. A **Side Yard House** is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard house types.
 - i. A **Cottage** is a detached building with a small front yard often located on a narrow lot. Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.
 - j. A **Cottage Court** is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas. Parking can be accommodated on-street and in a parking lot to the rear.
 - k. A **Duplex** is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.
 - l. An **All Yard House** has yards on all sides and may contain accessory structures toward the rear.
 - m. An **Outbuilding** is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. Outbuildings may include a garage, shed, workshop, or an accessory dwelling unit.
 - n. An **Industrial Building** will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking and loading shall be accommodated in Alleys or Secondary Streets whenever possible.

Building Type & Frontage Type Standards

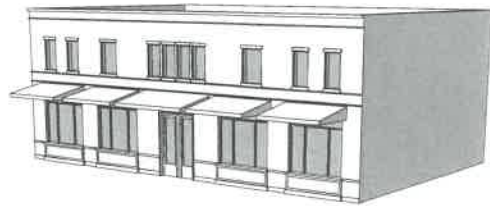
12.1.05



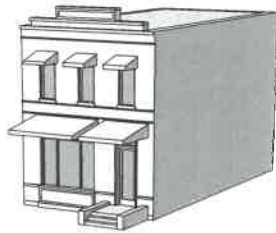
Figure 12-7 - Building Types Matrix



Shopfront Building



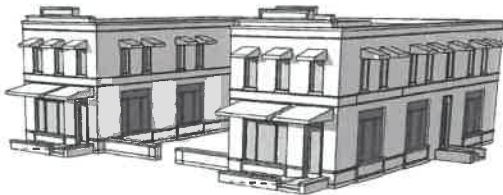
Mixed-Use Building



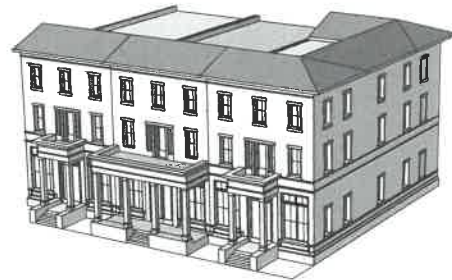
Office Building



Apartment Building



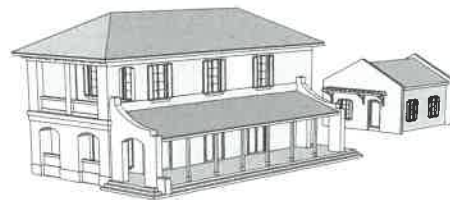
Courtyard Building



Townhouse Building



Live/Work Building



Side Yard House



Building Type & Frontage Type Standards

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Figure 12-7 - Continued Building Types Matrix



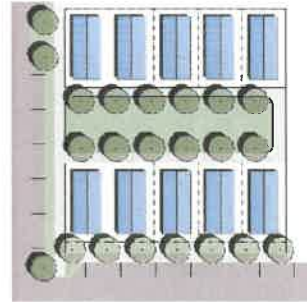
Duplex



Cottage



All Yard House



Cottage Court



Outbuilding



Industrial Building

2. **Frontage Types.** Building Frontage Types are required in certain Redevelopment Zoning Districts. The following frontage types as described further in Figures 12-7.01-12-7.06 may be incorporated or modified for use in Redevelopment Zoning Districts:
 - a. A **Storefront** frontage
 - b. An **Arcade** or gallery frontage
 - c. A **Bracketed Balcony** frontage
 - d. A **Porch** frontage
 - e. A **Stoop** frontage
 - f. A **Forecourt** frontage

Figure 12-7.01 - Storefront Frontage



Description

The storefront is a frontage type along the sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.

Dimensions

Width, length of facade	70% min.	(K)
Door recess	10 feet max.	(Q)
Storefront base	1 foot min. / 3 feet max.	(R)
Glazing height	8 feet min.	(S)
Awning		
Depth	3 feet min.	(H)
Height, ground level clear	8 feet min.	(J)
Width, length of facade	70% min.	(K)
Set back from curb	2 feet min.	(N)

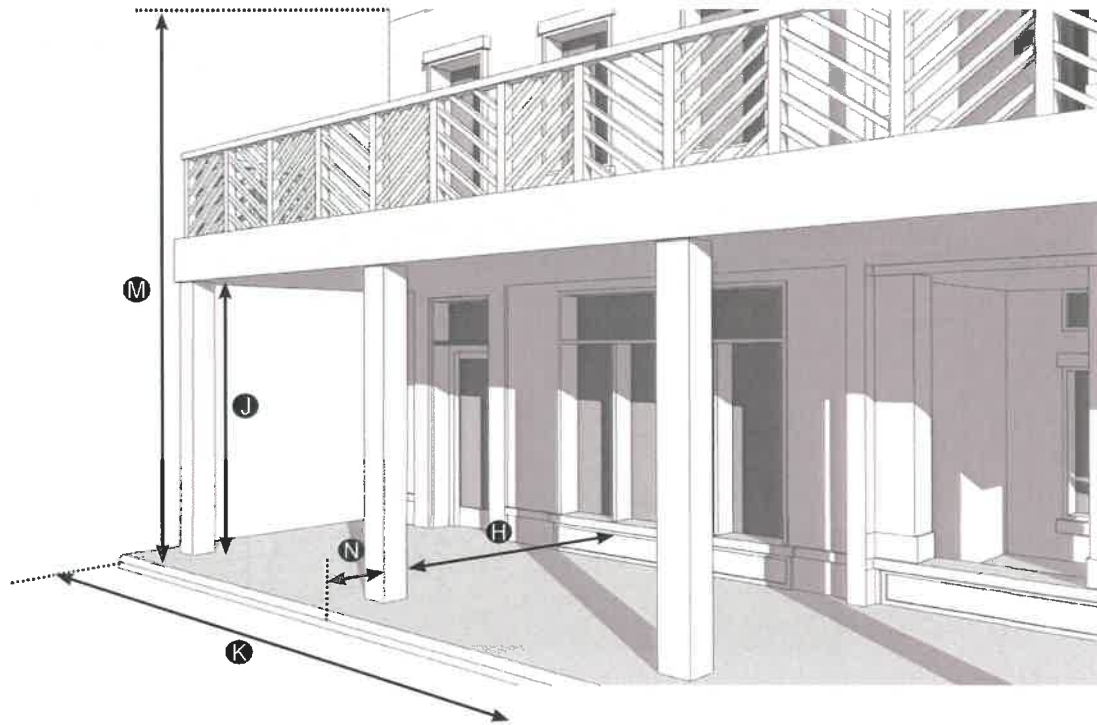


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Building Type & Frontage Type Standards

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Figure 12-7.02 - Arcade Frontage



Description

An arcade is a covered, unglazed, linear hallway attached to the front of a building, supported by columns or pillars. The arcade extends into the public right-of-way, over the streetscape area, creating a shaded environment ideal for pedestrians. This frontage type is typically associated with commercial uses. Arcades shall remain open to the public at all times. In the case where an arcade encroaches into the public right-of-way, a right-of-way maintenance agreement may be required.

Dimensions

Depth, clear	8 feet min.	H
Height, ground level clear	10 feet min.	J
Width, length of facade	70% min.	K
Finish level above sidewalk	Not applicable	M
Height, stories	2 stories max.	N
Set back from curb	2 feet min. / 4 feet max.	



Figure 12-7.03 - Bracketed Balcony Frontage



Description

A bracketed balcony is a second-story balcony, located over the main building entry, which provides cover for a person entering or exiting the building, emphasizes the entryway, and creates a semi-public space overlooking the street. Bracketed balconies are typically associated with buildings with commercial uses in the ground story; however, bracketed balconies may be used with residential uses if combined with a stoop.

Dimensions

Depth	5 feet max.	(H)
Height, ground level clear	10 feet min.	(J)
Width	4 feet min.	(K)
Finish level above sidewalk	Not applicable	
Height, stories	Not applicable	
Set back from curb	Not applicable	

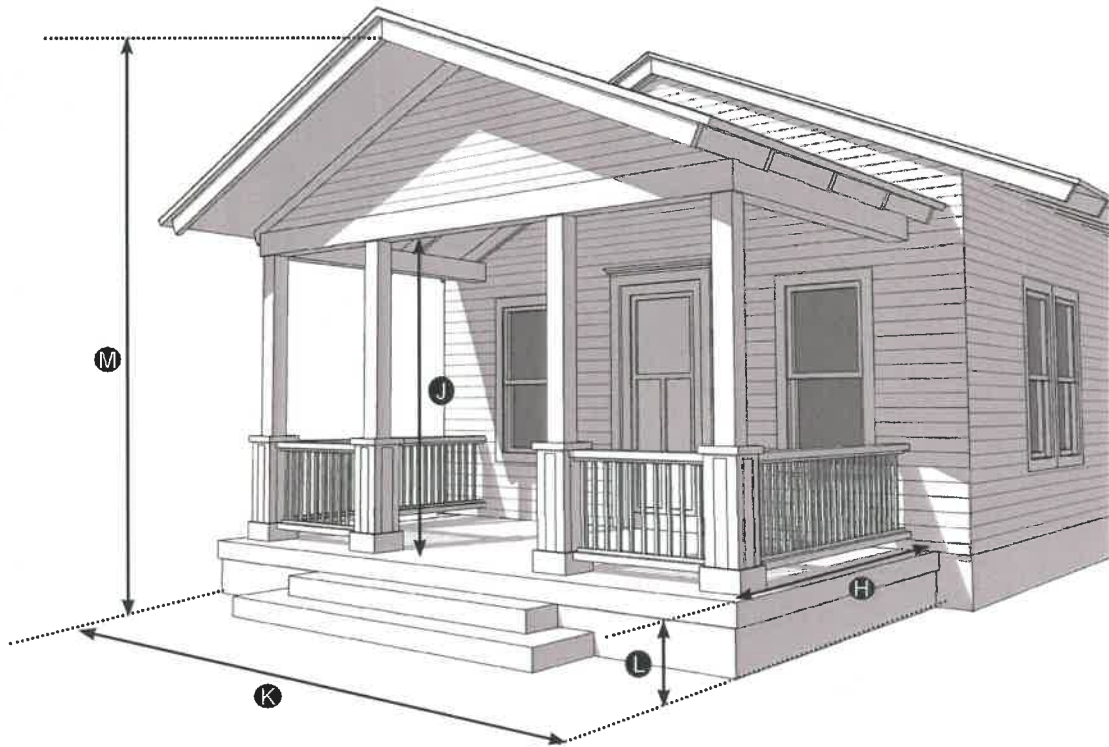


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Building Type & Frontage Type Standards

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Figure 12-7.04 - Porch Frontage



Description

A porch is an open-air structure attached to a building forming a covered entrance large enough for comfortable use as an outdoor room. All porches shall cover at least 40% of the width of the facade the porch enfronts, including any garage. Front porches may be screened.

Dimensions

Depth	8 feet min.	H
Height, ground level clear	8 feet min.	J
Width, length of facade	40% min.	K
Finish level above sidewalk	2 feet min.	L
Height, stories	2 stories max.	M
Set back from curb	Not applicable	



Figure 12-7.05 - Stoop Frontage



Description

A stoop is a small staircase leading to the entrance of a building that may be covered. The elevation of the stoop is necessary to ensure privacy for residential uses in the ground story of buildings. Stoops should provide sufficient space for a person to comfortably pause before entering or after exiting the building.

Dimensions

Depth	5 feet min.	(H)
Height, ground level clear	8 feet min.	(J)
Width, clear	4 feet min.	(K)
Finish level above sidewalk	2 feet min.	(L)
Height, stories	1 story max.	(M)
Set back from curb	Not applicable	

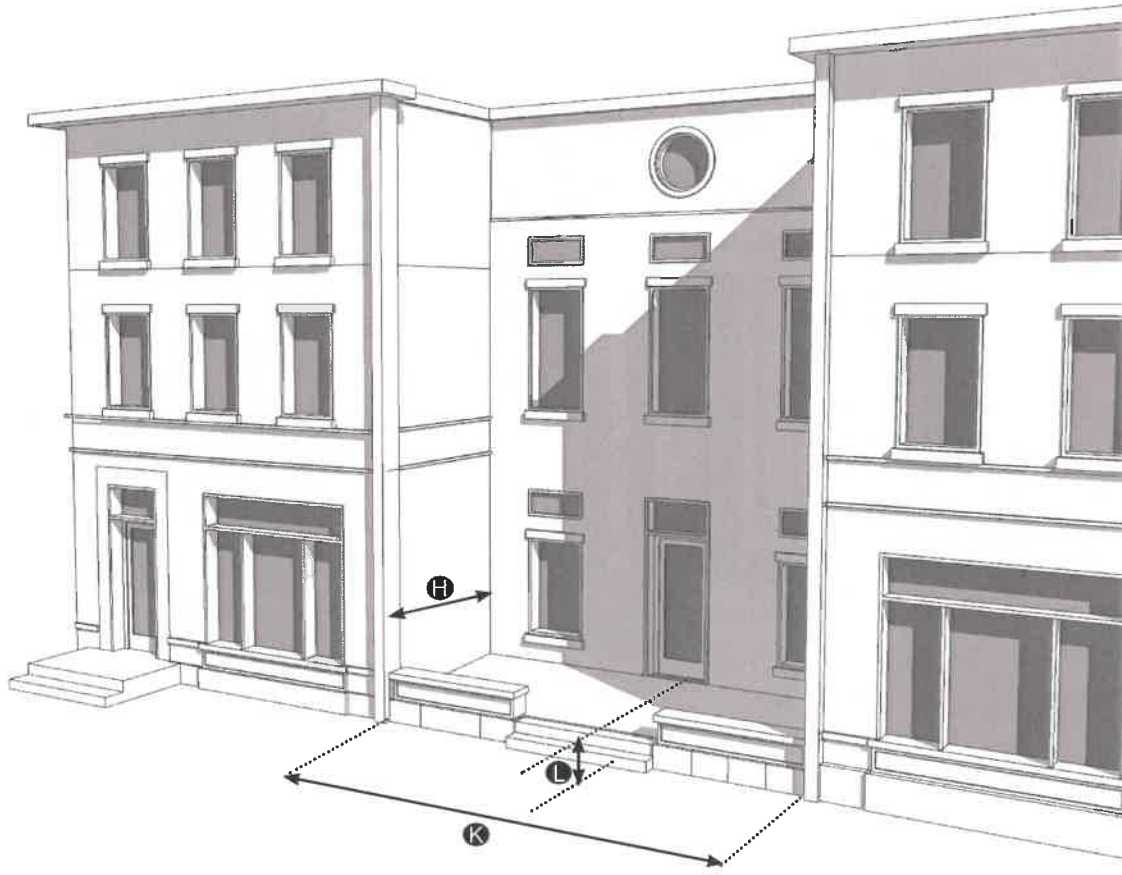


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Building Type & Frontage Type Standards

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Figure 12-7.06 - Forecourt Frontage



Description

A forecourt is an open area in front of the main building entrance(s) designed as a small garden or plaza. Low walls or balustrades no higher than three feet six inches in height when solid may enclose the forecourt. Forecourt walls are constructed of similar material as the principal building or are composed of a continuous, maintained hedge. A forecourt may afford access to one or more first floor residential dwelling units or incorporate storefronts for commercial uses. Forecourts are typically associated with multifamily, mixed-use, and commercial buildings.

Dimensions

Depth, clear	20 feet max.	H
Height, ground level clear	Not required	
Width, length of facade	12 feet min. / 50% of facade max.	K
Finish level above sidewalk	2 feet min.	L



Building Type & Frontage Type Standards

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Figure 12-7.07 - Possible Examples of Accessible Routes for Raised Ground Levels



Description

The Florida Building Code contains technical requirements for accessibility for sites, facilities, buildings and elements by individuals with disabilities which may include code requirements for the access into a building. The images above depict possible solutions for buildings when raised above the natural or existing grade. Refer to the latest version of Florida Building Code for the specific requirements and standards of the code. See Figure 12-7.07 for images of examples.



Street Standards

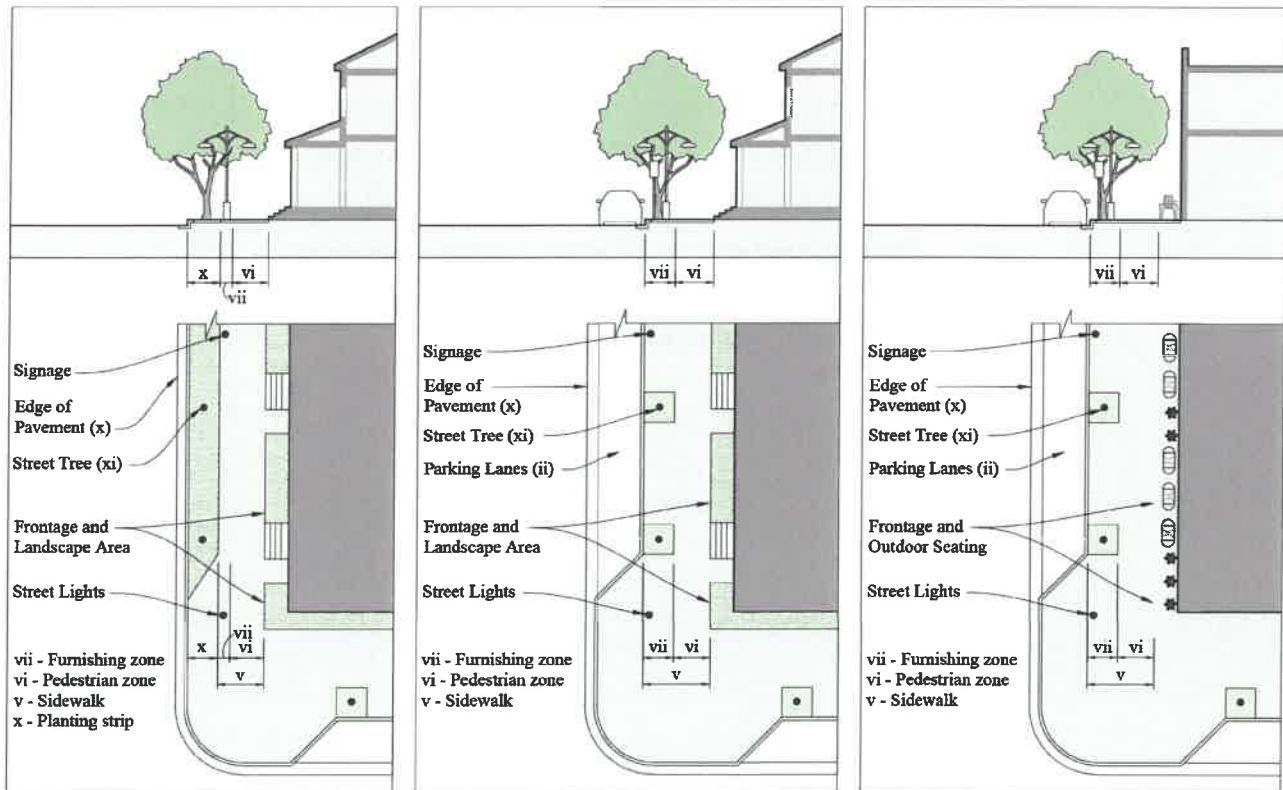
12.1.06

Section 12.1.06. Street Standards.

1. **Intent.** The intent of this section is to provide flexibility for the design of traditional neighborhood streets and to achieve the transportation, environmental, aesthetic, economic, safety, and maintenance objectives for each street and neighborhood. These streets expand options for vehicular, pedestrian, and bicycle access through an integrated network of narrow streets that incorporates traffic calming and often allows on-street parking.
2. **Street Layout Principles.** All development and public improvements within Redevelopment Zoning Districts shall incorporate the following street layout principles:
 - a. Street layout shall exhibit a high degree of overall connectivity, with allowances for topographic or wetlands conditions.
 - b. Cul-de-sacs are strongly discouraged, but may be used where physical barriers preclude street connectivity.
 - c. Oversized blocks shall be avoided so that neighborhoods can be traversed easily.
 - d. Shade trees shall be planted between the sidewalk and vehicles.
 - e. Wherever possible, provisions shall be made for on-street parking.
3. **Description of Street Types.** Table 12-8 describes street types that are appropriate for Redevelopment Zoning Districts. Figures 12-1.8.01 through 12-1.8.17 are illustrative examples of the street types.
4. **New Streets.** New streets or alleys or the extension of an existing street or alley, the street types in Table 12-8 and illustrated in Figures 12-1.8.01 through 12-1.8.17 shall be considered.
5. **Existing Streets.** Within a Redevelopment Zoning District, the street design standards of Section 12.1.06 should be incorporated into the construction or reconstruction of streets to the greatest extent possible, taking into account existing conditions including right-of-way constraints that may require adjustments to these standards. The abandonment of existing streets or paved or unpaved rights-of-way is strongly discouraged.
6. **Specific Standards.**
 - a. **Street Design Standards.** The standards for street designs are provided in Figures 12-1.8.01 through 12-1.8.17. Where particular elements are not required, they are not prohibited if its design is appropriate to the context and is approved by the County Engineer. The illustrative street designs address the desired street elements in a Redevelopment Zoning District:
 - i. **Travel lanes** – primarily for vehicular circulation
 - ii. **Parking lanes** – on-street parking
 - iii. **Bike facility** – may be the shared use of a travel lane or a separate bicycle lane; bicycle lanes are always required if included among the "Top 20 Priorities" of the latest *Martin County Bicycle and Pedestrian Action Plan* or identified as a project recommendation in the latest Metropolitan Planning Organization (MPO) bicycle, pedestrian and trails master plan

- iv. **Pavement width** – width of pavement from edge of pavement or curb which is dedicated for vehicular travel, but could include bike lanes. Where appropriate, pavement may include pervious areas to manage stormwater
- v. **Sidewalk** – A sidewalk shall be at least six feet (6') wide and be provided on both sides of all the streetscapes
- vi. **Pedestrian zone** – A pedestrian zone is free of any street furnishings or utilities and allows the clear passage of pedestrians. A six feet (6') wide pedestrian zone is preferred. Any portion of the pedestrian zone within the front setback area shall be improved as an extension of the public sidewalk and shall match the public sidewalk in design and material, providing a seamless physical transition
- vii. **Furnishing zone** – paved area adjacent to the sidewalk for street furniture, tree wells, and extra sidewalk width
- viii. **Median** – vegetated area between travel lanes of opposing direction (required only where indicated) Medians, when present, should be used to integrate stormwater management
- ix. **Edge of pavement** – curb and gutter may be required
- x. **Planting strip or planting area** – vegetated area between a sidewalk and vehicles. Planting strips are encouraged to integrate stormwater management
- xi. **Street trees** – required type and placement of street trees

Figure 12-8 - Streetscapes Diagrams





Street Standards

12.1.06

b. Deviation from Street Design Standards.

- i. The County Engineer after consulting with the Office of Community Development may allow deviations from the standards contained in Figures **12-1.8.01** through **12-1.8.17** when necessary due to the location of existing buildings, constrained right-of-way, or to meet other community needs or goals for the particular street segment. Such deviations may include, but are not limited to, the width of a furnishings zone, sidewalk, median, or bike facility that is greater or less than that provided in Figures **12-1.8.01** through **12-1.8.17**.
- ii. These street design standards may also be modified by provisions specific to a particular Redevelopment Zoning District.

c. Block standards. Blocks created by new streets shall not exceed 660 feet on any side of the block. New block perimeters shall not exceed 2,000 feet.

d. Gates and guardhouses. Private gated communities are not permitted within the Redevelopment Zoning Districts. Gates and guardhouses may not be installed on public or private streets or alleys in Redevelopment Zoning Districts. This prohibition does not preclude gates that control access to a single parking lot.

e. Stormwater and landscape. The recommended filtration strategies from the *Stormwater Design Toolkit* (Martin County CRA, January 2012) shall be used whenever feasible. Green infrastructure stormwater best practices, such as pervious paving, bioretention systems, rain gardens, bioswales, and stormwater planters, are encouraged to slow and treat stormwater runoff while providing additional community benefits.

7. Conflicting standards.

a. The standards contained in the following sub-sections of Section 4.843, Div. 19, Article 4 do not apply to streets designed in conformity with Article 12:

- i. Section 4.843.B (Right-of-way requirements),
- ii. Section 4.843.C. (Lane and buffer widths), and
- iii. Section 4.843.E. (Radius at street intersections).

b. Section 4.627, Div. 14, Article 4 Parking and Loading, does not apply to streets designed in conformity with Section 12.1.06.

Table 12-8 - Description of Street Types

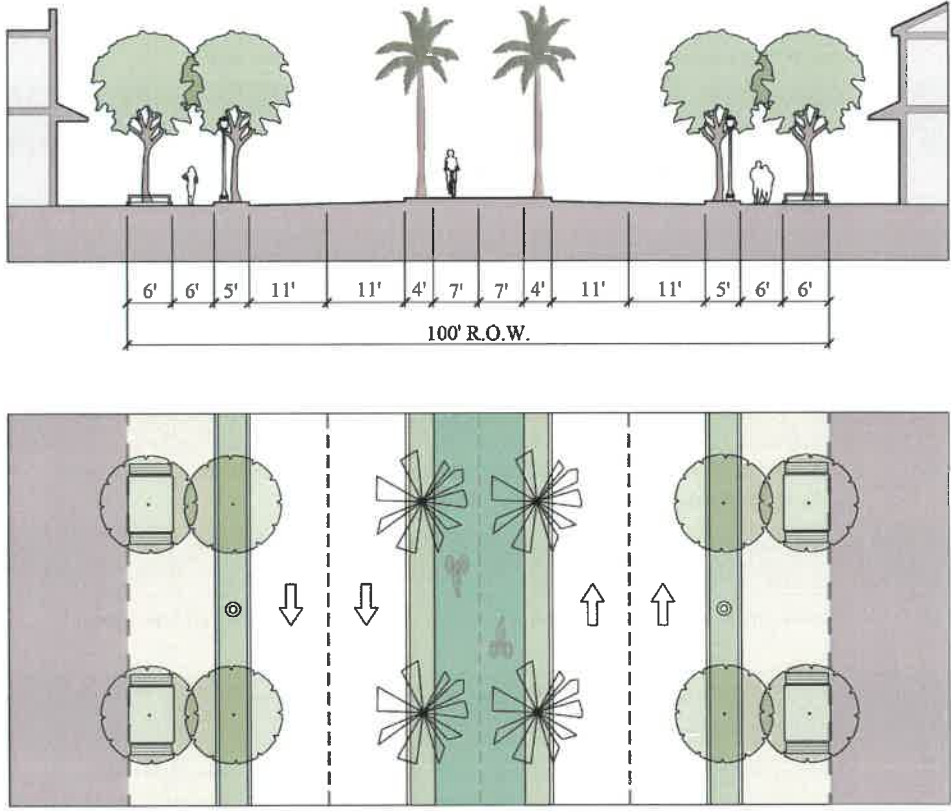
Street Type	Description	Preferred ROW (ft)
Boulevard 1	A street with four travel lanes and a center median with a two way cycle track.	100
Boulevard 2	A street with four travel lanes and a center median which allows for a turning lane where needed and a raised bike lane on each side of the street.	100
Avenue 1	A street with four travel lanes, a center median, buffered bike lanes and on-street parking.	100
Avenue 2	A street with two travel lanes, a center median, buffered bike lanes and on-street parking.	90
Avenue 3	A street with two travel lanes, a center median, raised bike lanes or multi-use path and on-street parking.	90
Main Street 1	A street with two travel lanes and a center median. A wide sidewalk accommodates a large pedestrian zone and furnishing zone or a multi-use path.	80
Main Street 2	A street with two travel lanes, buffered bike lanes and on-street parking.	80
Main Street 3	A street with two travel lanes, a center median, buffered bike lanes and on-street parking. Buildings are setback from the right-of-way.	80
Main Street 4	A street with two travel lanes, a center median, and raised bike lanes.	80
Local Street 1	A local street with two travel lanes, a center turn lane, and buffered bike lanes.	70
Local Street 2	A local street with two travel lanes, on-street parking, and wide pedestrian and furnishing zone.	70
Local Street 3	A local street with on-street parking, street trees, and sidewalks on both sides.	60
Local Street with Shared Use Path	A local street with two travel lanes, and a wide pedestrian and furnishing zone on one side and a shared use path on the other side of the roadway.	50
Neighborhood 1	A local street with on-street parking, street trees, and sidewalks on both sides.	50
Neighborhood 2	A local street with on-street parking on one side of the roadway, street trees, and sidewalks on both sides.	50
Yield Street	A narrow local street that slows vehicular travel with on-street parking, street trees, and sidewalks on both sides.	44
Alley	A roadway which provides a secondary means of access to abutting properties, and not intended for general traffic circulation.	15

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Street Standards

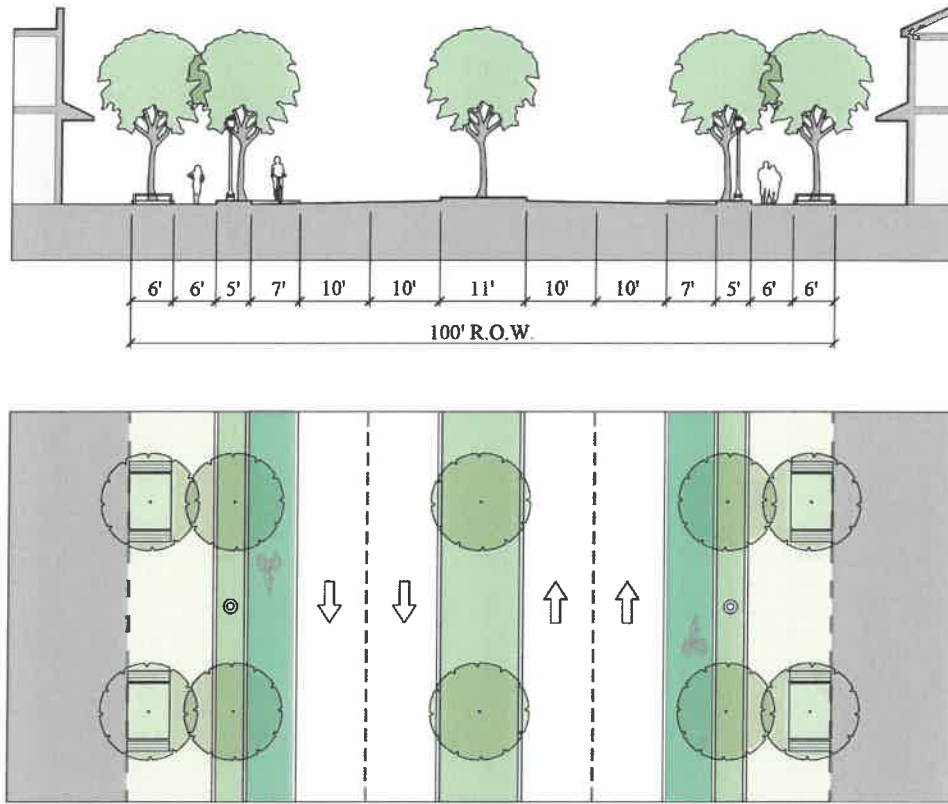
12.1.06

Figure 12-8.01 - Boulevard 1



Type	Boulevard 1
Traffic Lanes	11 feet
Parking Lanes	Not required
Bike Facility	2-way cycle track 7 feet each lane
Preferred R.O.W.	100 feet
Pavement Width	22 feet and 22 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet
Furnishing Zone	6 feet
Median	22 feet with cycle track
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.02 - Boulevard 2



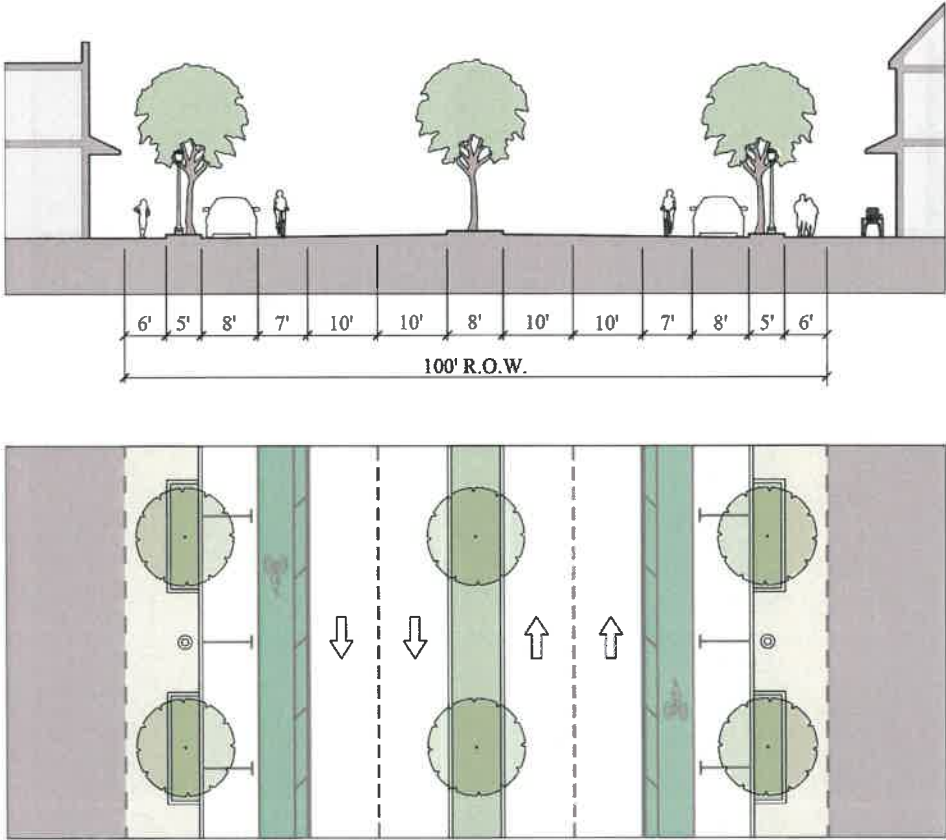
Type	Boulevard 2
Traffic Lanes	10 feet
Parking Lanes	Not required
Bike Facility	7 feet raised bike lane
Preferred R.O.W.	100 feet
Pavement Width	20 feet and 20 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet
Furnishing Zone	6 feet
Median	12 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

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Street Standards

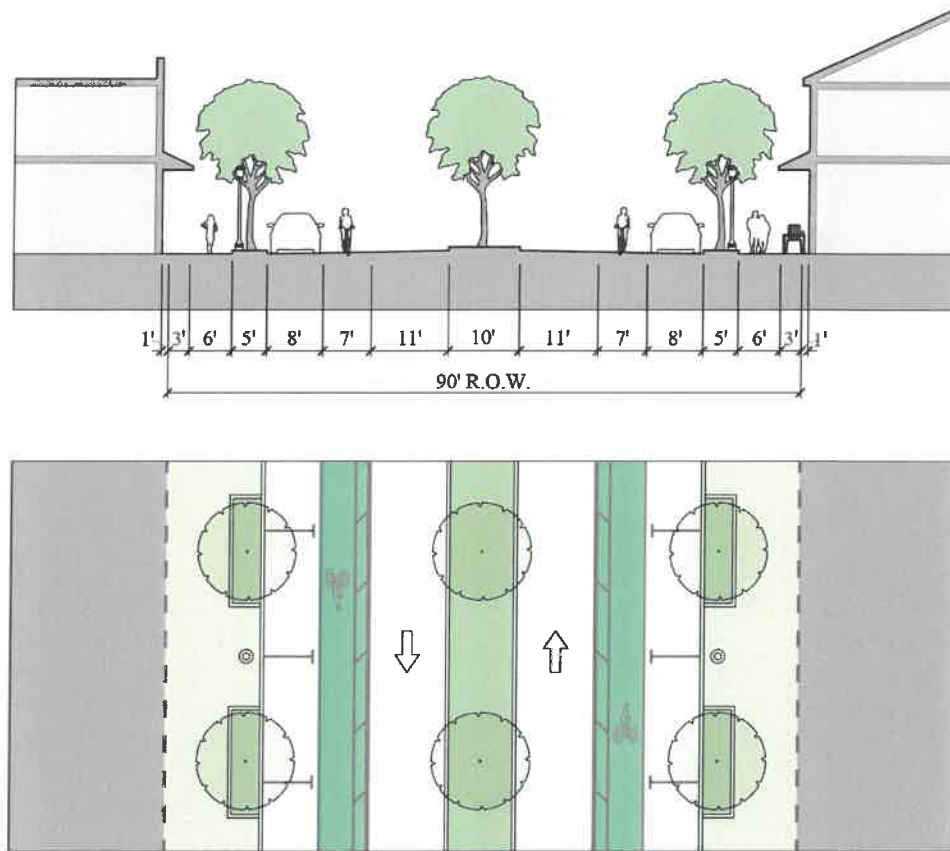
12.1.06

Figure 12-8.03 - Avenue Street 1



Type	Avenue 1
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	100 feet
Pavement Width	35 feet and 35 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	8 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.04 - Avenue Street 2



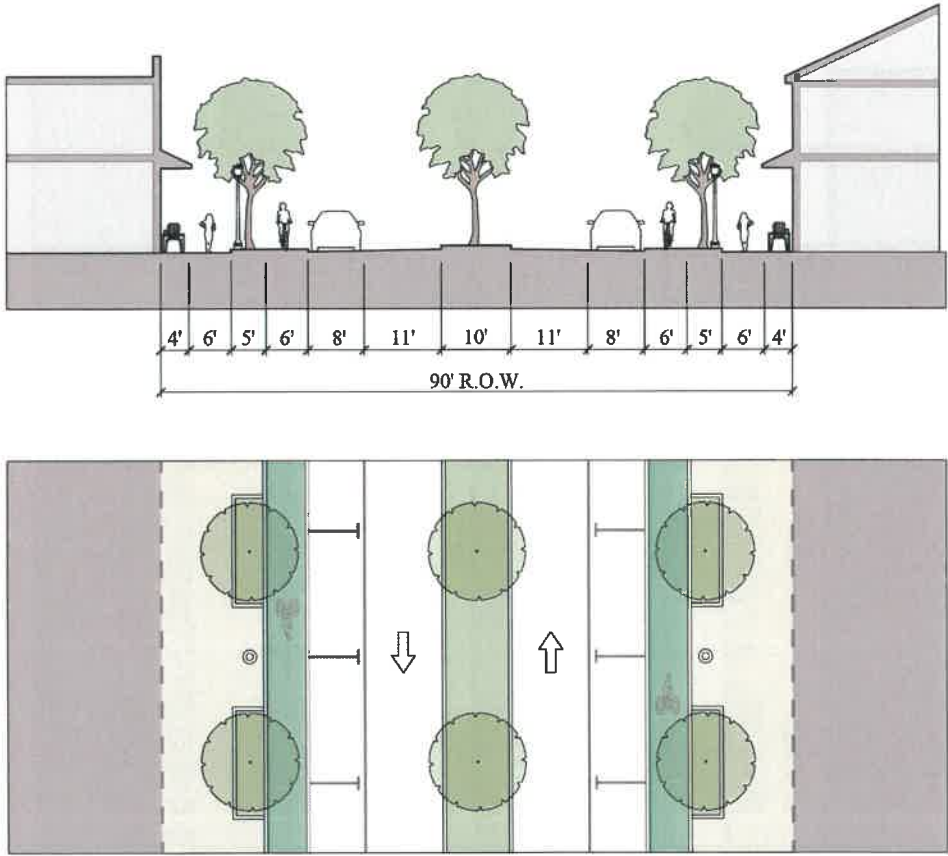
Type	Avenue 2
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	90 feet
Pavement Width	26 feet and 26 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

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Street Standards

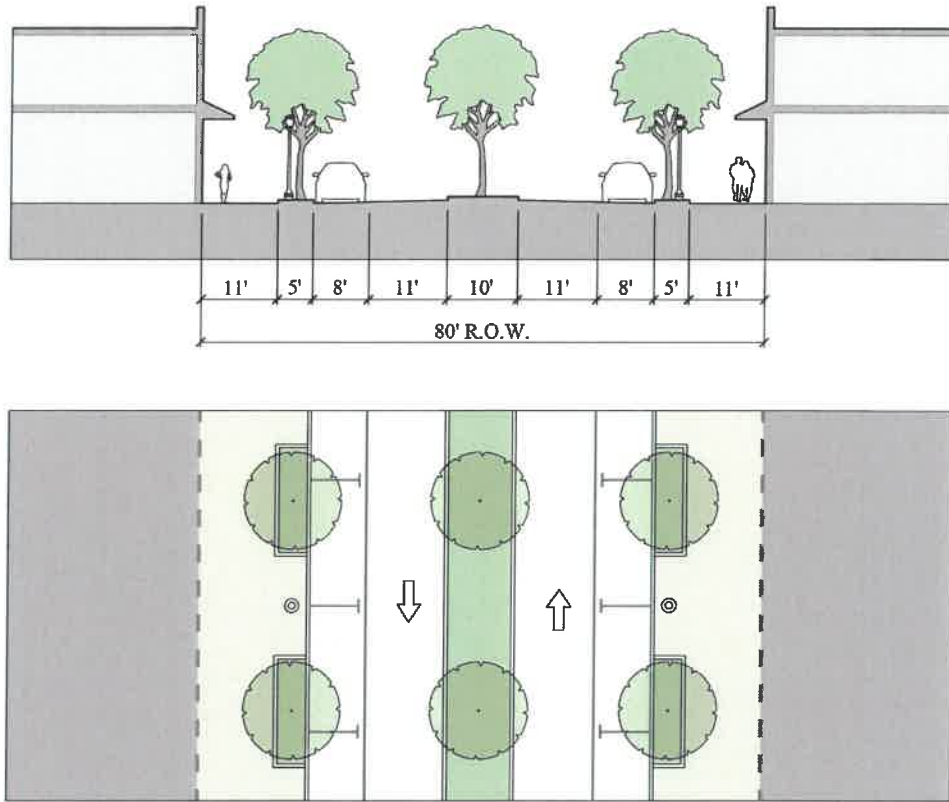
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Figure 12-8.05 - Avenue Street 3



Type	Avenue 3
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	6 feet raised bike lane
Preferred R.O.W.	90 feet
Pavement Width	19 feet and 19 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.06 - Main Street 1



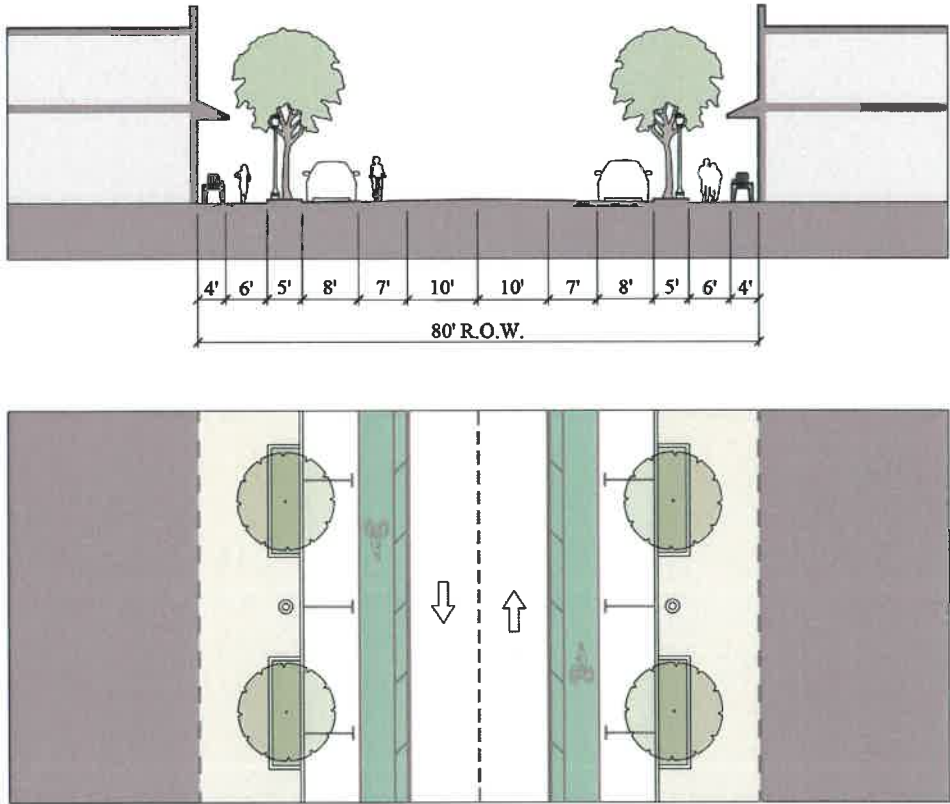
Type	Main Street 1
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	Shared lane
Preferred R.O.W.	80 feet
Pavement Width	19 feet and 19 feet
Sidewalk	16 feet
Pedestrian Zone	11 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

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Street Standards

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Figure 12-8.07 - Main Street 2



Type	Main Street 2
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	80 feet
Pavement Width	50 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	Not required
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center