

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Doug Smith

**Name of Board/Agency (BCC, CEB, BOZA, etc.):**

BCC

**Item/Issue:**

**PUBLIC HEARINGS QUASI-JUDICIAL:**

**PHQJ-1: REQUEST FOR A ZONING DISTRICT CHANGE BY TRINIDAD AND 3 BAGELS, LLC (T146-002) - This is a request by Trinidad and 3 Bagels (T146-002) for a proposed amendment to the county zoning atlas for a residential district designation. The proposed amendment is to change the existing zoning district classification from A-2, Agricultural District to the AR-5A, Agricultural Ranchette District or the most appropriate zoning district. The approximate 25-acre parcel of land is located at 6155 SW Leighton Farm Avenue in Palm City. Included with this application is a Request for a Certificate of Public Facilities Exemption.**

**Agenda Item: 22-1011**

**Name of person, group or entity with whom communication took place:**

NONE

**Subject matter of communication** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex-parte communication are given a reasonable opportunity to refute or respond to the communication): **NONE**

**Describe investigations, site visits and provide any expert opinions received** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex parte communication are given a reasonable opportunity to refute or respond to the communication):

NONE

**List and attach any written communication received:**

See Attached (if any)

## EX PARTE COMMUNICATION DISCLOSURE FORM

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**Board / Agency Member name:**

Commissioner Doug Smith

**Name of Board/Agency (BCC, CEB, BOZA, etc.):**

BCC

**Item/Issue:**

**PUBLIC HEARINGS QUASI-JUDICIAL:**

**PHQJ-2: REQUEST FOR A ZONING DISTRICT CHANGE BY 4585 NE OCEAN BLVD., LLC (F112-003) - This is a request by 4585 NE Ocean Blvd., LLC (F112-003) for a proposed amendment to the county zoning atlas. The proposed amendment is to change the existing zoning district classification from HR-2A, Multiple-Family Dwelling District to RS-6, Medium Density Residential District or the most appropriate zoning district. The approximate 1.37-acre parcel of land is located at 4585 NE Ocean Boulevard on Hutchinson Island. Included with this application is a Request for a Certificate of Public Facilities Exemption. Agenda Item: 22-1012**

**Name of person, group or entity with whom communication took place:**

NONE

**Subject matter of communication** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex-parte communication are given a reasonable opportunity to refute or respond to the communication): **NONE**

**Describe investigations, site visits and provide any expert opinions received** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex parte communication are given a reasonable opportunity to refute or respond to the communication):

NONE

**List and attach any written communication received:**

**See Attached (if any)**

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**Board / Agency Member name:**

Commissioner Doug Smith

**Name of Board/Agency (BCC, CEB, BOZA, etc.):**

BCC

**Item/Issue:**

**PUBLIC HEARINGS QUASI-JUDICIAL:**

**PHQJ-3: REQUEST BY FLORIDA POWER AND LIGHT COMPANY FOR MAJOR SITE PLAN APPROVAL FOR THE WHITE TAIL SOLAR ENERGY CENTER**

**(F110-002) - This is a request by Florida Power and Light Company (FPL) for major final site plan approval for the development of a solar energy center (solar farm) and the associated infrastructure on an approximate 601-acre site which is the north half of a larger 1261-acre tract previously utilized for agricultural production. The parcel is located on the north side of SW Citrus Boulevard approximately 5 1/2 miles west of SW 96th Street and 3 miles east of the Village of Indiantown. Agenda Item: 22-1038**

**Name of person, group or entity with whom communication took place:**

Marshall Critchfield

**Subject matter of communication** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex-parte communication are given a reasonable opportunity to refute or respond to the communication): **White Tail Solar Energy Center**

**Describe investigations, site visits and provide any expert opinions received** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex parte communication are given a reasonable opportunity to refute or respond to the communication):

NONE

**List and attach any written communication received:**

See Attached (if any)

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Doug Smith

**Name of Board/Agency (BCC, CEB, BOZA, etc.):**

BCC

**Item/Issue:**

**DEPARTMENTAL QUASI-JUDICIAL - GROWTH MANAGEMENT:**

**DPQJ-1: REQUEST APPROVAL FOR THE 79TH AMENDMENT TO THE MARTIN DOWNS PLANNED UNIT DEVELOPMENT ZONING AGREEMENT INCLUDING A REVISED MASTER/FINAL SITE PLAN AND REVISED PHASING PLAN FOR THE MERIDIAN MARINA PROJECT (M035-210) - This is a request by AC Meridian Marina, LLC for the 79th Amendment to the Martin Downs Planned Unit Development (PUD) Zoning Agreement for the Meridian Marina including a revised Master/Final Site Plan for the approximate 11 acre previously developed marina and boat storage facility located on the St. Lucie River at 1400 SW Chapman Way. Included is a request for a Certificate of Public Facilities Reservation. Agenda Item: 22-1039**

**Name of person, group or entity with whom communication took place: Morris Crady**

**Subject matter of communication** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex-parte communication are given a reasonable opportunity to refute or respond to the communication): **Meridian Marina**

**Describe investigations, site visits and provide any expert opinions received** (with sufficient specificity so that persons who have opinions contrary to those expressed in the ex-parte communication are given a reasonable opportunity to refute or respond to the communication):

NONE

**List and attach any written communication received:**

**See Attached (if any)**



**From:** [Jody](#)  
**To:** [Doug Smith](#)  
**Subject:** Fwd: Edward Campi/ Doug Smith . Meridan Marina Palm City .  
**Date:** Sunday, August 7, 2022 11:03:52 PM

---



Sent from my iPhone

Begin forwarded message:

**From:** Jody <jodymorett@gmail.com>  
**Date:** August 7, 2022 at 10:47:39 PM EDT  
**To:** Ed Campi <eciampi@martin.fl.us>  
**Subject:** Edward Campi

Sent from my iPhone

Begin forwarded message:

**From:** Michael Goodale <msgoodale@me.com>  
**Date:** August 7, 2022 at 7:53:39 AM EDT

Sent from Mike's iPad Pro!

Begin forwarded message:

**From:** Michael Goodale <msgoodale@me.com>  
**Date:** August 6, 2022 at 5:29:15 PM

Dear Sir,

Hello, My wife and I own and occupy a private residence at 1152 SW Pelican Crescent in Palm City, over the last 11 years we have been constantly upgrading our home to enjoy long after we retire. Our estimated \$2MM waterfront property joins the southern property line of

Meridian Marina and while we applaud the renovation of the marina property we do not support the addition of a restaurant. The proposed addition would reside approximately 50 feet from our master bedroom window severely impacting our quality of life and our property value. Our neighborhood is quiet and peaceful which is why we chose to move here over a decade ago. A restaurant would change all of this. Increased crime, drunk driving plus the crowd noise and clanking dishes well into the night, long past the current 5pm close. Please do not irreversibly change our much loved little community.

Best Regards ,

Michael and Jody Goodale / Morett

**From:** [Denny Dennis](#)  
**To:** [Comish](#); [Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com)  
**Cc:** [Austin@vipmarinas.com](mailto:Austin@vipmarinas.com); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Fwd: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:26 PM

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Mrs. Cameron,

It is thoughtful of you to reach out to me. There is nothing to talk about other than I commend you for repairing and improving the property and wish you well in the expansion of your business if done properly; I only ask that you and the commission simply adhere to our comp plan and LDRs. Don't expand as cheaply as possible at the expense of the character of our neighborhood. Plus, it is very reckless to propose operating those huge forklifts in the customer parking area.

I have seen quite a few renditions of plans over the years; all had expanded racks inside a building, not outside. I realize it is far cheaper for you to have outside racks, but it is at the cost of the character of our neighborhood. It seems clear to me customers want indoor storage, not outdoor storage. One simply has to look across the river from us. Marine Max recently opened a wonderful new marina with slips with outdoor lifts. It remains empty with the exception of some of Marine Max's demo boats and very few others. There is no demand for outside storage.

While it was nice you reached out to me; I am deeply concerned that at least one commissioner must have immediately forwarded my email to you. My email was not available to the public until Wednesday morning, yet you responded to me within two hours of my sending it only to the commissioners on Tuesday. While it may not be illegal, I find it profoundly unethical and disappointing a commissioner would immediately send you my email to give you a warning of opposition to your project. Clearly, this commissioner is a guaranteed yes vote for you. You do not live here or vote here. The commissioners are supposed to work on the resident's behalf; sadly, at least one is not.

Furthermore, it has been reported that the very first permit you pulled on the property, you did so with deceit. By way of a notarized signed affidavit, you claimed repairs were less than \$50,000, paid a paltry permit fee, and then replaced the entire roof and side. At the same time, the county looked the other way without proper documentation and inspections. The repairs are in far excess of \$500,000.00, which is commonly known, yet you only paid a \$143 permit fee and said you were replacing metal panels as needed. Cheating, deception, and what appears to be bribing our county officials is not a good introduction to our community. You can do the right thing and design your addition without variances. Then I will wish you well.

We have a saying here, "the Martin County difference," and it is different here, and you are about to see how. What is the difference? We residents deeply care about our environment and the character of our community and those who live in it. It would be best if you cared too.

We will deal with this at the public hearing on Tuesday.

Denny

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**From:** Jenny Cameron <Jenny@vipmarinas.com>  
**Sent:** Tuesday, August 2, 2022, 2:03 PM  
**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

Hi Denny,

I'm Jenny Cameron. My husband and I are the owners of Meridian Marina in Palm City. We saw that you had some concerns about our project and we'd love the opportunity to talk with you to better understand your concerns and how we might be able to make them better. We believe our project will be great for the community and want all of our neighbors to be happy. Do you have some time to discuss further? Feel free to give either of us a call, or let us know a good time when you are available, and we can call you.

Thanks,

Austin Cameron (817) 2  
Jenny Cameron (512) 9

**From:** [Denny Dennis](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [Austin@vipmarinas.com](mailto:Austin@vipmarinas.com); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com)  
**Subject:** Fwd: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:45 PM

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Mrs. Cameron,

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We will deal with this at the public hearing on Tuesday.

Denny

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---

**From:** Jenny Cameron <[Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com)>  
**Sent:** Tuesday, August 2, 2022, 2:03 PM

**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

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Thanks,

Austin Cameron (817) 291  
Jenny Cameron (512) 937

**From:** [LA Dees](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In favor of Palm City's only waterfront restaurant  
**Date:** Sunday, August 7, 2022 4:16:31 PM

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Good afternoon,

Thank you for serving on the commission and representing Martin County! Please vote in favor of the marina adding Palm City's only waterfront restaurant. This will add to the established small businesses in Martin County and add a wonderful date night and family outing location for us Palm City residents.

Thank you, and have a great day!

Leigh Anne Dees  
(772) 285-7420  
[ladees1212@gmail.com](mailto:ladees1212@gmail.com)

**From:** [Dees Family](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In Favor of the Planned Waterfront Restaurant  
**Date:** Sunday, August 7, 2022 4:13:50 PM

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Good afternoon,

As a Palm City resident, I encourage you to please vote in favor of allowing the Meridian Marina to create Palm City's only waterfront restaurant. We have limited restaurants already in Palm City, and as a growing community for families, this restaurant will only add to the family-centered atmosphere that is Palm City.

Kind regards,

Charles-David Marshall Dees  
[dees121215@gmail.com](mailto:dees121215@gmail.com)



**From:** [DONALD & GLORIA SMITH](#)  
**To:** [Comish](#)  
**Subject:** Maridian Marina Project  
**Date:** Monday, August 8, 2022 2:01:05 PM

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We respectfully request that you, the Martin County Commissioners, grant the Maridian Marina approval to build a restaurant and expand marina facilities.

The location would provide an exceptionally tranquil and beautiful place to relax and enjoy the scenic views of the river and Stuart across the bay. There is a large residency to take advantage of this site. This is what Florida living is about.

Gloria & Don Smith Hobe Sound, Fl

**From:** [Lisa Ann Robinson](#)  
**To:** [Comish](#)  
**Subject:** Marina  
**Date:** Monday, August 8, 2022 10:21:17 PM

---



Hello and good evening.

I hope this letter finds you well. I am writing this letter after a very brief yet in depth and to the point meeting with my new neighbors Jenny and Austin Cameron. We quickly became friendly when they mentioned they had purchased the marina in a bankruptcy and were in the process of making improvements to the area. We talked about the small town feel of Palm City and the growth as well. They mentioned they were going to also partner with a local restaurant to bring to the water here on our side of the bridge. The idea and its potential for this area is extremely hopeful as we also love the area being tucked away for us locals to not have to leave this side to enjoy the water dining.

We hope to gain another family atmosphere venue for the many families that are sure to enjoy this establishment.

Lisa Ann Robinson  
1212 SW Pelican Cres  
Palm City Florida  
34990  
12176079435  
[lisaann.robinson615@gmail.com](mailto:lisaann.robinson615@gmail.com)

**From:** [joemcduffee](#)  
**To:** [Comish](#)  
**Subject:** Martin County Meridian Project  
**Date:** Monday, August 8, 2022 9:58:26 AM

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I am writing in support of the meridian expansion and restaurant project.

Not everyone has the means to live on and enjoy the Waterfront. In my opinion we need more restaurants on the water, thus allowing the majority of residents an opportunity to relax and experience the beauty of our area. I am sure a waterfront Restaurant in Martin County, specifically Palm City, would be a welcome and profitable addition.

Please approve this project.

Regards,  
Joseph McDuffee

Sent from my Galaxy

**From:** [hueyrobinson](#)  
**To:** [Comish](#)  
**Subject:** Merdian Marina M035210  
**Date:** Monday, August 8, 2022 10:20:17 PM

---



I'm writing to show my support for the addition of a Family friendly restaurant at the Marina.

We have lived in this area for the past 3 years and think this would be a great place for families to visit. Having 3 teenagers in the house this may even offer employment opportunities to one of them.

Thank you,

Huey Robinson  
1212 SW Pelican Cres.

Sent from my Verizon, Samsung Galaxy smartphone

**From:** [Quentin Allen](#)  
**To:** [Comish](#)  
**Subject:** Meriden marina project  
**Date:** Sunday, August 7, 2022 1:35:42 PM

---

This Email Sent From External Sender

To whom it may concern:

This email is to express support for the new waterfront restaurant project Meridian Marina M035.

After living in Palm City for eight years we realize that in order to find waterfront dining we have to cross the bridge to Stuart and would love to have something in our neighborhood that offers waterfront dining. We are extremely excited about the restaurant, which will be a family-friendly waterfront restaurant. We have knowledge of the operating group and have been happy with what they have done as operators to improve the current facility. We also agree with the need for additional boat storage in Martin County.

As a local business owner I am excited about the potential increased revenue at local businesses and increase in property values as people stay in Palm City for entertainment and dining options. Also with the current issues with brightline and boating/bridge traffic it will be nice to have waterfront dining options in Palm city.

Respectfully,

Quentin B. Allen, MD  
Florida Vision Institute

Sent from an device

**From:** [Joe Dargavage](#)  
**To:** [Comish](#)  
**Subject:** Meridian Dry Storage Expansion  
**Date:** Monday, August 8, 2022 10:38:25 AM

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August 8, 2022

Dear Martin County Commissioners:

As a life long boater in Martin County, and a member of the South Florida boating and yachting business community for 30 years, I stand in full support of the Meridian Dry Storage expansion.

Palm City has seen amazing growth over the last five years, and though we must always keep over development in check, Meridian offers a service to our boating community that is well needed and in great shortage. What they are looking to do, replace a closed restaurant facility (already built) and expand on the storage facility, that is full, full with boats of our Martin County residents, should be seen by a true positive by the Commission.

Lastly, I have known Jenny and Austin Cameron for many years, from both a professional (fellow marina owner) and personal level. They are extremely well respected in the boating community and are an excellent addition to both Martin County and Palm City.

I hope that the Commission see's the importance of boating too the Martin County Community, and votes in Meridians favor.

Most Kindly

Joe Dargavage

JOSEPH A. DARGAVAGE | Owner

United Island & Yacht – South Florida & Bahamas  
Romora Bay Resort & Marina, Harbour Island

Proud Member:  
Association of Bahamas Marinas (ABM) – 2022 President

Board Member:  
USSA – US Superyacht Association  
Seafarers' House at Port Everglades  
Bahamas Hotel & Tourism Association  
IYBA- International Yacht Brokers Association  
MIASF – Marine Industry Association of South Florida  
Broward County Boys & Girls Club



**From:** [MJ McDuffee](#)  
**To:** [Comish](#)  
**Subject:** Meridian expansion and restaurant  
**Date:** Monday, August 8, 2022 9:33:45 AM

---

This Email Sent From External Sender

I sincerely hope the commission will approve the Meridian expansion and restaurant project in Martin county. I'm sure the county is in need of more boat storage, but I am hopeful the project is passed because this area, as beautiful as it is and as much water surrounds us, has a very limited number of nice waterfront restaurants. A nice comfortable restaurant on the water would be an advantage for Martin county and as a resident of St. Lucie county I can tell you I would gladly make the trip often to frequent the restaurant.

Regards,  
MJ McDuffee



**From:** [Kristina Garrison](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana M035-210  
**Date:** Tuesday, August 9, 2022 7:16:11 AM

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To County Commissioners,

Re: Meridian Mariana M035-210

We would like to express our support for the Meridian Marina project. We are Palm City residents and we were truly excited to hear about all the improvements they plan to make. When we first toured the marina, we were hesitant to dock our boat there because of the condition of the Marina and did consider going outside of Palm City. After talking with the office, hearing the plans and how amazing the marina will look and the added features they will provide, we decided to stay local. We've been so pleased with the work they have been doing to improve the marina. We are looking forward to all the added features that they will provide.

We spend many days out on the water going to Stuart and Port Salerno for waterfront dining. It would be wonderful to have these same options close to home. We love the boating lifestyle and the opportunity to bring our kids up in this great town with family friendly facilities like Meridian Marina.

The value they provide as a hurricane grade facility provides so much peace of mind. We don't have to scramble and jeopardize individual safety or property damage during a storm. I would have to think increasing storage locally would help to alleviate congestion and provide added safety for many others in the community during an emergency.

It's also great to see existing businesses reinvest in their property to provide added services rather than having brand new development chopping down acres and acres of land that disrupt wildlife and add congestion to this great town.

We are looking forward to enjoying all the amenities that Meridian Marina will provide.

Thank you,

Brian & Kristina Garrison  
690 SW Long Lake Ct.  
Palm City, FL 34990

**From:** [Marie Frash](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana  
**Date:** Saturday, August 6, 2022 7:34:07 AM

---



Dear Martin County commissioners,

I live at the Admiralty next to the marina. My husband passed away March 4th this year at the age of 91. He was and I am a huge proponent of a new restaurant on site there. He was 91 and it wasn't easy to get him in and out of restaurants. He was hoping to be able to go there before he passed just by using his scooter.

With population increasing and traffic also increasing, it would be great to have a waterfront restaurant that we don't have to drive across bridges and in excess traffic to get to.

I am presently in our Indiana home until late September or I would personally be the the meeting to speak in favor of this restaurant

Thank you for your time

Marie Frash

1130 SW Chapman Way Unit 509

Palm City 34990

[Sent from the all new AOL app for iOS](#)

**From:** [Mayda Sotomayor-Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:21:14 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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To the board of commissioners:

I am a resident of Martin County for over 20 years and store my boat at Meridian Marina. I love the improvements that have been done to the marina, for several years the previous owners had really abandoned the upkeep of this property. I understand there is a plan in place to build out a waterfront restaurant, this will only enhance the value of our properties, provide jobs to the community and bring class to this area. I am completely in favor of having a waterfront dining restaurant.

Regards,

Mayda Sotomayor

Best regards,

**Mayda Sotomayor-Kirk**

Chief Executive Officer

T +1 772-569-2244 Ext 201

M +1 772-559-3000

**Seald Sweet LLC**

1991 74th Ave

Vero Beach, Florida 32966

United States

[Disclaimer](#) / [Legal information](#)

**GREENYARD** 



The **future** is  
**plant-based**

Discover Greenyard's Annual Report 2021/2022

**From:** [lindsavojensen@gmail.com](mailto:lindsavojensen@gmail.com)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Development Support  
**Date:** Monday, August 8, 2022 5:06:23 PM  
**Attachments:** [Meridian Marina Letter.pdf](#)

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Good afternoon!

My husband and I utilize Meridian Marina for the storage of our family's boat and live in Hamilton Place which is located directly across from the marina off Mapp Road. We would like to express our support of the proposed improvements for Meridian Marina.

Please see the attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,  
Lindsay Jensen

**From:** [joseph.cox](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina expansion  
**Date:** Monday, August 8, 2022 11:32:14 AM

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First of all let me say Thank You for the opportunity to send you this email and voice my support for the Meridian Marina expansion projects and to say the least I couldn't be any more excited to see the projects Meridian Marina is looking to move forward with. In regards to the boat storage expansion I see no reason for concern as Meridian Marina has plenty of extra space/land to provide parking for its customers and will not affect traffic or surrounding homeowners by parking on the side of the road, right of way, etc.. Also along with that project comes new concrete parking, driveways, boat storage pads, dredging, seawalls, landscaping and a more organized and beautiful look to the property and to bring the property as far as a boat storage facility up to its full potential for Palm City residents/boaters. In regards to the Marina sales and waterfront restaurant I think a majority of Palm City residents and boaters have been dying to have a waterfront place to eat, relax and enjoy the St. Lucie river waterfront without having to cross the bridge and go to Stuart in order to achieve this atmosphere and with Palm City being a small, quiet, family oriented community I don't see any reason this restaurant and Meridian Marina won't serve us as a community with those same values in mind. Austin, Rick and Jenny have been working since day one of the purchase of this place in order to move it forward and make it a great family oriented place for the boaters of Palm City. The respect that I have for those 3 and their staff is what has led me to writing this email and allowing them to unlock it's full potential in my mind would make it exactly what Palm City needs. I can't think of any better group of folks that I would want to move this project forward and provide me, my wife and kids with a family oriented waterfront experience right here in Palm City. Thanks so much for hearing me out and have a great day.

**From:** [poul christiansen](#)  
**To:** [Comish](#)  
**Cc:** [Jennifer Jacobs](#); [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [Don Donaldson](#)  
**Subject:** Meridian Marina improvements  
**Date:** Monday, August 8, 2022 12:53:30 PM

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To whom it may concern:

I am contacting the Martin County Commission to express my support for the improvements to Meridian Marina. I have lived in Palm City since 1997 and have been a boat owner in the Treasure Coast since I moved to Florida in 1989. I have kept my boat at Meridian Marina for several years and welcome the improvements to the marina, including the addition of a restaurant. The new owners are making millions of dollars of improvements which improve the tax basis for Martin County and provide additional employment for Martin County residents. The new owners have a proven track record of operating top notch marinas throughout the country. I am certain that they will not only improve the marina but will make it a "destination" which the residents and visitors to Martin County will enjoy and be proud of for years to come. Please approve this important project!

Sincerely,  
Poul Christiansen  
6107 SW Moore St.  
Palm City, FL 34990

**From:** [Tyler Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:34:36 PM

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Good Afternoon,

I am writing in reference to the Meridian Marina site plan. I am a resident of Palm City and want to voice how much we need the improvements planned at this space. My Family continues to drive out of Palm City to frequent restaurants on the water. How great would it be if we could keep the money being spent by the residents of Palm City in Palm City Businesses. Each marina and storage facility is on a waiting list to get new boats stored, we are desperate for more storage. Please let me know how my family and I can further support this matter to assist the community.

Tyler Lieberman

**From:** [Mitch Maddren](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:06:59 PM

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This Email Sent From External Sender

Dearest Commissioners,

We are in full support of the requested expansion at Meridian Marina in Palm city. It will be so nice to have additional restaurants especially waterfront. There is already a shortage of inside storage for vessels in our class. What the new owners have done to date, i.e. improvements is unprecedented. And they have just begun.

Anne & Mitch Maddren  
jettyhopper3057@gmail.com  
Palm City, FL



**From:** [jeanne@jvdestimating.com](mailto:jeanne@jvdestimating.com)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 10:50:28 AM

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I support both the Meridian Marina restaurant project and the additional boat storage. My husband and I live in Lighthouse Point and would welcome a new waterfront restaurant on our side of the river. I believe the location is perfect for this type of venue and would enhance nearby property values as well.

Please vote in favor of this project.

Sincerely,  
Jeanne Ertle  
1459 SW Dyer Point Rd, Palm City  
407-432-3681

**From:** [Laura Garcia-Bartenfelder](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:03:42 AM  
**Attachments:** [image001.png](#)

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Good Morning

I am writing this email to show support for the Meridian Marina's project to have more boat storage and also a waterfront restaurant. I am a resident of Palm City and also in the yachting business. We are in desperate need of more boat storage as more and more residents are purchasing boats without a place to keep them safely. I also am so excited about a waterfront restaurant in Palm City – it will only be beneficial to our community.

Regards

Laura Garcia



Agency & Shore Support



Laura Garcia-Bartenfelder

Partner

United Island & Yacht

1091 SE 17<sup>th</sup> St Causeway

Fort Lauderdale

Florida 33316

Florida – Bahamas

[www.unitedislandandyacht.com](http://www.unitedislandandyacht.com)

[laura@unitedislandandyacht.com](mailto:laura@unitedislandandyacht.com)

352-208-4640



**From:** [Dianne Broderick](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 3:16:47 PM

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Good day commissioners. I am writing in full support of the the Marina's request for a restaurant and additional boat storage. Palm City has shown much improvement recently but is still in need of more development. A waterfront restaurant is the best thing that could happen to Palm City at this point in time.

**From:** [Ann Vance](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 1:41:17 PM

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This Email Sent From External Sender

Unable to attend the meeting, I am writing in support of the Meridian Marina's efforts to expand. As new owners, they have made many true and necessary improvements over the last year which were way overdue . This is rewarding to long-time boaters of Martin County! I strongly support their interest in building a restaurant and improving the dock layout to accommodate customers. With the upcoming timing problems of the train bridge, I'm sure this family oriented restaurant will be well received by locals and it will surely be successful as the only one in Palm City! PLEASE PERMIT!

Sincerely,  
Ann Vance

Sent from my iPad

**From:** [Fish Heads Of Stuart](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 10:23:12 AM

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This Email Sent From External Sender

Wanted to voice our full support for the Meridian Marina project M035-210.

My wife and I own a small business in Stuart involved in the fishing and marine industry. We are excited to have learned about a Palm City waterfront restaurant, and even more excited to have one so close to our house.

We live on Pelican Cres and the Meridian Marina property is literally within a hundred yards or so of our house.

Meridian Marina has done an exceptional job with rejuvenating this property and have been great neighbors. We are looking forward to the continued improvements they will be implementing.

As residents of Palm City for ten plus years, the prospect of waterfront dining and additional boat storage is exciting and exactly what this community needs and wants.

Best regards  
Brent & Heather Kane

Residence  
1192 SW Pelican Cres  
Palm City, FL 34990  
772-341-7323

Store  
Fish Heads of Stuart  
3585 SE Saint Lucie Blvd  
Stuart, FL 34997  
772-220-6008

Sent from my iPhone

**From:** [Shane Hunt](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 6:18:08 PM

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To whom it may concern,

It has come to my attention that there is some opposition building to the “ Improvements “ and the expansion of “ Meridian Marina “. First I would like to say that if there was to be any opposition then it should have came when all these new sub-divisions that were approved . However, they were approved. Now that were adding so many single family homes ( and let’s not forget all the apartments ) what will these people do for entertainment ( How will you keep them here ? ) Where will they go out to eat, store there boats . etc. This storage is needed for continued success of the marine industry in our town . I would also like to mention how costly storage has become ( pricing buyers out of the market ) and competition will also drive the storage prices back down to be affordable . Possibly consider this , maybe the opposition to this is the competitors ?

This is not to say that I do not want this project to go through the approval process however make no mistake it is needed . In case your wondering , I travel Mapp road every day , and the excuse about the traffic ? Well most boaters are Fri-Sunday, when there is no school traffic, or people heading to the office .

One last note , I have lived in PC for going on 15 years , this marina has always been in disrepair. The public should love the fact that it will be cleaned up and will eventually offer another dining experience. I could list many more reason for this improvement , I have touched on the important ones ( economics, dinning, and competition ) for now I will leave it at that .

Respectfully;

*SHANE HUNT*

**From:** [Mac Cadaret Jr](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-219  
**Date:** Monday, August 8, 2022 11:14:05 AM

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To Whom It May Concern:

I am writing to impart my full support of the Meridian Marina capital improvements. As a longtime member of the marina and an avid fisherman/boater I feel this project would only enhance the surrounding areas. The improvements would allow and encourage my family to be more active at the marina and surrounding businesses. A family-based waterfront restaurant can only lead to more like-minded people. If the improvements the marina has made show us anything it is the marina is on solid footing and heading on a path of family-based service.

Please consider my points when making the final decision. I will make myself available to discuss via email or in person if that would be needed. Stay well and thank you for your community service and consideration.

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**From:** [Donnie Brown](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina MO35-210  
**Date:** Monday, August 8, 2022 7:17:07 PM

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I am a twenty year resident of Palm City and would like to show my support for the Meridian Marina. Palm City needs more boat storage facilities like Meridian. They have done an excellent job repairing and turning the marina into an excellent facility for boat owners. I also support their future plans for the renovation of the restaurant. Palm City needs more family, friendly restaurants and I look forward to supporting my local community.

Regards,  
Donald Brown



**From:** [Bryan Gardner](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Project - Letter of Support  
**Date:** Monday, August 8, 2022 10:20:16 AM  
**Attachments:** [Meridian Marina \(Gardner\) letter of Support.pdf](#)

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Good morning Commissioners,

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Please see attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

**From:** [Russell Accardi](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project  
**Date:** Monday, August 8, 2022 1:32:25 PM

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This Email Sent From External Sender

For whom it may concern,

As a resident of Palm City I want to express my full support of the Meridian Marina renovations to the now delapidated restaurant on the water. I think to build a new family friendly restaurant that people living in the area can go to both by land but especially by boat would be an excellent addition to the area. There are currently few places that can be accessed by boat on the water and would be a great enhancement to the area for both full time residents, as well as visitors to this area.

There is also currently a shortage of boat indoor boat storage in this area. This is important especially due to hurricane season.

I hope you will consider moving forward with this proposed project.

Russell Accardi

**From:** [Meghan M](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant  
**Date:** Sunday, August 7, 2022 11:41:12 AM

---

This Email Sent From External Sender

Dear Commissioner,

I'd like to voice my support of the proposed new restaurant planning on going in at Meridian Marina. I am a resident of Palm City and have been excited ever since I heard we were finally getting a waterfront restaurant. Not only a waterfront restaurant but one that we can boat to as well. I am disappointed to hear that there is someone trying to oppose something that will truly be enjoyed and appreciated by most of the Palm City residents.

Sincerely,  
Meghan Marinho  
Palm City Resident

Sent from my iPhone

**From:** [Robert Peterson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina restaurant  
**Date:** Monday, August 8, 2022 11:49:11 AM

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This Email Sent From External Sender

To whom it may concern,

I have been a resident of Palm City for over 40 years. And the thought of a new family, Waterfront, restaurant brings a sense of hope for the community. It would truly be one of a kind and offer countless opportunities to the community. Youth employment, added revenue, attraction of surrounding residents, and all within a short walk or bike ride of a majority of Palm City. I have personally witnessed the Improvements that the Austin's have brought to the community, through their efforts to bring the Meridian Marina back from a sad state of disrepair. I see nothing but great things from the welcome addition of the restaurant and the continuing improvement of the Meridian Marina.

Thank you for your consideration,  
Robert W. Peterson Jr.

Sent from my iPhone

**From:** [dndlott](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant Proposal  
**Date:** Monday, August 8, 2022 11:45:19 AM

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This Email Sent From External Sender

Dear Commissioners of Martin County,

We would like to voice our opinion on the proposed restaurant at the Marina. We are residents at the Admiralty Condos directly adjacent to it. Upon their purchase of the property out of bankruptcy, they began to do numerous repairs that the previous owner neglected. There was significant damage to the sides and roof of the storage barn, whole sheets of siding missing due to previous hurricane damage. We actually had our boat stored there for a couple of years before they purchased it. When we had them launch the boat, we found rusty flakes of metal on the floor of the boat coming from the barn's roof because we were on the top rack. More importantly, there was environmental issues that were never addressed with the previous owner. The "Cameron's" have done a wonderful job with repairing the storage barn and cleaning up the environmental mess. The property looks much better than I have ever seen it. The restaurant will be a magnificent addition to the property on the point. This will give the Palm City residents and neighbors a much needed waterfront restaurant nearby.

In my position as the HOA president (Diane Lott), I have had multiple conversations with the new owners. When they bought the marina 2 years ago, they expressed a sincere interest in meeting their new Admiralty neighbors. So, I set up a meeting for them to introduce themselves to the residents where they brought mock ups of the design and their vision for the the marina. The restaurant was discussed at that time and there was and continues to be overwhelming support amongst 75% of our community for the restaurant. This is backed up by a poll that was taken last week. The Admiralty is a small community of 5 buildings, 49 units in total. The poll taken showed that the majority of the residents that responded would frequent and support the restaurant.

My husband and I hope that you will approve building the restaurant at the marina's "point" as this will enhance convenience of not having to drive into Stuart to enjoy waterfront dining.

Cordially,

Diane and David Lott  
Admiralty Condominiums  
Unit 401  
954-294-5060

**From:** [Rick Larson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:50:53 PM

---



I am writing to express my full support for the expansion plans for Meridian Marina in Palm City. I support this project for several reasons. First off boat slips are in a terrible shortage in the entire Treasure Coast, and boaters are paying a huge premium to have boats stored in either slips or in Racks such as Meridian provides. Stuart, and Palm City are noted as “Boating Communities” and our number one asset is our water. We have some of the greatest inland water in all of Florida, from the St Lucie River to the Indian River Lagoon. Adding affordable boat slips and storage is vital to keeping access to those of us who cannot afford to live waterfront. This project will not add additional traffic to the area which is a huge problem. It will just allow the residents of Palm City in particular and Stuart also to have access to boat storage at affordable rates. The project does not fortunately involve the clearing of any pristine wetlands, the additional boat storage will be built on a vacant lot. A few yards down the street from the Marina is a large new residential community being built which involved the leveling of acres and acres of pristine wetlands. I would find it hard to see the approval of that project and yet find this one somehow detrimental to our community. As for the plans for a restaurant at the site I fully support that also. Palm City can always use a new restaurant ...it is nice to not have to cross the bridge to eat out. While we have some variety of eateries. We do not have one waterfront restaurant in all of Palm City. This would be a huge asset to the community and to the residents, and adds to the desirability to living in Palm City. All this with minimal impact....there is a structure already where the restaurant would be placed.

I have met the owner of Meridian Marina several times and find he has all the best interest of this community in mind. I have kept a boat at this Marina for 17 years now and have seen it wallow in disrepair for almost all of that time. The previous owner let it completely fall apart over the years. Hurricane damage was never repaired, giant sections of the boat storage building were completely missing, a removed fuel tank was a gapping hole for 5 years!! The docks were falling apart, the fork lifts were from the stone ages. The new owner has poured money into this facility and has done more in the short time he has owned it then any owners in the previous 17 years. As a 22 year resident of Palm City I have not supported most of the growth plans the county has approved....we do not need any more banks, gas stations, or strip malls. But this Marina is a asset that brings unmeasured value to the community, and with the restaurant brings benefits for both boater and non boaters alike.

I ask the board to approve this application and improve the value of Palm City as a community. To add value to our homes, to make Palm City a very desirable place to live and boat and enjoy our river and intracoastal.

Kind Regards,

Rick Larson  
516-770-2910  
714 SW Lighthouse Point  
Palm City , FL 34990

**From:** [correct aol email](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 5:00:04 PM

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Good afternoon commissioners,

First of all, thank you for all that you do and for making this community the BEST!

I am an Ambassador for the Palm City Chamber of Commerce and LOVE Martin County. With that being said, I am in FULL SUPPORT of the Meridian Marina.

Thank you

Nikki Leserra

Sky Is The Limit

Creative Director

772-486-7372

[sskyisthelimit.com](http://sskyisthelimit.com)



**From:** [Jocelyn Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 11:05:10 AM

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Meridian MArina has been a blessing in disguise with the boat slip shortage in Martin County. They have done a great job re-doing the barn, pilings, docks etc. The people they have employed are very service oriented and it is a beautiful, clean marina. The addition of the restaurant and bar would just add to it. It would be great to come back from a day on the water and be able to sit and get a bite to eat overlooking the river. Please allow them to move forward with their plans.

Thanks



**From:** [Karen Prisco](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:03:38 AM

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My name is Stephen Prisco I have a second home at the Admiralty condominiums in beautiful Palm city Florida I am a boat owner and I would love the option to have another family friendly waterfront restaurant on this side of the railway bridge which has become a topic of conversation in Martin County the last couple of months due to the excessive amount that the bridge is down causing inconveniences quite often people missing flights because of the unusual length of time the bridges down so to have an option to pull up on our boat or even drive to a restaurant on the water in Palm city I feel as a resident would improve our neighborhood not to mention possibly increase our property value. I met Austin and Jenny shortly after they purchased the marina found them to be very very nice people as well as astute business people first thing I noticed was the American flag hanging off of Matt Road and the new water feature and was quite happy to see that as a pull down Chapman Way so as a businessman myself knowing what it costs just to get projects off the ground to have someone come out of nowhere who claims to be anonymous I think it's a real detriment to this project as well as other projects in the area respectfully Steven Prisco

[Sent from Yahoo Mail for iPhone](#)

**From:** [Mark Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:19:18 AM

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To the Martin County Commissioners:

I Am resident of Martin County for 23 years living in Palm city, a life long boater and a local contractor in Stuart. Once upon a time my boat was stored in Meridian for years untill it fell in total disrepair .....the building...launching equipment....unhappy employees...the works. Being as such this necessitated the moving of my boat to Riverwatch Marina five years ago.

Fast forward to a new owner purchasing the marina..upgrading the facilities with new roof...new building...new launch area...new launch equipment...and promise of a future restaurant and bar establishment...i moved by boat back to meridian marinaa year ago. Please vote yes for a fine dining establishment on the water....the residents of Martin county need it...they want it znd deserve it.

Thank you commissioners

Mark kirk

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone

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**From:** [Meghan Shirey](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [sheard@maartin.fl.us](mailto:sheard@maartin.fl.us); [Edward Ciampi](#)  
**Subject:** Meridian Marina  
**Date:** Tuesday, August 9, 2022 11:59:01 AM

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To Whom It May Concern:

Thank you for considering the waterfront restaurant in Palm City at Meridian Marina. As a resident of Palm City, the value that this will bring to our "over the bridge" community can only be seen as an asset. We are looking forward to hearing the discussion on this project at the commission meeting, and are eager to see the value that this property brings.

--

Fondly,

Meghan Shirey  
Palm City Chamber of Commerce Board of Directors  
(561) 339-4965 (Cell)

**From:** [David Miller](#)  
**To:** [Comish](#)  
**Subject:** Opposition to the Meridian Martina Restaurant/Bar  
**Date:** Monday, August 8, 2022 8:57:33 PM

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Dear Commissioner,

We are writing to voice our strong opposition to the proposed construction of a restaurant/bar as part of the Meridian Marina (1400 SW Chapman Way).

We purchased our waterfront property in 2017. It is located less than 1000 feet from the proposed restaurant/bar site.

Boating and the consumption of alcoholic beverages is a well known safety concern and has cost the lives of many. The approval of this project will encourage alcohol consumption and driving (boats and vehicles). Justin Wilson Park is used by hundreds of children and adults for recreational activities, it is located within .5 miles of this proposed restaurant/bar. If this concern alone is not enough to stop this project, we will be disappointed.

Mapp Road is currently adding an additional 24 single family homes which will increase traffic significantly.

The proposed bar will directly

1. affect the late evening noise level to our home and community, compounded by a rooftop deck
2. increase boat traffic resulting in adverse effects to all seawalls and docks in the area. We have already seen significant increases in boat traffic.

My husband and I are full time voting residents of Martin county and have faith that this project will not move forward.

Thank You,  
David and Kasondra Miller  
1162 SW Pelican Crescent  
Palm City, FL

Sent from [Mail](#) for Windows

**From:** [John O'Connell](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com)  
**Subject:** Planned Improvements & Expansion of Meridian Marina  
**Date:** Monday, August 8, 2022 8:34:37 PM  
**Attachments:** [Meridian Marian Letter of Support August 8 2022.docx](#)

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Please see the attached letter of support for Meridian Marina.  
Thank you!

John J. O'Connell Jr.

Owner  
Ocean Blue Home Watch LLC.  
1630 SW Prosperity Way  
Palm City, FL. 34990  
(561) 379-6790  
[john@oceanbluehomewatch.com](mailto:john@oceanbluehomewatch.com)

**From:** [Virginia Sherlock](#)  
**To:** [Scott Tedford](#); [DOROTHY LANCI](#)  
**Cc:** [Sarah Heard](#); [Stacey Hetherington](#); [Edward Ciampi](#); [Doug Smith](#); [Harold Jenkins](#); [Richardson, Katherine](#); [John Maehl](#); [Don Donaldson](#); [Virginia Sherlock](#)  
**Subject:** RE: Gopher tortoise recipient site info  
**Date:** Monday, August 8, 2022 12:18:34 PM  
**Attachments:** [image001.png](#)

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Mr. Tedford,

When the Rural Lifestyle Comprehensive Plan Amendments were being discussed before the County Commission several months ago, there was a lot of discussion about the many thousands of acres of land held by the County in conservation. It is difficult to believe that there are not multiple areas within Martin County that could be used for gopher tortoise relocation.

I discussed the issue of gopher tortoise relocation with Don Donaldson years ago when the FFWCC rules were changed to eliminate the policy of issuing "take permits" that allowed developers to simply bury gopher tortoises on construction sites in exchange for permit fees. After new rules went into effect requiring re-location and gopher tortoises were wandering onto the Green River Parkway across from Pinecrest Lakes, Don assured me that the County would try to establish one or more preserves within Martin County. How many gopher tortoises have been buried or shipped out of the County during the years that have gone by without serious efforts by staff to provide a re-location site?

I understand that you are new to this issue and that you are attempting to address questions that have been raised by many residents about the removal of the gopher tortoises from the County's Airport property without any discussion or notice to the public or the Commission. But how can a request from a Commissioner that was made in mid-May for a presentation by staff about gopher tortoise relocation efforts be delayed until October or November as development projects continue to be approved on a continuing basis?

Please appreciate the concerns of residents who have been promised for many years that staff will work toward resolving the loss of this environmental resource. We will appreciate whatever you can do to move this matter along.

Thank you.

Ginny Sherlock

LITTMAN, SHERLOCK & HEIMS, P.A.

P.O. Box 1197

Stuart, FL 34995

Telephone: (772) 287-0200

Facsimile: (772) 872-5152

[www.lshlaw.net](http://www.lshlaw.net)

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**From:** Scott Tedford [mailto:stedford@martin.fl.us]

**Sent:** Monday, August 8, 2022 10:26 AM

**To:** DOROTHY LANCI <dlanci3804@aol.com>

**Cc:** Sarah Heard <sheard@martin.fl.us>; Stacey Hetherington <shetherington@martin.fl.us>; Edward Ciampi <eciampi@martin.fl.us>; Doug Smith <dsmith@martin.fl.us>; Harold Jenkins <hjenkins@martin.fl.us>; Virginia Sherlock <vsherlock@lshlaw.net>; Richardson, Katherine <Katherine.Richardson@MyFWC.com>; John Maehl <jmaehl@martin.fl.us>

**Subject:** RE: Gopher tortoise recipient site info

Good morning Dottie,

Thank you for your efforts in searching for a viable gopher tortoise recipient site within Martin County.

County staff have been actively working within FWC guidelines to best conserve gopher tortoise populations within the County and to identify a suitable recipient site for future development.

When feasible and approved by FWC, the County has been able to keep tortoises onsite. We were able to do so with projects done at our Hobe Sound Scrub, Hawk's Hammock, and Gomez properties in the past.

In 2021 we presented 2 properties to FWC for their consideration and approval as potential recipient sites. These two properties, Gables and Hawk's Hammock, were deemed by staff to have the most suitable habit, acreage, and current tortoise densities to potentially qualify as a recipient site.

Unfortunately these properties were not approved because they did not meet depth to water table parameters set forth within the FWC gopher tortoise recipient site guidelines.

We've reached out to Rachel King from Ecological Associates LLC and asked her to help identify a suitable recipient site on County managed property. Ms. King is the former gopher tortoise biologist for FWC and well versed in identification of suitable areas. To date, Ms. King has not found a viable option within County managed properties to move forward and initiate a full scale survey.

Because we'd want a large acreage property able to accept more than just a small handful of tortoises, we've reached out to the South Florida Water Management District Regional Wildlife Coordinator to inquire about creating a recipient site at Allapattah Flats. SFWMD staff has indicated that they plan to

look into the suitability of this site and will be contacting us once they complete their assessment.

Halpatiokee Park comprises approximately 500 acres of wetland preserve area along the west side of the South Fork of the St. Lucie River. This property was not included within our original presentation of potential recipient sites to FWC because much of the property is inundated with water after rain events, and the high and dry areas within the park contain an already high density of tortoises. In order to be 100% sure, we will be moving forward with an official preliminary gopher tortoise density survey. If this survey shows that we are able to accept additional tortoises on the property we will then schedule a site visit with FWC for their approval.

I've been in contact with Katherine Richardson, Gopher Tortoise Program Coordinator for FWC, and have provided potential dates for a presentation to the Board. Our last correspondence was on 08/02, where she indicated that she is awaiting FWC leadership approval and Public Information Coordinator availability to present to the Board. They will potentially be looking at an October or November presentation date and will be contacting me once approval is secured.

Thanks again for reaching out, and please let me know if you have additional questions.

Scott

Scott Tedford  
Project Manager  
Ecosystem Restoration & Management Division  
Martin County Public Works  
2401 SE Monterey Road, Stuart, FL 34996  
Email: stedford@martin.fl.us  
Office: 772-221-2380



---

**From:** DOROTHY LANCI <dlanci3804@aol.com>

**Sent:** Friday, August 5, 2022 2:23 PM

**To:** Scott Tedford <stedford@martin.fl.us>

**Cc:** Sarah Heard <sheard@martin.fl.us>; Stacey Hetherington <shetherington@martin.fl.us>; Edward Ciampi <eciampi@martin.fl.us>; Doug Smith <dsmith@martin.fl.us>; Harold Jenkins <hjenkins@martin.fl.us>; vsherlock@lshlaw.net; valeria.guerrero@myfwc.com

**Subject:** Re: Gopher tortoise recipient site info

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Hi again Mr. Tedford,



I got side-tracked with summer vacation, and apologize for not getting back to you sooner. I appreciated the information you provided about securing a habitat for the gopher tortoises here in Martin County when they have to be relocated because of future development. I spoke today with officials of Ecological Associates in Jensen Beach about progress they may have made in determining and vetting a site. They informed me that the initiative must start with Martin County, as Ecological Associates only proceeds with projects sent to them.

So I am interested in getting the ball rolling to initiate a directive from Martin County for them to go ahead with such a project. It seems that a lot of conversation about such a project has happened, but no real steps have been taken. The subject has been brought up with members of the County Commission, but as far as I know, no presentation or report has been submitted to the commission for their consideration. And I noticed that this item is not on the agenda for the Commission on Tuesday, August 9.

Many people I have spoken to are very much interested in seeing a conservation site for the threatened tortoises to be located here in Martin County, and Halipatoki Park has been identified as a possible site that meets Florida Fish and Wildlife requirements. A study following FWC guidelines is necessary for such a project to continue and awaits the approval of Martin County. I intend to speak on the subject at the upcoming Commission meeting, and would appreciate if you could give me any input you may have on how to get this project going before the next removal/relocation of the Martin County tortoises is upon us.

Thanks for being so responsive. It has been interesting for me to find so many competent and caring people working for the betterment of Martin County.

Dottie Lanci

-----Original Message-----

From: Scott Tedford <[stedford@martin.fl.us](mailto:stedford@martin.fl.us)>  
To: [dlanci3804@aol.com](mailto:dlanci3804@aol.com) <[dlanci3804@aol.com](mailto:dlanci3804@aol.com)>  
Sent: Tue, Jun 14, 2022 2:59 pm  
Subject: Gopher tortoise recipient site info

Hi Dottie,

It was my pleasure to speak with you today.

I've attached the link and slides to a great webinar put out by FWC regarding recipient sites.

Please don't hesitate to contact me with additional questions.

Scott

Scott Tedford  
Project Manager  
Ecosystem Restoration & Management Division  
Martin County Public Works  
2401 SE Monterey Road, Stuart, FL 34996  
Email: [stedford@martin.fl.us](mailto:stedford@martin.fl.us)  
Office: 772-221-2380



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*The comments and opinions expressed herein are those of the author of this message and may not reflect the policies of the Martin County Board of County Commissioners. Under Florida Law, email addresses are public records. If you do not want your email address released in response to a public records request do not send electronic mail to this entity. Instead, contact this office by phone or in writing.*

**From:** [Denny Dennis](#)  
**To:** [Jenny Cameron](#); [Comish](#)  
**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:55 PM

---



Mrs. Cameron,

It is thoughtful of you to reach out to me. There is nothing to talk about other than I commend you for repairing and improving the property and wish you well in the expansion of your business if done properly; I only ask that you and the commission simply adhere to our comp plan and LDRs. Don't expand as cheaply as possible at the expense of the character of our neighborhood. Plus, it is very reckless to propose operating those huge forklifts in the customer parking area.

I have seen quite a few renditions of plans over the years; all had expanded racks inside a building, not outside. I realize it is far cheaper for you to have outside racks, but it is at the cost of the character of our neighborhood. It seems clear to me customers want indoor storage, not outdoor storage. One simply has to look across the river from us. Marine Max recently opened a wonderful new marina with slips with outdoor lifts. It remains empty with the exception of some of Marine Max's demo boats and very few others. There is no demand for outside storage.

While it was nice you reached out to me; I am deeply concerned that at least one commissioner must have immediately forwarded my email to you. My email was not available to the public until Wednesday morning, yet you responded to me within two hours of my sending it only to the commissioners on Tuesday. While it may not be illegal, I find it profoundly unethical and disappointing a commissioner would immediately send you my email to give you a warning of opposition to your project. Clearly, this commissioner is a guaranteed yes vote for you. You do not live here or vote here. The commissioners are supposed to work on the resident's behalf; sadly, at least one is not.

Furthermore, it has been reported that the very first permit you pulled on the property, you did so with deceit. By way of a notarized signed affidavit, you claimed repairs were less than \$50,000, paid a paltry permit fee, and then replaced the entire roof and side. At the same time, the county looked the other way without proper documentation and inspections. The repairs are in far excess of \$500,000.00, which is commonly known, yet you only paid a \$143 permit fee and said you were replacing metal panels as needed. Cheating, deception, and what appears to be bribing our county officials is not a good introduction to our community. You can do the right thing and design your addition without variances. Then I will wish you well.

We have a saying here, "the Martin County difference," and it is different here, and you are about to see how. What is the difference? We residents deeply care about our environment and the character of our community and those who live in it. It would be best if you cared too.

We will deal with this at the public hearing on Tuesday.

Denny

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---

**From:** Jenny Cameron <[Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com)>  
**Sent:** Tuesday, August 2, 2022, 2:03 PM

**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

Hi Denny,

I'm Jenny Cameron. My husband and I are the owners of Meridian Marina in Palm City. We saw that you had some concerns about our project and we'd love the opportunity to talk with you to better understand your concerns and how we might be able to make them better. We believe our project will be great for the community and want all of our neighbors to be happy. Do you have some time to discuss further? Feel free to give either of us a call, or let us know a good time when you are available, and we can call you.

Thanks,

Austin Cameron (817) 291-9609  
Jenny Cameron (512) 937-0787

**From:** [Denny Dennis](#)  
**To:** [Jenny Cameron](#); [Comish](#); [Comish](#)  
**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:53 PM

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Mrs. Cameron,

It is thoughtful of you to reach out to me. There is nothing to talk about other than I commend you for repairing and improving the property and wish you well in the expansion of your business if done properly; I only ask that you and the commission simply adhere to our comp plan and LDRs. Don't expand as cheaply as possible at the expense of the character of our neighborhood. Plus, it is very reckless to propose operating those huge forklifts in the customer parking area.

I have seen quite a few renditions of plans over the years; all had expanded racks inside a building, not outside. I realize it is far cheaper for you to have outside racks, but it is at the cost of the character of our neighborhood. It seems clear to me customers want indoor storage, not outdoor storage. One simply has to look across the river from us. Marine Max recently opened a wonderful new marina with slips with outdoor lifts. It remains empty with the exception of some of Marine Max's demo boats and very few others. There is no demand for outside storage.

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Denny

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---

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**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:40 PM

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Mrs. Cameron,

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We will deal with this at the public hearing on Tuesday.

Denny

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---

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**Sent:** Tuesday, August 2, 2022, 2:03 PM

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Thanks,

Austin Cameron (817) 291  
Jenny Cameron (512) 937



**From:** [Denny Dennis](#)  
**To:** [Jenny Cameron](#); [Comish](#)  
**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:23 PM

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Thanks,

Austin Cameron (817) 2  
Jenny Cameron (512) 9

**From:** [Denny Dennis](#)  
**To:** [Jenny Cameron](#); [Comish](#)  
**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:32:07 PM

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**Sent:** Tuesday, August 2, 2022, 2:03 PM

**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

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Thanks,

Austin Cameron (817) 291  
Jenny Cameron (512) 937

**From:** [crgrity@aol.com](mailto:crgrity@aol.com)  
**To:** [Comish](#)  
**Subject:** Restaurant at Meridian Marina  
**Date:** Monday, August 8, 2022 10:09:34 AM

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Hello All:

My name is Charles Glover, I live in Palm City. I have been here 11 years. I grew up in Ft pierce and I love living here in Martin County.

I am super excited about getting a waterfront restaurant in Palm City. I think it would be a great way to spend an evening with my friends without having to worry about driving and parking downtown.

I urge you to approve the restaurant.

**From:** [Cindy Belden](#)  
**To:** [Comish](#)  
**Subject:** Subject: Support for Meridian Expansion & Restaurant  
**Date:** Saturday, August 6, 2022 9:03:25 PM

---



Hello Cornish...

I hope this finds you well...

My Husband and I are residents at the Admiralty in Palm City. I am a Realtor here in Stuart at Coldwell Banker and we have lived here for 24 years in Palm City and at the Admiralty for 18 years. We have watched the Marina thru 3 different owners and Not One has improved the property with the Desire and Community that Austin and Jenny Cameron have already displayed. We support what they have proposed at the Meridian Marina site and Welcome their plans as a Family Friendly Marina and Restaurant along with the Boat Racks to enhance and Beautify Chapman Way and Our Palm City Community. We hope you do too.

Sincerely ... Cindy Belden

Cindy Lauren Belden  
"Because Every Home... Deserves Luxurious Service!"  
Coldwell Banker Realty  
Coldwell Banker Global Luxury  
2369 SE Federal Highway - Stuart, FL. 34994  
Direct: 772-485-2000  
Fax: 772-287-3000

**From:** [Michael Morash](#)  
**To:** [Comish](#)  
**Subject:** Support for Meridian Marina  
**Date:** Sunday, August 7, 2022 7:26:59 PM

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This Email Sent From External Sender

Good evening.

I would like to express to the commissioners my support for the project Meridian Marina M035-210. I have been a customer for the past 3 years with this marina and I believe a project like this is extremely beneficial for the not only the customers but also for the residents in Martin County. Over the years I have seen how this marina has brought families closer together at the marina and also on the water. With this expansion I truly believe that families will be able to enjoy the benefits of a place to eat, relax and enjoy and become closer as a community. My daughters who is a Palm City resident and the people in her community are excited that there will be a place on the water that they can enjoy without traveling far.

Thank you for your time in the consideration for this expansion.

Michael C Morash.

772-359-0230

Sent from my iPhone

**From:** [sarah.pearson](#)  
**To:** [Comish](#)  
**Subject:** Support Meridian Marina  
**Date:** Monday, August 8, 2022 8:15:08 AM

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This marina has been hands down the best place to have come in contact with. The new owners of this Meridian Marina owns other very successful marinas in other states so they know how to operate and manage a business with no questions asked. With that being said expanding docks/repairing the existing ones opening up a nice restaurant would be beneficial to the community in more ways then one. I would see this project being a very successful and rewarding for families to make great memories. Keep Martin county looking beautiful these owner only wants what is best for the people in the community and boater that come from all over the world. Thank you. Sarah-- --

Sarah Pearson



**From:** [Donald F. White](#)  
**To:** [Comish](#)  
**Cc:** [Grace White](#); [Sydney White](#); [Reagan White](#); [Julianna Reilly](#); [Michael L Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Monday, August 8, 2022 10:58:31 AM

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It has come to our attention that discussion and a possible vote on the Meridian Marina project is about to occur. We collectively want the commission to know our family fully supports the project as presented by our new neighbors, Austin and Jenny Cameron.

Our home is located at 1030 SW Chapman Way, one of four private homes just down the street from the marina. Indeed, we pass the marina multiple times daily to and from our home. We have spent several hours with the Camerons discussing their vision for this property and as residents on Chapman Way we are excited about their vision and the proposed project. Grace and Don have lived virtually our entire adult lives in Martin, built a business here, and are nearly 40 year residents. Sydney and Reagan have lived their entire lives here, are 2022 graduates of Martin County High, and incoming freshmen at UNF in Jacksonville. Grace and Don were excited, when in 1988, as Martin Downs residents, the marina was first built as a part of Peter and Julie Cummings vision for Martin Downs and Palm City in particular. We became one of the first customers of Martin Downs Marina when we moved our 26' Mako from a trailer in outside storage to the "in-and-out" facility on Chapman Way, then one of the finest in the area.

In 1993, we decided to purchase property on the river and bought a home in North River Shores. We moved our boat from the marina to our home and lost track of Martin Downs Marina. However, in 2012, we sold our house on Cocoanut Point and moved back to Palm City (coincidentally on the same street as the Marina). Frankly, we were shocked by the marina's state of disrepair and seriously considered not purchasing our home on Chapman Way because of it. The building was a mess. The property was overgrown. The pond on Mapp Road had become a weed infected mosquito breeding ground. However, we were assured by our realtor the property was under contract and the new owners were going to renovate the property and bring it back to its former glory. The realtor was truthful about the pending sale. What he did not know was the new owners would just make things worse. The building was not improved or repaired, the pond got even more infested, the lift equipment on at least a couple of occasions was in such bad shape, lifts actually fell into the water. The new owners did not help matters. Indeed, they made it worse.

Then, about a year and half ago, we discovered the property had been purchased by Austin and Jenny Cameron when our dog accidentally got out of our yard and ended up at the marina. We met the new manager and we learned about the Camerons and the plans they had for the only marina in Palm City. Nevertheless, we were skeptical. We had heard about the former owners' "big plans" in the past and nothing ever happened. But soon the roof was resurfaced, the pond was cleaned out, and the grass was being cut every week. The old lifts that looked as unsafe as anything on the property were replaced. Finally, a sign went up about a public hearing on changing the property and we were intrigued. We mentioned it to our neighbors, Mike and Julianna Reilly, who told us they had met the Camerons. He said they were impressed by their vision, and we should meet them as well. We did and we were happy we did. Austin and Jenny Cameron are the real deal. They want Meridian Marina to become the best it can be. They are talking about making an unprecedented multi-million dollar investment in Martin County and Palm City's future that should make us all proud. Their idea of a restaurant on the river run by a top drawer restaurateur is exceptional--there is nothing even remotely like it in Palm City. The expansion, landscape, and parking plan is well thought out and will turn the property into an exceptional marina.

We believe the commission should approve the project request in its entirety. It is good for our neighborhood, for Palm City, and all of Martin County. We are proud to call Austin and Jenny Cameron our neighbors.

Sincerely,

Donald, Grace, Sydney, and Reagan White  
1030 SW Chapman Way

Palm City FL 34990



***Donald White, AEP, CLU, ChFC***  
***Author & Speaker***

---

***P 772.285.0908 W [donaldfwhite.com](http://donaldfwhite.com) E [donaldfwhite@gmail.com](mailto:donaldfwhite@gmail.com)***



**From:** [Michael Reilly](#)  
**To:** [Comish](#)  
**Cc:** [Julianna Reilly](#); [donaldfwhite@gmail.com](mailto:donaldfwhite@gmail.com); [Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com); [Michael Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Tuesday, August 9, 2022 8:57:37 AM

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Martin County Committee Members:

On behalf of the Reilly family located at 1040 SW Chapman Way, Palm City, FL 34990 (next to the Meridian Marina), we collectively support the projects that are proposed by the owners of Meridian Marina, Austin and Jenny Cameron / VIP Marinas. From the digital renderings we have seen and the in depth conversations we have had with Austin and Jenny, we are excited to see a positive change in our neighborhood. The addition of the extended boat barn, parking lot and restaurant in a professional manner will only increase the viability and success of Palm City's business growth along with providing needed services and boat storage.

As you may be aware of, the previous owners of Meridian Marina left the property poorly maintained, un-safe and even unsightly. They did not invest in the future of the property or show signs of growth to help support the urgent need of boat slips in Martin County. After seeing the photos of the marina with no protective bumpers from keeping the forklifts from falling into the water (which happened multiple times prior) to proper maintenance on the fork lifts themselves to safe boat storage conditions, they violated many OSHA and basic Safety Violations for their employees and customers. Austin and Jenny are 100% focused on the protection of their employees and their customers while providing additional marine services such as a Marine Store and Restaurant. We have visited their VIP Marinas in Austin, Texas ( since we use to live there and were visiting family this Summer ) and saw the overwhelming Professionalism of their staff and properties maintained along their wonderful Ship Stores offerings, Gas Attendant assistance to Restaurants and even Boat Rental Services.

None the less, we are very excited to see the investment that Austin and Jenny ( VIP Marinas ) will make into Meridian Marina and into the Palm City community.

Please vote with full support of their purposed renderings / plans so we may see a positive impact to our community that has lacked this 'tender loving care' for quite some time.

Regards, Michael, Julianna, KayLeigh, McKenna & Ashtyn Reilly

Cheers,

Michael L. Reilly  
Co-Founder & Chairman

Warrior Salute, Inc. - 501-(c)(3)

Cell: [512-470-3301](tel:512-470-3301)

Email: [Michael@warriorsalute.org](mailto:Michael@warriorsalute.org)  
[www.warriorsalute.org](http://www.warriorsalute.org)

**From:** [stevens campbell](#)  
**To:** [Comish](#)  
**Subject:** Water Dining  
**Date:** Tuesday, August 9, 2022 9:33:47 AM

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This Email Sent From External Sender

As a boater and someone who works in the marine industry it would be great to have more choices of a place that caters to boaters. I would love to see a new restaurant/bar added to our area.

Sent from my iPhone

**From:** [Melissa Smith](#)  
**To:** [Comish](#)  
**Subject:** Waterfront Restaurant  
**Date:** Monday, August 8, 2022 2:55:16 PM

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This Email Sent From External Sender

To whomever it may concern - As a resident of the Palm City area, as well as a user of the Meridian Marina for my boat, I have been nothing but impressed with the quality of hospitality this Marina has provided. A family friendly restaurant would be a fantastic asset to this Marina and a space for the community to continue to flourish in what has been a wild time for the world.

I look forward to being a part of this journey and hope to see success during these next steps in getting there.

**From:** [Michael Kavanagh](#)  
**To:** [Comish](#)  
**Subject:** We Support Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:32:58 AM

---

This Email Sent From External Sender

This email expresses our support for the planned improvements to the Meridian Marina in Palm City and the addition of a restaurant to the property. We have been residents of Stuart for over 20 years. We were originally attracted to the area by its natural beauty and the abundance of water and water based activities. We have been boaters nearly our entire lives and the boat lifestyle in our community is amazing. During the pandemic we decided to buy a larger boat to expand our boating opportunities. Purchasing the boat ended up being the easy part. We were stunned to learn that in the Stuart/Jensen Beach/Palm City area there were virtually no slips available for our boat (33'). That is when we learned that Austin and Jenny Cameron had purchased the Meridian Marina.

We had heard that the Meridian Marina did not have a great reputation so I asked for an opportunity to meet the new owner. Austin met the same day with my wife and I and spent over an hour with us walking us through their vision for the property. We became customers and to this day the Camerons have done everything they said they would do. They have refurbished a run down eyesore into one of the nicer storage facilities in the area. They invested heavily in the infrastructure surrounding the building. They cleaned up the overgrown pond/water feature and made into an asset for the neighborhood. The remaining improvements- new docks, replacing the dilapidated seawall, adding additional storage and a new restaurant- were all part of the vision that Austin described. We are confident that the Camerons will complete the balance of the plan with the same professionalism, quality and sensitivity for the neighborhood that has been evident since the day that they took over the facility.

Martin County needs this facility. In a county where boating opportunities are nearly unmatched, the dearth of storage capabilities is stunning. We know of many of our Stuart neighbors that store their boats in Jupiter or Ft. Pierce because there is nowhere available in Stuart. A new waterfront restaurant in the area would also be a tremendous asset to Martin County and Palm City (which to my knowledge currently has zero). And unlike most waterfront restaurants in the area, Meridian has ample parking on property. The community will be a better place with this project.

The Camerons have been absolutely true to their word on everything they've done. They are accessible (living on site for a large part of the year), honest and an asset to Martin County. We need to attract more people like the Camerons to the county, not push them away.

We encourage the commissioners to approve this project.

Sincerely,

Michael & Jacqueline Kavanagh  
579 NE Plantation Road, S210  
Stuart, FL 34996  
[m.j.kavanagh@comcast.net](mailto:m.j.kavanagh@comcast.net)

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Stacey Hetherington

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:** August 9, 2022 - PHQJ-1 REQUEST FOR A ZONING DISTRICT CHANGE BY TRINIDAD AND 3 BAGELS, LLC (T146-002)

This is a request by Trinidad and 3 Bagels (T146-002) for a proposed amendment to the county zoning atlas for a residential district designation. The proposed amendment is to change the existing zoning district classification from A-2, Agricultural District to the AR-5A, Agricultural Ranchette District or the most appropriate zoning district. The approximate 25-acre parcel of land is located at 6155 SW Leighton Farm Avenue in Palm City. Included with this application is a Request for a Certificate of Public Facilities Exemption.

**Name of person, group or entity with which communication took place:** N/A

**Subject matter of communication:** N/A

**Describe investigations, site visits and provide any expert opinions received:** N/A

**List and attach any written communication received:** N/A

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Stacey Hetherington

**Name of Board/Agency:**

Board of County Commissioners

Item/Issue: **August 9, 2022 - PHQJ-2 REQUEST FOR A ZONING DISTRICT CHANGE BY 4585 NE OCEAN BLVD., LLC (F112-003)**, This is a request by 4585 NE Ocean Blvd., LLC (F112-003) for a proposed amendment to the county zoning atlas. The proposed amendment is to change the existing zoning district classification from HR-2A, Multiple-Family Dwelling District to RS-6, Medium Density Residential District or the most appropriate zoning district. The approximate 1.37-acre parcel of land is located at 4585 NE Ocean Boulevard on Hutchinson Island. Included with this application is a Request for a Certificate of Public Facilities Exemption.

**Name of person, group or entity with which communication took place:** N/A

**Subject matter of communication:** N/A

**Describe investigations, site visits and provide any expert opinions received:** N/A

**List and attach any written communication received:** N/A



## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Stacey Hetherington

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:** August 9, 2022 - PHQJ-3 REQUEST BY FLORIDA POWER AND LIGHT COMPANY FOR MAJOR SITE PLAN APPROVAL FOR THE WHITE TAIL SOLAR ENERGY CENTER (F110-002). This is a request by Florida Power and Light Company (FPL) for major final site plan approval for the development of a solar energy center (solar farm) and the associated infrastructure on an approximate 601 acre site which is the north half of a larger 1261 acre tract previously utilized for agricultural production. The parcel is located on the north side of SW Citrus Boulevard approximately 5 1/2 miles west of SW 96th Street and 3 miles east of the Village of Indiantown.

**Name of person, group or entity with which communication took place:** Marshall Critchfield

**Subject matter of communication:** FPL-White Tail Solar Energy Center

**Describe investigations, site visits and provide any expert opinions received:** N/A

**List and attach any written communication received:** N/A

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Stacey Hetherington

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:** August 9, 2022 - DPQJ-1 **REQUEST APPROVAL FOR THE 79<sup>TH</sup> AMENDMENT TO THE MARTIN DOWNS PLANNED UNIT DEVELOPMENT ZONING AGREEMENT INCLUDING A REVISED MASTER/FINAL SITE PLAN AND REVISED PHASING PLAN FOR THE MERIDIAN MARINA PROJECT (M035-210)** This is a request by AC Meridian Marina, LLC for the 79th Amendment to the Martin Downs Planned Unit Development (PUD) Zoning Agreement for the Meridian Marina including a revised Master/Final Site Plan for the approximate 11 acre previously developed marina and boat storage facility located on the St. Lucie River at 1400 SW Chapman Way. Included is a request for a Certificate of Public Facilities Reservation.

**Name of person, group or entity with which communication took place:** Morris Crady, 8/5/22

**Subject matter of communication:** Meridian Marina

**Describe investigations, site visits and provide any expert opinions received:** Site Visit 8/8/2022

**List and attach any written communication received:** See Attached

**From:** [Bryan Gardner](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Project - Letter of Support  
**Date:** Monday, August 8, 2022 10:20:16 AM  
**Attachments:** [Meridian Marina \(Gardner\) letter of Support.pdf](#)

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Good morning Commissioners,

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Please see attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

Bryan & Lori Gardner  
1550 SW prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Rd  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

To Whom it may concern;

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Sincerely,

A handwritten signature in dark ink, appearing to be 'B/K' followed by a long, sweeping horizontal line.

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

**From:** [Tyler Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:34:36 PM

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Good Afternoon,

I am writing in reference to the Meridian Marina site plan. I am a resident of Palm City and want to voice how much we need the improvements planned at this space. My Family continues to drive out of Palm City to frequent restaurants on the water. How great would it be if we could keep the money being spent by the residents of Palm City in Palm City Businesses. Each marina and storage facility is on a waiting list to get new boats stored, we are desperate for more storage. Please let me know how my family and I can further support this matter to assist the community.

Tyler Lieberman

**From:** [Jocelyn Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 11:05:11 AM

---



Meridian MArina has been a blessing in disguise with the boat slip shortage in Martin County. They have done a great job re-doing the barn, pilings, docks etc. The people they have employed are very service oriented and it is a beautiful, clean marina. The addition of the restaurant and bar would just add to it. It would be great to come back from a day on the water and be able to sit and get a bite to eat overlooking the river. Please allow them to move forward with their plans.

Thanks

**From:** [Donald F. White](#)  
**To:** [Comish](#)  
**Cc:** [Grace White](#); [Sydney White](#); [Reagan White](#); [Julianna Reilly](#); [Michael L Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Monday, August 8, 2022 10:58:31 AM

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It has come to our attention that discussion and a possible vote on the Meridian Marina project is about to occur. We collectively want the commission to know our family fully supports the project as presented by our new neighbors, Austin and Jenny Cameron.

Our home is located at 1030 SW Chapman Way, one of four private homes just down the street from the marina. Indeed, we pass the marina multiple times daily to and from our home. We have spent several hours with the Camerons discussing their vision for this property and as residents on Chapman Way we are excited about their vision and the proposed project. Grace and Don have lived virtually our entire adult lives in Martin, built a business here, and are nearly 40 year residents. Sydney and Reagan have lived their entire lives here, are 2022 graduates of Martin County High, and incoming freshmen at UNF in Jacksonville. Grace and Don were excited, when in 1988, as Martin Downs residents, the marina was first built as a part of Peter and Julie Cummings vision for Martin Downs and Palm City in particular. We became one of the first customers of Martin Downs Marina when we moved our 26' Mako from a trailer in outside storage to the "in-and-out" facility on Chapman Way, then one of the finest in the area.

In 1993, we decided to purchase property on the river and bought a home in North River Shores. We moved our boat from the marina to our home and lost track of Martin Downs Marina. However, in 2012, we sold our house on Cocoanut Point and moved back to Palm City (coincidentally on the same street as the Marina). Frankly, we were shocked by the marina's state of disrepair and seriously considered not purchasing our home on Chapman Way because of it. The building was a mess. The property was overgrown. The pond on Mapp Road had become a weed infected mosquito breeding ground. However, we were assured by our realtor the property was under contract and the new owners were going to renovate the property and bring it back to its former glory. The realtor was truthful about the pending sale. What he did not know was the new owners would just make things worse. The building was not improved or repaired, the pond got even more infested, the lift equipment on at least a couple of occasions was in such bad shape, lifts actually fell into the water. The new owners did not help matters. Indeed, they made it worse.

Then, about a year and half ago, we discovered the property had been purchased by Austin and Jenny Cameron when our dog accidentally got out of our yard and ended up at the marina. We met the new manager and we learned about the Camerons and the plans they had for the only marina in Palm City. Nevertheless, we were skeptical. We had heard about the former owners' "big plans" in the past and nothing ever happened. But soon the roof was resurfaced, the pond was cleaned out, and the grass was being cut every week. The old lifts that looked as unsafe as anything on the property were replaced. Finally, a sign went up about a public hearing on changing the property and we were intrigued. We mentioned it to our neighbors, Mike and Julianna Reilly, who told us they had met the Camerons. He said they were impressed by their vision, and we should meet them as well. We did and we were happy we did. Austin and Jenny Cameron are the real deal. They want Meridian Marina to become the best it can be. They are talking about making an unprecedented multi-million dollar investment in Martin County and Palm City's future that should make us all proud. Their idea of a restaurant on the river run by a top drawer restaurateur is exceptional--there is nothing even remotely like it in Palm City. The expansion, landscape, and parking plan is well thought out and will turn the property into an exceptional marina.

We believe the commission should approve the project request in its entirety. It is good for our neighborhood, for Palm City, and all of Martin County. We are proud to call Austin and Jenny Cameron our neighbors.

Sincerely,

Donald, Grace, Sydney, and Reagan White  
1030 SW Chapman Way

Palm City FL 34990



***Donald White, AEP, CLU, ChFC***  
***Author & Speaker***

---

***P 772.285.0908 W [donaldfwhite.com](http://donaldfwhite.com) E [donaldfwhite@gmail.com](mailto:donaldfwhite@gmail.com)***





**From:** [jeanne@jvdestimating.com](mailto:jeanne@jvdestimating.com)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 10:50:28 AM

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I support both the Meridian Marina restaurant project and the additional boat storage. My husband and I live in Lighthouse Point and would welcome a new waterfront restaurant on our side of the river. I believe the location is perfect for this type of venue and would enhance nearby property values as well.

Please vote in favor of this project.

Sincerely,  
Jeanne Ertle  
1459 SW Dyer Point Rd, Palm City  
407-432-3681

**From:** [poul christiansen](#)  
**To:** [Comish](#)  
**Cc:** [Jennifer Jacobs](#); [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [Don Donaldson](#)  
**Subject:** Meridian Marina improvements  
**Date:** Monday, August 8, 2022 12:53:30 PM

---



To whom it may concern:

I am contacting the Martin County Commission to express my support for the improvements to Meridian Marina. I have lived in Palm City since 1997 and have been a boat owner in the Treasure Coast since I moved to Florida in 1989. I have kept my boat at Meridian Marina for several years and welcome the improvements to the marina, including the addition of a restaurant. The new owners are making millions of dollars of improvements which improve the tax basis for Martin County and provide additional employment for Martin County residents. The new owners have a proven track record of operating top notch marinas throughout the country. I am certain that they will not only improve the marina but will make it a "destination" which the residents and visitors to Martin County will enjoy and be proud of for years to come. Please approve this important project!

Sincerely,  
Poul Christiansen  
6107 SW Moore St.  
Palm City, FL 34990

**From:** [jeanne@jvdestimating.com](mailto:jeanne@jvdestimating.com)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 10:50:28 AM

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I support both the Meridian Marina restaurant project and the additional boat storage. My husband and I live in Lighthouse Point and would welcome a new waterfront restaurant on our side of the river. I believe the location is perfect for this type of venue and would enhance nearby property values as well.

Please vote in favor of this project.

Sincerely,  
Jeanne Ertle  
1459 SW Dyer Point Rd, Palm City  
407-432-3681

**From:** [Joe Dargavage](#)  
**To:** [Comish](#)  
**Subject:** Meridian Dry Storage Expansion  
**Date:** Monday, August 8, 2022 10:38:25 AM

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August 8, 2022

Dear Martin County Commissioners:

As a life long boater in Martin County, and a member of the South Florida boating and yachting business community for 30 years, I stand in full support of the Meridian Dry Storage expansion.

Palm City has seen amazing growth over the last five years, and though we must always keep over development in check, Meridian offers a service to our boating community that is well needed and in great shortage. What they are looking to do, replace a closed restaurant facility (already built) and expand on the storage facility, that is full, full with boats of our Martin County residents, should be seen by a true positive by the Commission.

Lastly, I have known Jenny and Austin Cameron for many years, from both a professional (fellow marina owner) and personal level. They are extremely well respected in the boating community and are an excellent addition to both Martin County and Palm City.

I hope that the Commission see's the importance of boating too the Martin County Community, and votes in Meridians favor.

Most Kindly

Joe Dargavage

JOSEPH A. DARGAVAGE | Owner

United Island & Yacht – South Florida & Bahamas  
Romora Bay Resort & Marina, Harbour Island

Proud Member:  
Association of Bahamas Marinas (ABM) – 2022 President

Board Member:  
USSA – US Superyacht Association  
Seafarers' House at Port Everglades  
Bahamas Hotel & Tourism Association  
IYBA- International Yacht Brokers Association  
MIASF – Marine Industry Association of South Florida  
Broward County Boys & Girls Club

**From:** [poul christiansen](#)  
**To:** [Comish](#)  
**Cc:** [Jennifer Jacobs](#); [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [Don Donaldson](#)  
**Subject:** Meridian Marina improvements  
**Date:** Monday, August 8, 2022 12:53:30 PM

---



To whom it may concern:

I am contacting the Martin County Commission to express my support for the improvements to Meridian Marina. I have lived in Palm City since 1997 and have been a boat owner in the Treasure Coast since I moved to Florida in 1989. I have kept my boat at Meridian Marina for several years and welcome the improvements to the marina, including the addition of a restaurant. The new owners are making millions of dollars of improvements which improve the tax basis for Martin County and provide additional employment for Martin County residents. The new owners have a proven track record of operating top notch marinas throughout the country. I am certain that they will not only improve the marina but will make it a "destination" which the residents and visitors to Martin County will enjoy and be proud of for years to come. Please approve this important project!

Sincerely,  
Poul Christiansen  
6107 SW Moore St.  
Palm City, FL 34990

**From:** [Tyler Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:34:36 PM

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Good Afternoon,

I am writing in reference to the Meridian Marina site plan. I am a resident of Palm City and want to voice how much we need the improvements planned at this space. My Family continues to drive out of Palm City to frequent restaurants on the water. How great would it be if we could keep the money being spent by the residents of Palm City in Palm City Businesses. Each marina and storage facility is on a waiting list to get new boats stored, we are desperate for more storage. Please let me know how my family and I can further support this matter to assist the community.

Tyler Lieberman

**From:** [Mitch Maddren](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:06:59 PM

---

This Email Sent From External Sender

Dearest Commissioners,

We are in full support of the requested expansion at Meridian Marina in Palm city. It will be so nice to have additional restaurants especially waterfront. There is already a shortage of inside storage for vessels in our class. What the new owners have done to date, i.e. improvements is unprecedented. And they have just begun.

Anne & Mitch Maddren  
jettyhopper3057@gmail.com  
Palm City, FL

**From:** [Robert Peterson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina restaurant  
**Date:** Monday, August 8, 2022 11:49:11 AM

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This Email Sent From External Sender

To whom it may concern,

I have been a resident of Palm City for over 40 years. And the thought of a new family, Waterfront, restaurant brings a sense of hope for the community. It would truly be one of a kind and offer countless opportunities to the community. Youth employment, added revenue, attraction of surrounding residents, and all within a short walk or bike ride of a majority of Palm City. I have personally witnessed the Improvements that the Austin's have brought to the community, through their efforts to bring the Meridian Marina back from a sad state of disrepair. I see nothing but great things from the welcome addition of the restaurant and the continuing improvement of the Meridian Marina.

Thank you for your consideration,  
Robert W. Peterson Jr.

Sent from my iPhone



**From:** [dndlott](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant Proposal  
**Date:** Monday, August 8, 2022 11:45:19 AM

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This Email Sent From External Sender

Dear Commissioners of Martin County,

We would like to voice our opinion on the proposed restaurant at the Marina. We are residents at the Admiralty Condos directly adjacent to it. Upon their purchase of the property out of bankruptcy, they began to do numerous repairs that the previous owner neglected. There was significant damage to the sides and roof of the storage barn, whole sheets of siding missing due to previous hurricane damage. We actually had our boat stored there for a couple of years before they purchased it. When we had them launch the boat, we found rusty flakes of metal on the floor of the boat coming from the barn's roof because we were on the top rack. More importantly, there was environmental issues that were never addressed with the previous owner. The "Cameron's" have done a wonderful job with repairing the storage barn and cleaning up the environmental mess. The property looks much better than I have ever seen it. The restaurant will be a magnificent addition to the property on the point. This will give the Palm City residents and neighbors a much needed waterfront restaurant nearby.

In my position as the HOA president (Diane Lott), I have had multiple conversations with the new owners. When they bought the marina 2 years ago, they expressed a sincere interest in meeting their new Admiralty neighbors. So, I set up a meeting for them to introduce themselves to the residents where they brought mock ups of the design and their vision for the the marina. The restaurant was discussed at that time and there was and continues to be overwhelming support amongst 75% of our community for the restaurant. This is backed up by a poll that was taken last week. The Admiralty is a small community of 5 buildings, 49 units in total. The poll taken showed that the majority of the residents that responded would frequent and support the restaurant.

My husband and I hope that you will approve building the restaurant at the marina's "point" as this will enhance convenience of not having to drive into Stuart to enjoy waterfront dining.

Cordially,

Diane and David Lott  
Admiralty Condominiums  
Unit 401  
954-294-5060

**From:** [joseph.cox](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina expansion  
**Date:** Monday, August 8, 2022 11:32:14 AM

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First of all let me say Thank You for the opportunity to send you this email and voice my support for the Meridian Marina expansion projects and to say the least I couldn't be any more excited to see the projects Meridian Marina is looking to move forward with. In regards to the boat storage expansion I see no reason for concern as Meridian Marina has plenty of extra space/land to provide parking for its customers and will not affect traffic or surrounding homeowners by parking on the side of the road, right of way, etc.. Also along with that project comes new concrete parking, driveways, boat storage pads, dredging, seawalls, landscaping and a more organized and beautiful look to the property and to bring the property as far as a boat storage facility up to its full potential for Palm City residents/boaters. In regards to the Marina sales and waterfront restaurant I think a majority of Palm City residents and boaters have been dying to have a waterfront place to eat, relax and enjoy the St. Lucie river waterfront without having to cross the bridge and go to Stuart in order to achieve this atmosphere and with Palm City being a small, quiet, family oriented community I don't see any reason this restaurant and Meridian Marina won't serve us as a community with those same values in mind. Austin, Rick and Jenny have been working since day one of the purchase of this place in order to move it forward and make it a great family oriented place for the boaters of Palm City. The respect that I have for those 3 and their staff is what has led me to writing this email and allowing them to unlock it's full potential in my mind would make it exactly what Palm City needs. I can't think of any better group of folks that I would want to move this project forward and provide me, my wife and kids with a family oriented waterfront experience right here in Palm City. Thanks so much for hearing me out and have a great day.

**From:** [Mac Cadaret Jr](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-219  
**Date:** Monday, August 8, 2022 11:14:05 AM

---



To Whom It May Concern:

I am writing to impart my full support of the Meridian Marina capital improvements. As a longtime member of the marina and an avid fisherman/boater I feel this project would only enhance the surrounding areas. The improvements would allow and encourage my family to be more active at the marina and surrounding businesses. A family-based waterfront restaurant can only lead to more like-minded people. If the improvements the marina has made show us anything it is the marina is on solid footing and heading on a path of family-based service.

Please consider my points when making the final decision. I will make myself available to discuss via email or in person if that would be needed. Stay well and thank you for your community service and consideration.

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**From:** [Jocelyn Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 11:05:11 AM

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Meridian MArina has been a blessing in disguise with the boat slip shortage in Martin County. They have done a great job re-doing the barn, pilings, docks etc. The people they have employed are very service oriented and it is a beautiful, clean marina. The addition of the restaurant and bar would just add to it. It would be great to come back from a day on the water and be able to sit and get a bite to eat overlooking the river. Please allow them to move forward with their plans.

Thanks

**From:** [Donald F. White](#)  
**To:** [Comish](#)  
**Cc:** [Grace White](#); [Sydney White](#); [Reagan White](#); [Julianna Reilly](#); [Michael L Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Monday, August 8, 2022 10:58:31 AM

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It has come to our attention that discussion and a possible vote on the Meridian Marina project is about to occur. We collectively want the commission to know our family fully supports the project as presented by our new neighbors, Austin and Jenny Cameron.

Our home is located at 1030 SW Chapman Way, one of four private homes just down the street from the marina. Indeed, we pass the marina multiple times daily to and from our home. We have spent several hours with the Camerons discussing their vision for this property and as residents on Chapman Way we are excited about their vision and the proposed project. Grace and Don have lived virtually our entire adult lives in Martin, built a business here, and are nearly 40 year residents. Sydney and Reagan have lived their entire lives here, are 2022 graduates of Martin County High, and incoming freshmen at UNF in Jacksonville. Grace and Don were excited, when in 1988, as Martin Downs residents, the marina was first built as a part of Peter and Julie Cummings vision for Martin Downs and Palm City in particular. We became one of the first customers of Martin Downs Marina when we moved our 26' Mako from a trailer in outside storage to the "in-and-out" facility on Chapman Way, then one of the finest in the area.

In 1993, we decided to purchase property on the river and bought a home in North River Shores. We moved our boat from the marina to our home and lost track of Martin Downs Marina. However, in 2012, we sold our house on Cocoanut Point and moved back to Palm City (coincidentally on the same street as the Marina). Frankly, we were shocked by the marina's state of disrepair and seriously considered not purchasing our home on Chapman Way because of it. The building was a mess. The property was overgrown. The pond on Mapp Road had become a weed infected mosquito breeding ground. However, we were assured by our realtor the property was under contract and the new owners were going to renovate the property and bring it back to its former glory. The realtor was truthful about the pending sale. What he did not know was the new owners would just make things worse. The building was not improved or repaired, the pond got even more infested, the lift equipment on at least a couple of occasions was in such bad shape, lifts actually fell into the water. The new owners did not help matters. Indeed, they made it worse.

Then, about a year and half ago, we discovered the property had been purchased by Austin and Jenny Cameron when our dog accidentally got out of our yard and ended up at the marina. We met the new manager and we learned about the Camerons and the plans they had for the only marina in Palm City. Nevertheless, we were skeptical. We had heard about the former owners' "big plans" in the past and nothing ever happened. But soon the roof was resurfaced, the pond was cleaned out, and the grass was being cut every week. The old lifts that looked as unsafe as anything on the property were replaced. Finally, a sign went up about a public hearing on changing the property and we were intrigued. We mentioned it to our neighbors, Mike and Julianna Reilly, who told us they had met the Camerons. He said they were impressed by their vision, and we should meet them as well. We did and we were happy we did. Austin and Jenny Cameron are the real deal. They want Meridian Marina to become the best it can be. They are talking about making an unprecedented multi-million dollar investment in Martin County and Palm City's future that should make us all proud. Their idea of a restaurant on the river run by a top drawer restaurateur is exceptional--there is nothing even remotely like it in Palm City. The expansion, landscape, and parking plan is well thought out and will turn the property into an exceptional marina.

We believe the commission should approve the project request in its entirety. It is good for our neighborhood, for Palm City, and all of Martin County. We are proud to call Austin and Jenny Cameron our neighbors.

Sincerely,

Donald, Grace, Sydney, and Reagan White  
1030 SW Chapman Way

Palm City FL 34990



***Donald White, AEP, CLU, ChFC***  
***Author & Speaker***

---

***P 772.285.0908 W donaldwhite.com E donaldwhite@gmail.com***



**From:** [jeanne@jvdestimating.com](mailto:jeanne@jvdestimating.com)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 10:50:28 AM

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I support both the Meridian Marina restaurant project and the additional boat storage. My husband and I live in Lighthouse Point and would welcome a new waterfront restaurant on our side of the river. I believe the location is perfect for this type of venue and would enhance nearby property values as well.

Please vote in favor of this project.

Sincerely,  
Jeanne Ertle  
1459 SW Dyer Point Rd, Palm City  
407-432-3681

**From:** [Joe Dargavage](#)  
**To:** [Comish](#)  
**Subject:** Meridian Dry Storage Expansion  
**Date:** Monday, August 8, 2022 10:38:25 AM

---



August 8, 2022

Dear Martin County Commissioners:

As a life long boater in Martin County, and a member of the South Florida boating and yachting business community for 30 years, I stand in full support of the Meridian Dry Storage expansion.

Palm City has seen amazing growth over the last five years, and though we must always keep over development in check, Meridian offers a service to our boating community that is well needed and in great shortage. What they are looking to do, replace a closed restaurant facility (already built) and expand on the storage facility, that is full, full with boats of our Martin County residents, should be seen by a true positive by the Commission.

Lastly, I have known Jenny and Austin Cameron for many years, from both a professional (fellow marina owner) and personal level. They are extremely well respected in the boating community and are an excellent addition to both Martin County and Palm City.

I hope that the Commission see's the importance of boating too the Martin County Community, and votes in Meridians favor.

Most Kindly

Joe Dargavage

JOSEPH A. DARGAVAGE | Owner

United Island & Yacht – South Florida & Bahamas  
Romora Bay Resort & Marina, Harbour Island

Proud Member:  
Association of Bahamas Marinas (ABM) – 2022 President

Board Member:  
USSA – US Superyacht Association  
Seafarers' House at Port Everglades  
Bahamas Hotel & Tourism Association  
IYBA- International Yacht Brokers Association  
MIASF – Marine Industry Association of South Florida  
Broward County Boys & Girls Club



**From:** [Bryan Gardner](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Project - Letter of Support  
**Date:** Monday, August 8, 2022 10:20:16 AM  
**Attachments:** [Meridian Marina \(Gardner\) letter of Support.pdf](#)

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Good morning Commissioners,

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Please see attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

**From:** [crgrity@aol.com](mailto:crgrity@aol.com)  
**To:** [Comish](#)  
**Subject:** Restaurant at Meridian Marina  
**Date:** Monday, August 8, 2022 10:09:33 AM

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Hello All:

My name is Charles Glover, I live in Palm City. I have been here 11 years. I grew up in Ft pierce and I love living here in Martin County.

I am super excited about getting a waterfront restaurant in Palm City. I think it would be a great way to spend an evening with my friends without having to worry about driving and parking downtown.

I urge you to approve the restaurant.

**From:** [joemcduffee](#)  
**To:** [Comish](#)  
**Subject:** Martin County Meridian Project  
**Date:** Monday, August 8, 2022 9:58:25 AM

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I am writing in support of the meridian expansion and restaurant project.

Not everyone has the means to live on and enjoy the Waterfront. In my opinion we need more restaurants on the water, thus allowing the majority of residents an opportunity to relax and experience the beauty of our area. I am sure a waterfront Restaurant in Martin County, specifically Palm City, would be a welcome and profitable addition.

Please approve this project.

Regards,  
Joseph McDuffee

Sent from my Galaxy

**From:** [MJ McDuffee](#)  
**To:** [Comish](#)  
**Subject:** Meridian expansion and restaurant  
**Date:** Monday, August 8, 2022 9:33:46 AM

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This Email Sent From External Sender

I sincerely hope the commission will approve the Meridian expansion and restaurant project in Martin county. I'm sure the county is in need of more boat storage, but I am hopeful the project is passed because this area, as beautiful as it is and as much water surrounds us, has a very limited number of nice waterfront restaurants. A nice comfortable restaurant on the water would be an advantage for Martin county and as a resident of St. Lucie county I can tell you I would gladly make the trip often to frequent the restaurant.

Regards,  
MJ McDuffee

**From:** [Michael Kavanagh](#)  
**To:** [Comish](#)  
**Subject:** We Support Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:32:58 AM

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This Email Sent From External Sender

This email expresses our support for the planned improvements to the Meridian Marina in Palm City and the addition of a restaurant to the property. We have been residents of Stuart for over 20 years. We were originally attracted to the area by its natural beauty and the abundance of water and water based activities. We have been boaters nearly our entire lives and the boat lifestyle in our community is amazing. During the pandemic we decided to buy a larger boat to expand our boating opportunities. Purchasing the boat ended up being the easy part. We were stunned to learn that in the Stuart/Jensen Beach/Palm City area there were virtually no slips available for our boat (33'). That is when we learned that Austin and Jenny Cameron had purchased the Meridian Marina.

We had heard that the Meridian Marina did not have a great reputation so I asked for an opportunity to meet the new owner. Austin met the same day with my wife and I and spent over an hour with us walking us through their vision for the property. We became customers and to this day the Camerons have done everything they said they would do. They have refurbished a run down eyesore into one of the nicer storage facilities in the area. They invested heavily in the infrastructure surrounding the building. They cleaned up the overgrown pond/water feature and made into an asset for the neighborhood. The remaining improvements- new docks, replacing the dilapidated seawall, adding additional storage and a new restaurant- were all part of the vision that Austin described. We are confident that the Camerons will complete the balance of the plan with the same professionalism, quality and sensitivity for the neighborhood that has been evident since the day that they took over the facility.

Martin County needs this facility. In a county where boating opportunities are nearly unmatched, the dearth of storage capabilities is stunning. We know of many of our Stuart neighbors that store their boats in Jupiter or Ft. Pierce because there is nowhere available in Stuart. A new waterfront restaurant in the area would also be a tremendous asset to Martin County and Palm City (which to my knowledge currently has zero). And unlike most waterfront restaurants in the area, Meridian has ample parking on property. The community will be a better place with this project.

The Camerons have been absolutely true to their word on everything they've done. They are accessible (living on site for a large part of the year), honest and an asset to Martin County. We need to attract more people like the Camerons to the county, not push them away.

We encourage the commissioners to approve this project.

Sincerely,

Michael & Jacqueline Kavanagh  
579 NE Plantation Road, S210  
Stuart, FL 34996  
[m.j.kavanagh@comcast.net](mailto:m.j.kavanagh@comcast.net)

**From:** [Laura Garcia-Bartenfelder](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:03:42 AM  
**Attachments:** [image001.png](#)

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Good Morning

I am writing this email to show support for the Meridian Marina's project to have more boat storage and also a waterfront restaurant. I am a resident of Palm City and also in the yachting business. We are in desperate need of more boat storage as more and more residents are purchasing boats without a place to keep them safely. I also am so excited about a waterfront restaurant in Palm City – it will only be beneficial to our community.

Regards

Laura Garcia



Agency & Shore Support



Laura Garcia-Bartenfelder

Partner

United Island & Yacht

1091 SE 17<sup>th</sup> St Causeway

Fort Lauderdale

Florida 33316

Florida – Bahamas

[www.unitedislandandyacht.com](http://www.unitedislandandyacht.com)

[laura@unitedislandandyacht.com](mailto:laura@unitedislandandyacht.com)

352-208-4640



**From:** [Karen Prisco](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:03:38 AM

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My name is Stephen Prisco I have a second home at the Admiralty condominiums in beautiful Palm city Florida I am a boat owner and I would love the option to have another family friendly waterfront restaurant on this side of the railway bridge which has become a topic of conversation in Martin County the last couple of months due to the excessive amount that the bridge is down causing inconveniences quite often people missing flights because of the unusual length of time the bridges down so to have an option to pull up on our boat or even drive to a restaurant on the water in Palm city I feel as a resident would improve our neighborhood not to mention possibly increase our property value. I met Austin and Jenny shortly after they purchased the marina found them to be very very nice people as well as astute business people first thing I noticed was the American flag hanging off of Matt Road and the new water feature and was quite happy to see that as a pull down Chapman Way so as a businessman myself knowing what it costs just to get projects off the ground to have someone come out of nowhere who claims to be anonymous I think it's a real detriment to this project as well as other projects in the area respectfully Steven Prisco

[Sent from Yahoo Mail for iPhone](#)

**From:** [Michael Goodale](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#); [Don Donaldson](#)  
**Cc:** [Kathleen Boden](#); [Patricia Higginbotham](#); [Colleen Pachowicz](#); [Sarah Philion](#); [Stacey McKindles](#); [Kimberlee Levee](#)  
**Subject:** Meridian Marina Expansion Project  
**Date:** Monday, August 8, 2022 8:48:30 AM

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This Email Sent From External Sender

8-8-22

Hello, My wife and I own and occupy a private residence at 1152 SW Pelican Crescent in Palm City, over the last 11 years we have been constantly upgrading our home to enjoy long after we retire. Our estimated \$2MM waterfront property joins the southern property line of Meridian Marina and while we applaud the renovation of the marina property we do not support the addition of a restaurant. The proposed addition would reside approximately 50 feet from our master bedroom window severely impacting our quality of life and our property value. Our neighborhood is quiet and peaceful which is why we chose to move here over a decade ago. A restaurant would change all of this. Increased crime, drunk driving plus the crowd noise and clanking dishes well into the night, long past the current 5pm close. Please do not irreversibly change our much loved little community.



**From:** [sarah.pearson](#)  
**To:** [Comish](#)  
**Subject:** Support Meridian Marina  
**Date:** Monday, August 8, 2022 8:15:08 AM

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This marina has been hands down the best place to have come in contact with. The new owners of this Meridian Marina owns other very successful marinas in other states so they know how to operate and manage a business with no questions asked. With that being said expanding docks/repairing the existing ones opening up a nice restaurant would be beneficial to the community in more ways then one. I would see this project being a very successful and rewarding for families to make great memories. Keep Martin county looking beautiful these owner only wants what is best for the people in the community and boater that come from all over the world. Thank you. Sarah-- --

Sarah Pearson

**From:** [Michael Morash](#)  
**To:** [Comish](#)  
**Subject:** Support for Meridian Marina  
**Date:** Sunday, August 7, 2022 7:26:59 PM

---

This Email Sent From External Sender

Good evening.

I would like to express to the commissioners my support for the project Meridian Marina M035-210. I have been a customer for the past 3 years with this marina and I believe a project like this is extremely beneficial for the not only the customers but also for the residents in Martin County. Over the years I have seen how this marina has brought families closer together at the marina and also on the water. With this expansion I truly believe that families will be able to enjoy the benefits of a place to eat, relax and enjoy and become closer as a community. My daughters who is a Palm City resident and the people in her community are excited that there will be a place on the water that they can enjoy without traveling far.

Thank you for your time in the consideration for this expansion.

Michael C Morash.

772-359-0230

Sent from my iPhone

**From:** [Dianne Broderick](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 3:16:47 PM

---



Good day commissioners. I am writing in full support of the the Marina's request for a restaurant and additional boat storage. Palm City has shown much improvement recently but is still in need of more development. A waterfront restaurant is the best thing that could happen to Palm City at this point in time.

**From:** [Ann Vance](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 1:41:17 PM

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This Email Sent From External Sender

Unable to attend the meeting, I am writing in support of the Meridian Marina's efforts to expand. As new owners, they have made many true and necessary improvements over the last year which were way overdue . This is rewarding to long-time boaters of Martin County! I strongly support their interest in building a restaurant and improving the dock layout to accommodate customers. With the upcoming timing problems of the train bridge, I'm sure this family oriented restaurant will be well received by locals and it will surely be successful as the only one in Palm City! PLEASE PERMIT!

Sincerely,  
Ann Vance

Sent from my iPad

**From:** [Quentin Allen](#)  
**To:** [Comish](#)  
**Subject:** Meriden marina project  
**Date:** Sunday, August 7, 2022 1:35:43 PM

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This Email Sent From External Sender

To whom it may concern:

This email is to express support for the new waterfront restaurant project Meridian Marina M035.

After living in Palm City for eight years we realize that in order to find waterfront dining we have to cross the bridge to Stuart and would love to have something in our neighborhood that offers waterfront dining. We are extremely excited about the restaurant, which will be a family-friendly waterfront restaurant. We have knowledge of the operating group and have been happy with what they have done as operators to improve the current facility. We also agree with the need for additional boat storage in Martin County.

As a local business owner I am excited about the potential increased revenue at local businesses and increase in property values as people stay in Palm City for entertainment and dining options. Also with the current issues with brightline and boating/bridge traffic it will be nice to have waterfront dining options in Palm city.

Respectfully,

Quentin B. Allen, MD  
Florida Vision Institute

Sent from an device

**From:** [Meghan M](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant  
**Date:** Sunday, August 7, 2022 11:41:11 AM

---

This Email Sent From External Sender

Dear Commissioner,

I'd like to voice my support of the proposed new restaurant planning on going in at Meridian Marina. I am a resident of Palm City and have been excited ever since I heard we were finally getting a waterfront restaurant. Not only a waterfront restaurant but one that we can boat to as well. I am disappointed to hear that there is someone trying to oppose something that will truly be enjoyed and appreciated by most of the Palm City residents.

Sincerely,  
Meghan Marinho  
Palm City Resident

Sent from my iPhone

**From:** [Fish Heads Of Stuart](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 10:23:13 AM

---

This Email Sent From External Sender

Wanted to voice our full support for the Meridian Marina project M035-210.

My wife and I own a small business in Stuart involved in the fishing and marine industry. We are excited to have learned about a Palm City waterfront restaurant, and even more excited to have one so close to our house.

We live on Pelican Cres and the Meridian Marina property is literally within a hundred yards or so of our house.

Meridian Marina has done an exceptional job with rejuvenating this property and have been great neighbors. We are looking forward to the continued improvements they will be implementing.

As residents of Palm City for ten plus years, the prospect of waterfront dining and additional boat storage is exciting and exactly what this community needs and wants.

Best regards  
Brent & Heather Kane

Residence  
1192 SW Pelican Cres  
Palm City, FL 34990  
772-341-7323

Store  
Fish Heads of Stuart  
3585 SE Saint Lucie Blvd  
Stuart, FL 34997  
772-220-6008

Sent from my iPhone

**From:** [Cindy Belden](#)  
**To:** [Comish](#)  
**Subject:** Subject: Support for Meridian Expansion & Restaurant  
**Date:** Saturday, August 6, 2022 9:03:25 PM

---



Hello Cornish...

I hope this finds you well...

My Husband and I are residents at the Admiralty in Palm City. I am a Realtor here in Stuart at Coldwell Banker and we have lived here for 24 years in Palm City and at the Admiralty for 18 years. We have watched the Marina thru 3 different owners and Not One has improved the property with the Desire and Community that Austin and Jenny Cameron have already displayed. We support what they have proposed at the Meridian Marina site and Welcome their plans as a Family Friendly Marina and Restaurant along with the Boat Racks to enhance and Beautify Chapman Way and Our Palm City Community. We hope you do too.

Sincerely ... Cindy Belden

Cindy Lauren Belden  
"Because Every Home... Deserves Luxurious Service!"  
Coldwell Banker Realty  
Coldwell Banker Global Luxury  
2369 SE Federal Highway - Stuart, FL. 34994  
Direct: 772-485-2000  
Fax: 772-287-3000



**From:** [Mayda Sotomayor-Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:21:13 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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To the board of commissioners:

I am a resident of Martin County for over 20 years and store my boat at Meridian Marina. I love the improvements that have been done to the marina, for several years the previous owners had really abandoned the upkeep of this property. I understand there is a plan in place to build out a waterfront restaurant, this will only enhance the value of our properties, provide jobs to the community and bring class to this area. I am completely in favor of having a waterfront dining restaurant.

Regards,

Mayda Sotomayor

Best regards,

**Mayda Sotomayor-Kirk**

Chief Executive Officer

T +1 772-569-2244 Ext 201

M +1 772-559-3000

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**From:** [Mark Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:19:18 AM

---



To the Martin County Commissioners:

I Am resident of Martin County for 23 years living in Palm city, a life long boater and a local contractor in Stuart. Once upon a time my boat was stored in Meridian for years untill it fell in total disrepair .....the building...launching equipment....unhappy employees...the works. Being as such this necessitated the moving of my boat to Riverwatch Marina five years ago.

Fast forward to a new owner purchasing the marina..upgrading the facilities with new roof...new building...new launch area...new launch equipment...and promise of a future restaurant and bar establishment...i moved by boat back to meridian marinaa year ago. Please vote yes for a fine dining establishment on the water....the residents of Martin county need it...they want it znd deserve it.

Thank you commissioners

Mark kirk

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone

Get [Outlook for Android](#)

**From:** [Marie Frash](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana  
**Date:** Saturday, August 6, 2022 7:34:06 AM

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Dear Martin County commissioners,

I live at the Admiralty next to the marina. My husband passed away March 4th this year at the age of 91. He was and I am a huge proponent of a new restaurant on site there. He was 91 and it wasn't easy to get him in and out of restaurants. He was hoping to be able to go there before he passed just by using his scooter.

With population increasing and traffic also increasing, it would be great to have a waterfront restaurant that we don't have to drive across bridges and in excess traffic to get to.

I am presently in our Indiana home until late September or I would personally be the the meeting to speak in favor of this restaurant

Thank you for your time

Marie Frash

1130 SW Chapman Way Unit 509

Palm City 34990

[Sent from the all new AOL app for iOS](#)

**From:** [Denny Dennis](#)  
**To:** [Jenny Cameron](#); [Comish](#)  
**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:55 PM

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Mrs. Cameron,

It is thoughtful of you to reach out to me. There is nothing to talk about other than I commend you for repairing and improving the property and wish you well in the expansion of your business if done properly; I only ask that you and the commission simply adhere to our comp plan and LDRs. Don't expand as cheaply as possible at the expense of the character of our neighborhood. Plus, it is very reckless to propose operating those huge forklifts in the customer parking area.

I have seen quite a few renditions of plans over the years; all had expanded racks inside a building, not outside. I realize it is far cheaper for you to have outside racks, but it is at the cost of the character of our neighborhood. It seems clear to me customers want indoor storage, not outdoor storage. One simply has to look across the river from us. Marine Max recently opened a wonderful new marina with slips with outdoor lifts. It remains empty with the exception of some of Marine Max's demo boats and very few others. There is no demand for outside storage.

While it was nice you reached out to me; I am deeply concerned that at least one commissioner must have immediately forwarded my email to you. My email was not available to the public until Wednesday morning, yet you responded to me within two hours of my sending it only to the commissioners on Tuesday. While it may not be illegal, I find it profoundly unethical and disappointing a commissioner would immediately send you my email to give you a warning of opposition to your project. Clearly, this commissioner is a guaranteed yes vote for you. You do not live here or vote here. The commissioners are supposed to work on the resident's behalf; sadly, at least one is not.

Furthermore, it has been reported that the very first permit you pulled on the property, you did so with deceit. By way of a notarized signed affidavit, you claimed repairs were less than \$50,000, paid a paltry permit fee, and then replaced the entire roof and side. At the same time, the county looked the other way without proper documentation and inspections. The repairs are in far excess of \$500,000.00, which is commonly known, yet you only paid a \$143 permit fee and said you were replacing metal panels as needed. Cheating, deception, and what appears to be bribing our county officials is not a good introduction to our community. You can do the right thing and design your addition without variances. Then I will wish you well.

We have a saying here, "the Martin County difference," and it is different here, and you are about to see how. What is the difference? We residents deeply care about our environment and the character of our community and those who live in it. It would be best if you cared too.

We will deal with this at the public hearing on Tuesday.

Denny

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---

**From:** Jenny Cameron <[Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com)>  
**Sent:** Tuesday, August 2, 2022, 2:03 PM

**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

Hi Denny,

I'm Jenny Cameron. My husband and I are the owners of Meridian Marina in Palm City. We saw that you had some concerns about our project and we'd love the opportunity to talk with you to better understand your concerns and how we might be able to make them better. We believe our project will be great for the community and want all of our neighbors to be happy. Do you have some time to discuss further? Feel free to give either of us a call, or let us know a good time when you are available, and we can call you.

Thanks,

Austin Cameron (817) 291-9609  
Jenny Cameron (512) 937-0787

**From:** [Robin Cartwright](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project M035-210 - 79th amendment  
**Date:** Wednesday, August 3, 2022 2:28:49 PM

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Good afternoon, Commissioners -

On Tuesday you are supposed to hear a request to approve the 79th amendment for the Meridian Marina project. The report from staff is recommending you approve this request. Here are my questions I've asked of the applicant. If they have been asked or addressed, the responses are not able to be found in the provided information in advance of Tuesday's meeting.

1. You have a variance request for parking. Required is 214 spaces. You are proposing 151. Why so few?
2. You are increasing the approved number of boats to 540 total. How do you remedy this with the amount of parking spaces especially if you plan on having a restaurant?
3. Why does a Marina need a 3-story 6,000 sq foot restaurant with rooftop event space? If that's the case, then you DEFINITELY don't have sufficient parking.
4. You have a request for four (4) accessory dwelling units. Why? How big will they be? Are you renting them out? Do you have a hotelier license if you are?
5. You have one building that is presumably grandfathered in for 260 boats. Your site plan has a proposal for another building for 140 boats. And then you are proposing external boat racks for 140 more boats.

Regarding the external boat racks for up to 140 boats, the weights listed do not make sense. You have 45k (pounds I presume?) boats at the ground level, 30k / 20k boats on the first level, 15k / 12k boats on the second level, and 10k boats on the top level. Are those weights per rack, structure, or boat?

6. Your schematic provided shows only three levels. Are you suggesting that the top level of the new outdoor racks will have boats on top?

If so, the new outdoor boat rack structure is drawn at 40 feet. But you will add boats on top that will more than likely be center console with t-tops. Therefore, it can be assumed what people see when they drive by will be closer to 50' if not more. Even if your policy was to not include boats with t-tops, the profile would still be in excess of 40'.

7. The outside boat rack is drafted at 42.47' deep. In the drawing it appears to be right up against the existing dry storage building. How will boats be loaded on to the external boat racks? Do you have to drive through the parking lot past marina members' cars to maneuver a boat on a forklift to load it on to the rack?

According BoatRacks.com, "With the current trend in boat sizes and forklift sizes, most aisles are at least 60' clear."

But wait... The space identified for parking on that side is 59.97 feet.

Not sure how this mathematically works with cars in the parking lot.

If you keep the outdoor racks, then you have to have less parking, which requires an even greater variance.

8. Lastly, the comp plan states that you cannot have a wall plane in excess of 100' nor constitute more than 60% of the building's total length. Your buildings independently and certainly together are in excess of that. And you need four facade elevations. Can you please explain the "commercial design alternative" being recommended?

**From:** [Denny Dennis](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Tuesday, August 2, 2022 12:05:28 PM

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Dear Commissioners,

This property was built, approved, and developed to be visually pleasing to the landscape of our beautiful town of Palm City. It appears our out-of-state developer wishes to violate the covenants that approved this building from day one with an industrial exposed outside rack system, which is in direct violation of the architecture mandated on this property to be contiguous throughout the building. See Section 4.872 of our comp plan. This is a 100,000-square-foot+ pill box with a proposed industrial, commercial framework exposed for all to see. Approving this will forever change the visual landscape of our beautiful community. This was never intended from the beginning and should not be approved for the future. The original intention was a kinder, gentler look with appealing architecture, not an industrial, commercial framework that you do not see anywhere within this area of Palm City. Let me ask the question, how are they getting away with all of this?

The proposed restaurant was never an intended use, and you change the consequences forever by changing an intended use. The noise and the traffic were never contemplated for this property and should not be allowed. One can only surmise the consequences of quiet evenings once the marina operations stop in the early evening that we currently enjoy. A restaurant would continue its business, disrupting our neighborhood and enjoying our quiet evenings overlooking the river. It was never intended for this and should not be allowed. One only has to leave your window open in the evening or sit on your balcony to have the cause and effect of a Sailors Return type venue which can be heard all over the neighborhood. While nothing can be done about the City of Stuart and their poor planning with this type of venue, this is Palm City in Martin County. This residential neighborhood should have quiet enjoyment instead of the consequences of a use change. This area is all residential, except for the marina. We moved here for the parks, the water, and the peace and quiet. I didn't mind the marina, it was here, but there was never a restaurant approved for that building. Never.

You may have seen the ORCA pollution maps published in TCPalm, the area around the marina stood out on those maps. Our river is a way of life; it rises and falls every day. When companies pollute our river, they rob us of the very lifestyle we live here to enjoy. Allowing these companies to pollute our waters, whether intended or not, is their responsibility, not ours. The spillage from a basin owned by this company contaminates our tributary and should not be allowed to continue. We that live here are stakeholders; they are not. So once again, the consequences of their actions destroy the very fabric of our community. Make them clean up their mess and make them responsible for it in the future.

Don't approve these outdoor racks when other viable options adhere to our community and comp plan. Over the years, I've seen many proposed expansions for up to 600 indoor racks; not one plan has ever proposed outside industrial storage racks that do not meet the facade requirements. Not one. Indoor racks can be achieved; it just costs money. This developer wants to achieve a high number of



racks as cheap as possible at the cost of the character and charm of our community while he takes his profits back to Texas. Marina operators come and go, but we will be stuck with these hideous outdoor racks forever. Why should our community have to pay this price just because this developer does not want to spend the money to build this out properly? If he can't afford to do so, then simply don't do it.

Denny

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RE: M035-210 - Meridian Marina

I was excited when Texas bought the marina and said he had \$10 million to improve the property. Finally, it would be built into something beautiful, not just a huge old pill box plunked in the middle of our neighborhood. Sadly, here we go again. Slick out-of-state developers trying to change our Martin County for the sole purpose of lining their pockets. Commissioners, what is going on here? Meridian Marina was bought by a large out-of-state marina corporation headquartered in Texas. Since then, you have allowed Texas to erect two huge tents that are enormous eyesores and certainly won't withstand a hurricane, which they use to repair boats under. How is that legal? You also allowed Texas to put on an entire new roof with no permit, and replace the entire south side of the barn with a permit that says replace panels as needed, it was the entire 500' wall! They put it all on Facebook. I have to get a permit to put shutters up, but Texas does not have to get a permit to replace the entire roof on a 62,000 sq. ft. building! This smells of a big Texas payoff. We needed permits for tents at Palm Fest, a truly local community event, not an industrial play for the repair of boats. Nowhere else in Palm City will you find repair facilities working out of tents that haven't met the simplest building and fire codes. Yet you have allowed them to do this. For Texas, you look the other way. What about us, the people who elect you and who you represent? What is Texas doing for you?

The Admiralty shares part of the basin with the marina. The marina owns the basin, and we are at their mercy to have the basin dredged. We have been promised for 2 decades that it would be dredged as it is shallow and full of polluted muck. Have you seen the pollution maps done by ORCA? I've included a couple maps; this is a very residential area, and the ONLY business here is the marina, so I think it is pretty obvious the source of the pollution. If you approve this development, I hope you at least make them dredge out the muck and the plume of polluted muck emanating from their basin. The Atlantic Point developer is a local, cares about our river, and did that in front of their marina without even being asked to. I bet Texas hasn't offered that! Dredging the polluted muck out is a drop in the bucket for their budget, and it would help our river immensely. The Indian Riverkeeper used to say the river is dying a death from 1000 cuts; well, the reverse is true; everything we do to clean the river will heal those 1000 cuts, one slice at a time. Texas should pony up and clean their muck.

This was never intended to be an industrial outdoor boat storage area. Look at what the BOCC originally passed and intended for this area compared to this plan. Night and day! Passage of time should not be the excuse to morph our beautiful Palm City into an industrial looking area. That is what those ugly outdoor storage racks will do! Texas treats the primary facade, the side every visitor to Pendarvis Park and every resident off of Chapman sees every day, like a junkyard, look at the tents and old boats. No wonder he wants to put ugly outdoor racks there; he treats it like the back of the property that no one sees, not the front that it is! We do see it! Please, make Texas build something in compliance with our comp plan and what it was intended and approved for, a facility that is appealing to the eye and fits in with the culture of the neighborhood.

AUG 03 2022

And please, make sure this monstrosity does not breach the 4 story height limit; all we need is to see boats 60' up in the air! If you approve these ugly industrial outdoor racks, there is no roof to ensure everything is below 40'. What will stop them from putting boats with towers or t-tops on the top rack, which would egregiously surpass the 40' height limit? **The ugly outside storage racks should be inside a building**; we are not in an industrial area. We have two beautiful parks, Justin Wilson and Pendarvis, wetlands, and the river. This area of Palm City is all residential, except for the marina. I'm not sure how that happened; it is already out of place, but for heaven's sake, please don't let them put some industrial outdoor rack system up. Stay with a look that was originally approved and intended; the racks are ugly!

In fact, these racks violate our comp plan! According to the Staff Report dated 11/24/2021, the west and north facades of the building are considered primary facades. Texas wants to put the industrial racks along the entire north facade. Section 4.872 dictates (see attached), "*Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing **visual interest that will be consistent with the community's identity and character** through the use of detail and scale.*" Please, drive through our community, we are residential, and the only addition allowed should be architecturally pleasing to fit in with the neighborhood as dictated in our Comp Plan and what was approved by the BOCC. How are ugly industrial outdoor racks on the north facade even remotely allowed according to our own codes? We have to look at this "primary facade" every day. It should be beautiful architecture, not ugly industrial boat racks! Every visitor to Pendarvis Park will have to look at those racks entering and leaving the Pendarvis Park. Texas doesn't want to build an architecturally pleasing building for our community because he doesn't live here, and he doesn't have to look at it every day. If he did, he would realize they are not consistent with our community's identity and character. All Texas cares about is lining his pockets with the money he is making from our community. I really hope you do not allow this outdoor storage system here. Palm City is doing so many improvements that make it appealing to the eye and family-friendly. Just check out the beautification on Mapp Rd. These industrial racks do not belong in our residential neighborhood, this marina should expand with INDOOR storage, not ugly outdoor boat racks. I am not opposed to him increasing his business, but this is not fair to our community to plunk industrial type racks in the front yard. Please only approve racks that are inside an architecturally pleasing building; as was the original intent of the Marina Village PUD. Marina owners come and go, but we will be left with this ugly monstrosity forever.

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I wonder when, not if, you are going to ask us residents for another tax increase while letting outside developers like Texas off the hook? Let's make the outside developers stick to our comp plan and rules. Sweetheart deals, variances, and comp plan amendments have no place here when it damages our community. We have to stick by the rules, so should they. This company's profits go back to Texas; they are not involved in our community or care about the river; they are just trying to build things that do not fit the culture of our community for nothing more than to pad their pockets at our expense.

Commissioners, things just don't seem on the up and up with all of this. Please just do your job. No favoritism to greedy, outside developers. WE live here. WE love our Martin County. WE love our river. WE legally obtain needed permits! WE love our peaceful neighborhood, and WE vote locally, Texas does not. Restaurants and bars belong in the commercial area of Palm City, not here. This is an incredibly unique location, please take the time to stroll down Chapman Way and you will understand. This entire area is all residential except for the marina, please don't add more traffic, chaos, and disruptions with a bar and restaurant. Traffic is already becoming a nightmare in the area. The marina with INSIDE storage is fine, bars and restaurants are not fine in this area. Protect us, our county, our river. No to ugly outside industrial storage racks, they don't belong in this part of Palm City! Those racks are a direct violation of our Comp Plan and primary facade requirements. No to apartments, I mean accessory dwelling units. No to the restaurant - save our residential neighborhood! And tell them to clean the muck up!

Very Concerned in Palm City

***F. Determination of compliance with Comprehensive Growth Management Plan requirements - Growth Management Department***

**Unresolved Issues:**

**Item #1:**

**Generic Comp Plan Compliance-GMD**

This application cannot be deemed to be in compliance with the Martin County Comprehensive Growth Management Plan (CGMP) until the issues identified in this report have been satisfactorily resolved. Martin County, Fla., CGMP, § 1.3

***G. Determination of compliance with land use, site design standards, zoning, and procedural requirements – Growth Management Department***

**Unresolved issues:**

1. Provide the floor plans and elevations for the restaurant, sales and operations building, including the accessory dwelling units.
2. The boat storage building appears to have a pitched roof. Show the building height to the mean height of the roof per Sec. 3.14 LDR.
3. Parking: The parking rate for Restaurants is 1.5 spaces per 100 sq. ft.  
A parking rate adjustment may be warranted with a shared parking rate analysis.
4. Show the percentage of building coverage in the data table. A maximum of 50% is permitted in the Commercial Waterfront land use.

**Item #1: Land Clearing**

No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre-construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials. MARTIN COUNTY, FLA., LDR § 4.37

***H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department***

**Commercial Design**

The west and north facades of the building are considered the primary facades

**Unresolved issues:**

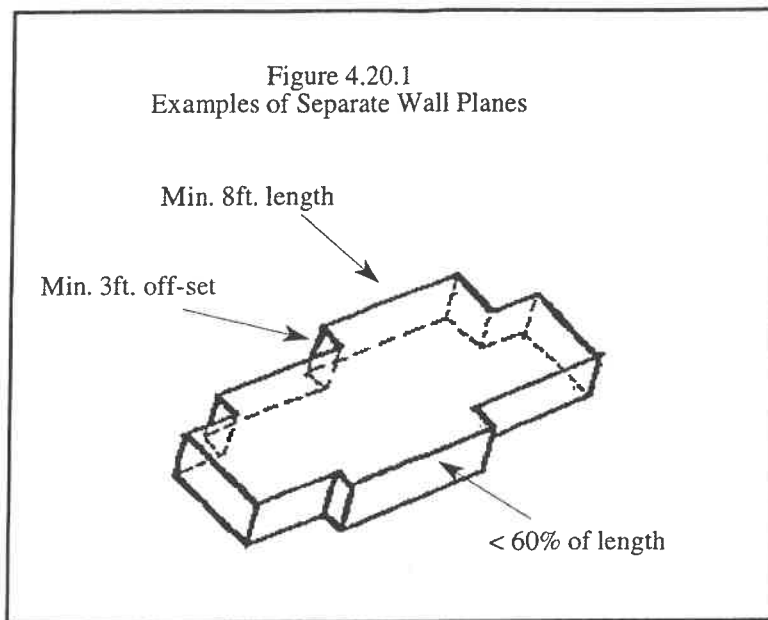
1. Provide all four façade elevations of the building with the direction it faces labeled.

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## Sec. 4.872. Architectural design standards.

4.872.A. *Purpose and intent.* All commercial buildings and structures should be designed to maintain and enhance the attractiveness of the streetscape and the existing architectural design of the community. Buildings and structures should have architectural features and patterns that reflect human scale and proportions, reduce massing and recognize local character. Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing visual interest that will be consistent with the community's identity and character through the use of detail and scale.

4.872.B. *Control of building mass.* On the ground floor of any primary facade, no continuous wall plane shall exceed 100 linear feet, nor shall any single wall plane constitute more than 60 percent of a building's total length. A wall plane shall be off-set a minimum of three feet from the adjacent wall plane and be a minimum of eight feet in length to be considered a separate wall plane. However, any portion of a wall plane having a pedestrian arcade extending a minimum of eight feet out from such wall, shall be considered a separate wall plane, provided that such arcade does not extend uninterrupted farther than 120 linear feet.



### Separate Wall Planes

4.872.C. *Primary facades.*

1. *Consistent architectural style.* The primary facades of all buildings and structures shall be designed with consistent architectural style, detail and trim features.
2. *Minimum design elements.* All primary facades on the ground floor shall have at least four of the following design features along a minimum of 50 percent of their horizontal length.
  - a. Awnings, located over windows or doors, in increments of ten feet or less in length.
  - b. Overhanging eaves, extending out from the wall at least three feet, with a minimum eight-inch fascia.
  - c. Pedestrian arcades, a minimum of eight feet in width and length.

- d. Raised parapet over a customer entrance.
- e. Peaked roof forms.
- f. Windows.
- g. Decorative light fixtures.
- h. Clock or bell towers.
- i. Artwork, such as but not limited to sculpture, mosaic, glass block, opaque art glass, or relief work.
- j. Architectural details other than those listed above, which are integrated into the building and overall design. Examples of architectural details include, but are not limited to relief and reveal work, tile mosaic, decorative columns, pilasters or sculpture.

- 3. *Limitations on blank wall areas.* Blank wall areas shall not exceed ten feet in vertical direction and 20 feet in horizontal direction on any primary facade. Control and expansion joints shall be considered blank wall area unless used as a decorative pattern. Wall areas that are adorned using at least one of the design features set forth in paragraph 2., above, shall not be considered blank wall areas. Walls that are adjacent to a pedestrian arcade shall not be considered blank wall areas.
- 4. *Windows.* Windows shall include visually prominent sills, shutters, stucco reliefs, awnings or other such forms of framing.
- 5. *Major intersections.* In addition to all other requirements of this subsection 4.872.C., developments located at an intersection of two or more arterial or collector streets shall provide a prominent architectural feature such as, but not limited to a monument, sculpture or clock tower, to emphasize their location as gateways and transition points within the community.
- 6. *Artwork for large commercial developments.* In addition to all other requirements of this subsection 4.872.C., large commercial developments shall provide a public display of artwork, such as but not limited to sculpture, mural, or tile mosaic. The artwork may be placed on any outdoor portion of the site which is available for public viewing. Developers providing artwork in accordance with this paragraph are encouraged to coordinate with the Public Art Advisory Board.

4.872.D. *Secondary facades.* Although the design standards of subsection 4.872.C., above, do not apply to secondary facades, the secondary facades of each building shall be consistent with the primary facade in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facade is stucco with beige paint and white trim, the secondary facades of the building shall include a similar stucco finish, beige paint and white trim.

4.872.E. *Parking structures.*

- 1. A minimum of 60 percent of any primary facade of a parking structure shall have at least one of the following:
  - a. Decorative metal grill-work or similar detailing which provides texture and partially covers the parking structure opening(s); or
  - b. Vertical trellises extending a minimum of 20 feet in height or to the top of the parking structure, whichever is less, covering at least 50 percent of the primary facade).
- 2. When a parking structure is an accessory structure within a larger development, the facades of such parking structure shall be consistent with the primary facades of other buildings within the development in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facades of the other buildings is stucco with beige paint and white trim, the facades of the parking structure shall include a similar stucco finish, beige paint and white trim.

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4.872.F. *Roofs.*

1. Generally. Variations in roof lines shall be used to add interest to and reduce the massing of buildings (see figure 4.20.2 for examples). Roof features should be in scale with building mass and should complement the character of adjoining or adjacent buildings and neighborhoods wherever possible. Roofing material should be constructed of durable high quality materials in order to enhance the appearance and attractiveness of the community.
2. Flat roofs shall:
  - a. Have a parapet of at least 12 inches in height along any primary facade and shall have at least two changes in height of a minimum of two feet along each primary facade.
  - b. Provide a three-dimensional cornice treatment along the entire length of the primary facade. The cornice treatments shall be a minimum of 12 inches in height and have a minimum of three reliefs.
3. Peaked roofs shall:
  - a. Provide at least two roof slope planes per primary facade, where the primary facade is less than 40 feet in horizontal length, or at least three roof slope planes where the primary facade is 40 feet or longer in horizontal length.
  - b. Not exceed the average height of the supporting walls.
  - c. Have an average slope greater than or equal to one foot of vertical rise for every three feet of horizontal run and less than or equal to an average slope of one foot of vertical rise for every one foot of horizontal run.
4. Asphalt shingles shall be prohibited, except for 320 pound, 30-year architectural grade or better shingles which otherwise meet all requirements of the Florida Building Code.



RE: M035-210 - Meridian Marina

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**Unresolved issues:**

1. Provide the floor plans and elevations for the restaurant, sales and operations building, including the accessory dwelling units.
2. The boat storage building appears to have a pitched roof. Show the building height to the mean height of the roof per Sec. 3.14 LDR.
3. Parking: The parking rate for Restaurants is 1.5 spaces per 100 sq. ft.  
A parking rate adjustment may be warranted with a shared parking rate analysis.
4. Show the percentage of building coverage in the data table. A maximum of 50% is permitted in the Commercial Waterfront land use.

**Item #1: Land Clearing**

No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre-construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials. MARTIN COUNTY, FLA., LDR § 4.37

***H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department***

**Commercial Design**

The west and north facades of the building are considered the primary facades

**Unresolved issues:**

1. Provide all four façade elevations of the building with the direction it faces labeled.

2. Sec. 4.872.B. Control of building mass. No continuous wall plane shall exceed 100 linear feet nor constitute more than 60% of the building's total length. A wall plane must be offset a minimum of 3 feet and extend a minimum of 8 feet to be considered a wall plane.
3. Sec. 4.872.C. Primary Facades. All primary facades shall consist of at least 4 design features along a minimum of 50% of the horizontal length. (see section 4.872.C. LDRs)
4. Sec. 4.872.F Roofs. Peaked roofs shall provide at least 2 roof slope planes and have a minimum slope of 1/3.
5. Sec. 4.872.G Customer entrances. All commercial buildings should have clearly defined entryways. Commercial buildings of more than 10,000 sq. ft. shall provide an outdoor patio area of a minimum of 200 sq. ft.
6. Sec. 4.872.H. Materials and color. Identify the materials and provide the colors used on the primary facades. The secondary facades shall use compatible materials and colors.
7. Sec. 4.873.B. Bicycle and pedestrian amenities. Provide the required bike racks and benches for a 100,000 sq. ft. plus building.
8. Sec. 4.874. Alternative Compliance. If alternative compliance is sought for any of the above requirements, list the section of code and provide for alternative measures or reasons that the requirement cannot be met.

### **Community Redevelopment Area**

N/A

The property is not located within a Community Redevelopment Area (CRA). Therefore, the Community Redevelopment Area reviewer was not required to review this application. MARTIN COUNTY, FLA., LDR, Division 6

#### ***I. Determination of compliance with the property management requirements – Engineering Department***

N/A

No dedication of additional right of way is required or proposed by the Applicant pursuant to the Roadway Classifications set forth in Section 4.843.B, Land Development Regulations, Martin County, Fla., (2010) which includes Table 4.19.1 that lists the minimum right of way requirements. Therefore, the Applicant is not required to submit due diligence materials for review by the Martin County Real Property Division.

#### ***J. Determination of compliance with environmental and landscaping requirements - Growth Management Department***

### **Environmental**

#### **Unresolved Issues:**

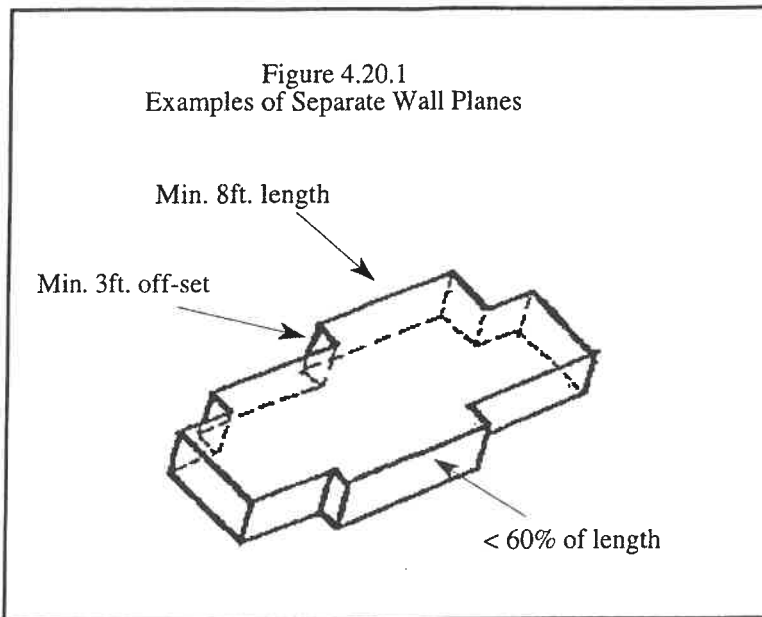
#### **Item#1: Site Plan**

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## Sec. 4.872. Architectural design standards.

4.872.A. *Purpose and intent.* All commercial buildings and structures should be designed to maintain and enhance the attractiveness of the streetscape and the existing architectural design of the community. Buildings and structures should have architectural features and patterns that reflect human scale and proportions, reduce massing and recognize local character. Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing visual interest that will be consistent with the community's identity and character through the use of detail and scale.

4.872.B. *Control of building mass.* On the ground floor of any primary facade, no continuous wall plane shall exceed 100 linear feet, nor shall any single wall plane constitute more than 60 percent of a building's total length. A wall plane shall be off-set a minimum of three feet from the adjacent wall plane and be a minimum of eight feet in length to be considered a separate wall plane. However, any portion of a wall plane having a pedestrian arcade extending a minimum of eight feet out from such wall, shall be considered a separate wall plane, provided that such arcade does not extend uninterrupted farther than 120 linear feet.



Separate Wall Planes

4.872.C. *Primary facades.*

1. *Consistent architectural style.* The primary facades of all buildings and structures shall be designed with consistent architectural style, detail and trim features.
2. *Minimum design elements.* All primary facades on the ground floor shall have at least four of the following design features along a minimum of 50 percent of their horizontal length.
  - a. Awnings, located over windows or doors, in increments of ten feet or less in length.
  - b. Overhanging eaves, extending out from the wall at least three feet, with a minimum eight-inch fascia.
  - c. Pedestrian arcades, a minimum of eight feet in width and length.



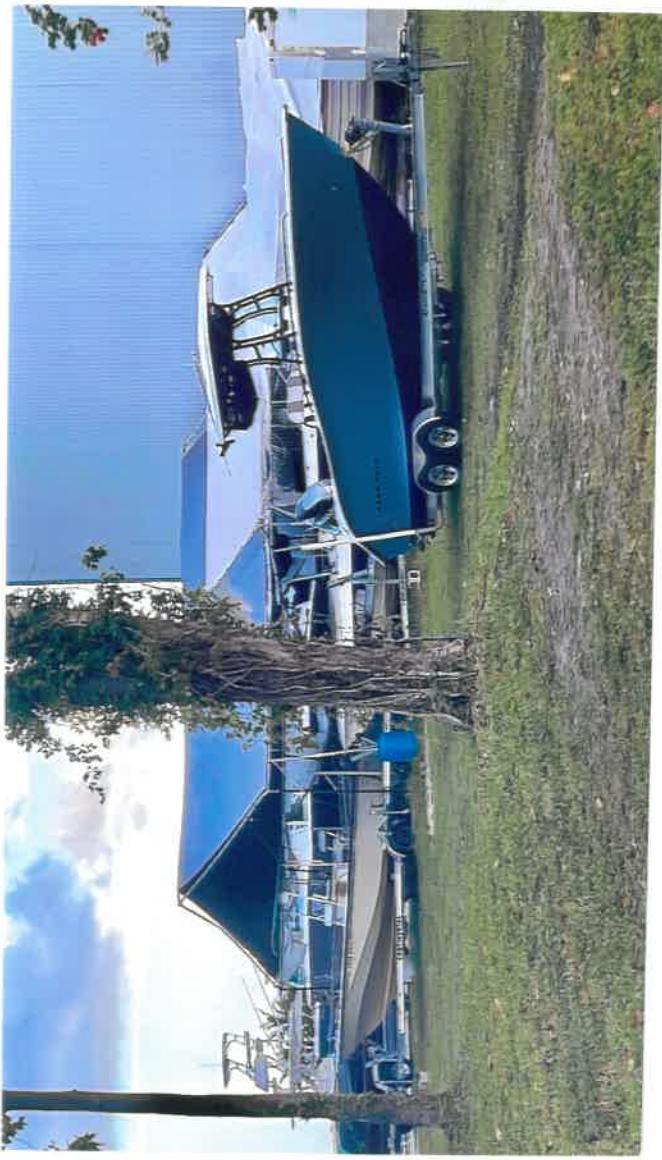
- 
- d. Raised parapet over a customer entrance.
  - e. Peaked roof forms.
  - f. Windows.
  - g. Decorative light fixtures.
  - h. Clock or bell towers.
  - i. Artwork, such as but not limited to sculpture, mosaic, glass block, opaque art glass, or relief work.
  - j. Architectural details other than those listed above, which are integrated into the building and overall design. Examples of architectural details include, but are not limited to relief and reveal work, tile mosaic, decorative columns, pilasters or sculpture.
3. *Limitations on blank wall areas.* Blank wall areas shall not exceed ten feet in vertical direction and 20 feet in horizontal direction on any primary facade. Control and expansion joints shall be considered blank wall area unless used as a decorative pattern. Wall areas that are adorned using at least one of the design features set forth in paragraph 2., above, shall not be considered blank wall areas. Walls that are adjacent to a pedestrian arcade shall not be considered blank wall areas.
4. *Windows.* Windows shall include visually prominent sills, shutters, stucco reliefs, awnings or other such forms of framing.
5. *Major intersections.* In addition to all other requirements of this subsection 4.872.C., developments located at an intersection of two or more arterial or collector streets shall provide a prominent architectural feature such as, but not limited to a monument, sculpture or clock tower, to emphasize their location as gateways and transition points within the community.
6. *Artwork for large commercial developments.* In addition to all other requirements of this subsection 4.872.C., large commercial developments shall provide a public display of artwork, such as but not limited to sculpture, mural, or tile mosaic. The artwork may be placed on any outdoor portion of the site which is available for public viewing. Developers providing artwork in accordance with this paragraph are encouraged to coordinate with the Public Art Advisory Board.
- 4.872.D. *Secondary facades.* Although the design standards of subsection 4.872.C., above, do not apply to secondary facades, the secondary facades of each building shall be consistent with the primary facade in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facade is stucco with beige paint and white trim, the secondary facades of the building shall include a similar stucco finish, beige paint and white trim.
- 4.872.E. *Parking structures.*
- 1. A minimum of 60 percent of any primary facade of a parking structure shall have at least one of the following:
    - a. Decorative metal grill-work or similar detailing which provides texture and partially covers the parking structure opening(s); or
    - b. Vertical trellises extending a minimum of 20 feet in height or to the top of the parking structure, whichever is less, covering at least 50 percent of the primary facade).
  - 2. When a parking structure is an accessory structure within a larger development, the facades of such parking structure shall be consistent with the primary facades of other buildings within the development in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facades of the other buildings is stucco with beige paint and white trim, the facades of the parking structure shall include a similar stucco finish, beige paint and white trim.
-

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4.872.F. *Roofs.*

1. Generally. Variations in roof lines shall be used to add interest to and reduce the massing of buildings (see figure 4.20.2 for examples). Roof features should be in scale with building mass and should complement the character of adjoining or adjacent buildings and neighborhoods wherever possible. Roofing material should be constructed of durable high quality materials in order to enhance the appearance and attractiveness of the community.
2. Flat roofs shall:
  - a. Have a parapet of at least 12 inches in height along any primary facade and shall have at least two changes in height of a minimum of two feet along each primary facade.
  - b. Provide a three-dimensional cornice treatment along the entire length of the primary facade. The cornice treatments shall be a minimum of 12 inches in height and have a minimum of three reliefs.
3. Peaked roofs shall:
  - a. Provide at least two roof slope planes per primary facade, where the primary facade is less than 40 feet in horizontal length, or at least three roof slope planes where the primary facade is 40 feet or longer in horizontal length.
  - b. Not exceed the average height of the supporting walls.
  - c. Have an average slope greater than or equal to one foot of vertical rise for every three feet of horizontal run and less than or equal to an average slope of one foot of vertical rise for every one foot of horizontal run.
4. Asphalt shingles shall be prohibited, except for 320 pound, 30-year architectural grade or better shingles which otherwise meet all requirements of the Florida Building Code.

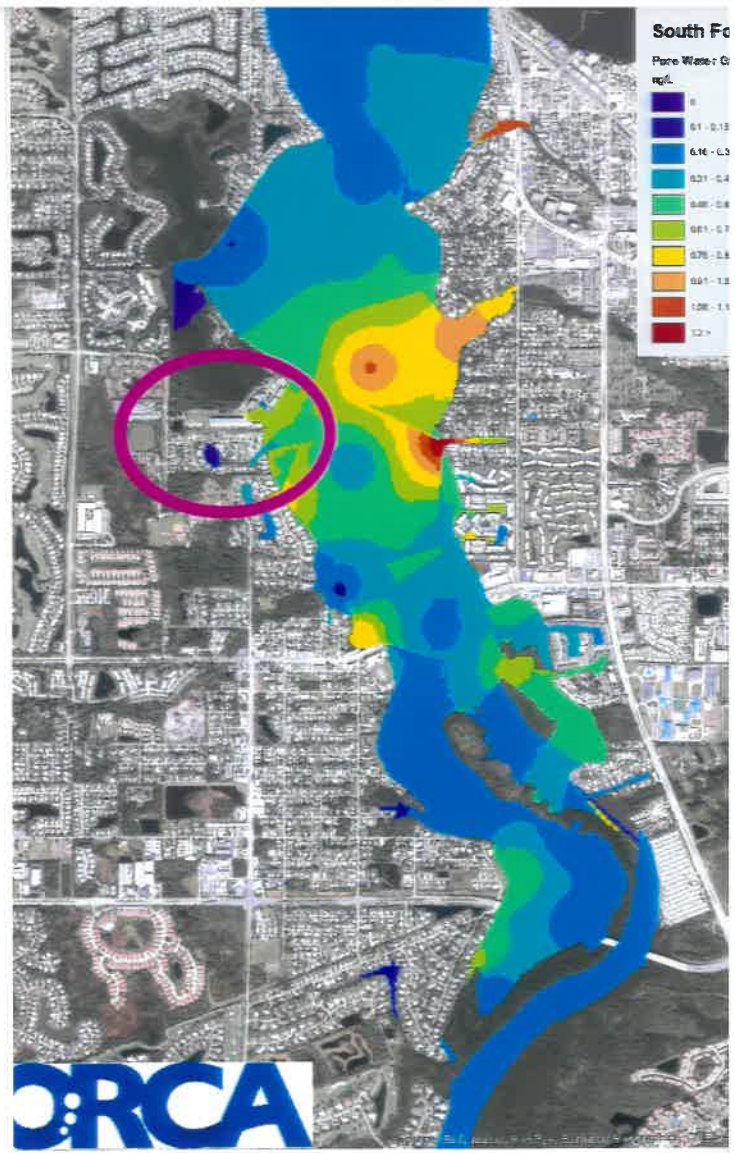
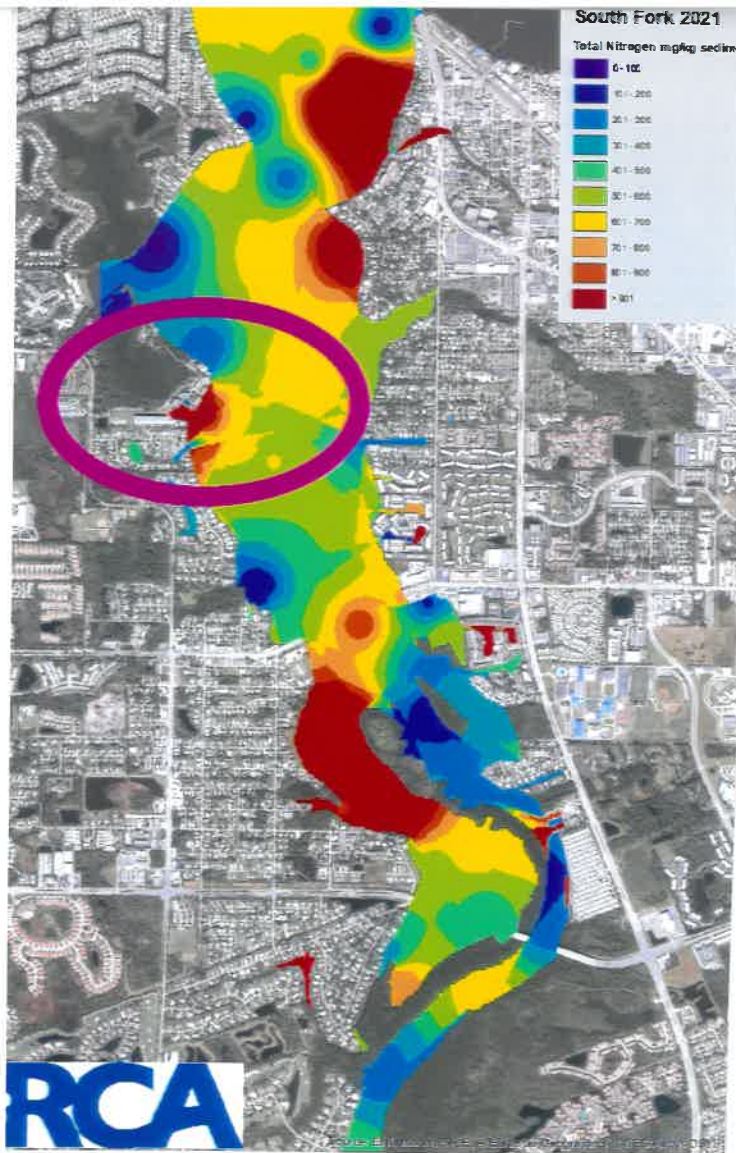




Meridian Marine  
March 23, 2021 ·  
Replacing the roof on the storage barn.  
Like Comment Share







**Meridian Marina**  
 May 16, 2021  
 New siding is almost complete!  
 1  
 Like Comment

M035-210  
1400 CHAPMAN WAY  
PALM CITY, FL 34990

WEST PALM BCH

1 AUG 2022

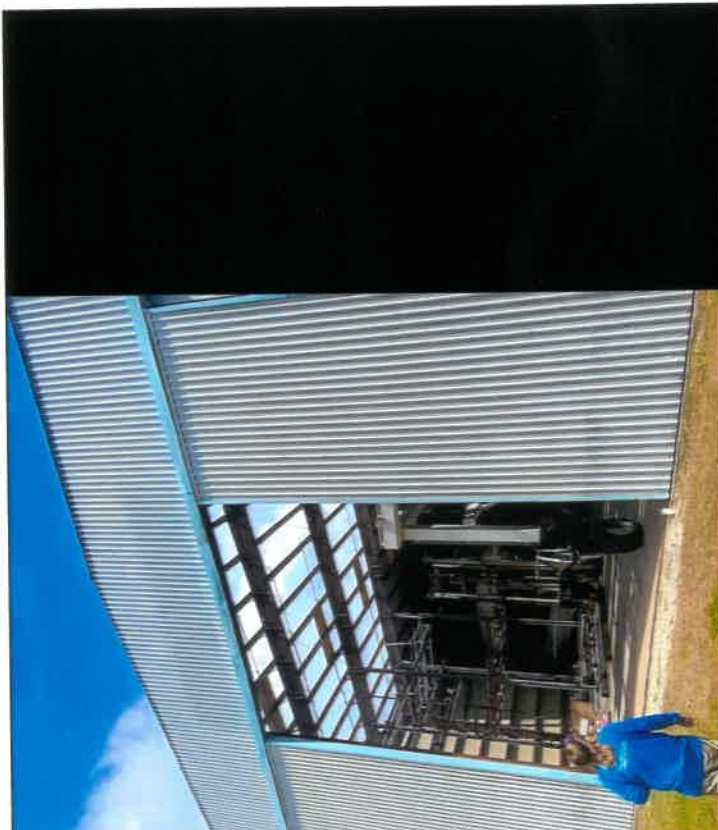
MARTIN COUNTY BOARD OF COMMISSIONERS  
STACEY HETHERINGTON  
2401 SE MONTEREY RD  
STUART, FL 34996

AUG 03 2022

34996-0307-99

34996-0307-99

March 23, 2021  
Rick inspecting Plus  
construction.



Meridian Marina  
May 16, 2021

The new roof and new beams are complete. No  
more rusty roof!

1

Like Comment Share

1

Like Comment Share



**From:** [LA Dees](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In favor of Palm City's only waterfront restaurant  
**Date:** Sunday, August 7, 2022 4:16:31 PM

---



Good afternoon,

Thank you for serving on the commission and representing Martin County! Please vote in favor of the marina adding Palm City's only waterfront restaurant. This will add to the established small businesses in Martin County and add a wonderful date night and family outing location for us Palm City residents.

Thank you, and have a great day!

Leigh Anne Dees  
(772) 285-7420  
[ladees1212@gmail.com](mailto:ladees1212@gmail.com)

**From:** [Dees Family](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In Favor of the Planned Waterfront Restaurant  
**Date:** Sunday, August 7, 2022 4:13:50 PM

---



Good afternoon,

As a Palm City resident, I encourage you to please vote in favor of allowing the Meridian Marina to create Palm City's only waterfront restaurant. We have limited restaurants already in Palm City, and as a growing community for families, this restaurant will only add to the family-centered atmosphere that is Palm City.

Kind regards,

Charles-David Marshall Dees  
[dees121215@gmail.com](mailto:dees121215@gmail.com)

**From:** [Michael Reilly](#)  
**To:** [Comish](#)  
**Cc:** [Julianna Reilly](#); [donaldfwhite@gmail.com](mailto:donaldfwhite@gmail.com); [Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com); [Michael Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Tuesday, August 9, 2022 8:57:36 AM

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Martin County Committee Members:

On behalf of the Reilly family located at 1040 SW Chapman Way, Palm City, FL 34990 (next to the Meridian Marina), we collectively support the projects that are proposed by the owners of Meridian Marina, Austin and Jenny Cameron / VIP Marinas. From the digital renderings we have seen and the in depth conversations we have had with Austin and Jenny, we are excited to see a positive change in our neighborhood. The addition of the extended boat barn, parking lot and restaurant in a professional manner will only increase the viability and success of Palm City's business growth along with providing needed services and boat storage.

As you may be aware of, the previous owners of Meridian Marina left the property poorly maintained, un-safe and even unsightly. They did not invest in the future of the property or show signs of growth to help support the urgent need of boat slips in Martin County. After seeing the photos of the marina with no protective bumpers from keeping the forklifts from falling into the water (which happened multiple times prior) to proper maintenance on the fork lifts themselves to safe boat storage conditions, they violated many OSHA and basic Safety Violations for their employees and customers. Austin and Jenny are 100% focused on the protection of their employees and their customers while providing additional marine services such as a Marine Store and Restaurant. We have visited their VIP Marinas in Austin, Texas ( since we use to live there and were visiting family this Summer ) and saw the overwhelming Professionalism of their staff and properties maintained along their wonderful Ship Stores offerings, Gas Attendant assistance to Restaurants and even Boat Rental Services.

None the less, we are very excited to see the investment that Austin and Jenny ( VIP Marinas ) will make into Meridian Marina and into the Palm City community.

Please vote with full support of their purposed renderings / plans so we may see a positive impact to our community that has lacked this 'tender loving care' for quite some time.

Regards, Michael, Julianna, KayLeigh, McKenna & Ashtyn Reilly

Cheers,

Michael L. Reilly  
Co-Founder & Chairman

Warrior Salute, Inc. - 501-(c)(3)

Cell: [512-470-3301](tel:512-470-3301)

Email: [Michael@warriorsalute.org](mailto:Michael@warriorsalute.org)  
[www.warriorsalute.org](http://www.warriorsalute.org)

**From:** [Kristina Garrison](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana M035-210  
**Date:** Tuesday, August 9, 2022 7:16:11 AM

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To County Commissioners,

Re: Meridian Mariana M035-210

We would like to express our support for the Meridian Marina project. We are Palm City residents and we were truly excited to hear about all the improvements they plan to make. When we first toured the marina, we were hesitant to dock our boat there because of the condition of the Marina and did consider going outside of Palm City. After talking with the office, hearing the plans and how amazing the marina will look and the added features they will provide, we decided to stay local. We've been so pleased with the work they have been doing to improve the marina. We are looking forward to all the added features that they will provide.

We spend many days out on the water going to Stuart and Port Salerno for waterfront dining. It would be wonderful to have these same options close to home. We love the boating lifestyle and the opportunity to bring our kids up in this great town with family friendly facilities like Meridian Marina.

The value they provide as a hurricane grade facility provides so much peace of mind. We don't have to scramble and jeopardize individual safety or property damage during a storm. I would have to think increasing storage locally would help to alleviate congestion and provide added safety for many others in the community during an emergency.

It's also great to see existing businesses reinvest in their property to provide added services rather than having brand new development chopping down acres and acres of land that disrupt wildlife and add congestion to this great town.

We are looking forward to enjoying all the amenities that Meridian Marina will provide.

Thank you,

Brian & Kristina Garrison  
690 SW Long Lake Ct.  
Palm City, FL 34990

**From:** [Lisa Ann Robinson](#)  
**To:** [Comish](#)  
**Subject:** Marina  
**Date:** Monday, August 8, 2022 10:21:17 PM

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Hello and good evening.

I hope this letter finds you well. I am writing this letter after a very brief yet in depth and to the point meeting with my new neighbors Jenny and Austin Cameron. We quickly became friendly when the mentioned they had purchased the marina in a bankruptcy and were in the process of making improvements to the area . We talked about the small town feel of Palm City and the growth as well. The mention they were going to also partner with a local restaurant to bring to the water here on our side of the bridge. The idea and it's potential for this area is extremely hopeful as we also love the area being tucked away for us locals to not have to leave this side to enjoy the water dining.

We hope to gain another family atmosphere venue for the many families that are sure to enjoy this establishment.

Lisa Ann Robinson  
1212 SW Pelican Cres  
Palm City Florida  
34990  
12176079435  
[lisaann.robinson615@gmail.com](mailto:lisaann.robinson615@gmail.com)



**From:** [hueyrobinson](#)  
**To:** [Comish](#)  
**Subject:** Merdian Marina M035210  
**Date:** Monday, August 8, 2022 10:20:17 PM

---



I'm writing to show my support for the addition of a Family friendly restaurant at the Marina.

We have lived in this area for the past 3 years and think this would be a great place for families to visit. Having 3 teenagers in the house this may even offer employment opportunities to one of them.

Thank you,

Huey Robinson  
1212 SW Pelican Cres.

Sent from my Verizon, Samsung Galaxy smartphone

**From:** [Rick Larson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:50:53 PM

---



I am writing to express my full support for the expansion plans for Meridian Marina in Palm City. I support this project for several reasons. First off boat slips are in a terrible shortage in the entire Treasure Coast, and boaters are paying a huge premium to have boats stored in either slips or in Racks such as Meridian provides. Stuart, and Palm City are noted as "Boating Communities" and our number one asset is our water. We have some of the greatest inland water in all of Florida, from the St Lucie River to the Indian River Lagoon. Adding affordable boat slips and storage is vital to keeping access to those of us who cannot afford to live waterfront. This project will not add additional traffic to the area which is a huge problem. It will just allow the residents of Palm City in particular and Stuart also to have access to boat storage at affordable rates. The project does not fortunately involve the clearing of any pristine wetlands, the additional boat storage will be built on a vacant lot. A few yards down the street from the Marina is a large new residential community being built which involved the leveling of acres and acres of pristine wetlands. I would find it hard to see the approval of that project and yet find this one somehow detrimental to our community. As for the plans for a restaurant at the site I fully support that also. Palm City can always use a new restaurant ...it is nice to not have to cross the bridge to eat out. While we have some variety of eateries. We do not have one waterfront restaurant in all of Palm City. This would be a huge asset to the community and to the residents, and adds to the desirability to living in Palm City. All this with minimal impact....there is a structure already where the restaurant would be placed.

I have met the owner of Meridian Marina several times and find he has all the best interest of this community in mind. I have kept a boat at this Marina for 17 years now and have seen it wallow in disrepair for almost all of that time. The previous owner let it completely fall apart over the years. Hurricane damage was never repaired, giant sections of the boat storage building were completely missing, a removed fuel tank was a gapping hole for 5 years!! The docks were falling apart, the fork lifts were from the stone ages. The new owner has poured money into this facility and has done more in the short time he has owned it then any owners in the previous 17 years. As a 22 year resident of Palm City I have not supported most of the growth plans the county has approved....we do not need any more banks, gas stations, or strip malls. But this Marina is a asset that brings unmeasured value to the community, and with the restaurant brings benefits for both boater and non boaters alike.

I ask the board to approve this application and improve the value of Palm City as a community. To add value to our homes, to make Palm City a very desirable place to live and boat and enjoy our river and intracoastal.

Kind Regards,

Rick Larson  
516-770-2910  
714 SW Lighthouse Point  
Palm City , FL 34990

**From:** [David Miller](#)  
**To:** [Comish](#)  
**Subject:** Opposition to the Meridian Martina Restaurant/Bar  
**Date:** Monday, August 8, 2022 8:57:33 PM

---



Dear Commissioner,

We are writing to voice our strong opposition to the proposed construction of a restaurant/bar as part of the Meridian Marina (1400 SW Chapman Way).

We purchased our waterfront property in 2017. It is located less than 1000 feet from the proposed restaurant/bar site.

Boating and the consumption of alcoholic beverages is a well known safety concern and has cost the lives of many. The approval of this project will encourage alcohol consumption and driving (boats and vehicles). Justin Wilson Park is used by hundreds of children and adults for recreational activities, it is located within .5 miles of this proposed restaurant/bar. If this concern alone is not enough to stop this project, we will be disappointed.

Mapp Road is currently adding an additional 24 single family homes which will increase traffic significantly.

The proposed bar will directly

1. affect the late evening noise level to our home and community, compounded by a rooftop deck
2. increase boat traffic resulting in adverse effects to all seawalls and docks in the area. We have already seen significant increases in boat traffic.

My husband and I are full time voting residents of Martin county and have faith that this project will not move forward.

Thank You,  
David and Kasondra Miller  
1162 SW Pelican Crescent  
Palm City, FL

Sent from [Mail](#) for Windows

**From:** [John O'Connell](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com)  
**Subject:** Planned Improvements & Expansion of Meridian Marina  
**Date:** Monday, August 8, 2022 8:34:37 PM  
**Attachments:** [Meridian Marian Letter of Support August 8 2022.docx](#)

---



Please see the attached letter of support for Meridian Marina.  
Thank you!

John J. O'Connell Jr.

Owner  
Ocean Blue Home Watch LLC.  
1630 SW Prosperity Way  
Palm City, FL. 34990  
(561) 379-6790  
[john@oceanbluehomewatch.com](mailto:john@oceanbluehomewatch.com)

John J & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Rd  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

To Whom it may concern.

As longtime residents of Hamilton Place, located directly across the street from Meridian Marina, we are writing to express our support of Meridian Marina and the proposed improvements of their existing property as well as the construction of a new boat barn and a waterfront restaurant.

For years, we stored our boat at Meridian until the property began to deteriorate. Not only were we disappointed with the way the property was being managed, but we were also upset that the building had become a major eyesore for all North Mapp Road residents, especially those living in Hamilton Place.

Now that new owners have purchased the marina, we are excited to finally see these long-awaited improvements come to fruition. The addition of Palm City's only waterfront restaurant is also a major plus for residents who won't have to travel far to enjoy the benefits of waterfront dining.

With that said, please note that we are very much in favor of these changes and feel that it will impact our community in a very positive way.

Sincerely,

John J. & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

**From:** [Donnie Brown](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina MO35-210  
**Date:** Monday, August 8, 2022 7:17:08 PM

---



I am a twenty year resident of Palm City and would like to show my support for the Meridian Marina. Palm City needs more boat storage facilities like Meridian. They have done an excellent job repairing and turning the marina into an excellent facility for boat owners. I also support their future plans for the renovation of the restaurant. Palm City needs more family, friendly restaurants and I look forward to supporting my local community.

Regards,  
Donald Brown

**From:** [Shane Hunt](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 6:18:08 PM

---



To whom it may concern,

It has come to my attention that there is some opposition building to the “ Improvements “ and the expansion of “ Meridian Marina “. First I would like to say that if there was to be any opposition then it should have came when all these new sub-divisions that were approved . However, they were approved. Now that were adding so many single family homes ( and let’s not forget all the apartments ) what will these people do for entertainment ( How will you keep them here ? ) Where will they go out to eat, store there boats . etc. This storage is needed for continued success of the marine industry in our town . I would also like to mention how costly storage has become ( pricing buyers out of the market ) and competition will also drive the storage prices back down to be affordable . Possibly consider this , maybe the opposition to this is the competitors ?

This is not to say that I do not want this project to go through the approval process however make no mistake it is needed . In case your wondering , I travel Mapp road every day , and the excuse about the traffic ? Well most boaters are Fri-Sunday, when there is no school traffic, or people heading to the office .

One last note , I have lived in PC for going on 15 years , this marina has always been in disrepair. The public should love the fact that it will be cleaned up and will eventually offer another dining experience. I could list many more reason for this improvement , I have touched on the important ones ( economics, dinning, and competition ) for now I will leave it at that .

Respectfully;

*SHANE HUNT*

**From:** [Shane Hunt](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 6:18:08 PM

---



To whom it may concern,

It has come to my attention that there is some opposition building to the “ Improvements “ and the expansion of “ Meridian Marina “. First I would like to say that if there was to be any opposition then it should have came when all these new sub-divisions that were approved . However, they were approved. Now that were adding so many single family homes ( and let’s not forget all the apartments ) what will these people do for entertainment ( How will you keep them here ? ) Where will they go out to eat, store there boats . etc. This storage is needed for continued success of the marine industry in our town . I would also like to mention how costly storage has become ( pricing buyers out of the market ) and competition will also drive the storage prices back down to be affordable . Possibly consider this , maybe the opposition to this is the competitors ?

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One last note , I have lived in PC for going on 15 years , this marina has always been in disrepair. The public should love the fact that it will be cleaned up and will eventually offer another dining experience. I could list many more reason for this improvement , I have touched on the important ones ( economics, dinning, and competition ) for now I will leave it at that .

Respectfully;

*SHANE HUNT*



**From:** [lindsavojensen@gmail.com](mailto:lindsavojensen@gmail.com)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Development Support  
**Date:** Monday, August 8, 2022 5:06:26 PM  
**Attachments:** [Meridian Marina Letter.pdf](#)

---



Good afternoon!

My husband and I utilize Meridian Marina for the storage of our family's boat and live in Hamilton Place which is located directly across from the marina off Mapp Road. We would like to express our support of the proposed improvements for Meridian Marina.

Please see the attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,  
Lindsay Jensen

**From:** [correct aol email](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 5:00:04 PM

---



Good afternoon commissioners,

First of all, thank you for all that you do and for making this community the BEST!

I am an Ambassador for the Palm City Chamber of Commerce and LOVE Martin County. With that being said, I am in FULL SUPPORT of the Meridian Marina.

Thank you

**Nikki Leserra**  
**Sky Is The Limit**  
**Creative Director**

772-486-7372

[sskyisthelimit.com](http://sskyisthelimit.com)



**From:** [Melissa Smith](#)  
**To:** [Comish](#)  
**Subject:** Waterfront Restaurant  
**Date:** Monday, August 8, 2022 2:55:16 PM

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This Email Sent From External Sender

To whomever it may concern - As a resident of the Palm City area, as well as a user of the Meridian Marina for my boat, I have been nothing but impressed with the quality of hospitality this Marina has provided. A family friendly restaurant would be a fantastic asset to this Marina and a space for the community to continue to flourish in what has been a wild time for the world.

I look forward to being a part of this journey and hope to see success during these next steps in getting there.

**From:** [DONALD & GLORIA SMITH](#)  
**To:** [Comish](#)  
**Subject:** Maridian Marina Project  
**Date:** Monday, August 8, 2022 2:01:05 PM

---



We respectfully request that you, the Martin County Commissioners, grant the Maridian Marina approval to build a restaurant and expand marina facilities.

The location would provide an exceptionally tranquil and beautiful place to relax and enjoy the scenic views of the river and Stuart across the bay. There is a large residency to take advantage of this site. This is what Florida living is about.

Gloria & Don Smith Hobe Sound, Fl

**From:** [stevens campbell](#)  
**To:** [Comish](#)  
**Subject:** Water Dining  
**Date:** Tuesday, August 9, 2022 9:33:47 AM

---

This Email Sent From External Sender

As a boater and someone who works in the marine industry it would be great to have more choices of a place that caters to boaters. I would love to see a new restaurant/bar added to our area.

Sent from my iPhone



# Martin County Florida

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## Record BLD2021031141: Commercial Miscellaneous Record Status: Closed-Certificate Issued

[Record Info](#) ▼

[Payments](#) ▼

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters. If your file name is longer than 50 character (including the extension), please shorten the file name before uploading. Avoid special characters in file name such as: !@#\$%?&/. If you have files that exceed 100MB in size, please bring them directly to the Building Department using a Thumb Drive or Disk and do not attempt to upload them here.

To streamline the review process, it is requested that you separate Site Plans and Surveys in separate files from all other documents. Documents should be named in a way that identifies the content of that document.

If you upload a file with the same name as an existing document it will **OVERWRITE** it. Please rename any revisions with something to identify it as a revision (ie site\_plan\_v2.pdf)

## Fees

### ***Paid:***

<u>Date</u>	<u>Invoice Number</u>	<u>Amount</u>	
<a href="#">03/23/2021</a>	2128733	\$2.00	<a href="#">View Details</a>
<a href="#">03/23/2021</a>	2128733	\$2.00	<a href="#">View Details</a>
<a href="#">03/23/2021</a>			

	2128733	\$50.00	<a href="#">View Details</a>
<u>03/17/2021</u>	2127994	\$89.50	<a href="#">View Details</a>
<b>Total paid fees: \$143.50</b>			

## Martin County Florida

Your County. Your Community.

2401 SE Monterey Road, Stuart, FL 34996

Phone (772) 288-5400

BEFORE

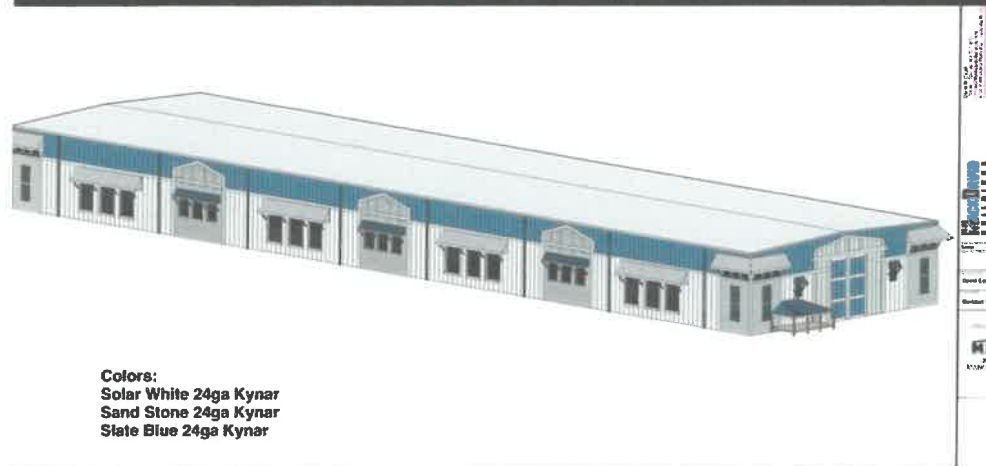




Meridian Marina  
March 23, 2021 · 🌐  
Design of the new barn!



👍 Like    💬 Comment



**This is what the applicant promised. Clearly a project well over \$50,000. What Larry Massey approved, looks nothing like this. Where are the plans and engineering for this in the Building Dept.?**



Meridian Marine  
May 16, 2021 · 🌐  
New siding is almost complete!

👍 1

👍 Like   💬 Comment   ➦ Share



Meridian Marine  
March 23, 2021 · 🌐  
Replacing the roof on the storage barn.

👍 2

👍 Like   💬 Comment   ➦ Share

# WHERE'S THE ARCHITECTURE?



Meridian Marina  
May 16, 2021 · 🌐  
The new roof and new beams are complete. No more rusty roof!

👍 1

👍 Like    💬 Comment    ➦ Share



📷  
March 23, 2021 · 🌐  
Rick inspecting Phase 1 of the barn construction.

👍 1

👍 Like    💬 Comment    ➦ Share

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Harold Jenkins

**Name of Board/Agency:**

BCC Meeting Tuesday, August 9, 2022

**Item/Issue:** Item #22-1011 Request for a Zoning District Change By Trinidad and 3 Bagels, LLC (T146-002)

**Name of person, group or entity with which communication took place:**

None

**Subject matter of communication:**

None

**Describe investigations, site visits and provide any expert opinions received:**

None

**List and attach any written communication received:**

None

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Harold Jenkins

**Name of Board/Agency:**

BCC Meeting Tuesday, August 9, 2022

**Item/Issue:** Item #22-1012 Request for a Zoning Change by 4585 NE Ocean Blvd, LLC (F112-003)

**Name of person, group or entity with which communication took place:**

None

**Subject matter of communication:**

None

**Describe investigations, site visits and provide any expert opinions received:**

None

**List and attach any written communication received:**

None

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Harold Jenkins

**Name of Board/Agency:**

BCC Meeting Tuesday, August 9, 2022

**Item/Issue:** Item #22-1038 Request by Florida Power and Light Company for Major Site Plan Approval for the White Tail Solar Energy Center (F110-002)

**Name of person, group or entity with which communication took place:**

Kate Cotner and Krista Hendricks – FPL

**Subject matter of communication:**

Solar Energy Center

**Describe investigations, site visits and provide any expert opinions received:**

None

**List and attach any written communication received:**

See Attached

**From:** [Diane Evans Meier](#)  
**To:** [Harold Jenkins](#)  
**Subject:** VOTE NO item PHQJ-3  
**Date:** Monday, August 8, 2022 9:31:08 PM  
**Attachments:** [3FL POWER TAMPA BAY TIMES.docx](#)

---



Dear Commissioner Jenkins,

Please vote no on this site plan proposal.

Diane Meier

August 9, 2022

David and Goliath ( FPL-great Philistine warrior is challenging our county commission to approve a site plan)

There is a request (ITEM PHQJ-3) for a site plan approval for a solar energy “FARM”. My complaint is that this is a corporate development NOT an agricultural farm. Looking at Florida Power & Light website, the projection is to install 30 million solar panels in the state of FL by 2030...how many more thousands of acres of farmland would this take? Let’s make sure in Martin County they purchase commercial/industrial land use properties and NOT change the farmland zoning to accommodate big corporations with lots of money.

Taking productive farmland and turning acreage into a commercial enterprise should not be permitted by the county commission. Again without further underlying research, this would be opening the door to other developers to use “spinning” /semantics (an energy “farm”?) to change our county comp plan.

Furthermore,I understand that the land was productive farm land that was owned by a national farming conglomerate, and was then rented to, and was actively being farmed by local farmers. I further understand that the local farmers had



intentions to farm this land for many, many years in order to have farm fresh food available for all of the Martin County residents. Somehow, FPL was able to have the farmers evicted and took ownership of this 601 acre property. FPL may call it a solar “farm” however the destruction of active farmland for electricity generation **is** a corporate development. Make no mistake, the underlying purpose of this development is to generate profits first and electricity second. FPL makes their decision solely on a financial business case and not the overall impact to a local community. It is no secret that we are losing farmlands across the US as they are purchased by large corporations such as FPL, and here in our own backyard we have yet another example of corporate greed destroying our local small farmers. I am all for solar. In fact, I would like to see FPL invest this money **directly** to the residents of Martin County by offering cost reduced home and business solar installation. I would be very interested in this myself. But I don’t expect that FPL would invest their corporate dollars directly into their customers. FPL wants profit centers they can control. They want control of everyone’s power generation and will do whatever it takes to make their profits.

I am not in favor of this project in this location due to this corporation bullying our local farmers and indirectly, the residents and constituents of Martin County. By voting for this site plan the M.C. commissioners are furthering the greed of these corporate tactics. I recommend you vote no to approve this site plan.

[Diane Meier](#)

[1802 sw Trailside Path Stuart, FL 34997](#)

**From:** [Audrey Capozzi](#)  
**To:** [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Doug Smith](#); [eciampi@martin.fl.com](mailto:eciampi@martin.fl.com)  
**Subject:** towns, counties ban green gestapo measures  
**Date:** Monday, July 11, 2022 8:19:24 AM

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[Wind and solar energy projects now banned in a dozen townships  
\(wnd.com\)](#)

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Harold Jenkins

**Name of Board/Agency:**

BCC Meeting Tuesday, August 9, 2022

**Item/Issue:** Item #22-1039 Request Approval for the 79<sup>th</sup> Amendment to the Martin Downs Planned Unit Development Zoning Agreement Including a Revised Master/Final Site Plan and Revised Phasing Plan for the Meridian Marina Project (M035-210)

**Name of person, group or entity with which communication took place:**

Morris Crady – Lucido and Associates

**Subject matter of communication:**

Meridian Marina

**Describe investigations, site visits and provide any expert opinions received:**

None

**List and attach any written communication received:**

See Attached

**From:** [Kristina Garrison](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana M035-210  
**Date:** Tuesday, August 9, 2022 7:16:11 AM

---



To County Commissioners,

Re: Meridian Mariana M035-210

We would like to express our support for the Meridian Marina project. We are Palm City residents and we were truly excited to hear about all the improvements they plan to make. When we first toured the marina, we were hesitant to dock our boat there because of the condition of the Marina and did consider going outside of Palm City. After talking with the office, hearing the plans and how amazing the marina will look and the added features they will provide, we decided to stay local. We've been so pleased with the work they have been doing to improve the marina. We are looking forward to all the added features that they will provide.

We spend many days out on the water going to Stuart and Port Salerno for waterfront dining. It would be wonderful to have these same options close to home. We love the boating lifestyle and the opportunity to bring our kids up in this great town with family friendly facilities like Meridian Marina.

The value they provide as a hurricane grade facility provides so much peace of mind. We don't have to scramble and jeopardize individual safety or property damage during a storm. I would have to think increasing storage locally would help to alleviate congestion and provide added safety for many others in the community during an emergency.

It's also great to see existing businesses reinvest in their property to provide added services rather than having brand new development chopping down acres and acres of land that disrupt wildlife and add congestion to this great town.

We are looking forward to enjoying all the amenities that Meridian Marina will provide.

Thank you,

Brian & Kristina Garrison  
690 SW Long Lake Ct.  
Palm City, FL 34990

**From:** [Michael Reilly](#)  
**To:** [Comish](#)  
**Cc:** [Julianna Reilly](#); [donaldfwhite@gmail.com](mailto:donaldfwhite@gmail.com); [Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com); [Michael Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Tuesday, August 9, 2022 8:57:36 AM

---



Martin County Committee Members:

On behalf of the Reilly family located at 1040 SW Chapman Way, Palm City, FL 34990 (next to the Meridian Marina), we collectively support the projects that are proposed by the owners of Meridian Marina, Austin and Jenny Cameron / VIP Marinas. From the digital renderings we have seen and the in depth conversations we have had with Austin and Jenny, we are excited to see a positive change in our neighborhood. The addition of the extended boat barn, parking lot and restaurant in a professional manner will only increase the viability and success of Palm City's business growth along with providing needed services and boat storage.

As you may be aware of, the previous owners of Meridian Marina left the property poorly maintained, un-safe and even unsightly. They did not invest in the future of the property or show signs of growth to help support the urgent need of boat slips in Martin County. After seeing the photos of the marina with no protective bumpers from keeping the forklifts from falling into the water (which happened multiple times prior) to proper maintenance on the fork lifts themselves to safe boat storage conditions, they violated many OSHA and basic Safety Violations for their employees and customers. Austin and Jenny are 100% focused on the protection of their employees and their customers while providing additional marine services such as a Marine Store and Restaurant. We have visited their VIP Marinas in Austin, Texas ( since we use to live there and were visiting family this Summer ) and saw the overwhelming Professionalism of their staff and properties maintained along their wonderful Ship Stores offerings, Gas Attendant assistance to Restaurants and even Boat Rental Services.

None the less, we are very excited to see the investment that Austin and Jenny ( VIP Marinas ) will make into Meridian Marina and into the Palm City community.

Please vote with full support of their purposed renderings / plans so we may see a positive impact to our community that has lacked this 'tender loving care' for quite some time.

Regards, Michael, Julianna, KayLeigh, McKenna & Ashtyn Reilly

Cheers,

Michael L. Reilly  
Co-Founder & Chairman

Warrior Salute, Inc. - 501-(c)(3)

Cell: [512-470-3301](tel:512-470-3301)

Email: [Michael@warriorsalute.org](mailto:Michael@warriorsalute.org)  
[www.warriorsalute.org](http://www.warriorsalute.org)

**From:** [Rick Larson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:50:53 PM

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I am writing to express my full support for the expansion plans for Meridian Marina in Palm City. I support this project for several reasons. First off boat slips are in a terrible shortage in the entire Treasure Coast, and boaters are paying a huge premium to have boats stored in either slips or in Racks such as Meridian provides. Stuart, and Palm City are noted as “Boating Communities” and our number one asset is our water. We have some of the greatest inland water in all of Florida, from the St Lucie River to the Indian River Lagoon. Adding affordable boat slips and storage is vital to keeping access to those of us who cannot afford to live waterfront. This project will not add additional traffic to the area which is a huge problem. It will just allow the residents of Palm City in particular and Stuart also to have access to boat storage at affordable rates. The project does not fortunately involve the clearing of any pristine wetlands, the additional boat storage will be built on a vacant lot. A few yards down the street from the Marina is a large new residential community being built which involved the leveling of acres and acres of pristine wetlands. I would find it hard to see the approval of that project and yet find this one somehow detrimental to our community. As for the plans for a restaurant at the site I fully support that also. Palm City can always use a new restaurant ...it is nice to not have to cross the bridge to eat out. While we have some variety of eateries. We do not have one waterfront restaurant in all of Palm City. This would be a huge asset to the community and to the residents, and adds to the desirability to living in Palm City. All this with minimal impact....there is a structure already where the restaurant would be placed.

I have met the owner of Meridian Marina several times and find he has all the best interest of this community in mind. I have kept a boat at this Marina for 17 years now and have seen it wallow in disrepair for almost all of that time. The previous owner let it completely fall apart over the years. Hurricane damage was never repaired, giant sections of the boat storage building were completely missing, a removed fuel tank was a gapping hole for 5 years!! The docks were falling apart, the fork lifts were from the stone ages. The new owner has poured money into this facility and has done more in the short time he has owned it then any owners in the previous 17 years. As a 22 year resident of Palm City I have not supported most of the growth plans the county has approved....we do not need any more banks, gas stations, or strip malls. But this Marina is a asset that brings unmeasured value to the community, and with the restaurant brings benefits for both boater and non boaters alike.

I ask the board to approve this application and improve the value of Palm City as a community. To add value to our homes, to make Palm City a very desirable place to live and boat and enjoy our river and intracoastal.

Kind Regards,

Rick Larson  
516-770-2910  
714 SW Lighthouse Point  
Palm City , FL 34990

**From:** [David Miller](#)  
**To:** [Comish](#)  
**Subject:** Opposition to the Meridian Martina Restaurant/Bar  
**Date:** Monday, August 8, 2022 8:57:33 PM

---



Dear Commissioner,

We are writing to voice our strong opposition to the proposed construction of a restaurant/bar as part of the Meridian Marina (1400 SW Chapman Way).

We purchased our waterfront property in 2017. It is located less than 1000 feet from the proposed restaurant/bar site.

Boating and the consumption of alcoholic beverages is a well known safety concern and has cost the lives of many. The approval of this project will encourage alcohol consumption and driving (boats and vehicles). Justin Wilson Park is used by hundreds of children and adults for recreational activities, it is located within .5 miles of this proposed restaurant/bar. If this concern alone is not enough to stop this project, we will be disappointed.

Mapp Road is currently adding an additional 24 single family homes which will increase traffic significantly.

The proposed bar will directly

1. affect the late evening noise level to our home and community, compounded by a rooftop deck
2. increase boat traffic resulting in adverse effects to all seawalls and docks in the area. We have already seen significant increases in boat traffic.

My husband and I are full time voting residents of Martin county and have faith that this project will not move forward.

Thank You,  
David and Kasondra Miller  
1162 SW Pelican Crescent  
Palm City, FL

Sent from [Mail](#) for Windows

**From:** [John O'Connell](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com)  
**Subject:** Planned Improvements & Expansion of Meridian Marina  
**Date:** Monday, August 8, 2022 8:34:37 PM  
**Attachments:** [Meridian Marian Letter of Support August 8 2022.docx](#)

---



Please see the attached letter of support for Meridian Marina.  
Thank you!

John J. O'Connell Jr.

Owner  
Ocean Blue Home Watch LLC.  
1630 SW Prosperity Way  
Palm City, FL. 34990  
(561) 379-6790  
[john@oceanbluehomewatch.com](mailto:john@oceanbluehomewatch.com)



**From:** [Donnie Brown](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina MO35-210  
**Date:** Monday, August 8, 2022 7:17:07 PM

---



I am a twenty year resident of Palm City and would like to show my support for the Meridian Marina. Palm City needs more boat storage facilities like Meridian. They have done an excellent job repairing and turning the marina into an excellent facility for boat owners. I also support their future plans for the renovation of the restaurant. Palm City needs more family, friendly restaurants and I look forward to supporting my local community.

Regards,  
Donald Brown

John J & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Rd  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

To Whom it may concern.

As longtime residents of Hamilton Place, located directly across the street from Meridian Marina, we are writing to express our support of Meridian Marina and the proposed improvements of their existing property as well as the construction of a new boat barn and a waterfront restaurant.

For years, we stored our boat at Meridian until the property began to deteriorate. Not only were we disappointed with the way the property was being managed, but we were also upset that the building had become a major eyesore for all North Mapp Road residents, especially those living in Hamilton Place.

Now that new owners have purchased the marina, we are excited to finally see these long-awaited improvements come to fruition. The addition of Palm City's only waterfront restaurant is also a major plus for residents who won't have to travel far to enjoy the benefits of waterfront dining.

With that said, please note that we are very much in favor of these changes and feel that it will impact our community in a very positive way.

Sincerely,

John J. & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

**From:** [Shane Hunt](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 6:18:08 PM

---



To whom it may concern,

It has come to my attention that there is some opposition building to the “ Improvements “ and the expansion of “ Meridian Marina “. First I would like to say that if there was to be any opposition then it should have came when all these new sub-divisions that were approved . However, they were approved. Now that were adding so many single family homes ( and let’s not forget all the apartments ) what will these people do for entertainment ( How will you keep them here ? ) Where will they go out to eat, store there boats . etc. This storage is needed for continued success of the marine industry in our town . I would also like to mention how costly storage has become ( pricing buyers out of the market ) and competition will also drive the storage prices back down to be affordable . Possibly consider this , maybe the opposition to this is the competitors ?

This is not to say that I do not want this project to go through the approval process however make no mistake it is needed . In case your wondering , I travel Mapp road every day , and the excuse about the traffic ? Well most boaters are Fri-Sunday, when there is no school traffic, or people heading to the office .

One last note , I have lived in PC for going on 15 years , this marina has always been in disrepair. The public should love the fact that it will be cleaned up and will eventually offer another dining experience. I could list many more reason for this improvement , I have touched on the important ones ( economics, dinning, and competition ) for now I will leave it at that .

Respectfully;

*SHANE HUNT*

**From:** [lindsavojensen@gmail.com](mailto:lindsavojensen@gmail.com)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Development Support  
**Date:** Monday, August 8, 2022 5:06:23 PM  
**Attachments:** [Meridian Marina Letter.pdf](#)

---



Good afternoon!

My husband and I utilize Meridian Marina for the storage of our family's boat and live in Hamilton Place which is located directly across from the marina off Mapp Road. We would like to express our support of the proposed improvements for Meridian Marina.

Please see the attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,  
Lindsay Jensen

Todd & Lindsay Jensen  
1660 SW Prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Road  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

To Whom It May Concern:

As customers of Meridian Marina as well as residents of Hamilton Place located directly across Mapp Road from the marina, we would like to express our full and enthusiastic support for the proposed developments.

It has been very nice to see the property being properly maintained and the much-needed repairs completed. The addition of more boat storage, parking and a waterfront restaurant will only further improve the marina and be a positive addition to our community.

Sincerely,

A handwritten signature in dark ink, appearing to read 'LJensen', written in a cursive style.

Lindsay Jensen

**From:** [correct aol email](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 5:00:04 PM

---



Good afternoon commissioners,

First of all, thank you for all that you do and for making this community the BEST!

I am an Ambassador for the Palm City Chamber of Commerce and LOVE Martin County. With that being said, I am in FULL SUPPORT of the Meridian Marina.

Thank you

Nikki Leserra

Sky Is The Limit

Creative Director

772-486-7372

[sskyisthelimit.com](http://sskyisthelimit.com)



**From:** [Melissa Smith](#)  
**To:** [Comish](#)  
**Subject:** Waterfront Restaurant  
**Date:** Monday, August 8, 2022 2:55:15 PM

---

This Email Sent From External Sender

To whomever it may concern - As a resident of the Palm City area, as well as a user of the Meridian Marina for my boat, I have been nothing but impressed with the quality of hospitality this Marina has provided. A family friendly restaurant would be a fantastic asset to this Marina and a space for the community to continue to flourish in what has been a wild time for the world.

I look forward to being a part of this journey and hope to see success during these next steps in getting there.

**From:** [poul christiansen](#)  
**To:** [Comish](#)  
**Cc:** [Jennifer Jacobs](#); [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [Don Donaldson](#)  
**Subject:** Meridian Marina improvements  
**Date:** Monday, August 8, 2022 12:53:30 PM

---



To whom it may concern:

I am contacting the Martin County Commission to express my support for the improvements to Meridian Marina. I have lived in Palm City since 1997 and have been a boat owner in the Treasure Coast since I moved to Florida in 1989. I have kept my boat at Meridian Marina for several years and welcome the improvements to the marina, including the addition of a restaurant. The new owners are making millions of dollars of improvements which improve the tax basis for Martin County and provide additional employment for Martin County residents. The new owners have a proven track record of operating top notch marinas throughout the country. I am certain that they will not only improve the marina but will make it a "destination" which the residents and visitors to Martin County will enjoy and be proud of for years to come. Please approve this important project!

Sincerely,  
Poul Christiansen  
6107 SW Moore St.  
Palm City, FL 34990



**From:** [Russell Accardi](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project  
**Date:** Monday, August 8, 2022 1:32:24 PM

---

This Email Sent From External Sender

For whom it may concern,

As a resident of Palm City I want to express my full support of the Meridian Marina renovations to the now delapidated restaurant on the water. I think to build a new family friendly restaurant that people living in the area can go to both by land but especially by boat would be an excellent addition to the area. There are currently few places that can be accessed by boat on the water and would be a great enhancement to the area for both full time residents, as well as visitors to this area.

There is also currently a shortage of boat indoor boat storage in this area. This is important especially due to hurricane season.

I hope you will consider moving forward with this proposed project.

Russell Accardi

**From:** [Tyler Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:34:36 PM

---



Good Afternoon,

I am writing in reference to the Meridian Marina site plan. I am a resident of Palm City and want to voice how much we need the improvements planned at this space. My Family continues to drive out of Palm City to frequent restaurants on the water. How great would it be if we could keep the money being spent by the residents of Palm City in Palm City Businesses. Each marina and storage facility is on a waiting list to get new boats stored, we are desperate for more storage. Please let me know how my family and I can further support this matter to assist the community.

Tyler Lieberman

**From:** [Mitch Maddren](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:06:59 PM

---

This Email Sent From External Sender

Dearest Commissioners,

We are in full support of the requested expansion at Meridian Marina in Palm city. It will be so nice to have additional restaurants especially waterfront. There is already a shortage of inside storage for vessels in our class. What the new owners have done to date, i.e. improvements is unprecedented. And they have just begun.

Anne & Mitch Maddren  
jettyhopper3057@gmail.com  
Palm City, FL

**From:** [Robert Peterson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina restaurant  
**Date:** Monday, August 8, 2022 11:49:11 AM

---

This Email Sent From External Sender

To whom it may concern,

I have been a resident of Palm City for over 40 years. And the thought of a new family, Waterfront, restaurant brings a sense of hope for the community. It would truly be one of a kind and offer countless opportunities to the community. Youth employment, added revenue, attraction of surrounding residents, and all within a short walk or bike ride of a majority of Palm City. I have personally witnessed the Improvements that the Austin's have brought to the community, through their efforts to bring the Meridian Marina back from a sad state of disrepair. I see nothing but great things from the welcome addition of the restaurant and the continuing improvement of the Meridian Marina.

Thank you for your consideration,  
Robert W. Peterson Jr.

Sent from my iPhone

**From:** [dndlott](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant Proposal  
**Date:** Monday, August 8, 2022 11:45:19 AM

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This Email Sent From External Sender

Dear Commissioners of Martin County,

We would like to voice our opinion on the proposed restaurant at the Marina. We are residents at the Admiralty Condos directly adjacent to it. Upon their purchase of the property out of bankruptcy, they began to do numerous repairs that the previous owner neglected. There was significant damage to the sides and roof of the storage barn, whole sheets of siding missing due to previous hurricane damage. We actually had our boat stored there for a couple of years before they purchased it. When we had them launch the boat, we found rusty flakes of metal on the floor of the boat coming from the barn's roof because we were on the top rack. More importantly, there was environmental issues that were never addressed with the previous owner. The "Cameron's" have done a wonderful job with repairing the storage barn and cleaning up the environmental mess. The property looks much better than I have ever seen it. The restaurant will be a magnificent addition to the property on the point. This will give the Palm City residents and neighbors a much needed waterfront restaurant nearby.

In my position as the HOA president (Diane Lott), I have had multiple conversations with the new owners. When they bought the marina 2 years ago, they expressed a sincere interest in meeting their new Admiralty neighbors. So, I set up a meeting for them to introduce themselves to the residents where they brought mock ups of the design and their vision for the the marina. The restaurant was discussed at that time and there was and continues to be overwhelming support amongst 75% of our community for the restaurant. This is backed up by a poll that was taken last week. The Admiralty is a small community of 5 buildings, 49 units in total. The poll taken showed that the majority of the residents that responded would frequent and support the restaurant.

My husband and I hope that you will approve building the restaurant at the marina's "point" as this will enhance convenience of not having to drive into Stuart to enjoy waterfront dining.

Cordially,

Diane and David Lott  
Admiralty Condominiums  
Unit 401  
954-294-5060

**From:** [joseph.cox](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina expansion  
**Date:** Monday, August 8, 2022 11:32:14 AM

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First of all let me say Thank You for the opportunity to send you this email and voice my support for the Meridian Marina expansion projects and to say the least I couldn't be any more excited to see the projects Meridian Marina is looking to move forward with. In regards to the boat storage expansion I see no reason for concern as Meridian Marina has plenty of extra space/land to provide parking for its customers and will not affect traffic or surrounding homeowners by parking on the side of the road, right of way, etc.. Also along with that project comes new concrete parking, driveways, boat storage pads, dredging, seawalls, landscaping and a more organized and beautiful look to the property and to bring the property as far as a boat storage facility up to its full potential for Palm City residents/boaters. In regards to the Marina sales and waterfront restaurant I think a majority of Palm City residents and boaters have been dying to have a waterfront place to eat, relax and enjoy the St. Lucie river waterfront without having to cross the bridge and go to Stuart in order to achieve this atmosphere and with Palm City being a small, quiet, family oriented community I don't see any reason this restaurant and Meridian Marina won't serve us as a community with those same values in mind. Austin, Rick and Jenny have been working since day one of the purchase of this place in order to move it forward and make it a great family oriented place for the boaters of Palm City. The respect that I have for those 3 and their staff is what has led me to writing this email and allowing them to unlock it's full potential in my mind would make it exactly what Palm City needs. I can't think of any better group of folks that I would want to move this project forward and provide me, my wife and kids with a family oriented waterfront experience right here in Palm City. Thanks so much for hearing me out and have a great day.

**From:** [Mac Cadaret Jr](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-219  
**Date:** Monday, August 8, 2022 11:14:05 AM

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To Whom It May Concern:

I am writing to impart my full support of the Meridian Marina capital improvements. As a longtime member of the marina and an avid fisherman/boater I feel this project would only enhance the surrounding areas. The improvements would allow and encourage my family to be more active at the marina and surrounding businesses. A family-based waterfront restaurant can only lead to more like-minded people. If the improvements the marina has made show us anything it is the marina is on solid footing and heading on a path of family-based service.

Please consider my points when making the final decision. I will make myself available to discuss via email or in person if that would be needed. Stay well and thank you for your community service and consideration.

Get [Outlook for iOS](#)

**From:** [Jocelyn Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 11:05:10 AM

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Meridian MArina has been a blessing in disguise with the boat slip shortage in Martin County. They have done a great job re-doing the barn, pilings, docks etc. The people they have employed are very service oriented and it is a beautiful, clean marina. The addition of the restaurant and bar would just add to it. It would be great to come back from a day on the water and be able to sit and get a bite to eat overlooking the river. Please allow them to move forward with their plans.

Thanks



**From:** [Donald F. White](#)  
**To:** [Comish](#)  
**Cc:** [Grace White](#); [Sydney White](#); [Reagan White](#); [Julianna Reilly](#); [Michael L Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Monday, August 8, 2022 10:58:31 AM

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It has come to our attention that discussion and a possible vote on the Meridian Marina project is about to occur. We collectively want the commission to know our family fully supports the project as presented by our new neighbors, Austin and Jenny Cameron.

Our home is located at 1030 SW Chapman Way, one of four private homes just down the street from the marina. Indeed, we pass the marina multiple times daily to and from our home. We have spent several hours with the Camerons discussing their vision for this property and as residents on Chapman Way we are excited about their vision and the proposed project. Grace and Don have lived virtually our entire adult lives in Martin, built a business here, and are nearly 40 year residents. Sydney and Reagan have lived their entire lives here, are 2022 graduates of Martin County High, and incoming freshmen at UNF in Jacksonville. Grace and Don were excited, when in 1988, as Martin Downs residents, the marina was first built as a part of Peter and Julie Cummings vision for Martin Downs and Palm City in particular. We became one of the first customers of Martin Downs Marina when we moved our 26' Mako from a trailer in outside storage to the "in-and-out" facility on Chapman Way, then one of the finest in the area.

In 1993, we decided to purchase property on the river and bought a home in North River Shores. We moved our boat from the marina to our home and lost track of Martin Downs Marina. However, in 2012, we sold our house on Cocoanut Point and moved back to Palm City (coincidentally on the same street as the Marina). Frankly, we were shocked by the marina's state of disrepair and seriously considered not purchasing our home on Chapman Way because of it. The building was a mess. The property was overgrown. The pond on Mapp Road had become a weed infected mosquito breeding ground. However, we were assured by our realtor the property was under contract and the new owners were going to renovate the property and bring it back to its former glory. The realtor was truthful about the pending sale. What he did not know was the new owners would just make things worse. The building was not improved or repaired, the pond got even more infested, the lift equipment on at least a couple of occasions was in such bad shape, lifts actually fell into the water. The new owners did not help matters. Indeed, they made it worse.

Then, about a year and half ago, we discovered the property had been purchased by Austin and Jenny Cameron when our dog accidentally got out of our yard and ended up at the marina. We met the new manager and we learned about the Camerons and the plans they had for the only marina in Palm City. Nevertheless, we were skeptical. We had heard about the former owners' "big plans" in the past and nothing ever happened. But soon the roof was resurfaced, the pond was cleaned out, and the grass was being cut every week. The old lifts that looked as unsafe as anything on the property were replaced. Finally, a sign went up about a public hearing on changing the property and we were intrigued. We mentioned it to our neighbors, Mike and Julianna Reilly, who told us they had met the Camerons. He said they were impressed by their vision, and we should meet them as well. We did and we were happy we did. Austin and Jenny Cameron are the real deal. They want Meridian Marina to become the best it can be. They are talking about making an unprecedented multi-million dollar investment in Martin County and Palm City's future that should make us all proud. Their idea of a restaurant on the river run by a top drawer restaurateur is exceptional--there is nothing even remotely like it in Palm City. The expansion, landscape, and parking plan is well thought out and will turn the property into an exceptional marina.

We believe the commission should approve the project request in its entirety. It is good for our neighborhood, for Palm City, and all of Martin County. We are proud to call Austin and Jenny Cameron our neighbors.

Sincerely,

Donald, Grace, Sydney, and Reagan White  
1030 SW Chapman Way

Palm City FL 34990



***Donald White, AEP, CLU, ChFC***  
***Author & Speaker***

---

***P 772.285.0908 W donaldwhite.com E donaldwhite@gmail.com***



**From:** [jeanne@jvdestimating.com](mailto:jeanne@jvdestimating.com)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 10:50:28 AM

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I support both the Meridian Marina restaurant project and the additional boat storage. My husband and I live in Lighthouse Point and would welcome a new waterfront restaurant on our side of the river. I believe the location is perfect for this type of venue and would enhance nearby property values as well.

Please vote in favor of this project.

Sincerely,  
Jeanne Ertle  
1459 SW Dyer Point Rd, Palm City  
407-432-3681

**From:** [Joe Dargavage](#)  
**To:** [Comish](#)  
**Subject:** Meridian Dry Storage Expansion  
**Date:** Monday, August 8, 2022 10:38:25 AM

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August 8, 2022

Dear Martin County Commissioners:

As a life long boater in Martin County, and a member of the South Florida boating and yachting business community for 30 years, I stand in full support of the Meridian Dry Storage expansion.

Palm City has seen amazing growth over the last five years, and though we must always keep over development in check, Meridian offers a service to our boating community that is well needed and in great shortage. What they are looking to do, replace a closed restaurant facility (already built) and expand on the storage facility, that is full, full with boats of our Martin County residents, should be seen by a true positive by the Commission.

Lastly, I have known Jenny and Austin Cameron for many years, from both a professional (fellow marina owner) and personal level. They are extremely well respected in the boating community and are an excellent addition to both Martin County and Palm City.

I hope that the Commission see's the importance of boating too the Martin County Community, and votes in Meridians favor.

Most Kindly

Joe Dargavage

JOSEPH A. DARGAVAGE | Owner

United Island & Yacht – South Florida & Bahamas  
Romora Bay Resort & Marina, Harbour Island

Proud Member:  
Association of Bahamas Marinas (ABM) – 2022 President

Board Member:  
USSA – US Superyacht Association  
Seafarers' House at Port Everglades  
Bahamas Hotel & Tourism Association  
IYBA- International Yacht Brokers Association  
MIASF – Marine Industry Association of South Florida  
Broward County Boys & Girls Club

**From:** [Bryan Gardner](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Project - Letter of Support  
**Date:** Monday, August 8, 2022 10:20:16 AM  
**Attachments:** [Meridian Marina \(Gardner\) letter of Support.pdf](#)

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Good morning Commissioners,

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Please see attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

Bryan & Lori Gardner  
1550 SW prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Rd  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

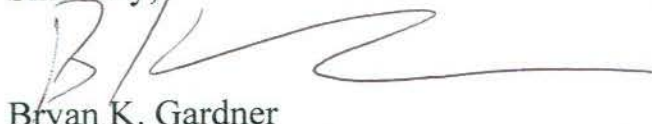
To Whom it may concern;

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Sincerely,

A handwritten signature in dark ink, appearing to be 'B/K' followed by a long, sweeping horizontal line.

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

**From:** [crgrity@aol.com](mailto:crgrity@aol.com)  
**To:** [Comish](#)  
**Subject:** Restaurant at Meridian Marina  
**Date:** Monday, August 8, 2022 10:09:34 AM

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Hello All:

My name is Charles Glover, I live in Palm City. I have been here 11 years. I grew up in Ft pierce and I love living here in Martin County.

I am super excited about getting a waterfront restaurant in Palm City. I think it would be a great way to spend an evening with my friends without having to worry about driving and parking downtown.

I urge you to approve the restaurant.

**From:** [joemcduffee](#)  
**To:** [Comish](#)  
**Subject:** Martin County Meridian Project  
**Date:** Monday, August 8, 2022 9:58:26 AM

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I am writing in support of the meridian expansion and restaurant project.

Not everyone has the means to live on and enjoy the Waterfront. In my opinion we need more restaurants on the water, thus allowing the majority of residents an opportunity to relax and experience the beauty of our area. I am sure a waterfront Restaurant in Martin County, specifically Palm City, would be a welcome and profitable addition.

Please approve this project.

Regards,  
Joseph McDuffee

Sent from my Galaxy



**From:** [MJ McDuffee](#)  
**To:** [Comish](#)  
**Subject:** Meridian expansion and restaurant  
**Date:** Monday, August 8, 2022 9:33:45 AM

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This Email Sent From External Sender

I sincerely hope the commission will approve the Meridian expansion and restaurant project in Martin county. I'm sure the county is in need of more boat storage, but I am hopeful the project is passed because this area, as beautiful as it is and as much water surrounds us, has a very limited number of nice waterfront restaurants. A nice comfortable restaurant on the water would be an advantage for Martin county and as a resident of St. Lucie county I can tell you I would gladly make the trip often to frequent the restaurant.

Regards,  
MJ McDuffee

**From:** [Michael Kavanagh](#)  
**To:** [Comish](#)  
**Subject:** We Support Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:32:58 AM

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This Email Sent From External Sender

This email expresses our support for the planned improvements to the Meridian Marina in Palm City and the addition of a restaurant to the property. We have been residents of Stuart for over 20 years. We were originally attracted to the area by its natural beauty and the abundance of water and water based activities. We have been boaters nearly our entire lives and the boat lifestyle in our community is amazing. During the pandemic we decided to buy a larger boat to expand our boating opportunities. Purchasing the boat ended up being the easy part. We were stunned to learn that in the Stuart/Jensen Beach/Palm City area there were virtually no slips available for our boat (33'). That is when we learned that Austin and Jenny Cameron had purchased the Meridian Marina.

We had heard that the Meridian Marina did not have a great reputation so I asked for an opportunity to meet the new owner. Austin met the same day with my wife and I and spent over an hour with us walking us through their vision for the property. We became customers and to this day the Camerons have done everything they said they would do. They have refurbished a run down eyesore into one of the nicer storage facilities in the area. They invested heavily in the infrastructure surrounding the building. They cleaned up the overgrown pond/water feature and made into an asset for the neighborhood. The remaining improvements- new docks, replacing the dilapidated seawall, adding additional storage and a new restaurant- were all part of the vision that Austin described. We are confident that the Camerons will complete the balance of the plan with the same professionalism, quality and sensitivity for the neighborhood that has been evident since the day that they took over the facility.

Martin County needs this facility. In a county where boating opportunities are nearly unmatched, the dearth of storage capabilities is stunning. We know of many of our Stuart neighbors that store their boats in Jupiter or Ft. Pierce because there is nowhere available in Stuart. A new waterfront restaurant in the area would also be a tremendous asset to Martin County and Palm City (which to my knowledge currently has zero). And unlike most waterfront restaurants in the area, Meridian has ample parking on property. The community will be a better place with this project.

The Camerons have been absolutely true to their word on everything they've done. They are accessible (living on site for a large part of the year), honest and an asset to Martin County. We need to attract more people like the Camerons to the county, not push them away.

We encourage the commissioners to approve this project.

Sincerely,

Michael & Jacqueline Kavanagh  
579 NE Plantation Road, S210  
Stuart, FL 34996  
[m.j.kavanagh@comcast.net](mailto:m.j.kavanagh@comcast.net)

**From:** [Laura Garcia-Bartenfelder](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:03:42 AM  
**Attachments:** [image001.png](#)

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Good Morning

I am writing this email to show support for the Meridian Marina's project to have more boat storage and also a waterfront restaurant. I am a resident of Palm City and also in the yachting business. We are in desperate need of more boat storage as more and more residents are purchasing boats without a place to keep them safely. I also am so excited about a waterfront restaurant in Palm City – it will only be beneficial to our community.

Regards

Laura Garcia



Agency & Shore Support



Laura Garcia-Bartenfelder

Partner

United Island & Yacht

1091 SE 17<sup>th</sup> St Causeway

Fort Lauderdale

Florida 33316

Florida – Bahamas

[www.unitedislandandyacht.com](http://www.unitedislandandyacht.com)

[laura@unitedislandandyacht.com](mailto:laura@unitedislandandyacht.com)

352-208-4640



**From:** [Karen Prisco](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:03:38 AM

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My name is Stephen Prisco I have a second home at the Admiralty condominiums in beautiful Palm city Florida I am a boat owner and I would love the option to have another family friendly waterfront restaurant on this side of the railway bridge which has become a topic of conversation in Martin County the last couple of months due to the excessive amount that the bridge is down causing inconveniences quite often people missing flights because of the unusual length of time the bridges down so to have an option to pull up on our boat or even drive to a restaurant on the water in Palm city I feel as a resident would improve our neighborhood not to mention possibly increase our property value. I met Austin and Jenny shortly after they purchased the marina found them to be very very nice people as well as astute business people first thing I noticed was the American flag hanging off of Matt Road and the new water feature and was quite happy to see that as a pull down Chapman Way so as a businessman myself knowing what it costs just to get projects off the ground to have someone come out of nowhere who claims to be anonymous I think it's a real detriment to this project as well as other projects in the area respectfully Steven Prisco

[Sent from Yahoo Mail for iPhone](#)

**From:** [Michael Goodale](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#); [Don Donaldson](#)  
**Cc:** [Kathleen Boden](#); [Patricia Higginbotham](#); [Colleen Pachowicz](#); [Sarah Philion](#); [Stacey McKindles](#); [Kimberlee Levee](#)  
**Subject:** Meridian Marina Expansion Project  
**Date:** Monday, August 8, 2022 8:48:32 AM

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This Email Sent From External Sender

8-8-22

Hello, My wife and I own and occupy a private residence at 1152 SW Pelican Crescent in Palm City, over the last 11 years we have been constantly upgrading our home to enjoy long after we retire. Our estimated \$2MM waterfront property joins the southern property line of Meridian Marina and while we applaud the renovation of the marina property we do not support the addition of a restaurant. The proposed addition would reside approximately 50 feet from our master bedroom window severely impacting our quality of life and our property value. Our neighborhood is quiet and peaceful which is why we chose to move here over a decade ago. A restaurant would change all of this. Increased crime, drunk driving plus the crowd noise and clanking dishes well into the night, long past the current 5pm close. Please do not irreversibly change our much loved little community.

**From:** [sarah.pearson](#)  
**To:** [Comish](#)  
**Subject:** Support Meridian Marina  
**Date:** Monday, August 8, 2022 8:15:08 AM

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This marina has been hands down the best place to have come in contact with. The new owners of this Meridian Marina owns other very successful marinas in other states so they know how to operate and manage a business with no questions asked. With that being said expanding docks/repairing the existing ones opening up a nice restaurant would be beneficial to the community in more ways then one. I would see this project being a very successful and rewarding for families to make great memories. Keep Martin county looking beautiful these owner only wants what is best for the people in the community and boater that come from all over the world. Thank you. Sarah-- --

Sarah Pearson

**From:** [Michael Morash](#)  
**To:** [Comish](#)  
**Subject:** Support for Meridian Marina  
**Date:** Sunday, August 7, 2022 7:26:59 PM

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This Email Sent From External Sender

Good evening.

I would like to express to the commissioners my support for the project Meridian Marina M035-210. I have been a customer for the past 3 years with this marina and I believe a project like this is extremely beneficial for the not only the customers but also for the residents in Martin County. Over the years I have seen how this marina has brought families closer together at the marina and also on the water. With this expansion I truly believe that families will be able to enjoy the benefits of a place to eat, relax and enjoy and become closer as a community. My daughters who is a Palm City resident and the people in her community are excited that there will be a place on the water that they can enjoy without traveling far.

Thank you for your time in the consideration for this expansion.

Michael C Morash.

772-359-0230

Sent from my iPhone

**From:** [Dees Family](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In Favor of the Planned Waterfront Restaurant  
**Date:** Sunday, August 7, 2022 4:13:50 PM

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Good afternoon,

As a Palm City resident, I encourage you to please vote in favor of allowing the Meridian Marina to create Palm City's only waterfront restaurant. We have limited restaurants already in Palm City, and as a growing community for families, this restaurant will only add to the family-centered atmosphere that is Palm City.

Kind regards,

Charles-David Marshall Dees  
[dees121215@gmail.com](mailto:dees121215@gmail.com)



**From:** [Dianne Broderick](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 3:16:47 PM

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Good day commissioners. I am writing in full support of the the Marina's request for a restaurant and additional boat storage. Palm City has shown much improvement recently but is still in need of more development. A waterfront restaurant is the best thing that could happen to Palm City at this point in time.

**From:** [Ann Vance](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 1:41:17 PM

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This Email Sent From External Sender

Unable to attend the meeting, I am writing in support of the Meridian Marina's efforts to expand. As new owners, they have made many true and necessary improvements over the last year which were way overdue . This is rewarding to long-time boaters of Martin County! I strongly support their interest in building a restaurant and improving the dock layout to accommodate customers. With the upcoming timing problems of the train bridge, I'm sure this family oriented restaurant will be well received by locals and it will surely be successful as the only one in Palm City! PLEASE PERMIT!

Sincerely,  
Ann Vance

Sent from my iPad

**From:** [Quentin Allen](#)  
**To:** [Comish](#)  
**Subject:** Meriden marina project  
**Date:** Sunday, August 7, 2022 1:35:42 PM

---

This Email Sent From External Sender

To whom it may concern:

This email is to express support for the new waterfront restaurant project Meridian Marina M035.

After living in Palm City for eight years we realize that in order to find waterfront dining we have to cross the bridge to Stuart and would love to have something in our neighborhood that offers waterfront dining. We are extremely excited about the restaurant, which will be a family-friendly waterfront restaurant. We have knowledge of the operating group and have been happy with what they have done as operators to improve the current facility. We also agree with the need for additional boat storage in Martin County.

As a local business owner I am excited about the potential increased revenue at local businesses and increase in property values as people stay in Palm City for entertainment and dining options. Also with the current issues with brightline and boating/bridge traffic it will be nice to have waterfront dining options in Palm city.

Respectfully,

Quentin B. Allen, MD  
Florida Vision Institute

Sent from an device

**From:** [Meghan M](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant  
**Date:** Sunday, August 7, 2022 11:41:12 AM

---

This Email Sent From External Sender

Dear Commissioner,

I'd like to voice my support of the proposed new restaurant planning on going in at Meridian Marina. I am a resident of Palm City and have been excited ever since I heard we were finally getting a waterfront restaurant. Not only a waterfront restaurant but one that we can boat to as well. I am disappointed to hear that there is someone trying to oppose something that will truly be enjoyed and appreciated by most of the Palm City residents.

Sincerely,  
Meghan Marinho  
Palm City Resident

Sent from my iPhone

**From:** [Fish Heads Of Stuart](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 10:23:12 AM

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This Email Sent From External Sender

Wanted to voice our full support for the Meridian Marina project M035-210.

My wife and I own a small business in Stuart involved in the fishing and marine industry. We are excited to have learned about a Palm City waterfront restaurant, and even more excited to have one so close to our house.

We live on Pelican Cres and the Meridian Marina property is literally within a hundred yards or so of our house.

Meridian Marina has done an exceptional job with rejuvenating this property and have been great neighbors. We are looking forward to the continued improvements they will be implementing.

As residents of Palm City for ten plus years, the prospect of waterfront dining and additional boat storage is exciting and exactly what this community needs and wants.

Best regards  
Brent & Heather Kane

Residence  
1192 SW Pelican Cres  
Palm City, FL 34990  
772-341-7323

Store  
Fish Heads of Stuart  
3585 SE Saint Lucie Blvd  
Stuart, FL 34997  
772-220-6008

Sent from my iPhone

**From:** [Cindy Belden](#)  
**To:** [Comish](#)  
**Subject:** Subject: Support for Meridian Expansion & Restaurant  
**Date:** Saturday, August 6, 2022 9:03:25 PM

---



Hello Cornish...

I hope this finds you well...

My Husband and I are residents at the Admiralty in Palm City. I am a Realtor here in Stuart at Coldwell Banker and we have lived here for 24 years in Palm City and at the Admiralty for 18 years. We have watched the Marina thru 3 different owners and Not One has improved the property with the Desire and Community that Austin and Jenny Cameron have already displayed. We support what they have proposed at the Meridian Marina site and Welcome their plans as a Family Friendly Marina and Restaurant along with the Boat Racks to enhance and Beautify Chapman Way and Our Palm City Community. We hope you do too.

Sincerely ... Cindy Belden

Cindy Lauren Belden  
"Because Every Home... Deserves Luxurious Service!"  
Coldwell Banker Realty  
Coldwell Banker Global Luxury  
2369 SE Federal Highway - Stuart, FL. 34994  
Direct: 772-485-2000  
Fax: 772-287-3000

**From:** [Mayda Sotomayor-Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:21:14 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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To the board of commissioners:

I am a resident of Martin County for over 20 years and store my boat at Meridian Marina. I love the improvements that have been done to the marina, for several years the previous owners had really abandoned the upkeep of this property. I understand there is a plan in place to build out a waterfront restaurant, this will only enhance the value of our properties, provide jobs to the community and bring class to this area. I am completely in favor of having a waterfront dining restaurant.

Regards,

Mayda Sotomayor

Best regards,

**Mayda Sotomayor-Kirk**

Chief Executive Officer

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M +1 772-559-3000

**Seald Sweet LLC**

1991 74th Ave

Vero Beach, Florida 32966

United States

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**GREENYARD** 



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**From:** [Mark Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:19:18 AM

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To the Martin County Commissioners:

I Am resident of Martin County for 23 years living in Palm city, a life long boater and a local contractor in Stuart. Once upon a time my boat was stored in Meridian for years untill it fell in total disrepair .....the building...launching equipment....unhappy employees...the works. Being as such this necessitated the moving of my boat to Riverwatch Marina five years ago.

Fast forward to a new owner purchasing the marina..upgrading the facilities with new roof...new building...new launch area...new launch equipment...and promise of a future restaurant and bar establishment...i moved by boat back to meridian marinaa year ago. Please vote yes for a fine dining establishment on the water....the residents of Martin county need it...they want it znd deserve it.

Thank you commissioners

Mark kirk

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone  
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**From:** [Marie Frash](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana  
**Date:** Saturday, August 6, 2022 7:34:06 AM

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Dear Martin County commissioners,

I live at the Admiralty next to the marina. My husband passed away March 4th this year at the age of 91. He was and I am a huge proponent of a new restaurant on site there. He was 91 and it wasn't easy to get him in and out of restaurants. He was hoping to be able to go there before he passed just by using his scooter.

With population increasing and traffic also increasing, it would be great to have a waterfront restaurant that we don't have to drive across bridges and in excess traffic to get to.

I am presently in our Indiana home until late September or I would personally be the the meeting to speak in favor of this restaurant

Thank you for your time

Marie Frash

1130 SW Chapman Way Unit 509

Palm City 34990

[Sent from the all new AOL app for iOS](#)

**From:** [Denny Dennis](#)  
**To:** [Jenny Cameron](#); [Comish](#)  
**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:32:07 PM

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Mrs. Cameron,

It is thoughtful of you to reach out to me. There is nothing to talk about other than I commend you for repairing and improving the property and wish you well in the expansion of your business if done properly; I only ask that you and the commission simply adhere to our comp plan and LDRs. Don't expand as cheaply as possible at the expense of the character of our neighborhood. Plus, it is very reckless to propose operating those huge forklifts in the customer parking area.

I have seen quite a few renditions of plans over the years; all had expanded racks inside a building, not outside. I realize it is far cheaper for you to have outside racks, but it is at the cost of the character of our neighborhood. It seems clear to me customers want indoor storage, not outdoor storage. One simply has to look across the river from us. Marine Max recently opened a wonderful new marina with slips with outdoor lifts. It remains empty with the exception of some of Marine Max's demo boats and very few others. There is no demand for outside storage.

While it was nice you reached out to me; I am deeply concerned that at least one commissioner must have immediately forwarded my email to you. My email was not available to the public until Wednesday morning, yet you responded to me within two hours of my sending it only to the commissioners on Tuesday. While it may not be illegal, I find it profoundly unethical and disappointing a commissioner would immediately send you my email to give you a warning of opposition to your project. Clearly, this commissioner is a guaranteed yes vote for you. You do not live here or vote here. The commissioners are supposed to work on the resident's behalf; sadly, at least one is not.

Furthermore, it has been reported that the very first permit you pulled on the property, you did so with deceit. By way of a notarized signed affidavit, you claimed repairs were less than \$50,000, paid a paltry permit fee, and then replaced the entire roof and side. At the same time, the county looked the other way without proper documentation and inspections. The repairs are in far excess of \$500,000.00, which is commonly known, yet you only paid a \$143 permit fee and said you were replacing metal panels as needed. Cheating, deception, and what appears to be bribing our county officials is not a good introduction to our community. You can do the right thing and design your addition without variances. Then I will wish you well.

We have a saying here, "the Martin County difference," and it is different here, and you are about to see how. What is the difference? We residents deeply care about our environment and the character of our community and those who live in it. It would be best if you cared too.

We will deal with this at the public hearing on Tuesday.

Denny

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**From:** Jenny Cameron <[Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com)>  
**Sent:** Tuesday, August 2, 2022, 2:03 PM

**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

Hi Denny,

I'm Jenny Cameron. My husband and I are the owners of Meridian Marina in Palm City. We saw that you had some concerns about our project and we'd love the opportunity to talk with you to better understand your concerns and how we might be able to make them better. We believe our project will be great for the community and want all of our neighbors to be happy. Do you have some time to discuss further? Feel free to give either of us a call, or let us know a good time when you are available, and we can call you.

Thanks,

Austin Cameron (817) 291  
Jenny Cameron (512) 937

**From:** [Robin Cartwright](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project M035-210 - 79th amendment  
**Date:** Wednesday, August 3, 2022 2:28:49 PM

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Good afternoon, Commissioners -

On Tuesday you are supposed to hear a request to approve the 79th amendment for the Meridian Marina project. The report from staff is recommending you approve this request. Here are my questions I've asked of the applicant. If they have been asked or addressed, the responses are not able to be found in the provided information in advance of Tuesday's meeting.

1. You have a variance request for parking. Required is 214 spaces. You are proposing 151. Why so few?
2. You are increasing the approved number of boats to 540 total. How do you remedy this with the amount of parking spaces especially if you plan on having a restaurant?
3. Why does a Marina need a 3-story 6,000 sq foot restaurant with rooftop event space? If that's the case, then you DEFINITELY don't have sufficient parking.
4. You have a request for four (4) accessory dwelling units. Why? How big will they be? Are you renting them out? Do you have a hotelier license if you are?
5. You have one building that is presumably grandfathered in for 260 boats. Your site plan has a proposal for another building for 140 boats. And then you are proposing external boat racks for 140 more boats.

Regarding the external boat racks for up to 140 boats, the weights listed do not make sense. You have 45k (pounds I presume?) boats at the ground level, 30k / 20k boats on the first level, 15k / 12k boats on the second level, and 10k boats on the top level. Are those weights per rack, structure, or boat?

6. Your schematic provided shows only three levels. Are you suggesting that the top level of the new outdoor racks will have boats on top?

If so, the new outdoor boat rack structure is drawn at 40 feet. But you will add boats on top that will more than likely be center console with t-tops. Therefore, it can be assumed what people see when they drive by will be closer to 50' if not more. Even if your policy was to not include boats with t-tops, the profile would still be in excess of 40'.

7. The outside boat rack is drafted at 42.47' deep. In the drawing it appears to be right up against the existing dry storage building. How will boats be loaded on to the external boat racks? Do you have to drive through the parking lot past marina members' cars to maneuver a boat on a forklift to load it on to the rack?

According BoatRacks.com, "With the current trend in boat sizes and forklift sizes, most aisles are at least 60' clear."

But wait... The space identified for parking on that side is 59.97 feet.

Not sure how this mathematically works with cars in the parking lot.

If you keep the outdoor racks, then you have to have less parking, which requires an even greater variance.

8. Lastly, the comp plan states that you cannot have a wall plane in excess of 100' nor constitute more than 60% of the building's total length. Your buildings independently and certainly together are in excess of that. And you need four facade elevations. Can you please explain the "commercial design alternative" being recommended?

**From:** [Denny Dennis](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Tuesday, August 2, 2022 12:05:28 PM

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Dear Commissioners,

This property was built, approved, and developed to be visually pleasing to the landscape of our beautiful town of Palm City. It appears our out-of-state developer wishes to violate the covenants that approved this building from day one with an industrial exposed outside rack system, which is in direct violation of the architecture mandated on this property to be contiguous throughout the building. See Section 4.872 of our comp plan. This is a 100,000-square-foot+ pill box with a proposed industrial, commercial framework exposed for all to see. Approving this will forever change the visual landscape of our beautiful community. This was never intended from the beginning and should not be approved for the future. The original intention was a kinder, gentler look with appealing architecture, not an industrial, commercial framework that you do not see anywhere within this area of Palm City. Let me ask the question, how are they getting away with all of this?

The proposed restaurant was never an intended use, and you change the consequences forever by changing an intended use. The noise and the traffic were never contemplated for this property and should not be allowed. One can only surmise the consequences of quiet evenings once the marina operations stop in the early evening that we currently enjoy. A restaurant would continue its business, disrupting our neighborhood and enjoying our quiet evenings overlooking the river. It was never intended for this and should not be allowed. One only has to leave your window open in the evening or sit on your balcony to have the cause and effect of a Sailors Return type venue which can be heard all over the neighborhood. While nothing can be done about the City of Stuart and their poor planning with this type of venue, this is Palm City in Martin County. This residential neighborhood should have quiet enjoyment instead of the consequences of a use change. This area is all residential, except for the marina. We moved here for the parks, the water, and the peace and quiet. I didn't mind the marina, it was here, but there was never a restaurant approved for that building. Never.

You may have seen the ORCA pollution maps published in TCPalm, the area around the marina stood out on those maps. Our river is a way of life; it rises and falls every day. When companies pollute our river, they rob us of the very lifestyle we live here to enjoy. Allowing these companies to pollute our waters, whether intended or not, is their responsibility, not ours. The spillage from a basin owned by this company contaminates our tributary and should not be allowed to continue. We that live here are stakeholders; they are not. So once again, the consequences of their actions destroy the very fabric of our community. Make them clean up their mess and make them responsible for it in the future.

Don't approve these outdoor racks when other viable options adhere to our community and comp plan. Over the years, I've seen many proposed expansions for up to 600 indoor racks; not one plan has ever proposed outside industrial storage racks that do not meet the facade requirements. Not one. Indoor racks can be achieved; it just costs money. This developer wants to achieve a high number of

racks as cheap as possible at the cost of the character and charm of our community while he takes his profits back to Texas. Marina operators come and go, but we will be stuck with these hideous outdoor racks forever. Why should our community have to pay this price just because this developer does not want to spend the money to build this out properly? If he can't afford to do so, then simply don't do it.

Denny

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RE: M035-210 - Meridian Marina

I was excited when Texas bought the marina and said he had \$10 million to improve the property. Finally, it would be built into something beautiful, not just a huge old pill box plunked in the middle of our neighborhood. Sadly, here we go again. Slick out-of-state developers trying to change our Martin County for the sole purpose of lining their pockets. Commissioners, what is going on here? Meridian Marina was bought by a large out-of-state marina corporation headquartered in Texas. Since then, you have allowed Texas to erect two huge tents that are enormous eyesores and certainly won't withstand a hurricane, which they use to repair boats under. How is that legal? You also allowed Texas to put on an entire new roof with no permit, and replace the entire south side of the barn with a permit that says replace panels as needed, it was the entire 500' wall! They put it all on Facebook. I have to get a permit to put shutters up, but Texas does not have to get a permit to replace the entire roof on a 62,000 sq. ft. building! This smells of a big Texas payoff. We needed permits for tents at Palm Fest, a truly local community event, not an industrial play for the repair of boats. Nowhere else in Palm City will you find repair facilities working out of tents that haven't met the simplest building and fire codes. Yet you have allowed them to do this. For Texas, you look the other way. What about us, the people who elect you and who you represent? What is Texas doing for you?

The Admiralty shares part of the basin with the marina. The marina owns the basin, and we are at their mercy to have the basin dredged. We have been promised for 2 decades that it would be dredged as it is shallow and full of polluted muck. Have you seen the pollution maps done by ORCA? I've included a couple maps; this is a very residential area, and the ONLY business here is the marina, so I think it is pretty obvious the source of the pollution. If you approve this development, I hope you at least make them dredge out the muck and the plume of polluted muck emanating from their basin. The Atlantic Point developer is a local, cares about our river, and did that in front of their marina without even being asked to. I bet Texas hasn't offered that! Dredging the polluted muck out is a drop in the bucket for their budget, and it would help our river immensely. The Indian Riverkeeper used to say the river is dying a death from 1000 cuts; well, the reverse is true; everything we do to clean the river will heal those 1000 cuts, one slice at a time. Texas should pony up and clean their muck.

This was never intended to be an industrial outdoor boat storage area. Look at what the BOCC originally passed and intended for this area compared to this plan. Night and day! Passage of time should not be the excuse to morph our beautiful Palm City into an industrial looking area. That is what those ugly outdoor storage racks will do! Texas treats the primary facade, the side every visitor to Pendarvis Park and every resident off of Chapman sees every day, like a junkyard, look at the tents and old boats. No wonder he wants to put ugly outdoor racks there; he treats it like the back of the property that no one sees, not the front that it is! We do see it! Please, make Texas build something in compliance with our comp plan and what it was intended and approved for, a facility that is appealing to the eye and fits in with the culture of the neighborhood.

AUG 03 2022



And please, make sure this monstrosity does not breach the 4 story height limit; all we need is to see boats 60' up in the air! If you approve these ugly industrial outdoor racks, there is no roof to ensure everything is below 40'. What will stop them from putting boats with towers or t-tops on the top rack, which would egregiously surpass the 40' height limit? **The ugly outside storage racks should be inside a building**; we are not in an industrial area. We have two beautiful parks, Justin Wilson and Pendarvis, wetlands, and the river. This area of Palm City is all residential, except for the marina. I'm not sure how that happened; it is already out of place, but for heaven's sake, please don't let them put some industrial outdoor rack system up. Stay with a look that was originally approved and intended; the racks are ugly!

In fact, these racks violate our comp plan! According to the Staff Report dated 11/24/2021, the west and north facades of the building are considered primary facades. Texas wants to put the industrial racks along the entire north facade. Section 4.872 dictates (see attached), "*Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing **visual interest that will be consistent with the community's identity and character** through the use of detail and scale.*" Please, drive through our community, we are residential, and the only addition allowed should be architecturally pleasing to fit in with the neighborhood as dictated in our Comp Plan and what was approved by the BOCC. How are ugly industrial outdoor racks on the north facade even remotely allowed according to our own codes? We have to look at this "primary facade" every day. It should be beautiful architecture, not ugly industrial boat racks! Every visitor to Pendarvis Park will have to look at those racks entering and leaving the Pendarvis Park. Texas doesn't want to build an architecturally pleasing building for our community because he doesn't live here, and he doesn't have to look at it every day. If he did, he would realize they are not consistent with our community's identity and character. All Texas cares about is lining his pockets with the money he is making from our community. I really hope you do not allow this outdoor storage system here. Palm City is doing so many improvements that make it appealing to the eye and family-friendly. Just check out the beautification on Mapp Rd. These industrial racks do not belong in our residential neighborhood, this marina should expand with INDOOR storage, not ugly outdoor boat racks. I am not opposed to him increasing his business, but this is not fair to our community to plunk industrial type racks in the front yard. Please only approve racks that are inside an architecturally pleasing building, as was the original intent of the Marina Village PUD. Marina owners come and go, but we will be left with this ugly monstrosity forever.

Slick Texas also is asking for 4 accessory dwelling units (ADW). What? Those have never been approved and certainly are not needed at a business that operates only during the day. I have to wonder if Texas isn't trying to pull a fast one so he has 4 waterfront apartments to rent out in our hot, money-making rental market. Here are some comparable area dry stack marinas and the number of ADWs recorded.

Riverwatch 0

Atlantic Point Marina 0

Sundance Marina 0

Manatee Marina 0

Considering the brief history Texas has had in this county and has immediately finagled major site work without permits, I wonder why Texas is trying to sneak in 4 apartments under the ADW, ADW's are obsolete in the drystack marina business. Then he wants to build a restaurant with a rooftop bar! The County seems to be bending over backward for him, letting him have the tent/repairs without permits, reducing setbacks for his monstrosity, all the while leaving us residents to twist in the wind and be stuck with whatever Texas wants to build, regardless of what it does to our beautiful and quiet neighborhood. I question the reduction in parking. Being this is something that can be adjusted by a "decision-maker," what parameters did the decision maker use to delete 63 required spaces by code? Is this the same "decision-maker" that let him replace an entire roof and beams without any permit? I get it, the more Texas can build and not adhere to our comp plan, the more money he can take back to Texas, but we are the ones who will forever have to live with the consequences.

I wonder when, not if, you are going to ask us residents for another tax increase while letting outside developers like Texas off the hook? Let's make the outside developers stick to our comp plan and rules. Sweetheart deals, variances, and comp plan amendments have no place here when it damages our community. We have to stick by the rules, so should they. This company's profits go back to Texas; they are not involved in our community or care about the river; they are just trying to build things that do not fit the culture of our community for nothing more than to pad their pockets at our expense.

Commissioners, things just don't seem on the up and up with all of this. Please just do your job. No favoritism to greedy, outside developers. WE live here. WE love our Martin County. WE love our river. WE legally obtain needed permits! WE love our peaceful neighborhood, and WE vote locally, Texas does not. Restaurants and bars belong in the commercial area of Palm City, not here. This is an incredibly unique location, please take the time to stroll down Chapman Way and you will understand. This entire area is all residential except for the marina, please don't add more traffic, chaos, and disruptions with a bar and restaurant. Traffic is already becoming a nightmare in the area. The marina with INSIDE storage is fine, bars and restaurants are not fine in this area. Protect us, our county, our river. No to ugly outside industrial storage racks, they don't belong in this part of Palm City! Those racks are a direct violation of our Comp Plan and primary facade requirements. No to apartments, I mean accessory dwelling units. No to the restaurant - save our residential neighborhood! And tell them to clean the muck up!

Very Concerned in Palm City

***F. Determination of compliance with Comprehensive Growth Management Plan requirements - Growth Management Department***

**Unresolved Issues:**

**Item #1:**

**Generic Comp Plan Compliance-GMD**

This application cannot be deemed to be in compliance with the Martin County Comprehensive Growth Management Plan (CGMP) until the issues identified in this report have been satisfactorily resolved. Martin County, Fla., CGMP, § 1.3

***G. Determination of compliance with land use, site design standards, zoning, and procedural requirements – Growth Management Department***

**Unresolved issues:**

1. Provide the floor plans and elevations for the restaurant, sales and operations building, including the accessory dwelling units.
2. The boat storage building appears to have a pitched roof. Show the building height to the mean height of the roof per Sec. 3.14 LDR.
3. Parking: The parking rate for Restaurants is 1.5 spaces per 100 sq. ft.  
A parking rate adjustment may be warranted with a shared parking rate analysis.
4. Show the percentage of building coverage in the data table. A maximum of 50% is permitted in the Commercial Waterfront land use.

**Item #1: Land Clearing**

No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre- construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials. MARTIN COUNTY, FLA., LDR § 4.37

***H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department***

**Commercial Design**

The west and north facades of the building are considered the primary facades

**Unresolved issues:**

1. Provide all four façade elevations of the building with the direction it faces labeled.



2. Sec. 4.872.B. Control of building mass. No continuous wall plane shall exceed 100 linear feet nor constitute more than 60% of the building's total length. A wall plane must be offset a minimum of 3 feet and extend a minimum of 8 feet to be considered a wall plane.
3. Sec. 4.872.C. Primary Facades. All primary facades shall consist of at least 4 design features along a minimum of 50% of the horizontal length. (see section 4.872.C. LDRs)
4. Sec. 4.872.F Roofs. Peaked roofs shall provide at least 2 roof slope planes and have a minimum slope of 1/3.
5. Sec. 4.872.G Customer entrances. All commercial buildings should have clearly defined entryways. Commercial buildings of more than 10,000 sq. ft. shall provide an outdoor patio area of a minimum of 200 sq. ft.
6. Sec. 4.872.H. Materials and color. Identify the materials and provide the colors used on the primary facades. The secondary facades shall use compatible materials and colors.
7. Sec. 4.873.B. Bicycle and pedestrian amenities. Provide the required bike racks and benches for a 100,000 sq. ft. plus building.
8. Sec. 4.874. Alternative Compliance. If alternative compliance is sought for any of the above requirements, list the section of code and provide for alternative measures or reasons that the requirement cannot be met.

### **Community Redevelopment Area**

N/A

The property is not located within a Community Redevelopment Area (CRA). Therefore, the Community Redevelopment Area reviewer was not required to review this application. MARTIN COUNTY, FLA., LDR, Division 6

#### ***I. Determination of compliance with the property management requirements – Engineering Department***

N/A

No dedication of additional right of way is required or proposed by the Applicant pursuant to the Roadway Classifications set forth in Section 4.843.B, Land Development Regulations, Martin County, Fla., (2010) which includes Table 4.19.1 that lists the minimum right of way requirements. Therefore, the Applicant is not required to submit due diligence materials for review by the Martin County Real Property Division.

#### ***J. Determination of compliance with environmental and landscaping requirements - Growth Management Department***

### **Environmental**

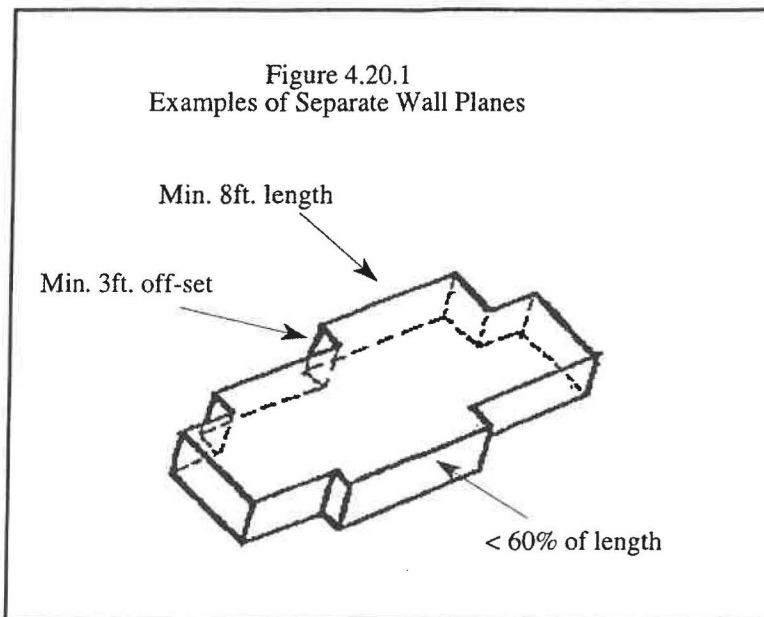
#### **Unresolved Issues:**

#### **Item#1: Site Plan**

## Sec. 4.872. Architectural design standards.

4.872.A. *Purpose and intent.* All commercial buildings and structures should be designed to maintain and enhance the attractiveness of the streetscape and the existing architectural design of the community. Buildings and structures should have architectural features and patterns that reflect human scale and proportions, reduce massing and recognize local character. Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing visual interest that will be consistent with the community's identity and character through the use of detail and scale.

4.872.B. *Control of building mass.* On the ground floor of any primary facade, no continuous wall plane shall exceed 100 linear feet, nor shall any single wall plane constitute more than 60 percent of a building's total length. A wall plane shall be off-set a minimum of three feet from the adjacent wall plane and be a minimum of eight feet in length to be considered a separate wall plane. However, any portion of a wall plane having a pedestrian arcade extending a minimum of eight feet out from such wall, shall be considered a separate wall plane, provided that such arcade does not extend uninterrupted farther than 120 linear feet.



### Separate Wall Planes

4.872.C. *Primary facades.*

1. *Consistent architectural style.* The primary facades of all buildings and structures shall be designed with consistent architectural style, detail and trim features.
2. *Minimum design elements.* All primary facades on the ground floor shall have at least four of the following design features along a minimum of 50 percent of their horizontal length.
  - a. Awnings, located over windows or doors, in increments of ten feet or less in length.
  - b. Overhanging eaves, extending out from the wall at least three feet, with a minimum eight-inch fascia.
  - c. Pedestrian arcades, a minimum of eight feet in width and length.

- 
- d. Raised parapet over a customer entrance.
  - e. Peaked roof forms.
  - f. Windows.
  - g. Decorative light fixtures.
  - h. Clock or bell towers.
  - i. Artwork, such as but not limited to sculpture, mosaic, glass block, opaque art glass, or relief work.
  - j. Architectural details other than those listed above, which are integrated into the building and overall design. Examples of architectural details include, but are not limited to relief and reveal work, tile mosaic, decorative columns, pilasters or sculpture.
3. *Limitations on blank wall areas.* Blank wall areas shall not exceed ten feet in vertical direction and 20 feet in horizontal direction on any primary facade. Control and expansion joints shall be considered blank wall area unless used as a decorative pattern. Wall areas that are adorned using at least one of the design features set forth in paragraph 2., above, shall not be considered blank wall areas. Walls that are adjacent to a pedestrian arcade shall not be considered blank wall areas.
4. *Windows.* Windows shall include visually prominent sills, shutters, stucco reliefs, awnings or other such forms of framing.
5. *Major intersections.* In addition to all other requirements of this subsection 4.872.C., developments located at an intersection of two or more arterial or collector streets shall provide a prominent architectural feature such as, but not limited to a monument, sculpture or clock tower, to emphasize their location as gateways and transition points within the community.
6. *Artwork for large commercial developments.* In addition to all other requirements of this subsection 4.872.C., large commercial developments shall provide a public display of artwork, such as but not limited to sculpture, mural, or tile mosaic. The artwork may be placed on any outdoor portion of the site which is available for public viewing. Developers providing artwork in accordance with this paragraph are encouraged to coordinate with the Public Art Advisory Board.
- 4.872.D. *Secondary facades.* Although the design standards of subsection 4.872.C., above, do not apply to secondary facades, the secondary facades of each building shall be consistent with the primary facade in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facade is stucco with beige paint and white trim, the secondary facades of the building shall include a similar stucco finish, beige paint and white trim.
- 4.872.E. *Parking structures.*
- 1. A minimum of 60 percent of any primary facade of a parking structure shall have at least one of the following:
    - a. Decorative metal grill-work or similar detailing which provides texture and partially covers the parking structure opening(s); or
    - b. Vertical trellises extending a minimum of 20 feet in height or to the top of the parking structure, whichever is less, covering at least 50 percent of the primary facade).
  - 2. When a parking structure is an accessory structure within a larger development, the facades of such parking structure shall be consistent with the primary facades of other buildings within the development in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facades of the other buildings is stucco with beige paint and white trim, the facades of the parking structure shall include a similar stucco finish, beige paint and white trim.
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4.872.F. *Roofs.*

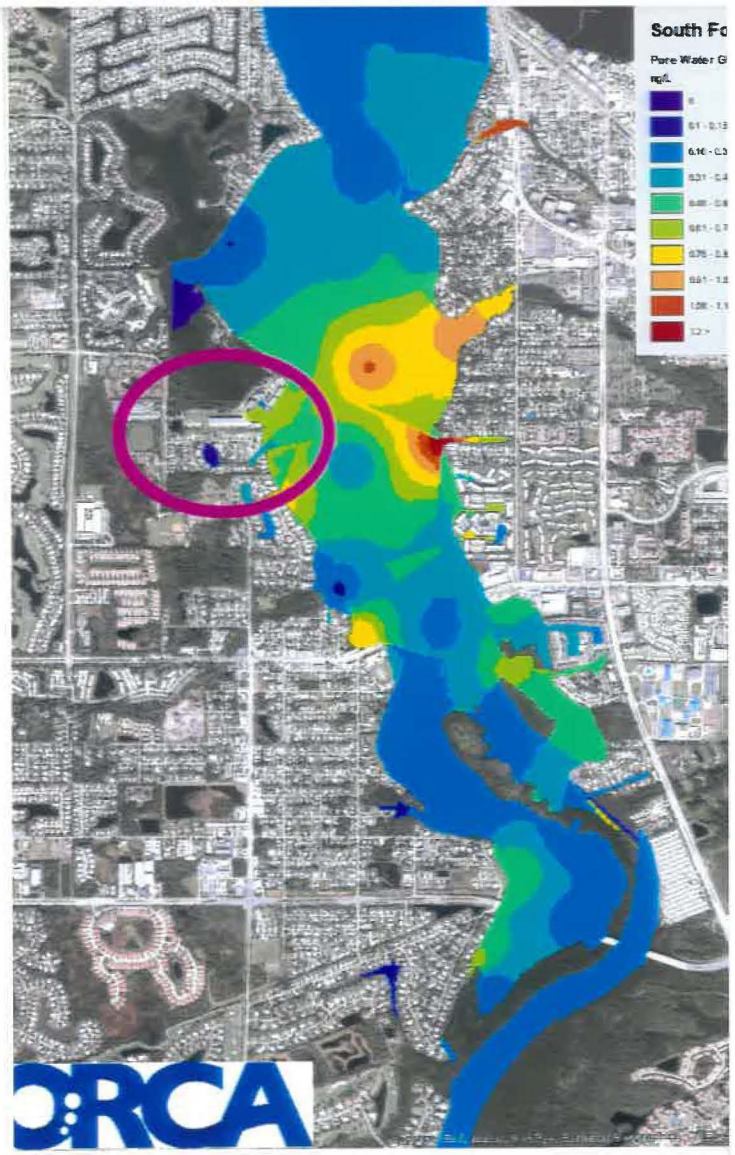
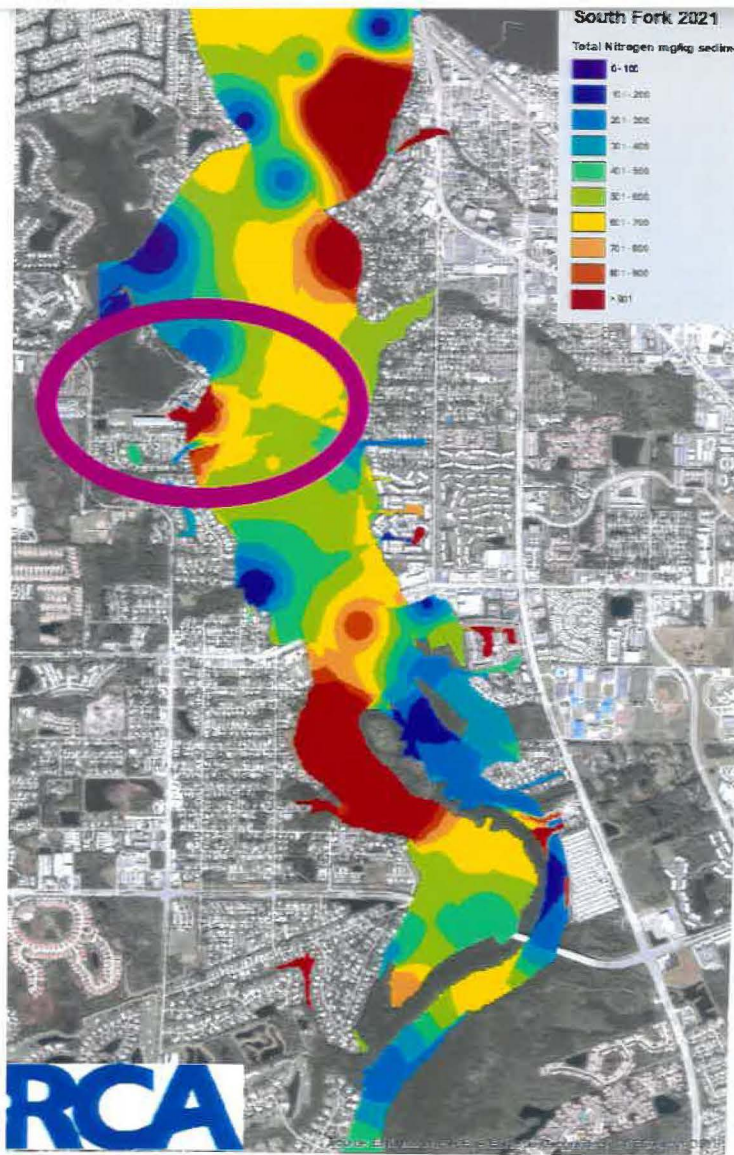
1. Generally. Variations in roof lines shall be used to add interest to and reduce the massing of buildings (see figure 4.20.2 for examples). Roof features should be in scale with building mass and should complement the character of adjoining or adjacent buildings and neighborhoods wherever possible. Roofing material should be constructed of durable high quality materials in order to enhance the appearance and attractiveness of the community.
2. Flat roofs shall:
  - a. Have a parapet of at least 12 inches in height along any primary facade and shall have at least two changes in height of a minimum of two feet along each primary facade.
  - b. Provide a three-dimensional cornice treatment along the entire length of the primary facade. The cornice treatments shall be a minimum of 12 inches in height and have a minimum of three reliefs.
3. Peaked roofs shall:
  - a. Provide at least two roof slope planes per primary facade, where the primary facade is less than 40 feet in horizontal length, or at least three roof slope planes where the primary facade is 40 feet or longer in horizontal length.
  - b. Not exceed the average height of the supporting walls.
  - c. Have an average slope greater than or equal to one foot of vertical rise for every three feet of horizontal run and less than or equal to an average slope of one foot of vertical rise for every one foot of horizontal run.
4. Asphalt shingles shall be prohibited, except for 320 pound, 30-year architectural grade or better shingles which otherwise meet all requirements of the Florida Building Code.

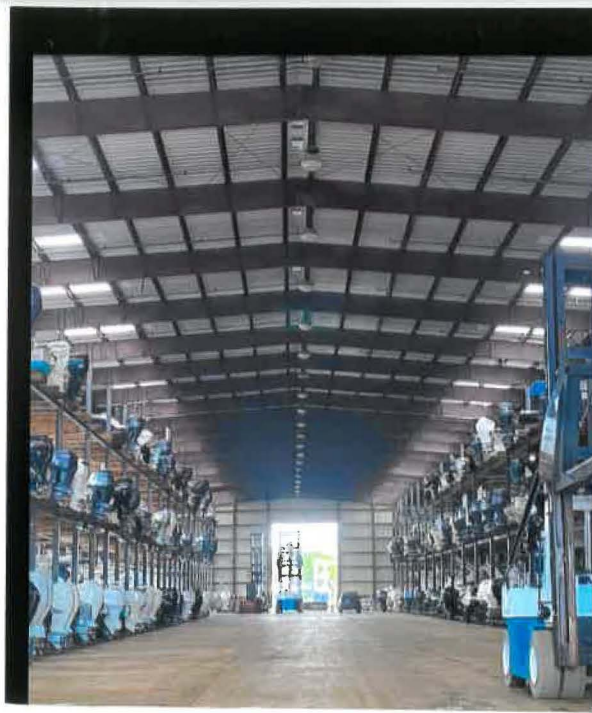




Meridian Marine  
March 23, 2021 · 🌐  
Replacing the roof on the storage barn.  
👍 Like 💬 Comment ➦ Share

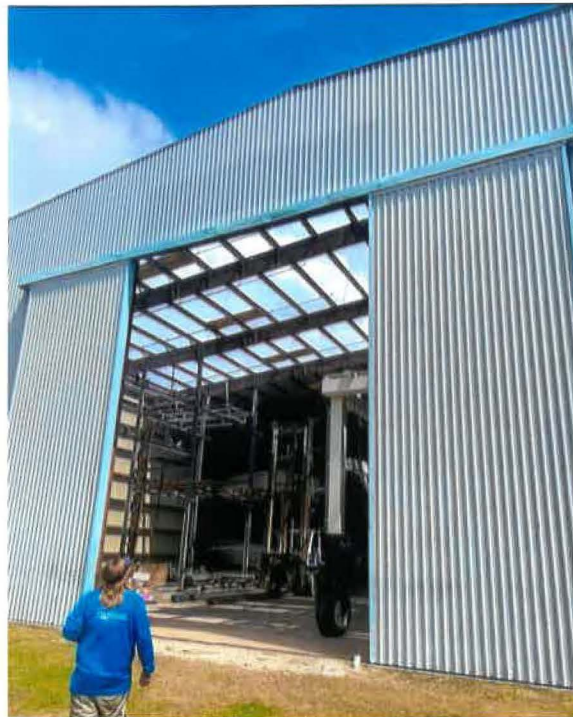






Meridian Marine  
May 16, 2021 · 🌐  
The new roof and new beams are complete. No more rusty roof!

👍 1  
👍 Like    💬 Comment    ➦ Share



March 23, 2021 · 🌐  
Rick inspecting Phase 1 of the barn construction.

👍 1  
👍 Like    💬 Comment    ➦ Share



NR 15-210  
1400 CHAPMAN WAY  
PALM CITY, FL 34990

WEST PALM BCH FL 34101

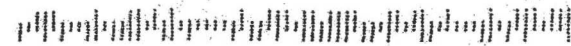
1 AUG 2022 PM



AUG 08 2022

MARTIN COUNTY BOARD OF COMMISSIONERS  
HAROLD JENKINS  
2401 SE MONTEREY RD  
STUART, FL. 34996

34996-339739



RE: Building Department corruption, M035-210 - Meridian Marina

Mr. Donaldson,

Your Building Department is corrupt from top to bottom. While researching a proposed development, Meridian Marina, in my neighborhood, I stumbled across this blatant corruption in your Building Department. Your Building Department is giving sweetheart deals to out-of-state developers at the expense of Martin County residents! How many other projects has Larry Massing and his department fraudulently approved? Are the buildings in our county built to code, or has Larry Massing allowed potential Surfside disasters down the road? Larry Massing did this for an out-of-state developer whose money goes back to Texas and does nothing for our community! Why?

What I found.

The applicant and his contractor knowingly filed a fraudulent building application permit, which Larry Massing approved, stating, "Metal Building Repairs, Replace panels on existing metal building as needed."

Because it was simple repairs, the building has not been inspected for fire safety, electrical, floodplain review, etc. The applicant was charged just a \$143.50 permit fee. The cheapest the Building Department could charge him. Mr. Donaldson, this repair the applicant did easily costs in excess of half a million dollars. This cheated Martin County residents out of income from permit fees we depend on. Why was this out-of-state developer given such an unfair enrichment that your own residents do not get? Or, maybe some do if the pay-to-play for Larry to wave his magic Larry wand?

Under this simple repair permit, the applicant replaced the entire roof and one entire side that is 500' long. This abuse is so flagrant the applicant proudly posted his massive building renovations on his Meridian Marina Facebook page(see attached photos).

On May. 18, 2021, at 3:07 p.m. Juan Hernandez inspected the property and marked it FAIL. Juan noted *"All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (**about 75% of building envelope**) / No drawings available / Need inspection letter from engineer for all replaced panels."*

Just 25 minutes later, Andrew S Bruhn marked the project as PASS.

Mr. Donaldson, 75% of this building envelope was renovated, Mr. Hernandez noted it, yet the Building Department did not inspect the fire system, the barn, nothing. They blindly stamped approval. Mr. Hernandez asked for the drawing and inspection letter from an engineer. Where are they? Is this building code compliant, or am I living next door to a time bomb waiting to go off?

I have sent this to investigative reporters as well. I am concerned about how deep this corruption goes in your office.

Whistleblower

CC: BOCC

Record BLD2021031141:

Commercial Miscellaneous

Record Status: Closed-Certificate Issued

Record Info

Payments

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters. If your file name is long, shorten it before uploading. Avoid special characters in file name such as: !@#\$%&'. If you have files from a different Department using a Thumb Drive or Disk and do not attempt to upload them here.

To streamline the review process, it is requested that you separate Site Plans and Surveys in separate documents that identifies the content of that document.

If you upload a file with the same name as an existing document it will **OVERWRITE** it. Please rename the file (e.g. site\_plan\_v2.pdf)

Work Location

1400 SW CHAPMAN WAY  
PALM CITY FL 34990-2400

Record Details

Applicant:

Michael Barson  
Gravitystorm, LLC

Licensed Professional:

MICHAEL LEE BARSON OFFICE@LOSTFAB.COM  
MODULAR MEDICAL SYSTEMS INC  
3811 CROSSROADS PKWY  
BARSON, MICHAEL LEE  
FORT PIERCE, FL, 34945  
Home Phone:7724484104  
STATE CERT - GENERAL CONTRACTOR CGC1511137

Project Description:

Metal Building Repairs  
Replace panels on existing metal building as needed

Owner:

MERIDIAN MARINA & YACHT CLUB OF PALM CITY LLC  
MARTIN DOWNS MARINA VILLAGE ASSOCIATION, INC  
PO BOX 1713  
PALM CITY FL 34991

More Details

Additional Information

Job Value(\$):  
\$50,000.00

Commercial Miscellaneous  
Record Status: Closed-Certificate Issued

Record Info

Payments

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters before uploading. Avoid special characters in file name such as: !@#\$. Department using a Thumb Drive or Disk and do not attempt to upload them.

To streamline the review process, it is requested that you separate Site Plans that identifies the content of that document.

If you upload a file with the same name as an existing document it will OVERWRITE (e.g. site\_plan\_v2.pdf)

## Processing Status

### Application

Task assigned to TBD  
Marked as **Complete** on 03/23/2021 by CC

### Plans Distribution

### Building Review

Task assigned to TBD  
Marked as **Approved** on 03/23/2021 by Larry Massing

Fire Review  
Electrical Review  
Utilities Review  
Plumbing Review  
Floodplain Administration Review  
Site Grading Review  
Driveways Review  
Shoreline Hardening Review  
Historical Review  
Environmental Review  
Commercial Design Review  
Zoning Review  
Addressing Review  
Site Review  
CRA Review  
Coastal Review  
Building Official Review  
Mechanical Review  
Open Road Review  
Land Clearing Review

### Review Consolidation

Task assigned to TBD  
Marked as **Approved** on 03/23/2021 by CC

### Permit Ready

Task assigned to TBD  
Marked as **Payment Required** on 03/23/2021 by CC

### Payment

### Permit Issuance

Task assigned to TBD  
Marked as **Issued** on 03/23/2021 by Sharyl McCreary

### Inspections

Task assigned to TBD  
Marked as **Completed** on 05/19/2021 by Tamara Sutlic

### Certificate Issuance

Task assigned to TBD  
Marked as **Certificate Issued** on 05/19/2021 by Tamara Sutlic

**COMM-FINAL STRUCTURAL (31401130, Optional)**

1400 SW CHAPMAN WAY  
PALM CITY FL 34990-2400

[Print](#)
**Status**

**Pass**  
**5/18/2021 3:06 PM**  
Desired Date: TBD

*Last updated*  
Andrew S Bruhn  
5/18/2021 3:32 PM

**Details**

**Record**  
BLD2021031141  
Commercial Miscellaneous

**Status History**

Showing 1-5 of 5

Status	Status Date/Time	Inspector	Update Time	Updated By	Result Comments
Pass	5/18/2021 3:06 PM	Andrew S Bruhn	5/18/2021 3:32 PM	Andrew S Bruhn	All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (about 75% of building envelope) / No drawings available / Need inspection letter from engineer for all replaced panels.
Fail	5/18/2021 3:06 PM	Juan Hernandez	5/18/2021 3:07 PM	Juan Hernandez	All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (about 75% of building envelope) / No drawings available / Need inspection letter from engineer for all replaced panels.
Scheduled	5/18/2021 8:00 AM	Juan Hernandez	5/18/2021 6:32 AM	Andrew S Bruhn	
Scheduled	5/18/2021 8:00 AM	Bo Chambers	5/17/2021 8:20 AM	Mallori Dodd	
Pending	TBD	Bo Chambers	5/17/2021 8:20 AM	Mallori Dodd	

**Related Inspections**

Showing 0-0 of 0





# Martin County Florida

Our County. Your Community.

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Announcements



Register for an Account



Reports (4) ▼



Login

## Record BLD2021031141: Commercial Miscellaneous Record Status: Closed-Certificate Issued

[Record Info ▼](#)

[Payments ▼](#)

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters. If your file name is longer than 50 character (including the extension), please shorten the file name before uploading. Avoid special characters in file name such as: !@#\$%?&/. If you have files that exceed 100MB in size, please bring them directly to the Building Department using a Thumb Drive or Disk and do not attempt to upload them here.

To streamline the review process, it is requested that you separate Site Plans and Surveys in separate files from all other documents. Documents should be named in a way that identifies the content of that document.

If you upload a file with the same name as an existing document it will OVERWRITE it. Please rename any revisions with something to identify it as a revision (ie site\_plan\_v2.pdf)

## Fees

### ***Paid:***

<u>Date</u>	<u>Invoice Number</u>	<u>Amount</u>	
<u>03/23/2021</u>	2128733	\$2.00	<a href="#">View Details</a>
<u>03/23/2021</u>	2128733	\$2.00	<a href="#">View Details</a>
<u>03/23/2021</u>			



2128733	\$50.00	<a href="#">View Details</a>
<u>03/17/2021</u> 2127994	\$89.50	<a href="#">View Details</a>

**Total paid fees: \$143.50**

## Martin County Florida

Your County. Your Community.

2401 SE Monterey Road, Stuart, FL 34996

Phone (772) 288-5400

4

Like Comment

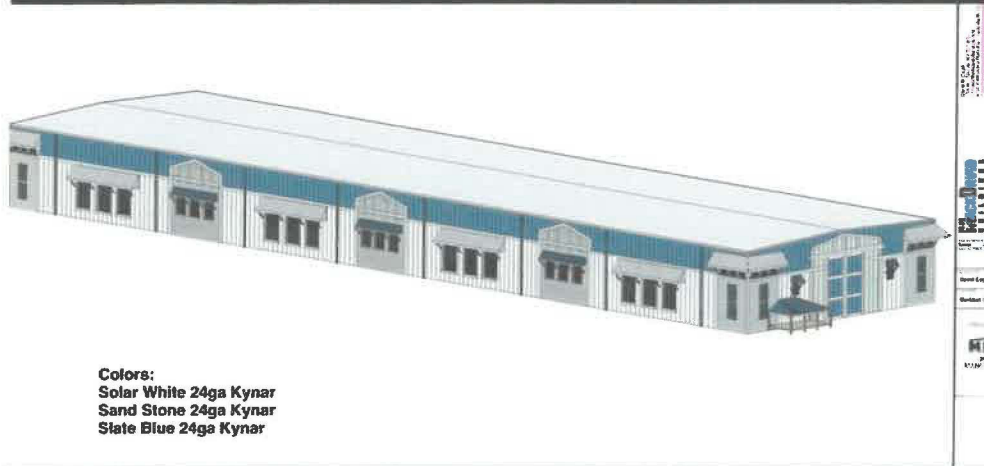
BEFORE



Meridian Marina  
March 23, 2021 · 🌐  
Design of the new barn!



Like Comment



**This is what the applicant promised. Clearly a project well over \$50,000. What Larry Massey approved, looks nothing like this. Where are the plans and engineering for this in the Building Dept.?**



Meridian Marine  
May 16, 2021 · 🌐  
Now siding is almost complete!

👍 1

👍 Like   💬 Comment   ➦ Share



Meridian Marine  
March 23, 2021 · 🌐  
Replacing the roof on the storage barn.

👍 2

👍 Like   💬 Comment   ➦ Share



# WHERE'S THE ARCHITECTURE?



Meridian Marina  
May 16, 2021 · 🌐

The new roof and new beams are complete. No more rusty roof!

👍 1

👍 Like    💬 Comment    ➦ Share



Meridian Marina  
March 23, 2021 · 🌐

Rick inspecting Phase 1 of the barn construction.

👍 1

👍 Like    💬 Comment    ➦ Share

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Sarah Heard

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:** August 9, 2022

**DPQJ-1**

REQUEST APPROVAL FOR THE 79TH AMENDMENT TO THE MARTIN DOWNS PLANNED UNIT DEVELOPMENT ZONING AGREEMENT INCLUDING A REVISED MASTER/FINAL SITE PLAN AND REVISED PHASING PLAN FOR THE MERIDIAN MARINA PROJECT (M035-210)

**Describe investigations, site visits and provide any expert opinions received:**

Meetings and emails below if applicable N/A

**List and attach any written communication received:**

See attached

**From:** [LA Dees](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In favor of Palm City's only waterfront restaurant  
**Date:** Sunday, August 7, 2022 4:16:30 PM

---



Good afternoon,

Thank you for serving on the commission and representing Martin County! Please vote in favor of the marina adding Palm City's only waterfront restaurant. This will add to the established small businesses in Martin County and add a wonderful date night and family outing location for us Palm City residents.

Thank you, and have a great day!

Leigh Anne Dees  
(772) 285-7420  
[ladees1212@gmail.com](mailto:ladees1212@gmail.com)

**From:** [Dees Family](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In Favor of the Planned Waterfront Restaurant  
**Date:** Sunday, August 7, 2022 4:13:50 PM

---



Good afternoon,

As a Palm City resident, I encourage you to please vote in favor of allowing the Meridian Marina to create Palm City's only waterfront restaurant. We have limited restaurants already in Palm City, and as a growing community for families, this restaurant will only add to the family-centered atmosphere that is Palm City.

Kind regards,

Charles-David Marshall Dees  
[dees121215@gmail.com](mailto:dees121215@gmail.com)



**From:** [DONALD & GLORIA SMITH](#)  
**To:** [Comish](#)  
**Subject:** Maridian Marina Project  
**Date:** Monday, August 8, 2022 2:01:05 PM

---



We respectfully request that you, the Martin County Commissioners, grant the Maridian Marina approval to build a restaurant and expand marina facilities.

The location would provide an exceptionally tranquil and beautiful place to relax and enjoy the scenic views of the river and Stuart across the bay. There is a large residency to take advantage of this site. This is what Florida living is about.

Gloria & Don Smith Hobe Sound, Fl

**From:** [Lisa Ann Robinson](#)  
**To:** [Comish](#)  
**Subject:** Marina  
**Date:** Monday, August 8, 2022 10:21:17 PM

---



Hello and good evening.

I hope this letter finds you well. I am writing this letter after a very brief yet in depth and to the point meeting with my new neighbors Jenny and Austin Cameron. We quickly became friendly when they mentioned they had purchased the marina in a bankruptcy and were in the process of making improvements to the area. We talked about the small town feel of Palm City and the growth as well. They mentioned they were going to also partner with a local restaurant to bring to the water here on our side of the bridge. The idea and its potential for this area is extremely hopeful as we also love the area being tucked away for us locals to not have to leave this side to enjoy the water dining.

We hope to gain another family atmosphere venue for the many families that are sure to enjoy this establishment.

Lisa Ann Robinson  
1212 SW Pelican Cres  
Palm City Florida  
34990  
12176079435  
[lisaann.robinson615@gmail.com](mailto:lisaann.robinson615@gmail.com)

**From:** [joemcduffee](#)  
**To:** [Comish](#)  
**Subject:** Martin County Meridian Project  
**Date:** Monday, August 8, 2022 9:58:26 AM

---



I am writing in support of the meridian expansion and restaurant project.

Not everyone has the means to live on and enjoy the Waterfront. In my opinion we need more restaurants on the water, thus allowing the majority of residents an opportunity to relax and experience the beauty of our area. I am sure a waterfront Restaurant in Martin County, specifically Palm City, would be a welcome and profitable addition.

Please approve this project.

Regards,  
Joseph McDuffee

Sent from my Galaxy

**From:** [hueyrobinson](#)  
**To:** [Comish](#)  
**Subject:** Merdian Marina M035210  
**Date:** Monday, August 8, 2022 10:20:17 PM

---



I'm writing to show my support for the addition of a Family friendly restaurant at the Marina.

We have lived in this area for the past 3 years and think this would be a great place for families to visit. Having 3 teenagers in the house this may even offer employment opportunities to one of them.

Thank you,

Huey Robinson  
1212 SW Pelican Cres.

Sent from my Verizon, Samsung Galaxy smartphone

**From:** [Quentin Allen](#)  
**To:** [Comish](#)  
**Subject:** Meriden marina project  
**Date:** Sunday, August 7, 2022 1:35:43 PM

---

This Email Sent From External Sender

To whom it may concern:

This email is to express support for the new waterfront restaurant project Meridian Marina M035.

After living in Palm City for eight years we realize that in order to find waterfront dining we have to cross the bridge to Stuart and would love to have something in our neighborhood that offers waterfront dining. We are extremely excited about the restaurant, which will be a family-friendly waterfront restaurant. We have knowledge of the operating group and have been happy with what they have done as operators to improve the current facility. We also agree with the need for additional boat storage in Martin County.

As a local business owner I am excited about the potential increased revenue at local businesses and increase in property values as people stay in Palm City for entertainment and dining options. Also with the current issues with brightline and boating/bridge traffic it will be nice to have waterfront dining options in Palm city.

Respectfully,

Quentin B. Allen, MD  
Florida Vision Institute

Sent from an device

**From:** [Joe Dargavage](#)  
**To:** [Comish](#)  
**Subject:** Meridian Dry Storage Expansion  
**Date:** Monday, August 8, 2022 10:38:25 AM

---



August 8, 2022

Dear Martin County Commissioners:

As a life long boater in Martin County, and a member of the South Florida boating and yachting business community for 30 years, I stand in full support of the Meridian Dry Storage expansion.

Palm City has seen amazing growth over the last five years, and though we must always keep over development in check, Meridian offers a service to our boating community that is well needed and in great shortage. What they are looking to do, replace a closed restaurant facility (already built) and expand on the storage facility, that is full, full with boats of our Martin County residents, should be seen by a true positive by the Commission.

Lastly, I have known Jenny and Austin Cameron for many years, from both a professional (fellow marina owner) and personal level. They are extremely well respected in the boating community and are an excellent addition to both Martin County and Palm City.

I hope that the Commission see's the importance of boating too the Martin County Community, and votes in Meridians favor.

Most Kindly

Joe Dargavage

JOSEPH A. DARGAVAGE | Owner

United Island & Yacht – South Florida & Bahamas  
Romora Bay Resort & Marina, Harbour Island

Proud Member:  
Association of Bahamas Marinas (ABM) – 2022 President

Board Member:  
USSA – US Superyacht Association  
Seafarers' House at Port Everglades  
Bahamas Hotel & Tourism Association  
IYBA- International Yacht Brokers Association  
MIASF – Marine Industry Association of South Florida  
Broward County Boys & Girls Club



**From:** [MJ McDuffee](#)  
**To:** [Comish](#)  
**Subject:** Meridian expansion and restaurant  
**Date:** Monday, August 8, 2022 9:33:45 AM

---

This Email Sent From External Sender

I sincerely hope the commission will approve the Meridian expansion and restaurant project in Martin county. I'm sure the county is in need of more boat storage, but I am hopeful the project is passed because this area, as beautiful as it is and as much water surrounds us, has a very limited number of nice waterfront restaurants. A nice comfortable restaurant on the water would be an advantage for Martin county and as a resident of St. Lucie county I can tell you I would gladly make the trip often to frequent the restaurant.

Regards,  
MJ McDuffee



John J & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Rd  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

To Whom it may concern.

As longtime residents of Hamilton Place, located directly across the street from Meridian Marina, we are writing to express our support of Meridian Marina and the proposed improvements of their existing property as well as the construction of a new boat barn and a waterfront restaurant.

For years, we stored our boat at Meridian until the property began to deteriorate. Not only were we disappointed with the way the property was being managed, but we were also upset that the building had become a major eyesore for all North Mapp Road residents, especially those living in Hamilton Place.

Now that new owners have purchased the marina, we are excited to finally see these long-awaited improvements come to fruition. The addition of Palm City's only waterfront restaurant is also a major plus for residents who won't have to travel far to enjoy the benefits of waterfront dining.

With that said, please note that we are very much in favor of these changes and feel that it will impact our community in a very positive way.

Sincerely,

John J. & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

**From:** [Kristina Garrison](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana M035-210  
**Date:** Tuesday, August 9, 2022 7:16:11 AM

---



To County Commissioners,

Re: Meridian Mariana M035-210

We would like to express our support for the Meridian Marina project. We are Palm City residents and we were truly excited to hear about all the improvements they plan to make. When we first toured the marina, we were hesitant to dock our boat there because of the condition of the Marina and did consider going outside of Palm City. After talking with the office, hearing the plans and how amazing the marina will look and the added features they will provide, we decided to stay local. We've been so pleased with the work they have been doing to improve the marina. We are looking forward to all the added features that they will provide.

We spend many days out on the water going to Stuart and Port Salerno for waterfront dining. It would be wonderful to have these same options close to home. We love the boating lifestyle and the opportunity to bring our kids up in this great town with family friendly facilities like Meridian Marina.

The value they provide as a hurricane grade facility provides so much peace of mind. We don't have to scramble and jeopardize individual safety or property damage during a storm. I would have to think increasing storage locally would help to alleviate congestion and provide added safety for many others in the community during an emergency.

It's also great to see existing businesses reinvest in their property to provide added services rather than having brand new development chopping down acres and acres of land that disrupt wildlife and add congestion to this great town.

We are looking forward to enjoying all the amenities that Meridian Marina will provide.

Thank you,

Brian & Kristina Garrison  
690 SW Long Lake Ct.  
Palm City, FL 34990

**From:** [Marie Frash](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana  
**Date:** Saturday, August 6, 2022 7:34:06 AM

---



Dear Martin County commissioners,

I live at the Admiralty next to the marina. My husband passed away March 4th this year at the age of 91. He was and I am a huge proponent of a new restaurant on site there. He was 91 and it wasn't easy to get him in and out of restaurants. He was hoping to be able to go there before he passed just by using his scooter.

With population increasing and traffic also increasing, it would be great to have a waterfront restaurant that we don't have to drive across bridges and in excess traffic to get to.

I am presently in our Indiana home until late September or I would personally be the the meeting to speak in favor of this restaurant

Thank you for your time

Marie Frash

1130 SW Chapman Way Unit 509

Palm City 34990

[Sent from the all new AOL app for iOS](#)

**From:** [Rick Larson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:50:53 PM

---



I am writing to express my full support for the expansion plans for Meridian Marina in Palm City. I support this project for several reasons. First off boat slips are in a terrible shortage in the entire Treasure Coast, and boaters are paying a huge premium to have boats stored in either slips or in Racks such as Meridian provides. Stuart, and Palm City are noted as "Boating Communities" and our number one asset is our water. We have some of the greatest inland water in all of Florida, from the St Lucie River to the Indian River Lagoon. Adding affordable boat slips and storage is vital to keeping access to those of us who cannot afford to live waterfront. This project will not add additional traffic to the area which is a huge problem. It will just allow the residents of Palm City in particular and Stuart also to have access to boat storage at affordable rates. The project does not fortunately involve the clearing of any pristine wetlands, the additional boat storage will be built on a vacant lot. A few yards down the street from the Marina is a large new residential community being built which involved the leveling of acres and acres of pristine wetlands. I would find it hard to see the approval of that project and yet find this one somehow detrimental to our community. As for the plans for a restaurant at the site I fully support that also. Palm City can always use a new restaurant ...it is nice to not have to cross the bridge to eat out. While we have some variety of eateries. We do not have one waterfront restaurant in all of Palm City. This would be a huge asset to the community and to the residents, and adds to the desirability to living in Palm City. All this with minimal impact....there is a structure already where the restaurant would be placed.

I have met the owner of Meridian Marina several times and find he has all the best interest of this community in mind. I have kept a boat at this Marina for 17 years now and have seen it wallow in disrepair for almost all of that time. The previous owner let it completely fall apart over the years. Hurricane damage was never repaired, giant sections of the boat storage building were completely missing, a removed fuel tank was a gapping hole for 5 years!! The docks were falling apart, the fork lifts were from the stone ages. The new owner has poured money into this facility and has done more in the short time he has owned it then any owners in the previous 17 years. As a 22 year resident of Palm City I have not supported most of the growth plans the county has approved....we do not need any more banks, gas stations, or strip malls. But this Marina is a asset that brings unmeasured value to the community, and with the restaurant brings benefits for both boater and non boaters alike.

I ask the board to approve this application and improve the value of Palm City as a community. To add value to our homes, to make Palm City a very desirable place to live and boat and enjoy our river and intracoastal.

Kind Regards,

Rick Larson  
516-770-2910  
714 SW Lighthouse Point  
Palm City , FL 34990

**From:** [Jocelyn Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 11:05:11 AM

---



Meridian MArina has been a blessing in disguise with the boat slip shortage in Martin County. They have done a great job re-doing the barn, pilings, docks etc. The people they have employed are very service oriented and it is a beautiful, clean marina. The addition of the restaurant and bar would just add to it. It would be great to come back from a day on the water and be able to sit and get a bite to eat overlooking the river. Please allow them to move forward with their plans.

Thanks

**From:** [lindsavojensen@gmail.com](mailto:lindsavojensen@gmail.com)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Development Support  
**Date:** Monday, August 8, 2022 5:06:23 PM  
**Attachments:** [Meridian Marina Letter.pdf](#)

---



Good afternoon!

My husband and I utilize Meridian Marina for the storage of our family's boat and live in Hamilton Place which is located directly across from the marina off Mapp Road. We would like to express our support of the proposed improvements for Meridian Marina.

Please see the attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,  
Lindsay Jensen



Todd & Lindsay Jensen  
1660 SW Prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Road  
Stuart, FL 34996

August 8, 2022


Re: Planned expansion of Meridian Marina

To Whom It May Concern:

As customers of Meridian Marina as well as residents of Hamilton Place located directly across Mapp Road from the marina, we would like to express our full and enthusiastic support for the proposed developments.

It has been very nice to see the property being properly maintained and the much-needed repairs completed. The addition of more boat storage, parking and a waterfront restaurant will only further improve the marina and be a positive addition to our community.

Sincerely,

A handwritten signature in dark ink, appearing to read 'LJensen', with a stylized flourish at the end.

Lindsay Jensen



**From:** [Michael Goodale](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#); [Don Donaldson](#)  
**Cc:** [Kathleen Boden](#); [Patricia Higginbotham](#); [Colleen Pachowicz](#); [Sarah Philion](#); [Stacey McKindles](#); [Kimberlee Levee](#)  
**Subject:** Meridian Marina Expansion Project  
**Date:** Monday, August 8, 2022 8:48:30 AM

---

This Email Sent From External Sender

8-8-22

Hello, My wife and I own and occupy a private residence at 1152 SW Pelican Crescent in Palm City, over the last 11 years we have been constantly upgrading our home to enjoy long after we retire. Our estimated \$2MM waterfront property joins the southern property line of Meridian Marina and while we applaud the renovation of the marina property we do not support the addition of a restaurant. The proposed addition would reside approximately 50 feet from our master bedroom window severely impacting our quality of life and our property value. Our neighborhood is quiet and peaceful which is why we chose to move here over a decade ago. A restaurant would change all of this. Increased crime, drunk driving plus the crowd noise and clanking dishes well into the night, long past the current 5pm close. Please do not irreversibly change our much loved little community.



**From:** [joseph.cox](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina expansion  
**Date:** Monday, August 8, 2022 11:32:14 AM

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First of all let me say Thank You for the opportunity to send you this email and voice my support for the Meridian Marina expansion projects and to say the least I couldn't be any more excited to see the projects Meridian Marina is looking to move forward with. In regards to the boat storage expansion I see no reason for concern as Meridian Marina has plenty of extra space/land to provide parking for its customers and will not affect traffic or surrounding homeowners by parking on the side of the road, right of way, etc.. Also along with that project comes new concrete parking, driveways, boat storage pads, dredging, seawalls, landscaping and a more organized and beautiful look to the property and to bring the property as far as a boat storage facility up to its full potential for Palm City residents/boaters. In regards to the Marina sales and waterfront restaurant I think a majority of Palm City residents and boaters have been dying to have a waterfront place to eat, relax and enjoy the St. Lucie river waterfront without having to cross the bridge and go to Stuart in order to achieve this atmosphere and with Palm City being a small, quiet, family oriented community I don't see any reason this restaurant and Meridian Marina won't serve us as a community with those same values in mind. Austin, Rick and Jenny have been working since day one of the purchase of this place in order to move it forward and make it a great family oriented place for the boaters of Palm City. The respect that I have for those 3 and their staff is what has led me to writing this email and allowing them to unlock it's full potential in my mind would make it exactly what Palm City needs. I can't think of any better group of folks that I would want to move this project forward and provide me, my wife and kids with a family oriented waterfront experience right here in Palm City. Thanks so much for hearing me out and have a great day.

**From:** [Bryan Gardner](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Project - Letter of Support  
**Date:** Monday, August 8, 2022 10:20:16 AM  
**Attachments:** [Meridian Marina \(Gardner\) letter of Support.pdf](#)

---



Good morning Commissioners,

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Please see attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

Bryan & Lori Gardner  
1550 SW prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Rd  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

To Whom it may concern;

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Sincerely,

A handwritten signature in dark ink, appearing to be 'B/K' followed by a long, sweeping horizontal line.

Bryan K. Gardner  
1550 SW Prosperity Way  
Palm City, FL 34990

**From:** [poul christiansen](#)  
**To:** [Comish](#)  
**Cc:** [Jennifer Jacobs](#); [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [Don Donaldson](#)  
**Subject:** Meridian Marina improvements  
**Date:** Monday, August 8, 2022 12:53:30 PM

---



To whom it may concern:

I am contacting the Martin County Commission to express my support for the improvements to Meridian Marina. I have lived in Palm City since 1997 and have been a boat owner in the Treasure Coast since I moved to Florida in 1989. I have kept my boat at Meridian Marina for several years and welcome the improvements to the marina, including the addition of a restaurant. The new owners are making millions of dollars of improvements which improve the tax basis for Martin County and provide additional employment for Martin County residents. The new owners have a proven track record of operating top notch marinas throughout the country. I am certain that they will not only improve the marina but will make it a "destination" which the residents and visitors to Martin County will enjoy and be proud of for years to come. Please approve this important project!

Sincerely,  
Poul Christiansen  
6107 SW Moore St.  
Palm City, FL 34990

**From:** [Fish Heads Of Stuart](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 10:23:12 AM

---

This Email Sent From External Sender

Wanted to voice our full support for the Meridian Marina project M035-210.

My wife and I own a small business in Stuart involved in the fishing and marine industry. We are excited to have learned about a Palm City waterfront restaurant, and even more excited to have one so close to our house.

We live on Pelican Cres and the Meridian Marina property is literally within a hundred yards or so of our house.

Meridian Marina has done an exceptional job with rejuvenating this property and have been great neighbors. We are looking forward to the continued improvements they will be implementing.

As residents of Palm City for ten plus years, the prospect of waterfront dining and additional boat storage is exciting and exactly what this community needs and wants.

Best regards  
Brent & Heather Kane

Residence  
1192 SW Pelican Cres  
Palm City, FL 34990  
772-341-7323

Store  
Fish Heads of Stuart  
3585 SE Saint Lucie Blvd  
Stuart, FL 34997  
772-220-6008

Sent from my iPhone

**From:** [Ann Vance](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 1:41:17 PM

---

This Email Sent From External Sender

Unable to attend the meeting, I am writing in support of the Meridian Marina's efforts to expand. As new owners, they have made many true and necessary improvements over the last year which were way overdue . This is rewarding to long-time boaters of Martin County! I strongly support their interest in building a restaurant and improving the dock layout to accommodate customers. With the upcoming timing problems of the train bridge, I'm sure this family oriented restaurant will be well received by locals and it will surely be successful as the only one in Palm City! PLEASE PERMIT!

Sincerely,  
Ann Vance

Sent from my iPad

**From:** [Dianne Broderick](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 3:16:47 PM

---



Good day commissioners. I am writing in full support of the the Marina's request for a restaurant and additional boat storage. Palm City has shown much improvement recently but is still in need of more development. A waterfront restaurant is the best thing that could happen to Palm City at this point in time.

**From:** [Laura Garcia-Bartenfelder](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:03:42 AM  
**Attachments:** [image001.png](#)

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Good Morning

I am writing this email to show support for the Meridian Marina's project to have more boat storage and also a waterfront restaurant. I am a resident of Palm City and also in the yachting business. We are in desperate need of more boat storage as more and more residents are purchasing boats without a place to keep them safely. I also am so excited about a waterfront restaurant in Palm City – it will only be beneficial to our community.

Regards

Laura Garcia



Agency & Shore Support



Laura Garcia-Bartenfelder

Partner

United Island & Yacht

1091 SE 17<sup>th</sup> St Causeway

Fort Lauderdale

Florida 33316

Florida – Bahamas

[www.unitedislandandyacht.com](http://www.unitedislandandyacht.com)

[laura@unitedislandandyacht.com](mailto:laura@unitedislandandyacht.com)

352-208-4640





**From:** [jeanne@jvdestimating.com](mailto:jeanne@jvdestimating.com)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 10:50:28 AM

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I support both the Meridian Marina restaurant project and the additional boat storage. My husband and I live in Lighthouse Point and would welcome a new waterfront restaurant on our side of the river. I believe the location is perfect for this type of venue and would enhance nearby property values as well.

Please vote in favor of this project.

Sincerely,  
Jeanne Ertle  
1459 SW Dyer Point Rd, Palm City  
407-432-3681

**From:** [Mitch Maddren](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:06:59 PM

---

This Email Sent From External Sender

Dearest Commissioners,

We are in full support of the requested expansion at Meridian Marina in Palm city. It will be so nice to have additional restaurants especially waterfront. There is already a shortage of inside storage for vessels in our class. What the new owners have done to date, i.e. improvements is unprecedented. And they have just begun.

Anne & Mitch Maddren  
jettyhopper3057@gmail.com  
Palm City, FL

**From:** [Tyler Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:34:36 PM

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Good Afternoon,

I am writing in reference to the Meridian Marina site plan. I am a resident of Palm City and want to voice how much we need the improvements planned at this space. My Family continues to drive out of Palm City to frequent restaurants on the water. How great would it be if we could keep the money being spent by the residents of Palm City in Palm City Businesses. Each marina and storage facility is on a waiting list to get new boats stored, we are desperate for more storage. Please let me know how my family and I can further support this matter to assist the community.

Tyler Lieberman

**From:** [Shane Hunt](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 6:18:08 PM

---



To whom it may concern,

It has come to my attention that there is some opposition building to the “ Improvements “ and the expansion of “ Meridian Marina “. First I would like to say that if there was to be any opposition then it should have came when all these new sub-divisions that were approved . However, they were approved. Now that were adding so many single family homes ( and let’s not forget all the apartments ) what will these people do for entertainment ( How will you keep them here ? ) Where will they go out to eat, store there boats . etc. This storage is needed for continued success of the marine industry in our town . I would also like to mention how costly storage has become ( pricing buyers out of the market ) and competition will also drive the storage prices back down to be affordable . Possibly consider this , maybe the opposition to this is the competitors ?

This is not to say that I do not want this project to go through the approval process however make no mistake it is needed . In case your wondering , I travel Mapp road every day , and the excuse about the traffic ? Well most boaters are Fri-Sunday, when there is no school traffic, or people heading to the office .

One last note , I have lived in PC for going on 15 years , this marina has always been in disrepair. The public should love the fact that it will be cleaned up and will eventually offer another dining experience. I could list many more reason for this improvement , I have touched on the important ones ( economics, dinning, and competition ) for now I will leave it at that .

Respectfully;

*SHANE HUNT*

**From:** [Denny Dennis](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Tuesday, August 2, 2022 12:05:27 PM

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Dear Commissioners,

This property was built, approved, and developed to be visually pleasing to the landscape of our beautiful town of Palm City. It appears our out-of-state developer wishes to violate the covenants that approved this building from day one with an industrial exposed outside rack system, which is in direct violation of the architecture mandated on this property to be contiguous throughout the building. See Section 4.872 of our comp plan. This is a 100,000-square-foot+ pill box with a proposed industrial, commercial framework exposed for all to see. Approving this will forever change the visual landscape of our beautiful community. This was never intended from the beginning and should not be approved for the future. The original intention was a kinder, gentler look with appealing architecture, not an industrial, commercial framework that you do not see anywhere within this area of Palm City. Let me ask the question, how are they getting away with all of this?

The proposed restaurant was never an intended use, and you change the consequences forever by changing an intended use. The noise and the traffic were never contemplated for this property and should not be allowed. One can only surmise the consequences of quiet evenings once the marina operations stop in the early evening that we currently enjoy. A restaurant would continue its business, disrupting our neighborhood and enjoying our quiet evenings overlooking the river. It was never intended for this and should not be allowed. One only has to leave your window open in the evening or sit on your balcony to have the cause and effect of a Sailors Return type venue which can be heard all over the neighborhood. While nothing can be done about the City of Stuart and their poor planning with this type of venue, this is Palm City in Martin County. This residential neighborhood should have quiet enjoyment instead of the consequences of a use change. This area is all residential, except for the marina. We moved here for the parks, the water, and the peace and quiet. I didn't mind the marina, it was here, but there was never a restaurant approved for that building. Never.

You may have seen the ORCA pollution maps published in TCPalm, the area around the marina stood out on those maps. Our river is a way of life; it rises and falls every day. When companies pollute our river, they rob us of the very lifestyle we live here to enjoy. Allowing these companies to pollute our waters, whether intended or not, is their responsibility, not ours. The spillage from a basin owned by this company contaminates our tributary and should not be allowed to continue. We that live here are stakeholders; they are not. So once again, the consequences of their actions destroy the very fabric of our community. Make them clean up their mess and make them responsible for it in the future.

Don't approve these outdoor racks when other viable options adhere to our community and comp plan. Over the years, I've seen many proposed expansions for up to 600 indoor racks; not one plan has ever proposed outside industrial storage racks that do not meet the facade requirements. Not one. Indoor racks can be achieved; it just costs money. This developer wants to achieve a high number of

racks as cheap as possible at the cost of the character and charm of our community while he takes his profits back to Texas. Marina operators come and go, but we will be stuck with these hideous outdoor racks forever. Why should our community have to pay this price just because this developer does not want to spend the money to build this out properly? If he can't afford to do so, then simply don't do it.

Denny

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**From:** [Mac Cadaret Jr](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-219  
**Date:** Monday, August 8, 2022 11:14:05 AM

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To Whom It May Concern:

I am writing to impart my full support of the Meridian Marina capital improvements. As a longtime member of the marina and an avid fisherman/boater I feel this project would only enhance the surrounding areas. The improvements would allow and encourage my family to be more active at the marina and surrounding businesses. A family-based waterfront restaurant can only lead to more like-minded people. If the improvements the marina has made show us anything it is the marina is on solid footing and heading on a path of family-based service.

Please consider my points when making the final decision. I will make myself available to discuss via email or in person if that would be needed. Stay well and thank you for your community service and consideration.

Get [Outlook for iOS](#)

**From:** [Mac Cadaret Jr](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-219  
**Date:** Monday, August 8, 2022 11:14:05 AM

---



To Whom It May Concern:

I am writing to impart my full support of the Meridian Marina capital improvements. As a longtime member of the marina and an avid fisherman/boater I feel this project would only enhance the surrounding areas. The improvements would allow and encourage my family to be more active at the marina and surrounding businesses. A family-based waterfront restaurant can only lead to more like-minded people. If the improvements the marina has made show us anything it is the marina is on solid footing and heading on a path of family-based service.

Please consider my points when making the final decision. I will make myself available to discuss via email or in person if that would be needed. Stay well and thank you for your community service and consideration.

Get [Outlook for iOS](#)



**From:** [Donnie Brown](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina MO35-210  
**Date:** Monday, August 8, 2022 7:17:07 PM

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I am a twenty year resident of Palm City and would like to show my support for the Meridian Marina. Palm City needs more boat storage facilities like Meridian. They have done an excellent job repairing and turning the marina into an excellent facility for boat owners. I also support their future plans for the renovation of the restaurant. Palm City needs more family, friendly restaurants and I look forward to supporting my local community.

Regards,  
Donald Brown

**From:** [Robin Cartwright](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project M035-210 - 79th amendment  
**Date:** Wednesday, August 3, 2022 2:28:49 PM

---



Good afternoon, Commissioners -

On Tuesday you are supposed to hear a request to approve the 79th amendment for the Meridian Marina project. The report from staff is recommending you approve this request. Here are my questions I've asked of the applicant. If they have been asked or addressed, the responses are not able to be found in the provided information in advance of Tuesday's meeting.

1. You have a variance request for parking. Required is 214 spaces. You are proposing 151. Why so few?
2. You are increasing the approved number of boats to 540 total. How do you remedy this with the amount of parking spaces especially if you plan on having a restaurant?
3. Why does a Marina need a 3-story 6,000 sq foot restaurant with rooftop event space? If that's the case, then you DEFINITELY don't have sufficient parking.
4. You have a request for four (4) accessory dwelling units. Why? How big will they be? Are you renting them out? Do you have a hotelier license if you are?
5. You have one building that is presumably grandfathered in for 260 boats. Your site plan has a proposal for another building for 140 boats. And then you are proposing external boat racks for 140 more boats.

Regarding the external boat racks for up to 140 boats, the weights listed do not make sense. You have 45k (pounds I presume?) boats at the ground level, 30k / 20k boats on the first level, 15k / 12k boats on the second level, and 10k boats on the top level. Are those weights per rack, structure, or boat?

6. Your schematic provided shows only three levels. Are you suggesting that the top level of the new outdoor racks will have boats on top?

If so, the new outdoor boat rack structure is drawn at 40 feet. But you will add boats on top that will more than likely be center console with t-tops. Therefore, it can be assumed what people see when they drive by will be closer to 50' if not more. Even if your policy was to not include boats with t-tops, the profile would still be in excess of 40'.

7. The outside boat rack is drafted at 42.47' deep. In the drawing it appears to be right up against the existing dry storage building. How will boats be loaded on to the external boat racks? Do you have to drive through the parking lot past marina members' cars to maneuver a boat on a forklift to load it on to the rack?

According BoatRacks.com, "With the current trend in boat sizes and forklift sizes, most aisles are at least 60' clear."

But wait... The space identified for parking on that side is 59.97 feet.

Not sure how this mathematically works with cars in the parking lot.

If you keep the outdoor racks, then you have to have less parking, which requires an even greater variance.

8. Lastly, the comp plan states that you cannot have a wall plane in excess of 100' nor constitute more than 60% of the building's total length. Your buildings independently and certainly together are in excess of that. And you need four facade elevations. Can you please explain the "commercial design alternative" being recommended?

**From:** [Russell Accardi](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project  
**Date:** Monday, August 8, 2022 1:32:25 PM

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This Email Sent From External Sender

For whom it may concern,

As a resident of Palm City I want to express my full support of the Meridian Marina renovations to the now delapidated restaurant on the water. I think to build a new family friendly restaurant that people living in the area can go to both by land but especially by boat would be an excellent addition to the area. There are currently few places that can be accessed by boat on the water and would be a great enhancement to the area for both full time residents, as well as visitors to this area.

There is also currently a shortage of boat indoor boat storage in this area. This is important especially due to hurricane season.

I hope you will consider moving forward with this proposed project.

Russell Accardi

**From:** [Meghan M](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant  
**Date:** Sunday, August 7, 2022 11:41:12 AM

---

This Email Sent From External Sender

Dear Commissioner,

I'd like to voice my support of the proposed new restaurant planning on going in at Meridian Marina. I am a resident of Palm City and have been excited ever since I heard we were finally getting a waterfront restaurant. Not only a waterfront restaurant but one that we can boat to as well. I am disappointed to hear that there is someone trying to oppose something that will truly be enjoyed and appreciated by most of the Palm City residents.

Sincerely,  
Meghan Marinho  
Palm City Resident

Sent from my iPhone

**From:** [Robert Peterson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina restaurant  
**Date:** Monday, August 8, 2022 11:49:11 AM

---

This Email Sent From External Sender

To whom it may concern,

I have been a resident of Palm City for over 40 years. And the thought of a new family, Waterfront, restaurant brings a sense of hope for the community. It would truly be one of a kind and offer countless opportunities to the community. Youth employment, added revenue, attraction of surrounding residents, and all within a short walk or bike ride of a majority of Palm City. I have personally witnessed the Improvements that the Austin's have brought to the community, through their efforts to bring the Meridian Marina back from a sad state of disrepair. I see nothing but great things from the welcome addition of the restaurant and the continuing improvement of the Meridian Marina.

Thank you for your consideration,  
Robert W. Peterson Jr.

Sent from my iPhone

**From:** [dndlott](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant Proposal  
**Date:** Monday, August 8, 2022 11:45:20 AM

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This Email Sent From External Sender

Dear Commissioners of Martin County,

We would like to voice our opinion on the proposed restaurant at the Marina. We are residents at the Admiralty Condos directly adjacent to it. Upon their purchase of the property out of bankruptcy, they began to do numerous repairs that the previous owner neglected. There was significant damage to the sides and roof of the storage barn, whole sheets of siding missing due to previous hurricane damage. We actually had our boat stored there for a couple of years before they purchased it. When we had them launch the boat, we found rusty flakes of metal on the floor of the boat coming from the barn's roof because we were on the top rack. More importantly, there was environmental issues that were never addressed with the previous owner. The "Cameron's" have done a wonderful job with repairing the storage barn and cleaning up the environmental mess. The property looks much better than I have ever seen it. The restaurant will be a magnificent addition to the property on the point. This will give the Palm City residents and neighbors a much needed waterfront restaurant nearby.

In my position as the HOA president (Diane Lott), I have had multiple conversations with the new owners. When they bought the marina 2 years ago, they expressed a sincere interest in meeting their new Admiralty neighbors. So, I set up a meeting for them to introduce themselves to the residents where they brought mock ups of the design and their vision for the the marina. The restaurant was discussed at that time and there was and continues to be overwhelming support amongst 75% of our community for the restaurant. This is backed up by a poll that was taken last week. The Admiralty is a small community of 5 buildings, 49 units in total. The poll taken showed that the majority of the residents that responded would frequent and support the restaurant.

My husband and I hope that you will approve building the restaurant at the marina's "point" as this will enhance convenience of not having to drive into Stuart to enjoy waterfront dining.

Cordially,

Diane and David Lott  
Admiralty Condominiums  
Unit 401  
954-294-5060

**From:** [correct aol email](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 5:00:04 PM

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Good afternoon commissioners,

First of all, thank you for all that you do and for making this community the BEST!

I am an Ambassador for the Palm City Chamber of Commerce and LOVE Martin County. With that being said, I am in FULL SUPPORT of the Meridian Marina.

Thank you

**Nikki Leserra**  
**Sky Is The Limit**  
**Creative Director**

772-486-7372

[sskyisthelimit.com](http://sskyisthelimit.com)





**From:** [Mark Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:19:18 AM

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To the Martin County Commissioners:

I Am resident of Martin County for 23 years living in Palm city, a life long boater and a local contractor in Stuart. Once upon a time my boat was stored in Meridian for years untill it fell in total disrepair .....the building...launching equipment....unhappy employees...the works. Being as such this necessitated the moving of my boat to Riverwatch Marina five years ago.

Fast forward to a new owner purchasing the marina..upgrading the facilities with new roof...new building...new launch area...new launch equipment...and promise of a future restaurant and bar establishment...i moved by boat back to meridian marinaa year ago. Please vote yes for a fine dining establishment on the water....the residents of Martin county need it...they want it znd deserve it.

Thank you commissioners

Mark kirk

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone

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**From:** [Mayda Sotomayor-Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:21:14 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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To the board of commissioners:

I am a resident of Martin County for over 20 years and store my boat at Meridian Marina. I love the improvements that have been done to the marina, for several years the previous owners had really abandoned the upkeep of this property. I understand there is a plan in place to build out a waterfront restaurant, this will only enhance the value of our properties, provide jobs to the community and bring class to this area. I am completely in favor of having a waterfront dining restaurant.

Regards,

Mayda Sotomayor

Best regards,

**Mayda Sotomayor-Kirk**

Chief Executive Officer

T +1 772-569-2244 Ext 201

M +1 772-559-3000

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Vero Beach, Florida 32966

United States

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**From:** [Jocelyn Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 11:05:11 AM

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Meridian MArina has been a blessing in disguise with the boat slip shortage in Martin County. They have done a great job re-doing the barn, pilings, docks etc. The people they have employed are very service oriented and it is a beautiful, clean marina. The addition of the restaurant and bar would just add to it. It would be great to come back from a day on the water and be able to sit and get a bite to eat overlooking the river. Please allow them to move forward with their plans.

Thanks

**From:** [Karen Prisco](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:03:38 AM

---



My name is Stephen Prisco I have a second home at the Admiralty condominiums in beautiful Palm city Florida I am a boat owner and I would love the option to have another family friendly waterfront restaurant on this side of the railway bridge which has become a topic of conversation in Martin County the last couple of months due to the excessive amount that the bridge is down causing inconveniences quite often people missing flights because of the unusual length of time the bridges down so to have an option to pull up on our boat or even drive to a restaurant on the water in Palm city I feel as a resident would improve our neighborhood not to mention possibly increase our property value. I met Austin and Jenny shortly after they purchased the marina found them to be very very nice people as well as astute business people first thing I noticed was the American flag hanging off of Matt Road and the new water feature and was quite happy to see that as a pull down Chapman Way so as a businessman myself knowing what it costs just to get projects off the ground to have someone come out of nowhere who claims to be anonymous I think it's a real detriment to this project as well as other projects in the area respectfully Steven Prisco

[Sent from Yahoo Mail for iPhone](#)

**From:** [John O'Connell](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com)  
**Subject:** Planned Improvements & Expansion of Meridian Marina  
**Date:** Monday, August 8, 2022 8:34:37 PM  
**Attachments:** [Meridian Marian Letter of Support August 8 2022.docx](#)

---



Please see the attached letter of support for Meridian Marina.  
Thank you!

John J. O'Connell Jr.

Owner  
Ocean Blue Home Watch LLC.  
1630 SW Prosperity Way  
Palm City, FL. 34990  
(561) 379-6790  
[john@oceanbluehomewatch.com](mailto:john@oceanbluehomewatch.com)

John J & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

Martin County Board of County Commissioners  
2401 SE Monterey Rd  
Stuart, FL 34996

August 8, 2022

Re: Planned expansion of Meridian Marina

To Whom it may concern.

As longtime residents of Hamilton Place, located directly across the street from Meridian Marina, we are writing to express our support of Meridian Marina and the proposed improvements of their existing property as well as the construction of a new boat barn and a waterfront restaurant.

For years, we stored our boat at Meridian until the property began to deteriorate. Not only were we disappointed with the way the property was being managed, but we were also upset that the building had become a major eyesore for all North Mapp Road residents, especially those living in Hamilton Place.

Now that new owners have purchased the marina, we are excited to finally see these long-awaited improvements come to fruition. The addition of Palm City's only waterfront restaurant is also a major plus for residents who won't have to travel far to enjoy the benefits of waterfront dining.

With that said, please note that we are very much in favor of these changes and feel that it will impact our community in a very positive way.

Sincerely,

John J. & Patricia A. O'Connell  
1630 SW Prosperity Way  
Palm City, FL 34990

**From:** [David Miller](#)  
**To:** [Comish](#)  
**Subject:** Opposition to the Meridian Martina Restaurant/Bar  
**Date:** Monday, August 8, 2022 8:57:33 PM

---



Dear Commissioner,

We are writing to voice our strong opposition to the proposed construction of a restaurant/bar as part of the Meridian Marina (1400 SW Chapman Way).

We purchased our waterfront property in 2017. It is located less than 1000 feet from the proposed restaurant/bar site.

Boating and the consumption of alcoholic beverages is a well known safety concern and has cost the lives of many. The approval of this project will encourage alcohol consumption and driving (boats and vehicles). Justin Wilson Park is used by hundreds of children and adults for recreational activities, it is located within .5 miles of this proposed restaurant/bar. If this concern alone is not enough to stop this project, we will be disappointed.

Mapp Road is currently adding an additional 24 single family homes which will increase traffic significantly.

The proposed bar will directly

1. affect the late evening noise level to our home and community, compounded by a rooftop deck
2. increase boat traffic resulting in adverse effects to all seawalls and docks in the area. We have already seen significant increases in boat traffic.

My husband and I are full time voting residents of Martin county and have faith that this project will not move forward.

Thank You,  
David and Kasondra Miller  
1162 SW Pelican Crescent  
Palm City, FL

Sent from [Mail](#) for Windows

**From:** [John O'Connell](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com)  
**Subject:** Planned Improvements & Expansion of Meridian Marina  
**Date:** Monday, August 8, 2022 8:34:37 PM  
**Attachments:** [Meridian Marian Letter of Support August 8 2022.docx](#)

---



Please see the attached letter of support for Meridian Marina.  
Thank you!

John J. O'Connell Jr.

Owner  
Ocean Blue Home Watch LLC.  
1630 SW Prosperity Way  
Palm City, FL. 34990  
(561) 379-6790  
[john@oceanbluehomewatch.com](mailto:john@oceanbluehomewatch.com)



**From:** [Denny Dennis](#)  
**To:** [Jenny Cameron](#); [Comish](#)  
**Cc:** [Austin Cameron](#); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Re: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:32:07 PM

---



Mrs. Cameron,

It is thoughtful of you to reach out to me. There is nothing to talk about other than I commend you for repairing and improving the property and wish you well in the expansion of your business if done properly; I only ask that you and the commission simply adhere to our comp plan and LDRs. Don't expand as cheaply as possible at the expense of the character of our neighborhood. Plus, it is very reckless to propose operating those huge forklifts in the customer parking area.

I have seen quite a few renditions of plans over the years; all had expanded racks inside a building, not outside. I realize it is far cheaper for you to have outside racks, but it is at the cost of the character of our neighborhood. It seems clear to me customers want indoor storage, not outdoor storage. One simply has to look across the river from us. Marine Max recently opened a wonderful new marina with slips with outdoor lifts. It remains empty with the exception of some of Marine Max's demo boats and very few others. There is no demand for outside storage.

While it was nice you reached out to me; I am deeply concerned that at least one commissioner must have immediately forwarded my email to you. My email was not available to the public until Wednesday morning, yet you responded to me within two hours of my sending it only to the commissioners on Tuesday. While it may not be illegal, I find it profoundly unethical and disappointing a commissioner would immediately send you my email to give you a warning of opposition to your project. Clearly, this commissioner is a guaranteed yes vote for you. You do not live here or vote here. The commissioners are supposed to work on the resident's behalf; sadly, at least one is not.

Furthermore, it has been reported that the very first permit you pulled on the property, you did so with deceit. By way of a notarized signed affidavit, you claimed repairs were less than \$50,000, paid a paltry permit fee, and then replaced the entire roof and side. At the same time, the county looked the other way without proper documentation and inspections. The repairs are in far excess of \$500,000.00, which is commonly known, yet you only paid a \$143 permit fee and said you were replacing metal panels as needed. Cheating, deception, and what appears to be bribing our county officials is not a good introduction to our community. You can do the right thing and design your addition without variances. Then I will wish you well.

We have a saying here, "the Martin County difference," and it is different here, and you are about to see how. What is the difference? We residents deeply care about our environment and the character of our community and those who live in it. It would be best if you cared too.

We will deal with this at the public hearing on Tuesday.

Denny

Get [Outlook for Android](#)

---

**From:** Jenny Cameron <[Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com)>  
**Sent:** Tuesday, August 2, 2022, 2:03 PM

**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

Hi Denny,

I'm Jenny Cameron. My husband and I are the owners of Meridian Marina in Palm City. We saw that you had some concerns about our project and we'd love the opportunity to talk with you to better understand your concerns and how we might be able to make them better. We believe our project will be great for the community and want all of our neighbors to be happy. Do you have some time to discuss further? Feel free to give either of us a call, or let us know a good time when you are available, and we can call you.

Thanks,

Austin Cameron (817) 291  
Jenny Cameron (512) 937

**From:** [crgrity@aol.com](mailto:crgrity@aol.com)  
**To:** [Comish](#)  
**Subject:** Restaurant at Meridian Marina  
**Date:** Monday, August 8, 2022 10:09:33 AM

---



Hello All:

My name is Charles Glover, I live in Palm City. I have been here 11 years. I grew up in Ft pierce and I love living here in Martin County.

I am super excited about getting a waterfront restaurant in Palm City. I think it would be a great way to spend an evening with my friends without having to worry about driving and parking downtown.

I urge you to approve the restaurant.

RE: Building Department corruption, M035-210 - Meridian Marina

Mr. Donaldson,

Your Building Department is corrupt from top to bottom. While researching a proposed development, Meridian Marina, in my neighborhood, I stumbled across this blatant corruption in your Building Department. Your Building Department is giving sweetheart deals to out-of-state developers at the expense of Martin County residents! How many other projects has Larry Massing and his department fraudulently approved? Are the buildings in our county built to code, or has Larry Massing allowed potential Surfside disasters down the road? Larry Massing did this for an out-of-state developer whose money goes back to Texas and does nothing for our community! Why?

What I found.

The applicant and his contractor knowingly filed a fraudulent building application permit, which Larry Massing approved, stating, "Metal Building Repairs, Replace panels on existing metal building as needed."

Because it was simple repairs, the building has not been inspected for fire safety, electrical, floodplain review, etc. The applicant was charged just a \$143.50 permit fee. The cheapest the Building Department could charge him. Mr. Donaldson, this repair the applicant did easily costs in excess of half a million dollars. This cheated Martin County residents out of income from permit fees we depend on. Why was this out-of-state developer given such an unfair enrichment that your own residents do not get? Or, maybe some do if the pay-to-play for Larry to wave his magic Larry wand?

Under this simple repair permit, the applicant replaced the entire roof and one entire side that is 500' long. This abuse is so flagrant the applicant proudly posted his massive building renovations on his Meridian Marina Facebook page(see attached photos).

On May. 18, 2021, at 3:07 p.m. Juan Hernandez inspected the property and marked it FAIL. Juan noted *"All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (**about 75% of building envelope**) / No drawings available / Need inspection letter from engineer for all replaced panels."*

Just 25 minutes later, Andrew S Bruhn marked the project as PASS.

Mr. Donaldson, 75% of this building envelope was renovated, Mr. Hernandez noted it, yet the Building Department did not inspect the fire system, the barn, nothing. They blindly stamped approval. Mr. Hernandez asked for the drawing and inspection letter from an engineer. Where are they? Is this building code compliant, or am I living next door to a time bomb waiting to go off?

I have sent this to investigative reporters as well. I am concerned about how deep this corruption goes in your office.

Whistleblower

CC: BOCC

Record BLD2021031141:

Commercial Miscellaneous

Record Status: Closed-Certificate Issued

Record Info

Payments

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters. If your file name is long, shorten it before uploading. Avoid special characters in file name such as: !@#\$%&'. If you have files from a Department using a Thumb Drive or Disk and do not attempt to upload them here.

To streamline the review process, it is requested that you separate Site Plans and Surveys in separate documents that identifies the content of that document.

If you upload a file with the same name as an existing document it will **OVERWRITE** it. Please rename the file (e.g. site\_plan\_v2.pdf)

Work Location

1400 SW CHAPMAN WAY  
PALM CITY FL 34990-2400

Record Details

Applicant:

Michael Barson  
Gravitystorm, LLC

Licensed Professional:

MICHAEL LEE BARSON OFFICE@LOSTFAB.COM  
MODULAR MEDICAL SYSTEMS INC  
3811 CROSSROADS PKWY  
BARSON, MICHAEL LEE  
FORT PIERCE, FL, 34945  
Home Phone:7724484104  
STATE CERT - GENERAL CONTRACTOR CGC1511137

Project Description:

Metal Building Repairs  
Replace panels on existing metal building as needed

Owner:

MERIDIAN MARINA & YACHT CLUB OF PALM CITY LLC  
MARTIN DOWNS MARINA VILLAGE ASSOCIATION, INC  
PO BOX 1713  
PALM CITY FL 34991

More Details

Additional Information

Job Value(\$):  
\$50,000.00

Commercial Miscellaneous  
Record Status: Closed-Certificate Issued

Record Info

Payments

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters before uploading. Avoid special characters in file name such as: !@#\$%. Department using a Thumb Drive or Disk and do not attempt to upload them.

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If you upload a file with the same name as an existing document it will OVERWRITE (e.g. site\_plan\_v2.pdf)

## Processing Status

### Application

Task assigned to TBD  
Marked as **Complete** on 03/23/2021 by CC

### Plans Distribution

### Building Review

Task assigned to TBD  
Marked as **Approved** on 03/23/2021 by Larry Massing

Fire Review  
Electrical Review  
Utilities Review  
Plumbing Review  
Floodplain Administration Review  
Site Grading Review  
Driveways Review  
Shoreline Hardening Review  
Historical Review  
Environmental Review  
Commercial Design Review  
Zoning Review  
Addressing Review  
Site Review  
CRA Review  
Coastal Review  
Building Official Review  
Mechanical Review  
Open Road Review  
Land Clearing Review

### Review Consolidation

Task assigned to TBD  
Marked as **Approved** on 03/23/2021 by CC

### Permit Ready

Task assigned to TBD  
Marked as **Payment Required** on 03/23/2021 by CC

### Payment

### Permit Issuance

Task assigned to TBD  
Marked as **Issued** on 03/23/2021 by Sharyl McCreary

### Inspections

Task assigned to TBD  
Marked as **Completed** on 05/19/2021 by Tamara Sutlic

### Certificate Issuance

Task assigned to TBD  
Marked as **Certificate Issued** on 05/19/2021 by Tamara Sutlic

**COMM-FINAL STRUCTURAL (31401130, Optional)**

1400 SW CHAPMAN WAY  
PALM CITY FL 34990-2400

[Print](#)
**Status**

**Pass**  
**5/18/2021 3:06 PM**  
Desired Date: TBD

*Last updated*  
Andrew S Bruhn  
5/18/2021 3:32 PM

**Details**

**Record**  
BLD2021031141  
Commercial Miscellaneous

**Status History**

Showing 1-5 of 5

Status	Status Date/Time	Inspector	Update Time	Updated By	Result Comments
Pass	5/18/2021 3:06 PM	Andrew S Bruhn	5/18/2021 3:32 PM	Andrew S Bruhn	All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (about 75% of building envelope) / No drawings available / Need inspection letter from engineer for all replaced panels.
Fail	5/18/2021 3:06 PM	Juan Hernandez	5/18/2021 3:07 PM	Juan Hernandez	All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (about 75% of building envelope) / No drawings available / Need inspection letter from engineer for all replaced panels.
Scheduled	5/18/2021 8:00 AM	Juan Hernandez	5/18/2021 6:32 AM	Andrew S Bruhn	
Scheduled	5/18/2021 8:00 AM	Bo Chambers	5/17/2021 8:20 AM	Mallori Dodd	
Pending	TBD	Bo Chambers	5/17/2021 8:20 AM	Mallori Dodd	

**Related Inspections**

Showing 0-0 of 0



# Martin County Florida

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Reports (4) ▾



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## Record BLD2021031141: Commercial Miscellaneous Record Status: Closed-Certificate Issued

Record Info ▾

Payments ▾

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To streamline the review process, it is requested that you separate Site Plans and Surveys in separate files from all other documents. Documents should be named in a way that identifies the content of that document.

If you upload a file with the same name as an existing document it will **OVERWRITE** it. Please rename any revisions with something to identify it as a revision (ie site\_plan\_v2.pdf)

## Fees

### ***Paid:***

Date	Invoice Number	Amount	
<a href="#">03/23/2021</a>	2128733	\$2.00	<a href="#">View Details</a>
<a href="#">03/23/2021</a>	2128733	\$2.00	<a href="#">View Details</a>
<a href="#">03/23/2021</a>			



	2128733	\$50.00	<a href="#">View Details</a>
<u>03/17/2021</u>	2127994	\$89.50	<a href="#">View Details</a>
<b>Total paid fees: \$143.50</b>			

## Martin County Florida

Your County. Your Community.

2401 SE Monterey Road, Stuart, FL 34996

Phone (772) 288-5400

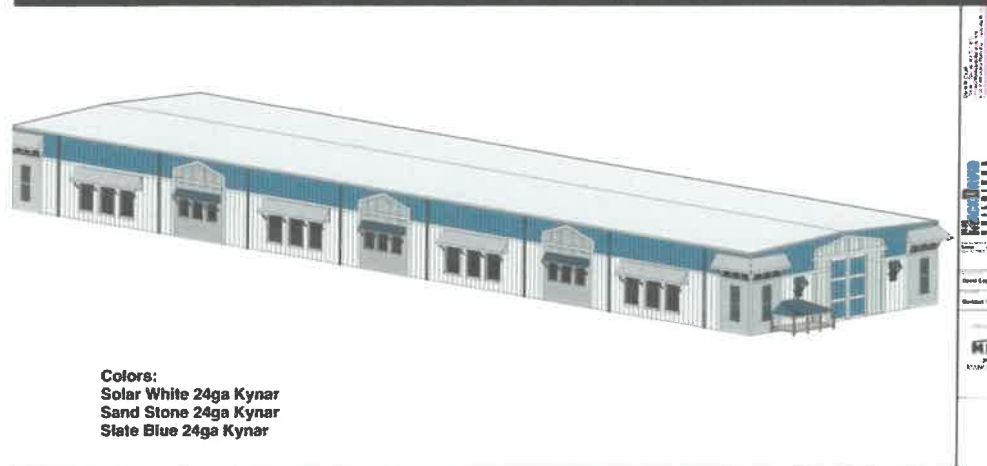
BEFORE



Meridian Marina  
March 23, 2021 · 🌐  
Design of the new barn!



Like Comment



**This is what the applicant promised. Clearly a project well over \$50,000. What Larry Massey approved, looks nothing like this. Where are the plans and engineering for this in the Building Dept.?**



Meridian Marine  
May 16, 2021 · 🌐  
New siding is almost complete!

👍 1

👍 Like

💬 Comment

➦ Share



Meridian Marine  
March 23, 2021 · 🌐  
Replacing the roof on the storage barn.

👍 2

👍 Like

💬 Comment

➦ Share



# WHERE'S THE ARCHITECTURE?



Meridian Marina  
May 16, 2021 · 🌐

The new roof and new beams are complete. No more rusty roof!

👍 1

👍 Like    💬 Comment    ➦ Share



📍 Meridian Marina  
March 23, 2021 · 🌐

Rick inspecting Phase 1 of the barn construction.

👍 1

👍 Like    💬 Comment    ➦ Share

**From:** [Cindy Belden](#)  
**To:** [Comish](#)  
**Subject:** Subject: Support for Meridian Expansion & Restaurant  
**Date:** Saturday, August 6, 2022 9:03:25 PM

---



Hello Cornish...

I hope this finds you well...

My Husband and I are residents at the Admiralty in Palm City. I am a Realtor here in Stuart at Coldwell Banker and we have lived here for 24 years in Palm City and at the Admiralty for 18 years. We have watched the Marina thru 3 different owners and Not One has improved the property with the Desire and Community that Austin and Jenny Cameron have already displayed. We support what they have proposed at the Meridian Marina site and Welcome their plans as a Family Friendly Marina and Restaurant along with the Boat Racks to enhance and Beautify Chapman Way and Our Palm City Community. We hope you do too.

Sincerely ... Cindy Belden

Cindy Lauren Belden  
"Because Every Home... Deserves Luxurious Service!"  
Coldwell Banker Realty  
Coldwell Banker Global Luxury  
2369 SE Federal Highway - Stuart, FL. 34994  
Direct: 772-485-2000  
Fax: 772-287-3000

**From:** [Michael Morash](#)  
**To:** [Comish](#)  
**Subject:** Support for Meridian Marina  
**Date:** Sunday, August 7, 2022 7:26:59 PM

---

This Email Sent From External Sender

Good evening.

I would like to express to the commissioners my support for the project Meridian Marina M035-210. I have been a customer for the past 3 years with this marina and I believe a project like this is extremely beneficial for the not only the customers but also for the residents in Martin County. Over the years I have seen how this marina has brought families closer together at the marina and also on the water. With this expansion I truly believe that families will be able to enjoy the benefits of a place to eat, relax and enjoy and become closer as a community. My daughters who is a Palm City resident and the people in her community are excited that there will be a place on the water that they can enjoy without traveling far.

Thank you for your time in the consideration for this expansion.

Michael C Morash.

772-359-0230

Sent from my iPhone

**From:** [sarah.pearson](#)  
**To:** [Comish](#)  
**Subject:** Support Meridian Marina  
**Date:** Monday, August 8, 2022 8:15:08 AM

---



This marina has been hands down the best place to have come in contact with. The new owners of this Meridian Marina owns other very successful marinas in other states so they know how to operate and manage a business with no questions asked. With that being said expanding docks/repairing the existing ones opening up a nice restaurant would be beneficial to the community in more ways then one. I would see this project being a very successful and rewarding for families to make great memories. Keep Martin county looking beautiful these owner only wants what is best for the people in the community and boater that come from all over the world. Thank you. Sarah-- --

Sarah Pearson



**From:** [Donald F. White](#)  
**To:** [Comish](#)  
**Cc:** [Grace White](#); [Sydney White](#); [Reagan White](#); [Julianna Reilly](#); [Michael L Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Monday, August 8, 2022 10:58:31 AM

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It has come to our attention that discussion and a possible vote on the Meridian Marina project is about to occur. We collectively want the commission to know our family fully supports the project as presented by our new neighbors, Austin and Jenny Cameron.

Our home is located at 1030 SW Chapman Way, one of four private homes just down the street from the marina. Indeed, we pass the marina multiple times daily to and from our home. We have spent several hours with the Camerons discussing their vision for this property and as residents on Chapman Way we are excited about their vision and the proposed project. Grace and Don have lived virtually our entire adult lives in Martin, built a business here, and are nearly 40 year residents. Sydney and Reagan have lived their entire lives here, are 2022 graduates of Martin County High, and incoming freshmen at UNF in Jacksonville. Grace and Don were excited, when in 1988, as Martin Downs residents, the marina was first built as a part of Peter and Julie Cummings vision for Martin Downs and Palm City in particular. We became one of the first customers of Martin Downs Marina when we moved our 26' Mako from a trailer in outside storage to the "in-and-out" facility on Chapman Way, then one of the finest in the area.

In 1993, we decided to purchase property on the river and bought a home in North River Shores. We moved our boat from the marina to our home and lost track of Martin Downs Marina. However, in 2012, we sold our house on Cocoanut Point and moved back to Palm City (coincidentally on the same street as the Marina). Frankly, we were shocked by the marina's state of disrepair and seriously considered not purchasing our home on Chapman Way because of it. The building was a mess. The property was overgrown. The pond on Mapp Road had become a weed infected mosquito breeding ground. However, we were assured by our realtor the property was under contract and the new owners were going to renovate the property and bring it back to its former glory. The realtor was truthful about the pending sale. What he did not know was the new owners would just make things worse. The building was not improved or repaired, the pond got even more infested, the lift equipment on at least a couple of occasions was in such bad shape, lifts actually fell into the water. The new owners did not help matters. Indeed, they made it worse.

Then, about a year and half ago, we discovered the property had been purchased by Austin and Jenny Cameron when our dog accidentally got out of our yard and ended up at the marina. We met the new manager and we learned about the Camerons and the plans they had for the only marina in Palm City. Nevertheless, we were skeptical. We had heard about the former owners' "big plans" in the past and nothing ever happened. But soon the roof was resurfaced, the pond was cleaned out, and the grass was being cut every week. The old lifts that looked as unsafe as anything on the property were replaced. Finally, a sign went up about a public hearing on changing the property and we were intrigued. We mentioned it to our neighbors, Mike and Julianna Reilly, who told us they had met the Camerons. He said they were impressed by their vision, and we should meet them as well. We did and we were happy we did. Austin and Jenny Cameron are the real deal. They want Meridian Marina to become the best it can be. They are talking about making an unprecedented multi-million dollar investment in Martin County and Palm City's future that should make us all proud. Their idea of a restaurant on the river run by a top drawer restaurateur is exceptional--there is nothing even remotely like it in Palm City. The expansion, landscape, and parking plan is well thought out and will turn the property into an exceptional marina.

We believe the commission should approve the project request in its entirety. It is good for our neighborhood, for Palm City, and all of Martin County. We are proud to call Austin and Jenny Cameron our neighbors.

Sincerely,

Donald, Grace, Sydney, and Reagan White  
1030 SW Chapman Way

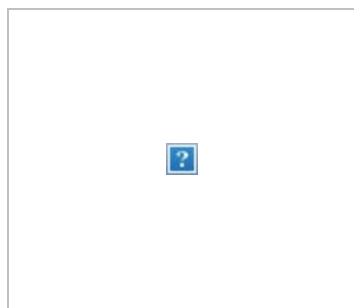
Palm City FL 34990



***Donald White, AEP, CLU, ChFC***  
***Author & Speaker***

---

***P 772.285.0908 W donaldfwhite.com E donaldfwhite@gmail.com***



**From:** [Melissa Smith](#)  
**To:** [Comish](#)  
**Subject:** Waterfront Restaurant  
**Date:** Monday, August 8, 2022 2:55:16 PM

---

This Email Sent From External Sender

To whomever it may concern - As a resident of the Palm City area, as well as a user of the Meridian Marina for my boat, I have been nothing but impressed with the quality of hospitality this Marina has provided. A family friendly restaurant would be a fantastic asset to this Marina and a space for the community to continue to flourish in what has been a wild time for the world.

I look forward to being a part of this journey and hope to see success during these next steps in getting there.

**From:** [Michael Kavanagh](#)  
**To:** [Comish](#)  
**Subject:** We Support Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:32:58 AM

---

This Email Sent From External Sender

This email expresses our support for the planned improvements to the Meridian Marina in Palm City and the addition of a restaurant to the property. We have been residents of Stuart for over 20 years. We were originally attracted to the area by its natural beauty and the abundance of water and water based activities. We have been boaters nearly our entire lives and the boat lifestyle in our community is amazing. During the pandemic we decided to buy a larger boat to expand our boating opportunities. Purchasing the boat ended up being the easy part. We were stunned to learn that in the Stuart/Jensen Beach/Palm City area there were virtually no slips available for our boat (33'). That is when we learned that Austin and Jenny Cameron had purchased the Meridian Marina.

We had heard that the Meridian Marina did not have a great reputation so I asked for an opportunity to meet the new owner. Austin met the same day with my wife and I and spent over an hour with us walking us through their vision for the property. We became customers and to this day the Camerons have done everything they said they would do. They have refurbished a run down eyesore into one of the nicer storage facilities in the area. They invested heavily in the infrastructure surrounding the building. They cleaned up the overgrown pond/water feature and made into an asset for the neighborhood. The remaining improvements- new docks, replacing the dilapidated seawall, adding additional storage and a new restaurant- were all part of the vision that Austin described. We are confident that the Camerons will complete the balance of the plan with the same professionalism, quality and sensitivity for the neighborhood that has been evident since the day that they took over the facility.

Martin County needs this facility. In a county where boating opportunities are nearly unmatched, the dearth of storage capabilities is stunning. We know of many of our Stuart neighbors that store their boats in Jupiter or Ft. Pierce because there is nowhere available in Stuart. A new waterfront restaurant in the area would also be a tremendous asset to Martin County and Palm City (which to my knowledge currently has zero). And unlike most waterfront restaurants in the area, Meridian has ample parking on property. The community will be a better place with this project.

The Camerons have been absolutely true to their word on everything they've done. They are accessible (living on site for a large part of the year), honest and an asset to Martin County. We need to attract more people like the Camerons to the county, not push them away.

We encourage the commissioners to approve this project.

Sincerely,

Michael & Jacqueline Kavanagh  
579 NE Plantation Road, S210  
Stuart, FL 34996  
[m.j.kavanagh@comcast.net](mailto:m.j.kavanagh@comcast.net)

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Sarah Heard

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:** August 9, 2022

**PHQJ-2 REQUEST FOR A ZONING DISTRICT CHANGE BY 4585 NE OCEAN BLVD., LLC (F112-003)**

This is a request by 4585 NE Ocean Blvd., LLC (F112-003) for a proposed amendment to the county zoning atlas. The proposed amendment is to change the existing zoning district classification from HR-2A, Multiple-Family Dwelling District to RS-6, Medium Density Residential District or the most appropriate zoning district. The approximate 1.37-acre parcel of land is located at 4585 NE Ocean Boulevard on Hutchinson Island. Included with this application is a Request for a Certificate of Public Facilities Exemption.

Agenda Item: 22-1012

**Describe investigations, site visits and provide any expert opinions received:**

Meetings and emails below if applicable N/A

**List and attach any written communication received:**

N/A

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Sarah Heard

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:** August 9, 2022

**PHQJ-3 REQUEST BY FLORIDA POWER AND LIGHT COMPANY FOR MAJOR SITE PLAN APPROVAL FOR THE WHITE TAIL SOLAR ENERGY CENTER (F110-002)**

This is a request by Florida Power and Light Company (FPL) for major final site plan approval for the development of a solar energy center (solar farm) and the associated infrastructure on an approximate 601-acre site which is the north half of a larger 1261-acre tract previously utilized for agricultural production. The parcel is located on the north side of SW Citrus Boulevard approximately 5 1/2 miles west of SW 96th Street and 3 miles east of the Village of Indiantown.

Agenda Item: 22-1038

**Describe investigations, site visits and provide any expert opinions received:**

Meetings and emails below if applicable N/A

**List and attach any written communication received:**

See Attached

**From:** [Diane Evans Meier](#)  
**To:** [Sarah Heard](#)  
**Subject:** not in favor of PHQJ-3  
**Date:** Monday, August 8, 2022 3:39:30 PM  
**Attachments:** [1FL POWER TAMPA BAY TIMES.docx](#)

---



Hello Commissioner Heard,

I am not in favor of the approval of this PHQJ-3 site plan for the enclosed reasons.

Diane Meier  
a resident of Martin County

August 9, 2022

David and Goliath ( FPL-great Philistine warrior is challenging our county commission to approve a site plan)

There is a request (ITEM PHQJ-3) for a site plan approval for a solar energy “FARM”. My complaint is that this is a corporate development NOT an agricultural farm. Looking at Florida Power & Light website, the projection is to install 30 million solar panels in the state of FL by 2030...how many more thousands of acres of farmland would this take? Let’s make sure in Martin County they purchase commercial/industrial land use properties and NOT change the farmland zoning to accommodate big corporations with lots of money.

Taking productive farmland and turning acreage into a commercial enterprise should not be permitted by the county commission. Again without further underlying research, this would be opening the door to other developers to use “spinning” /semantics (an energy “farm”?) to change our county comp plan.

Furthermore,I understand that the land was productive farm land that was owned by a national farming conglomerate, and was then rented to, and was actively being farmed by local farmers. I further understand that the local farmers had



intentions to farm this land for many, many years in order to have farm fresh food available for all of the Martin County residents. Somehow, FPL was able to have the farmers evicted and took ownership of this 601 acre property. FPL may call it a solar “farm” however the destruction of active farmland for electricity generation **is** a corporate development. Make no mistake, the underlying purpose of this development is to generate profits first and electricity second. FPL makes their decision solely on a financial business case and not the overall impact to a local community. It is no secret that we are losing farmlands across the US as they are purchased by large corporations such as FPL, and here in our own backyard we have yet another example of corporate greed destroying our local small farmers. I am all for solar. In fact, I would like to see FPL invest this money **directly** to the residents of Martin County by offering cost reduced home and business solar installation. I would be very interested in this myself. But I don’t expect that FPL would invest their corporate dollars directly into their customers. FPL wants profit centers they can control. They want control of everyone’s power generation and will do whatever it takes to make their profits.

I am not in favor of this project in this location due to this corporation bullying our local farmers and indirectly, the residents and constituents of Martin County. By voting for this site plan the M.C. commissioners are furthering the greed of these corporate tactics. I recommend you vote no to approve this site plan.

**DO NOT READ IN BLUE**

<https://www.pnj.com › story › news › 2022 › 04 › 20 › lawsuits-allege-fpl-florida-power-and-light-rates-create-excessive-returns-utility › 7365839001>

## Lawsuits allege FPL rates create 'excessive' returns for utility

Apr 20, 2022Meanwhile, **FPL's** return rate was 10.6%. The difference adds up to more than \$1.6 billion **FPL** can charge compared to other utilities over the same four-year period, according to FAIR. The **case** will ...

How long should a solar battery last? Between 5 and 15 years are the lifespans of home solar battery units. It's almost certain that you'll need a replacement in the future for your **solar panels if you install** a solar battery today.

## How much do solar panels cost for a 1500 square foot house?

Solar panel installation costs around \$18,500 for a 6 kilowatt solar panel system for a 1,500 square foot house, according to Modernize. The average cost of a solar system is \$12,000, according to the U.S. Department of Energy's Solar Energy Industries Association (SEIA). The price of solar power varies depending on the size of the system, the type of panels used, and the amount of **energy produced by the solar panels**.

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Sarah Heard

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:** August 9, 2022

**PHQJ-1 REQUEST FOR A ZONING DISTRICT CHANGE BY TRINIDAD AND 3 BAGELS, LLC (T146-002)**

This is a request by Trinidad and 3 Bagels (T146-002) for a proposed amendment to the county zoning atlas for a residential district designation. The proposed amendment is to change the existing zoning district classification from A-2, Agricultural District to the AR-5A, Agricultural Ranchette District or the most appropriate zoning district. The approximate 25-acre parcel of land is located at 6155 SW Leighton Farm Avenue in Palm City. Included with this application is a Request for a Certificate of Public Facilities Exemption.

Agenda Item: 22-1011

**Describe investigations, site visits and provide any expert opinions received:**

Meetings and emails below if applicable N/A

**List and attach any written communication received:**

N/A

RE: M035-210 - Meridian Marina

I was excited when Texas bought the marina and said he had \$10 million to improve the property. Finally, it would be built into something beautiful, not just a huge old pill box plunked in the middle of our neighborhood. Sadly, here we go again. Slick out-of-state developers trying to change our Martin County for the sole purpose of lining their pockets. Commissioners, what is going on here? Meridian Marina was bought by a large out-of-state marina corporation headquartered in Texas. Since then, you have allowed Texas to erect two huge tents that are enormous eyesores and certainly won't withstand a hurricane, which they use to repair boats under. How is that legal? You also allowed Texas to put on an entire new roof with no permit, and replace the entire south side of the barn with a permit that says replace panels as needed, it was the entire 500' wall! They put it all on Facebook. I have to get a permit to put shutters up, but Texas does not have to get a permit to replace the entire roof on a 62,000 sq. ft. building! This smells of a big Texas payoff. We needed permits for tents at Palm Fest, a truly local community event, not an industrial play for the repair of boats. Nowhere else in Palm City will you find repair facilities working out of tents that haven't met the simplest building and fire codes. Yet you have allowed them to do this. For Texas, you look the other way. What about us, the people who elect you and who you represent? What is Texas doing for you?

The Admiralty shares part of the basin with the marina. The marina owns the basin, and we are at their mercy to have the basin dredged. We have been promised for 2 decades that it would be dredged as it is shallow and full of polluted muck. Have you seen the pollution maps done by ORCA? I've included a couple maps; this is a very residential area, and the ONLY business here is the marina, so I think it is pretty obvious the source of the pollution. If you approve this development, I hope you at least make them dredge out the muck and the plume of polluted muck emanating from their basin. The Atlantic Point developer is a local, cares about our river, and did that in front of their marina without even being asked to. I bet Texas hasn't offered that! Dredging the polluted muck out is a drop in the bucket for their budget, and it would help our river immensely. The Indian Riverkeeper used to say the river is dying a death from 1000 cuts; well, the reverse is true; everything we do to clean the river will heal those 1000 cuts, one slice at a time. Texas should pony up and clean their muck.

This was never intended to be an industrial outdoor boat storage area. Look at what the BOCC originally passed and intended for this area compared to this plan. Night and day! Passage of time should not be the excuse to morph our beautiful Palm City into an industrial looking area. That is what those ugly outdoor storage racks will do! Texas treats the primary facade, the side every visitor to Pendarvis Park and every resident off of Chapman sees every day, like a junkyard, look at the tents and old boats. No wonder he wants to put ugly outdoor racks there; he treats it like the back of the property that no one sees, not the front that it is! We do see it! Please, make Texas build something in compliance with our comp plan and what it was intended and approved for, a facility that is appealing to the eye and fits in with the culture of the neighborhood.

And please, make sure this monstrosity does not breach the 4 story height limit; all we need is to see boats 60' up in the air! If you approve these ugly industrial outdoor racks, there is no roof to ensure everything is below 40'. What will stop them from putting boats with towers or t-tops on the top rack, which would egregiously surpass the 40' height limit? **The ugly outside storage racks should be inside a building;** we are not in an industrial area. We have two beautiful parks, Justin Wilson and Pendarvis, wetlands, and the river. This area of Palm City is all residential, except for the marina. I'm not sure how that happened; it is already out of place, but for heaven's sake, please don't let them put some industrial outdoor rack system up. Stay with a look that was originally approved and intended; the racks are ugly!

In fact, these racks violate our comp plan! According to the Staff Report dated 11/24/2021, the west and north facades of the building are considered primary facades. Texas wants to put the industrial racks along the entire north facade. Section 4.872 dictates (see attached), *"Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing **visual interest that will be consistent with the community's identity and character** through the use of detail and scale."* Please, drive through our community, we are residential, and the only addition allowed should be architecturally pleasing to fit in with the neighborhood as dictated in our Comp Plan and what was approved by the BOCC. How are ugly industrial outdoor racks on the north facade even remotely allowed according to our own codes? We have to look at this "primary facade" every day. It should be beautiful architecture, not ugly industrial boat racks! Every visitor to Pendarvis Park will have to look at those racks entering and leaving the Pendarvis Park. Texas doesn't want to build an architecturally pleasing building for our community because he doesn't live here, and he doesn't have to look at it every day. If he did, he would realize they are not consistent with our community's identity and character. All Texas cares about is lining his pockets with the money he is making from our community. I really hope you do not allow this outdoor storage system here. Palm City is doing so many improvements that make it appealing to the eye and family-friendly. Just check out the beautification on Mapp Rd. These industrial racks do not belong in our residential neighborhood, this marina should expand with INDOOR storage, not ugly outdoor boat racks. I am not opposed to him increasing his business, but this is not fair to our community to plunk industrial type racks in the front yard. Please only approve racks that are inside an architecturally pleasing building, as was the original intent of the Marina Village PUD. Marina owners come and go, but we will be left with this ugly monstrosity forever.

Slick Texas also is asking for 4 accessory dwelling units (ADW). What? Those have never been approved and certainly are not needed at a business that operates only during the day. I have to wonder if Texas isn't trying to pull a fast one so he has 4 waterfront apartments to rent out in our hot, money-making rental market. Here are some comparable area dry stack marinas and the number of ADWs recorded.

Riverwatch 0

Atlantic Point Marina 0

Sundance Marina 0

Manatee Marina 0

Considering the brief history Texas has had in this county and has immediately finagled major site work without permits, I wonder why Texas is trying to sneak in 4 apartments under the ADW, ADW's are obsolete in the drystack marina business. Then he wants to build a restaurant with a rooftop bar! The County seems to be bending over backward for him, letting him have the tent/repairs without permits, reducing setbacks for his monstrosity, all the while leaving us residents to twist in the wind and be stuck with whatever Texas wants to build, regardless of what it does to our beautiful and quiet neighborhood. I question the reduction in parking. Being this is something that can be adjusted by a "decision-maker," what parameters did the decision maker use to delete 63 required spaces by code? Is this the same "decision-maker" that let him replace an entire roof and beams without any permit? I get it, the more Texas can build and not adhere to our comp plan, the more money he can take back to Texas, but we are the ones who will forever have to live with the consequences.

I wonder when, not if, you are going to ask us residents for another tax increase while letting outside developers like Texas off the hook? Let's make the outside developers stick to our comp plan and rules. Sweetheart deals, variances, and comp plan amendments have no place here when it damages our community. We have to stick by the rules, so should they. This company's profits go back to Texas; they are not involved in our community or care about the river; they are just trying to build things that do not fit the culture of our community for nothing more than to pad their pockets at our expense.

Commissioners, things just don't seem on the up and up with all of this. Please just do your job. No favoritism to greedy, outside developers. WE live here. WE love our Martin County. WE love our river. WE legally obtain needed permits! WE love our peaceful neighborhood, and WE vote locally, Texas does not. Restaurants and bars belong in the commercial area of Palm City, not here. This is an incredibly unique location, please take the time to stroll down Chapman Way and you will understand. This entire area is all residential except for the marina, please don't add more traffic, chaos, and disruptions with a bar and restaurant. Traffic is already becoming a nightmare in the area. The marina with INSIDE storage is fine, bars and restaurants are not fine in this area. Protect us, our county, our river. No to ugly outside industrial storage racks, they don't belong in this part of Palm City! Those racks are a direct violation of our Comp Plan and primary facade requirements. No to apartments, I mean accessory dwelling units. No to the restaurant - save our residential neighborhood! And tell them to clean the muck up!

Very Concerned in Palm City

***F. Determination of compliance with Comprehensive Growth Management Plan requirements - Growth Management Department***

**Unresolved Issues:**

**Item #1:**

**Generic Comp Plan Compliance-GMD**

This application cannot be deemed to be in compliance with the Martin County Comprehensive Growth Management Plan (CGMP) until the issues identified in this report have been satisfactorily resolved. Martin County, Fla., CGMP, § 1.3

***G. Determination of compliance with land use, site design standards, zoning, and procedural requirements – Growth Management Department***

**Unresolved issues:**

1. Provide the floor plans and elevations for the restaurant, sales and operations building, including the accessory dwelling units.
2. The boat storage building appears to have a pitched roof. Show the building height to the mean height of the roof per Sec. 3.14 LDR.
3. Parking: The parking rate for Restaurants is 1.5 spaces per 100 sq. ft.  
A parking rate adjustment may be warranted with a shared parking rate analysis.
4. Show the percentage of building coverage in the data table. A maximum of 50% is permitted in the Commercial Waterfront land use.

**Item #1: Land Clearing**

No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre- construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials. MARTIN COUNTY, FLA., LDR § 4.37

***H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department***

**Commercial Design**

The west and north facades of the building are considered the primary facades

**Unresolved issues:**

1. Provide all four façade elevations of the building with the direction it faces labeled.



2. Sec. 4.872.B. Control of building mass. No continuous wall plane shall exceed 100 linear feet nor constitute more than 60% of the building's total length. A wall plane must be offset a minimum of 3 feet and extend a minimum of 8 feet to be considered a wall plane.
3. Sec. 4.872.C. Primary Facades. All primary facades shall consist of at least 4 design features along a minimum of 50% of the horizontal length. (see section 4.872.C. LDRs)
4. Sec. 4.872.F Roofs. Peaked roofs shall provide at least 2 roof slope planes and have a minimum slope of 1/3.
5. Sec. 4.872.G Customer entrances. All commercial buildings should have clearly defined entryways. Commercial buildings of more than 10,000 sq. ft. shall provide an outdoor patio area of a minimum of 200 sq. ft.
6. Sec. 4.872.H. Materials and color. Identify the materials and provide the colors used on the primary facades. The secondary facades shall use compatible materials and colors.
7. Sec. 4.873.B. Bicycle and pedestrian amenities. Provide the required bike racks and benches for a 100,000 sq. ft. plus building.
8. Sec. 4.874. Alternative Compliance. If alternative compliance is sought for any of the above requirements, list the section of code and provide for alternative measures or reasons that the requirement cannot be met.

### **Community Redevelopment Area**

N/A

The property is not located within a Community Redevelopment Area (CRA). Therefore, the Community Redevelopment Area reviewer was not required to review this application. MARTIN COUNTY, FLA., LDR, Division 6

#### ***I. Determination of compliance with the property management requirements – Engineering Department***

N/A

No dedication of additional right of way is required or proposed by the Applicant pursuant to the Roadway Classifications set forth in Section 4.843.B, Land Development Regulations, Martin County, Fla., (2010) which includes Table 4.19.1 that lists the minimum right of way requirements. Therefore, the Applicant is not required to submit due diligence materials for review by the Martin County Real Property Division.

#### ***J. Determination of compliance with environmental and landscaping requirements - Growth Management Department***

### **Environmental**

**Unresolved Issues:**  
**Item#1: Site Plan**

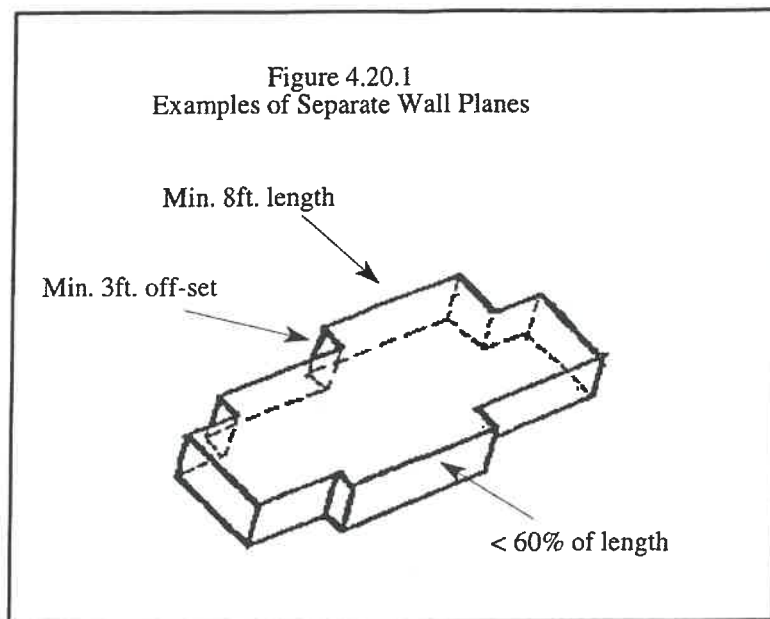


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## Sec. 4.872. Architectural design standards.

**4.872.A. Purpose and intent.** All commercial buildings and structures should be designed to maintain and enhance the attractiveness of the streetscape and the existing architectural design of the community. Buildings and structures should have architectural features and patterns that reflect human scale and proportions, reduce massing and recognize local character. Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing visual interest that will be consistent with the community's identity and character through the use of detail and scale.

**4.872.B. Control of building mass.** On the ground floor of any primary facade, no continuous wall plane shall exceed 100 linear feet, nor shall any single wall plane constitute more than 60 percent of a building's total length. A wall plane shall be off-set a minimum of three feet from the adjacent wall plane and be a minimum of eight feet in length to be considered a separate wall plane. However, any portion of a wall plane having a pedestrian arcade extending a minimum of eight feet out from such wall, shall be considered a separate wall plane, provided that such arcade does not extend uninterrupted farther than 120 linear feet.



### Separate Wall Planes

#### 4.872.C. Primary facades.

1. **Consistent architectural style.** The primary facades of all buildings and structures shall be designed with consistent architectural style, detail and trim features.
2. **Minimum design elements.** All primary facades on the ground floor shall have at least four of the following design features along a minimum of 50 percent of their horizontal length.
  - a. Awnings, located over windows or doors, in increments of ten feet or less in length.
  - b. Overhanging eaves, extending out from the wall at least three feet, with a minimum eight-inch fascia.
  - c. Pedestrian arcades, a minimum of eight feet in width and length.

- 
- d. Raised parapet over a customer entrance.
  - e. Peaked roof forms.
  - f. Windows.
  - g. Decorative light fixtures.
  - h. Clock or bell towers.
  - i. Artwork, such as but not limited to sculpture, mosaic, glass block, opaque art glass, or relief work.
  - j. Architectural details other than those listed above, which are integrated into the building and overall design. Examples of architectural details include, but are not limited to relief and reveal work, tile mosaic, decorative columns, pilasters or sculpture.
3. *Limitations on blank wall areas.* Blank wall areas shall not exceed ten feet in vertical direction and 20 feet in horizontal direction on any primary facade. Control and expansion joints shall be considered blank wall area unless used as a decorative pattern. Wall areas that are adorned using at least one of the design features set forth in paragraph 2., above, shall not be considered blank wall areas. Walls that are adjacent to a pedestrian arcade shall not be considered blank wall areas.
4. *Windows.* Windows shall include visually prominent sills, shutters, stucco reliefs, awnings or other such forms of framing.
5. *Major intersections.* In addition to all other requirements of this subsection 4.872.C., developments located at an intersection of two or more arterial or collector streets shall provide a prominent architectural feature such as, but not limited to a monument, sculpture or clock tower, to emphasize their location as gateways and transition points within the community.
6. *Artwork for large commercial developments.* In addition to all other requirements of this subsection 4.872.C., large commercial developments shall provide a public display of artwork, such as but not limited to sculpture, mural, or tile mosaic. The artwork may be placed on any outdoor portion of the site which is available for public viewing. Developers providing artwork in accordance with this paragraph are encouraged to coordinate with the Public Art Advisory Board.
- 4.872.D. *Secondary facades.* Although the design standards of subsection 4.872.C., above, do not apply to secondary facades, the secondary facades of each building shall be consistent with the primary facade in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facade is stucco with beige paint and white trim, the secondary facades of the building shall include a similar stucco finish, beige paint and white trim.
- 4.872.E. *Parking structures.*
- 1. A minimum of 60 percent of any primary facade of a parking structure shall have at least one of the following:
    - a. Decorative metal grill-work or similar detailing which provides texture and partially covers the parking structure opening(s); or
    - b. Vertical trellises extending a minimum of 20 feet in height or to the top of the parking structure, whichever is less, covering at least 50 percent of the primary facade).
  - 2. When a parking structure is an accessory structure within a larger development, the facades of such parking structure shall be consistent with the primary facades of other buildings within the development in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facades of the other buildings is stucco with beige paint and white trim, the facades of the parking structure shall include a similar stucco finish, beige paint and white trim.
-

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4.872.F. *Roofs.*

1. Generally. Variations in roof lines shall be used to add interest to and reduce the massing of buildings (see figure 4.20.2 for examples). Roof features should be in scale with building mass and should complement the character of adjoining or adjacent buildings and neighborhoods wherever possible. Roofing material should be constructed of durable high quality materials in order to enhance the appearance and attractiveness of the community.
2. Flat roofs shall:
  - a. Have a parapet of at least 12 inches in height along any primary facade and shall have at least two changes in height of a minimum of two feet along each primary facade.
  - b. Provide a three-dimensional cornice treatment along the entire length of the primary facade. The cornice treatments shall be a minimum of 12 inches in height and have a minimum of three reliefs.
3. Peaked roofs shall:
  - a. Provide at least two roof slope planes per primary facade, where the primary facade is less than 40 feet in horizontal length, or at least three roof slope planes where the primary facade is 40 feet or longer in horizontal length.
  - b. Not exceed the average height of the supporting walls.
  - c. Have an average slope greater than or equal to one foot of vertical rise for every three feet of horizontal run and less than or equal to an average slope of one foot of vertical rise for every one foot of horizontal run.
4. Asphalt shingles shall be prohibited, except for 320 pound, 30-year architectural grade or better shingles which otherwise meet all requirements of the Florida Building Code.

M035-210  
1400 CHAPMAN WAY  
PALM CITY, FL 34990

WEST PALM BCH FL

1 AUG 2022 PM



MARTIN COUNTY BOARD OF COMMISSIONERS  
SARAH HEARD  
2401 SE MONTEREY RD  
STUART, FL 34996

34996-333799





March 23, 2021 · 🌐  
Rick inspecting Phase 1 of the barn construction.

👤 1

👍 Like   💬 Comment   ➦ Share



Meridian Marina  
May 10, 2021 · 🌐  
The new roof and new beams are complete. No more rusty roof!

👤 1

👍 Like   💬 Comment   ➦ Share



Meridian Marina  
May 16, 2021 · 🌐  
New siding is almost complete!

1

Like Comment Share

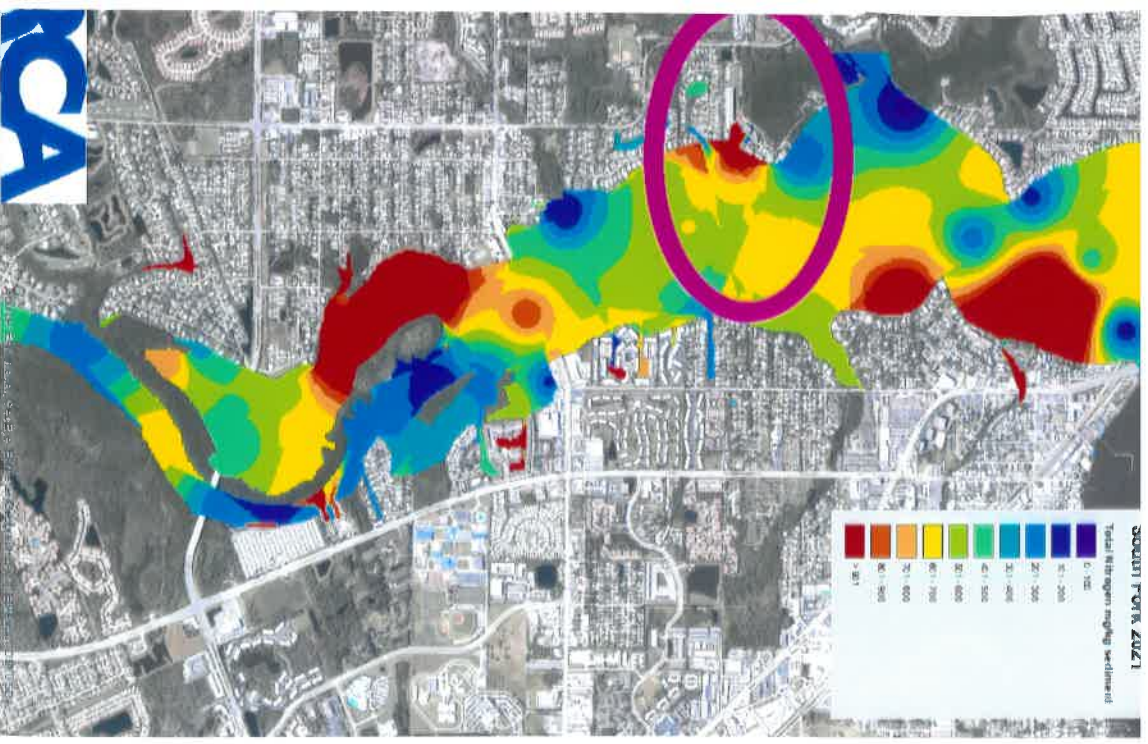
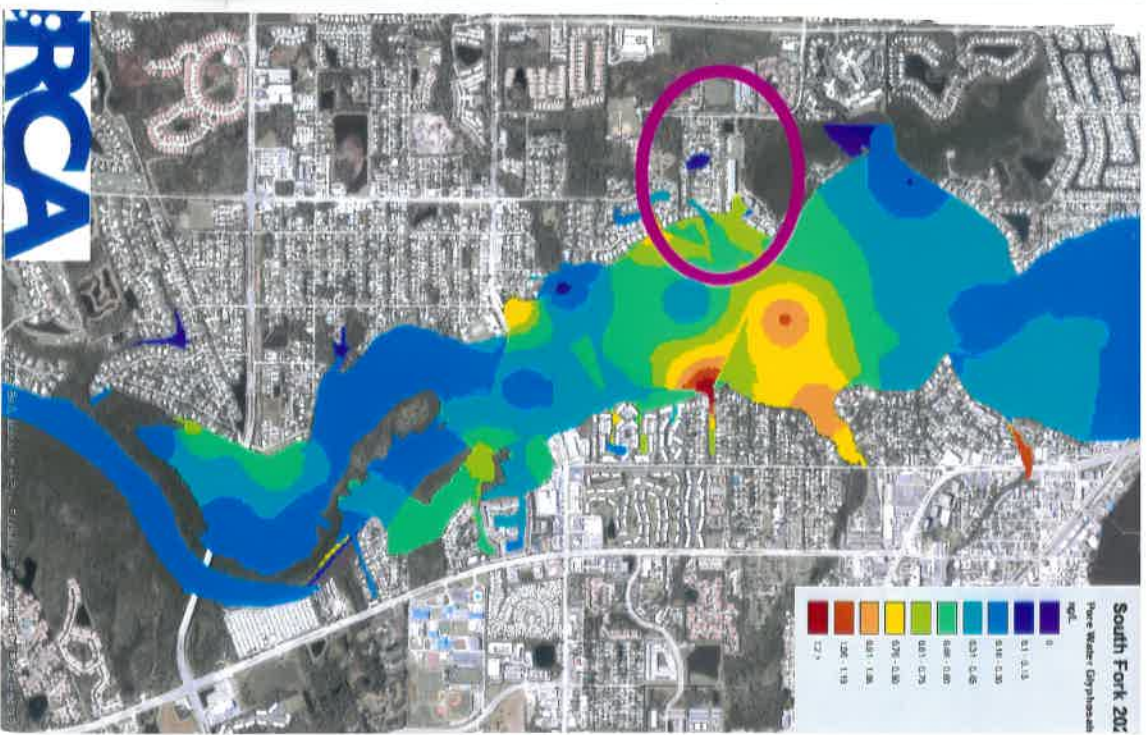


Meridian Marina  
March 25, 2021 · 🌐  
Replacing the roof on the storage barn

2

Like Comment Share









## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Edward V. Ciampi

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:**

August 9, 2022

**REQUEST FOR A ZONING DISTRICT CHANGE BY TRINIDAD AND 3 BAGELS, LLC (T146-002)**

This is a request by Trinidad and 3 Bagels (T146-002) for a proposed amendment to the county zoning atlas for a residential district designation. The proposed amendment is to change the existing zoning district classification from A-2, Agricultural District to the AR-5A, Agricultural Ranchette District or the most appropriate zoning district. The approximate 25-acre parcel of land is located at 6155 SW Leighton Farm Avenue in Palm City. Included with this application is a Request for a Certificate of Public Facilities Exemption.

Agenda Item: 22-1011

**Name of person, group or entity with which communication took place:** N/A

**Subject matter of communication:** N/A

**Describe investigations, site visits and provide any expert opinions received:** N/A

**List and attach any written communication received:** N/A

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

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This is a request by 4585 NE Ocean Blvd., LLC (F112-003) for a proposed amendment to the county zoning atlas. The proposed amendment is to change the existing zoning district classification from HR-2A, Multiple-Family Dwelling District to RS-6, Medium Density Residential District or the most appropriate zoning district. The approximate 1.37-acre parcel of land is located at 4585 NE Ocean Boulevard on Hutchinson Island. Included with this application is a Request for a Certificate of Public Facilities Exemption.

Agenda Item: 22-1012

**Name of person, group or entity with which communication took place:** N/A

**Subject matter of communication:** N/A

**Describe investigations, site visits and provide any expert opinions received:** N/A

**List and attach any written communication received:** N/A

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Edward V. Ciampi

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:**

August 9, 2022

**REQUEST BY FLORIDA POWER AND LIGHT COMPANY FOR MAJOR SITE PLAN APPROVAL FOR THE WHITE TAIL SOLAR ENERGY CENTER (F110-002)**

This is a request by Florida Power and Light Company (FPL) for major final site plan approval for the development of a solar energy center (solar farm) and the associated infrastructure on an approximate 601-acre site which is the north half of a larger 1261-acre tract previously utilized for agricultural production. The parcel is located on the north side of SW Citrus Boulevard approximately 5 1/2 miles west of SW 96th Street and 3 miles east of the Village of Indiantown.

Agenda Item: 22-1038

**Name of person, group or entity with which communication took place:** Marshalll Critchfiled

**Subject matter of communication:** Question/Answer

**Describe investigations, site visits and provide any expert opinions received:** N/A

**List and attach any written communication received:** N/A

## EX PARTE COMMUNICATION DISCLOSURE FORM

(Relating to Quasi-Judicial Proceedings Pursuant to Section 1.10, General Ordinances, Martin County Code)

**Board / Agency Member name:**

Commissioner Edward V. Ciampi

**Name of Board/Agency:**

Board of County Commissioners

**Item/Issue:**

August 9, 2022

**REQUEST APPROVAL FOR THE 79TH AMENDMENT TO THE MARTIN DOWNS PLANNED UNIT DEVELOPMENT ZONING AGREEMENT INCLUDING A REVISED MASTER/FINAL SITE PLAN AND REVISED PHASING PLAN FOR THE MERIDIAN MARINA PROJECT (M035-210)**

This is a request by AC Meridian Marina, LLC for the 79th Amendment to the Martin Downs Planned Unit Development (PUD) Zoning Agreement for the Meridian Marina including a revised Master/Final Site Plan for the approximate 11 acre previously developed marina and boat storage facility located on the St. Lucie River at 1400 SW Chapman Way. Included is a request for a Certificate of Public Facilities Reservation.

Agenda Item: 22-1039

**Name of person, group or entity with which communication took place:** N/A

**Subject matter of communication:** N/A

**Describe investigations, site visits and provide any expert opinions received:** N/A

**List and attach any written communication received:** emails attached

RE: Building Department corruption, M035-210 - Meridian Marina

Mr. Donaldson,

Your Building Department is corrupt from top to bottom. While researching a proposed development, Meridian Marina, in my neighborhood, I stumbled across this blatant corruption in your Building Department. Your Building Department is giving sweetheart deals to out-of-state developers at the expense of Martin County residents! How many other projects has Larry Massing and his department fraudulently approved? Are the buildings in our county built to code, or has Larry Massing allowed potential Surfside disasters down the road? Larry Massing did this for an out-of-state developer whose money goes back to Texas and does nothing for our community! Why?

What I found.

The applicant and his contractor knowingly filed a fraudulent building application permit, which Larry Massing approved, stating, "Metal Building Repairs, Replace panels on existing metal building as needed."

Because it was simple repairs, the building has not been inspected for fire safety, electrical, floodplain review, etc. The applicant was charged just a \$143.50 permit fee. The cheapest the Building Department could charge him. Mr. Donaldson, this repair the applicant did easily costs in excess of half a million dollars. This cheated Martin County residents out of income from permit fees we depend on. Why was this out-of-state developer given such an unfair enrichment that your own residents do not get? Or, maybe some do if the pay-to-play for Larry to wave his magic Larry wand?

Under this simple repair permit, the applicant replaced the entire roof and one entire side that is 500' long. This abuse is so flagrant the applicant proudly posted his massive building renovations on his Meridian Marina Facebook page(see attached photos).

On May. 18, 2021, at 3:07 p.m. Juan Hernandez inspected the property and marked it FAIL. Juan noted *"All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (**about 75% of building envelope**) / No drawings available / Need inspection letter from engineer for all replaced panels."*

Just 25 minutes later, Andrew S Bruhn marked the project as PASS.

Mr. Donaldson, 75% of this building envelope was renovated, Mr. Hernandez noted it, yet the Building Department did not inspect the fire system, the barn, nothing. They blindly stamped approval. Mr. Hernandez asked for the drawing and inspection letter from an engineer. Where are they? Is this building code compliant, or am I living next door to a time bomb waiting to go off?

I have sent this to investigative reporters as well. I am concerned about how deep this corruption goes in your office.

Whistleblower

CC: BOCC

Record BLD2021031141:

Commercial Miscellaneous

Record Status: Closed-Certificate Issued

Record Info

Payments

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters. If your file name is long, shorten it before uploading. Avoid special characters in file name such as: !@#\$%&'. If you have files from a previous Department using a Thumb Drive or Disk and do not attempt to upload them here.

To streamline the review process, it is requested that you separate Site Plans and Surveys in separate documents that identifies the content of that document.

If you upload a file with the same name as an existing document it will **OVERWRITE** it. Please rename the file (e.g. site\_plan\_v2.pdf)

Work Location

1400 SW CHAPMAN WAY  
PALM CITY FL 34990-2400

Record Details

Applicant:

Michael Barson  
Gravitystorm, LLC

Licensed Professional:

MICHAEL LEE BARSON OFFICE@LOSTFAB.COM  
MODULAR MEDICAL SYSTEMS INC  
3811 CROSSROADS PKWY  
BARSON, MICHAEL LEE  
FORT PIERCE, FL, 34945  
Home Phone:7724484104  
STATE CERT - GENERAL CONTRACTOR CGC1511137

Project Description:

Metal Building Repairs  
Replace panels on existing metal building as needed

Owner:

MERIDIAN MARINA & YACHT CLUB OF PALM CITY LLC  
MARTIN DOWNS MARINA VILLAGE ASSOCIATION, INC  
PO BOX 1713  
PALM CITY FL 34991

More Details

Additional Information

Job Value(\$):  
\$50,000.00

Commercial Miscellaneous  
Record Status: Closed-Certificate Issued

Record Info

Payments

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters before uploading. Avoid special characters in file name such as: !@#\$%&\* Department using a Thumb Drive or Disk and do not attempt to upload there.

To streamline the review process, it is requested that you separate Site Plans that identifies the content of that document.

If you upload a file with the same name as an existing document it will OVERWRITE (e.g. site\_plan\_v2.pdf)

## Processing Status

### Application

Task assigned to TBD  
Marked as **Complete** on 03/23/2021 by CC

### Plans Distribution

### Building Review

Task assigned to TBD  
Marked as **Approved** on 03/23/2021 by Larry Massing

Fire Review  
Electrical Review  
Utilities Review  
Plumbing Review  
Floodplain Administration Review  
Site Grading Review  
Driveways Review  
Shoreline Hardening Review  
Historical Review  
Environmental Review  
Commercial Design Review  
Zoning Review  
Addressing Review  
Site Review  
CRA Review  
Coastal Review  
Building Official Review  
Mechanical Review  
Open Road Review  
Land Clearing Review

### Review Consolidation

Task assigned to TBD  
Marked as **Approved** on 03/23/2021 by CC

### Permit Ready

Task assigned to TBD  
Marked as **Payment Required** on 03/23/2021 by CC

### Payment

### Permit Issuance

Task assigned to TBD  
Marked as **Issued** on 03/23/2021 by Sharyl McCreary

### Inspections

Task assigned to TBD  
Marked as **Completed** on 05/19/2021 by Tamara Sutlic

### Certificate Issuance

Task assigned to TBD  
Marked as **Certificate Issued** on 05/19/2021 by Tamara Sutlic

**COMM-FINAL STRUCTURAL (31401130, Optional)**

1400 SW CHAPMAN WAY  
PALM CITY FL 34990-2400

[Print](#)
**Status**

**Pass**  
5/18/2021 3:06 PM  
Desired Date: TBD

*Last updated*  
Andrew S Bruhn  
5/18/2021 3:32 PM

**Details**

**Record**  
BLD2021031141  
Commercial Miscellaneous

**Status History**

Showing 1-5 of 5

Status	Status Date/Time	Inspector	Update Time	Updated By	Result Comments
Pass	5/18/2021 3:06 PM	Andrew S Bruhn	5/18/2021 3:32 PM	Andrew S Bruhn	All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (about 75% of building envelope) / No drawings available / Need inspection letter from engineer for all replaced panels.
Fail	5/18/2021 3:06 PM	Juan Hernandez	5/18/2021 3:07 PM	Juan Hernandez	All sheetmetal panels of the entire roof and one entire side (500 feet long by 38 feet high) of the metal building have been replaced (about 75% of building envelope) / No drawings available / Need inspection letter from engineer for all replaced panels.
Scheduled	5/18/2021 8:00 AM	Juan Hernandez	5/18/2021 6:32 AM	Andrew S Bruhn	
Scheduled	5/18/2021 8:00 AM	Bo Chambers	5/17/2021 8:20 AM	Mallori Dodd	
Pending	TBD	Bo Chambers	5/17/2021 8:20 AM	Mallori Dodd	

**Related Inspections**

Showing 0-0 of 0





# Martin County Florida

Our County. Your Community.

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Announcements



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Reports (4) ▾



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## Record BLD2021031141: Commercial Miscellaneous Record Status: Closed-Certificate Issued

[Record Info](#) ▾

[Payments](#) ▾

**PLEASE NOTE:** Attachment or document names may not exceed 50 characters. If your file name is longer than 50 character (including the extension), please shorten the file name before uploading. Avoid special characters in file name such as: !@#\$%?&/. If you have files that exceed 100MB in size, please bring them directly to the Building Department using a Thumb Drive or Disk and do not attempt to upload them here.

To streamline the review process, it is requested that you separate Site Plans and Surveys in separate files from all other documents. Documents should be named in a way that identifies the content of that document.

If you upload a file with the same name as an existing document it will **OVERWRITE** it. Please rename any revisions with something to identify it as a revision (ie site\_plan\_v2.pdf)

## Fees

### ***Paid:***

<u>Date</u>	<u>Invoice Number</u>	<u>Amount</u>	
<u>03/23/2021</u>	2128733	\$2.00	<a href="#">View Details</a>
<u>03/23/2021</u>	2128733	\$2.00	<a href="#">View Details</a>
<u>03/23/2021</u>			

2128733	\$50.00	<a href="#">View Details</a>
<u>03/17/2021</u> 2127994	\$89.50	<a href="#">View Details</a>

**Total paid fees: \$143.50**

## Martin County Florida

Your County. Your Community.

2401 SE Monterey Road, Stuart, FL 34996

Phone (772) 288-5400

4

Like Comment

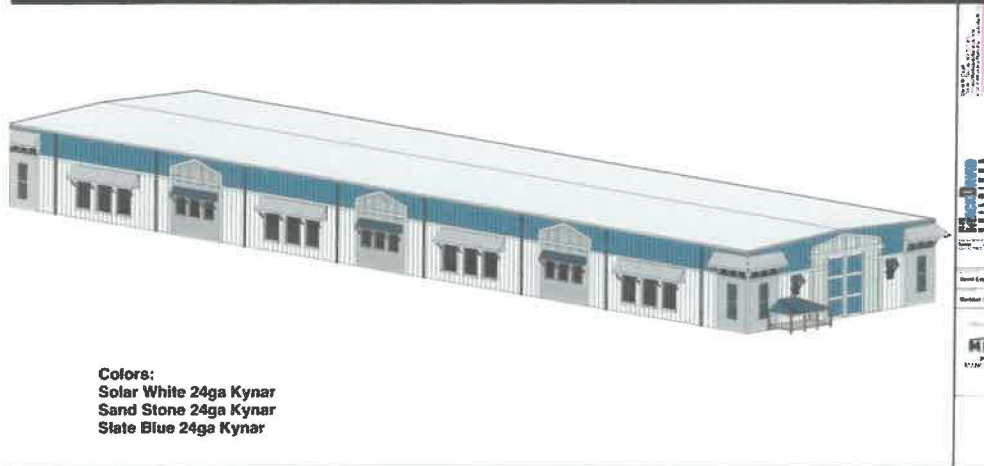
BEFORE



Meridian Marina  
March 23, 2021 · 🌐  
Design of the new barn!



👍 Like    💬 Comment



**This is what the applicant promised. Clearly a project well over \$50,000. What Larry Massey approved, looks nothing like this. Where are the plans and engineering for this in the Building Dept.?**





Meridian Marina  
May 16, 2021 · 🌐  
Now siding is almost complete!

👍 1

👍 Like   💬 Comment   ➦ Share



Meridian Marina  
March 23, 2021 · 🌐  
Replacing the roof on the storage barn.

👍 2

👍 Like   💬 Comment   ➦ Share

# WHERE'S THE ARCHITECTURE?



Meridian Marina  
May 16, 2021 · 🌐

The new roof and new beams are complete. No more rusty roof!

👍 1

👍 Like    💬 Comment    ➦ Share



Meridian Marina  
March 23, 2021 · 🌐

Rick inspecting Phase 1 of the barn construction.

👍 1

👍 Like    💬 Comment    ➦ Share

**From:** [Debra Klein](#)  
**To:** [Sarah Heard](#); [Stacey Hetherington](#); [Doug Smith](#); [Edward Ciampi](#); [Harold Jenkins](#); [Taryn Kryzda](#); [Sarah Woods](#)  
**Subject:** BOCC Tuesday meeting  
**Date:** Sunday, August 7, 2022 11:29:14 AM

---



Please do not raise taxes for waste/garbage collection as it was just raised what, a year ago? If you do vote in favor, then it needs to be as a ratio of property value and not a flat fee as the flat fee is grossly unfair to poorer property owners.

Thank you for your consideration.

Debra L. Klein  
Martin County resident

**From:** [Jody](#)  
**To:** [Edward Ciampi](#)  
**Subject:** Edward Campi  
**Date:** Sunday, August 7, 2022 10:47:46 PM

---



Sent from my iPhone

Begin forwarded message:

**From:** Michael Goodale <msgoodale@me.com>  
**Date:** August 7, 2022 at 7:53:39 AM EDT

Sent from Mike's iPad Pro!

Begin forwarded message:

**From:** Michael Goodale <msgoodale@me.com>  
**Date:** August 6, 2022 at 5:29:15 PM

Dear Sir,

Hello, My wife and I own and occupy a private residence at 1152 SW Pelican Crescent in Palm City, over the last 11 years we have been constantly upgrading our home to enjoy long after we retire. Our estimated \$2MM waterfront property joins the southern property line of Meridian Marina and while we applaud the renovation of the marina property we do not support the addition of a restaurant. The proposed addition would reside approximately 50 feet from our master bedroom window severely impacting our quality of life and our property value. Our neighborhood is quiet and peaceful which is why we chose to move here over a decade ago. A restaurant would change all of this. Increased crime, drunk driving plus the crowd noise and clanking dishes well into the night, long past the current 5pm close. Please do not irreversibly change our much loved little community.

Best Regards ,



Michael and Jody Goodale

**From:** [Denny Dennis](#)  
**To:** [Comish](#); [Jenny@vipmarinas.com](mailto:Jenny@vipmarinas.com)  
**Cc:** [Austin@vipmarinas.com](mailto:Austin@vipmarinas.com); [robin.a.cartwright@gmail.com](mailto:robin.a.cartwright@gmail.com); [vsherlock@lshlaw.net](mailto:vsherlock@lshlaw.net)  
**Subject:** Fwd: Meridian Marina M035-210  
**Date:** Friday, August 5, 2022 1:29:26 PM

---



Mrs. Cameron,

It is thoughtful of you to reach out to me. There is nothing to talk about other than I commend you for repairing and improving the property and wish you well in the expansion of your business if done properly; I only ask that you and the commission simply adhere to our comp plan and LDRs. Don't expand as cheaply as possible at the expense of the character of our neighborhood. Plus, it is very reckless to propose operating those huge forklifts in the customer parking area.

I have seen quite a few renditions of plans over the years; all had expanded racks inside a building, not outside. I realize it is far cheaper for you to have outside racks, but it is at the cost of the character of our neighborhood. It seems clear to me customers want indoor storage, not outdoor storage. One simply has to look across the river from us. Marine Max recently opened a wonderful new marina with slips with outdoor lifts. It remains empty with the exception of some of Marine Max's demo boats and very few others. There is no demand for outside storage.

While it was nice you reached out to me; I am deeply concerned that at least one commissioner must have immediately forwarded my email to you. My email was not available to the public until Wednesday morning, yet you responded to me within two hours of my sending it only to the commissioners on Tuesday. While it may not be illegal, I find it profoundly unethical and disappointing a commissioner would immediately send you my email to give you a warning of opposition to your project. Clearly, this commissioner is a guaranteed yes vote for you. You do not live here or vote here. The commissioners are supposed to work on the resident's behalf; sadly, at least one is not.

Furthermore, it has been reported that the very first permit you pulled on the property, you did so with deceit. By way of a notarized signed affidavit, you claimed repairs were less than \$50,000, paid a paltry permit fee, and then replaced the entire roof and side. At the same time, the county looked the other way without proper documentation and inspections. The repairs are in far excess of \$500,000.00, which is commonly known, yet you only paid a \$143 permit fee and said you were replacing metal panels as needed. Cheating, deception, and what appears to be bribing our county officials is not a good introduction to our community. You can do the right thing and design your addition without variances. Then I will wish you well.

We have a saying here, "the Martin County difference," and it is different here, and you are about to see how. What is the difference? We residents deeply care about our environment and the character of our community and those who live in it. It would be best if you cared too.

We will deal with this at the public hearing on Tuesday.

Denny

Get [Outlook for Android](#)

---

**From:** Jenny Cameron <Jenny@vipmarinas.com>  
**Sent:** Tuesday, August 2, 2022, 2:03 PM  
**To:** Denny.1946@outlook.com <Denny.1946@outlook.com>  
**Cc:** Austin Cameron <Austin@vipmarinas.com>  
**Subject:** Meridian Marina M035-210

Hi Denny,

I'm Jenny Cameron. My husband and I are the owners of Meridian Marina in Palm City. We saw that you had some concerns about our project and we'd love the opportunity to talk with you to better understand your concerns and how we might be able to make them better. We believe our project will be great for the community and want all of our neighbors to be happy. Do you have some time to discuss further? Feel free to give either of us a call, or let us know a good time when you are available, and we can call you.

Thanks,

Austin Cameron (817) 2

Jenny Cameron (512) 9

**From:** [LA Dees](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In favor of Palm City's only waterfront restaurant  
**Date:** Sunday, August 7, 2022 4:16:31 PM

---



Good afternoon,

Thank you for serving on the commission and representing Martin County! Please vote in favor of the marina adding Palm City's only waterfront restaurant. This will add to the established small businesses in Martin County and add a wonderful date night and family outing location for us Palm City residents.

Thank you, and have a great day!

Leigh Anne Dees  
(772) 285-7420  
[ladees1212@gmail.com](mailto:ladees1212@gmail.com)

**From:** [Dees Family](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#)  
**Subject:** In Favor of the Planned Waterfront Restaurant  
**Date:** Sunday, August 7, 2022 4:13:51 PM

---



Good afternoon,

As a Palm City resident, I encourage you to please vote in favor of allowing the Meridian Marina to create Palm City's only waterfront restaurant. We have limited restaurants already in Palm City, and as a growing community for families, this restaurant will only add to the family-centered atmosphere that is Palm City.

Kind regards,

Charles-David Marshall Dees  
[dees121215@gmail.com](mailto:dees121215@gmail.com)

**From:** [DONALD & GLORIA SMITH](#)  
**To:** [Comish](#)  
**Subject:** Maridian Marina Project  
**Date:** Monday, August 8, 2022 2:01:05 PM

---



We respectfully request that you, the Martin County Commissioners, grant the Maridian Marina approval to build a restaurant and expand marina facilities.

The location would provide an exceptionally tranquil and beautiful place to relax and enjoy the scenic views of the river and Stuart across the bay. There is a large residency to take advantage of this site. This is what Florida living is about.

Gloria & Don Smith Hobe Sound, Fl

**From:** [Lisa Ann Robinson](#)  
**To:** [Comish](#)  
**Subject:** Marina  
**Date:** Monday, August 8, 2022 10:21:17 PM

---



Hello and good evening.

I hope this letter finds you well. I am writing this letter after a very brief yet in depth and to the point meeting with my new neighbors Jenny and Austin Cameron. We quickly became friendly when they mentioned they had purchased the marina in a bankruptcy and were in the process of making improvements to the area. We talked about the small town feel of Palm City and the growth as well. They mentioned they were going to also partner with a local restaurant to bring to the water here on our side of the bridge. The idea and its potential for this area is extremely hopeful as we also love the area being tucked away for us locals to not have to leave this side to enjoy the water dining.

We hope to gain another family atmosphere venue for the many families that are sure to enjoy this establishment.

Lisa Ann Robinson  
1212 SW Pelican Cres  
Palm City Florida  
34990  
12176079435  
[lisaann.robinson615@gmail.com](mailto:lisaann.robinson615@gmail.com)

**From:** [joemcduffee](#)  
**To:** [Comish](#)  
**Subject:** Martin County Meridian Project  
**Date:** Monday, August 8, 2022 9:58:25 AM

---



I am writing in support of the meridian expansion and restaurant project.

Not everyone has the means to live on and enjoy the Waterfront. In my opinion we need more restaurants on the water, thus allowing the majority of residents an opportunity to relax and experience the beauty of our area. I am sure a waterfront Restaurant in Martin County, specifically Palm City, would be a welcome and profitable addition.

Please approve this project.

Regards,  
Joseph McDuffee

Sent from my Galaxy



**From:** [hueyrobinson](#)  
**To:** [Comish](#)  
**Subject:** Merdian Marina M035210  
**Date:** Monday, August 8, 2022 10:20:17 PM

---



I'm writing to show my support for the addition of a Family friendly restaurant at the Marina.

We have lived in this area for the past 3 years and think this would be a great place for families to visit. Having 3 teenagers in the house this may even offer employment opportunities to one of them.

Thank you,

Huey Robinson  
1212 SW Pelican Cres.

Sent from my Verizon, Samsung Galaxy smartphone

**From:** [Quentin Allen](#)  
**To:** [Comish](#)  
**Subject:** Meriden marina project  
**Date:** Sunday, August 7, 2022 1:35:42 PM

---

This Email Sent From External Sender

To whom it may concern:

This email is to express support for the new waterfront restaurant project Meridian Marina M035.

After living in Palm City for eight years we realize that in order to find waterfront dining we have to cross the bridge to Stuart and would love to have something in our neighborhood that offers waterfront dining. We are extremely excited about the restaurant, which will be a family-friendly waterfront restaurant. We have knowledge of the operating group and have been happy with what they have done as operators to improve the current facility. We also agree with the need for additional boat storage in Martin County.

As a local business owner I am excited about the potential increased revenue at local businesses and increase in property values as people stay in Palm City for entertainment and dining options. Also with the current issues with brightline and boating/bridge traffic it will be nice to have waterfront dining options in Palm city.

Respectfully,

Quentin B. Allen, MD  
Florida Vision Institute

Sent from an device

**From:** [Joe Dargavage](#)  
**To:** [Comish](#)  
**Subject:** Meridian Dry Storage Expansion  
**Date:** Monday, August 8, 2022 10:38:25 AM

---



August 8, 2022

Dear Martin County Commissioners:

As a life long boater in Martin County, and a member of the South Florida boating and yachting business community for 30 years, I stand in full support of the Meridian Dry Storage expansion. Palm City has seen amazing growth over the last five years, and though we must always keep over development in check, Meridian offers a service to our boating community that is well needed and in great shortage. What they are looking to do, replace a closed restaurant facility (already built) and expand on the storage facility, that is full, full with boats of our Martin County residents, should be seen by a true positive by the Commission.

Lastly, I have known Jenny and Austin Cameron for many years, from both a professional (fellow marina owner) and personal level. They are extremely well respected in the boating community and are an excellent addition to both Martin County and Palm City.

I hope that the Commission see's the importance of boating too the Martin County Community, and votes in Meridians favor.

Most Kindly

Joe Dargavage

**JOSEPH A. DARGAVAGE | Owner**

United Island & Yacht – South Florida & Bahamas

Romora Bay Resort & Marina, Harbour Island

Proud Member:

Association of Bahamas Marinas (ABM) – 2022 President

Board Member:

USSA – US Superyacht Association

Seafarers' House at Port Everglades

Bahamas Hotel & Tourism Association

IYBA- International Yacht Brokers Association

MIASF – Marine Industry Association of South Florida

Broward County Boys & Girls Club

**From:** [MJ McDuffee](#)  
**To:** [Comish](#)  
**Subject:** Meridian expansion and restaurant  
**Date:** Monday, August 8, 2022 9:33:45 AM

---

This Email Sent From External Sender

I sincerely hope the commission will approve the Meridian expansion and restaurant project in Martin county. I'm sure the county is in need of more boat storage, but I am hopeful the project is passed because this area, as beautiful as it is and as much water surrounds us, has a very limited number of nice waterfront restaurants. A nice comfortable restaurant on the water would be an advantage for Martin county and as a resident of St. Lucie county I can tell you I would gladly make the trip often to frequent the restaurant.

Regards,  
MJ McDuffee

**From:** [Kristina Garrison](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana M035-210  
**Date:** Tuesday, August 9, 2022 7:16:12 AM

---



To County Commissioners,

Re: Meridian Mariana M035-210

We would like to express our support for the Meridian Marina project. We are Palm City residents and we were truly excited to hear about all the improvements they plan to make. When we first toured the marina, we were hesitant to dock our boat there because of the condition of the Marina and did consider going outside of Palm City. After talking with the office, hearing the plans and how amazing the marina will look and the added features they will provide, we decided to stay local. We've been so pleased with the work they have been doing to improve the marina. We are looking forward to all the added features that they will provide.

We spend many days out on the water going to Stuart and Port Salerno for waterfront dining. It would be wonderful to have these same options close to home. We love the boating lifestyle and the opportunity to bring our kids up in this great town with family friendly facilities like Meridian Marina.

The value they provide as a hurricane grade facility provides so much peace of mind. We don't have to scramble and jeopardize individual safety or property damage during a storm. I would have to think increasing storage locally would help to alleviate congestion and provide added safety for many others in the community during an emergency.

It's also great to see existing businesses reinvest in their property to provide added services rather than having brand new development chopping down acres and acres of land that disrupt wildlife and add congestion to this great town.

We are looking forward to enjoying all the amenities that Meridian Marina will provide.

Thank you,

Brian & Kristina Garrison  
690 SW Long Lake Ct.  
Palm City, FL 34990

**From:** [Marie Frash](#)  
**To:** [Comish](#)  
**Subject:** Meridian Mariana  
**Date:** Saturday, August 6, 2022 7:34:08 AM

---



Dear Martin County commissioners,

I live at the Admiralty next to the marina. My husband passed away March 4th this year at the age of 91. He was and I am a huge proponent of a new restaurant on site there. He was 91 and it wasn't easy to get him in and out of restaurants. He was hoping to be able to go there before he passed just by using his scooter.

With population increasing and traffic also increasing, it would be great to have a waterfront restaurant that we don't have to drive across bridges and in excess traffic to get to.

I am presently in our Indiana home until late September or I would personally be the the meeting to speak in favor of this restaurant

Thank you for your time

Marie Frash

1130 SW Chapman Way Unit 509

Palm City 34990

[Sent from the all new AOL app for iOS](#)

**From:** [lindsavojensen@gmail.com](mailto:lindsavojensen@gmail.com)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Development Support  
**Date:** Monday, August 8, 2022 5:06:23 PM  
**Attachments:** [Meridian Marina Letter.pdf](#)

---



Good afternoon!

My husband and I utilize Meridian Marina for the storage of our family's boat and live in Hamilton Place which is located directly across from the marina off Mapp Road. We would like to express our support of the proposed improvements for Meridian Marina.

Please see the attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,

Lindsay Jensen

**From:** [Michael Goodale](#)  
**To:** [Doug Smith](#); [Stacey Hetherington](#); [Harold Jenkins](#); [Sarah Heard](#); [Edward Ciampi](#); [Don Donaldson](#)  
**Cc:** [Kathleen Boden](#); [Patricia Higginbotham](#); [Colleen Pachowicz](#); [Sarah Philion](#); [Stacey McKindles](#); [Kimberlee Levee](#)  
**Subject:** Meridian Marina Expansion Project  
**Date:** Monday, August 8, 2022 8:48:32 AM

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This Email Sent From External Sender

8-8-22

Hello, My wife and I own and occupy a private residence at 1152 SW Pelican Crescent in Palm City, over the last 11 years we have been constantly upgrading our home to enjoy long after we retire. Our estimated \$2MM waterfront property joins the southern property line of Meridian Marina and while we applaud the renovation of the marina property we do not support the addition of a restaurant. The proposed addition would reside approximately 50 feet from our master bedroom window severely impacting our quality of life and our property value. Our neighborhood is quiet and peaceful which is why we chose to move here over a decade ago. A restaurant would change all of this. Increased crime, drunk driving plus the crowd noise and clanking dishes well into the night, long past the current 5pm close. Please do not irreversibly change our much loved little community.



**From:** [joseph.cox](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina expansion  
**Date:** Monday, August 8, 2022 11:32:14 AM

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First of all let me say Thank You for the opportunity to send you this email and voice my support for the Meridian Marina expansion projects and to say the least I couldn't be any more excited to see the projects Meridian Marina is looking to move forward with. In regards to the boat storage expansion I see no reason for concern as Meridian Marina has plenty of extra space/land to provide parking for its customers and will not affect traffic or surrounding homeowners by parking on the side of the road, right of way, etc.. Also along with that project comes new concrete parking, driveways, boat storage pads, dredging, seawalls, landscaping and a more organized and beautiful look to the property and to bring the property as far as a boat storage facility up to its full potential for Palm City residents/boaters. In regards to the Marina sales and waterfront restaurant I think a majority of Palm City residents and boaters have been dying to have a waterfront place to eat, relax and enjoy the St. Lucie river waterfront without having to cross the bridge and go to Stuart in order to achieve this atmosphere and with Palm City being a small, quiet, family oriented community I don't see any reason this restaurant and Meridian Marina won't serve us as a community with those same values in mind. Austin, Rick and Jenny have been working since day one of the purchase of this place in order to move it forward and make it a great family oriented place for the boaters of Palm City. The respect that I have for those 3 and their staff is what has led me to writing this email and allowing them to unlock it's full potential in my mind would make it exactly what Palm City needs. I can't think of any better group of folks that I would want to move this project forward and provide me, my wife and kids with a family oriented waterfront experience right here in Palm City. Thanks so much for hearing me out and have a great day.

**From:** [poul christiansen](#)  
**To:** [Comish](#)  
**Cc:** [Jennifer Jacobs](#); [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [Don Donaldson](#)  
**Subject:** Meridian Marina improvements  
**Date:** Monday, August 8, 2022 12:53:30 PM

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To whom it may concern:

I am contacting the Martin County Commission to express my support for the improvements to Meridian Marina. I have lived in Palm City since 1997 and have been a boat owner in the Treasure Coast since I moved to Florida in 1989. I have kept my boat at Meridian Marina for several years and welcome the improvements to the marina, including the addition of a restaurant. The new owners are making millions of dollars of improvements which improve the tax basis for Martin County and provide additional employment for Martin County residents. The new owners have a proven track record of operating top notch marinas throughout the country. I am certain that they will not only improve the marina but will make it a "destination" which the residents and visitors to Martin County will enjoy and be proud of for years to come. Please approve this important project!

Sincerely,  
Poul Christiansen  
6107 SW Moore St.  
Palm City, FL 34990

**From:** [Rick Larson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:50:53 PM

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I am writing to express my full support for the expansion plans for Meridian Marina in Palm City. I support this project for several reasons. First off boat slips are in a terrible shortage in the entire Treasure Coast, and boaters are paying a huge premium to have boats stored in either slips or in Racks such as Meridian provides. Stuart, and Palm City are noted as “Boating Communities” and our number one asset is our water. We have some of the greatest inland water in all of Florida, from the St Lucie River to the Indian River Lagoon. Adding affordable boat slips and storage is vital to keeping access to those of us who cannot afford to live waterfront. This project will not add additional traffic to the area which is a huge problem. It will just allow the residents of Palm City in particular and Stuart also to have access to boat storage at affordable rates. The project does not fortunately involve the clearing of any pristine wetlands, the additional boat storage will be built on a vacant lot. A few yards down the street from the Marina is a large new residential community being built which involved the leveling of acres and acres of pristine wetlands. I would find it hard to see the approval of that project and yet find this one somehow detrimental to our community. As for the plans for a restaurant at the site I fully support that also. Palm City can always use a new restaurant ...it is nice to not have to cross the bridge to eat out. While we have some variety of eateries. We do not have one waterfront restaurant in all of Palm City. This would be a huge asset to the community and to the residents, and adds to the desirability to living in Palm City. All this with minimal impact....there is a structure already where the restaurant would be placed.

I have met the owner of Meridian Marina several times and find he has all the best interest of this community in mind. I have kept a boat at this Marina for 17 years now and have seen it wallow in disrepair for almost all of that time. The previous owner let it completely fall apart over the years. Hurricane damage was never repaired, giant sections of the boat storage building were completely missing, a removed fuel tank was a gapping hole for 5 years!! The docks were falling apart, the fork lifts were from the stone ages. The new owner has poured money into this facility and has done more in the short time he has owned it then any owners in the previous 17 years. As a 22 year resident of Palm City I have not supported most of the growth plans the county has approved....we do not need any more banks, gas stations, or strip malls. But this Marina is a asset that brings unmeasured value to the community, and with the restaurant brings benefits for both boater and non boaters alike.

I ask the board to approve this application and improve the value of Palm City as a community. To add value to our homes, to make Palm City a very desirable place to live and boat and enjoy our river and intracoastal.

Kind Regards,

Rick Larson  
516-770-2910  
714 SW Lighthouse Point  
Palm City , FL 34990

**From:** [Jocelyn Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 11:05:11 AM

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Meridian MArina has been a blessing in disguise with the boat slip shortage in Martin County. They have done a great job re-doing the barn, pilings, docks etc. The people they have employed are very service oriented and it is a beautiful, clean marina. The addition of the restaurant and bar would just add to it. It would be great to come back from a day on the water and be able to sit and get a bite to eat overlooking the river. Please allow them to move forward with their plans.

Thanks

**From:** [Dianne Broderick](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 3:16:47 PM

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Good day commissioners. I am writing in full support of the the Marina's request for a restaurant and additional boat storage. Palm City has shown much improvement recently but is still in need of more development. A waterfront restaurant is the best thing that could happen to Palm City at this point in time.

**From:** [Denny Dennis](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Tuesday, August 2, 2022 12:05:28 PM

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Dear Commissioners,

This property was built, approved, and developed to be visually pleasing to the landscape of our beautiful town of Palm City. It appears our out-of-state developer wishes to violate the covenants that approved this building from day one with an industrial exposed outside rack system, which is in direct violation of the architecture mandated on this property to be contiguous throughout the building. See Section 4.872 of our comp plan. This is a 100,000-square-foot+ pill box with a proposed industrial, commercial framework exposed for all to see. Approving this will forever change the visual landscape of our beautiful community. This was never intended from the beginning and should not be approved for the future. The original intention was a kinder, gentler look with appealing architecture, not an industrial, commercial framework that you do not see anywhere within this area of Palm City. Let me ask the question, how are they getting away with all of this?

The proposed restaurant was never an intended use, and you change the consequences forever by changing an intended use. The noise and the traffic were never contemplated for this property and should not be allowed. One can only surmise the consequences of quiet evenings once the marina operations stop in the early evening that we currently enjoy. A restaurant would continue its business, disrupting our neighborhood and enjoying our quiet evenings overlooking the river. It was never intended for this and should not be allowed. One only has to leave your window open in the evening or sit on your balcony to have the cause and effect of a Sailors Return type venue which can be heard all over the neighborhood. While nothing can be done about the City of Stuart and their poor planning with this type of venue, this is Palm City in Martin County. This residential neighborhood should have quiet enjoyment instead of the consequences of a use change. This area is all residential, except for the marina. We moved here for the parks, the water, and the peace and quiet. I didn't mind the marina, it was here, but there was never a restaurant approved for that building. Never.

You may have seen the ORCA pollution maps published in TCPalm, the area around the marina stood out on those maps. Our river is a way of life; it rises and falls every day. When companies pollute our river, they rob us of the very lifestyle we live here to enjoy. Allowing these companies to pollute our waters, whether intended or not, is their responsibility, not ours. The spillage from a basin owned by this company contaminates our tributary and should not be allowed to continue. We that live here are stakeholders; they are not. So once again, the consequences of their actions destroy the very fabric of our community. Make them clean up their mess and make them responsible for it in the future.

Don't approve these outdoor racks when other viable options adhere to our community and comp plan. Over the years, I've seen many proposed expansions for up to 600 indoor racks; not one plan has ever proposed outside industrial storage racks that do not meet the facade requirements. Not one. Indoor racks can be achieved; it just costs money. This developer wants to achieve a high number of

racks as cheap as possible at the cost of the character and charm of our community while he takes his profits back to Texas. Marina operators come and go, but we will be stuck with these hideous outdoor racks forever. Why should our community have to pay this price just because this developer does not want to spend the money to build this out properly? If he can't afford to do so, then simply don't do it.

Denny

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**From:** [jeanne@jvdestimating.com](mailto:jeanne@jvdestimating.com)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 10:50:28 AM

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I support both the Meridian Marina restaurant project and the additional boat storage. My husband and I live in Lighthouse Point and would welcome a new waterfront restaurant on our side of the river. I believe the location is perfect for this type of venue and would enhance nearby property values as well.

Please vote in favor of this project.

Sincerely,

Jeanne Ertle

1459 SW Dyer Point Rd, Palm City

407-432-3681



**From:** [Laura Garcia-Bartenfelder](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:03:42 AM  
**Attachments:** [image001.png](#)  
[image002.jpg](#)

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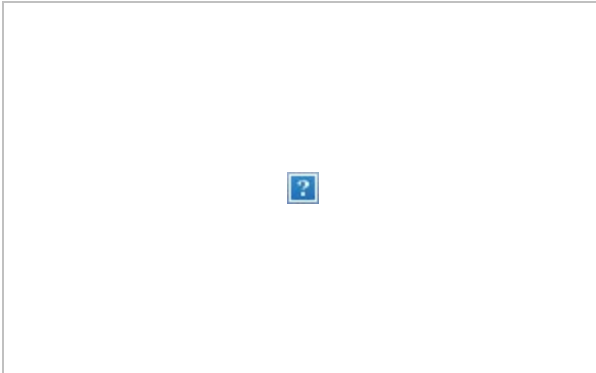


Good Morning

I am writing this email to show support for the Meridian Marina's project to have more boat storage and also a waterfront restaurant. I am a resident of Palm City and also in the yachting business. We are in desperate need of more boat storage as more and more residents are purchasing boats without a place to keep them safely. I also am so excited about a waterfront restaurant in Palm City – it will only be beneficial to our community.

Regards

Laura Garcia



Laura Garcia-Bartenfelder

Partner

United Island & Yacht

1091 SE 17<sup>th</sup> St Causeway

Fort Lauderdale

Florida 33316

Florida – Bahamas

[www.unitedislandandyacht.com](http://www.unitedislandandyacht.com)

[laura@unitedislandandyacht.com](mailto:laura@unitedislandandyacht.com)

352-208-4640



**From:** [Fish Heads Of Stuart](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 10:23:12 AM

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This Email Sent From External Sender

Wanted to voice our full support for the Meridian Marina project M035-210.

My wife and I own a small business in Stuart involved in the fishing and marine industry. We are excited to have learned about a Palm City waterfront restaurant, and even more excited to have one so close to our house.

We live on Pelican Cres and the Meridian Marina property is literally within a hundred yards or so of our house.

Meridian Marina has done an exceptional job with rejuvenating this property and have been great neighbors. We are looking forward to the continued improvements they will be implementing.

As residents of Palm City for ten plus years, the prospect of waterfront dining and additional boat storage is exciting and exactly what this community needs and wants.

Best regards  
Brent & Heather Kane

Residence  
1192 SW Pelican Cres  
Palm City, FL 34990  
772-341-7323

Store  
Fish Heads of Stuart  
3585 SE Saint Lucie Blvd  
Stuart, FL 34997  
772-220-6008

Sent from my iPhone

**From:** [Tyler Lieberman](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:34:36 PM

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Good Afternoon,

I am writing in reference to the Meridian Marina site plan. I am a resident of Palm City and want to voice how much we need the improvements planned at this space. My Family continues to drive out of Palm City to frequent restaurants on the water. How great would it be if we could keep the money being spent by the residents of Palm City in Palm City Businesses. Each marina and storage facility is on a waiting list to get new boats stored, we are desperate for more storage. Please let me know how my family and I can further support this matter to assist the community.

Tyler Lieberman

**From:** [Mitch Maddren](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:06:59 PM

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This Email Sent From External Sender

Dearest Commissioners,

We are in full support of the requested expansion at Meridian Marina in Palm city. It will be so nice to have additional restaurants especially waterfront. There is already a shortage of inside storage for vessels in our class. What the new owners have done to date, i.e. improvements is unprecedented. And they have just begun.

Anne & Mitch Maddren  
jettyhopper3057@gmail.com  
Palm City, FL

**From:** [Ann Vance](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Sunday, August 7, 2022 1:41:17 PM

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This Email Sent From External Sender

Unable to attend the meeting, I am writing in support of the Meridian Marina's efforts to expand. As new owners, they have made many true and necessary improvements over the last year which were way overdue . This is rewarding to long-time boaters of Martin County! I strongly support their interest in building a restaurant and improving the dock layout to accommodate customers. With the upcoming timing problems of the train bridge, I'm sure this family oriented restaurant will be well received by locals and it will surely be successful as the only one in Palm City! PLEASE PERMIT!

Sincerely,  
Ann Vance

Sent from my iPad

**From:** [Mitch Maddren](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 12:06:59 PM

---

This Email Sent From External Sender

Dearest Commissioners,

We are in full support of the requested expansion at Meridian Marina in Palm city. It will be so nice to have additional restaurants especially waterfront. There is already a shortage of inside storage for vessels in our class. What the new owners have done to date, i.e. improvements is unprecedented. And they have just begun.

Anne & Mitch Maddren  
jettyhopper3057@gmail.com  
Palm City, FL

**From:** [Mac Cadaret Jr](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina M035-219  
**Date:** Monday, August 8, 2022 11:14:04 AM

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To Whom It May Concern:

I am writing to impart my full support of the Meridian Marina capital improvements. As a longtime member of the marina and an avid fisherman/boater I feel this project would only enhance the surrounding areas. The improvements would allow and encourage my family to be more active at the marina and surrounding businesses. A family-based waterfront restaurant can only lead to more like-minded people. If the improvements the marina has made show us anything it is the marina is on solid footing and heading on a path of family-based service. Please consider my points when making the final decision. I will make myself available to discuss via email or in person if that would be needed. Stay well and thank you for your community service and consideration.

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**From:** [Donnie Brown](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina MO35-210  
**Date:** Monday, August 8, 2022 7:17:07 PM

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I am a twenty year resident of Palm City and would like to show my support for the Meridian Marina. Palm City needs more boat storage facilities like Meridian. They have done an excellent job repairing and turning the marina into an excellent facility for boat owners. I also support their future plans for the renovation of the restaurant. Palm City needs more family, friendly restaurants and I look forward to supporting my local community.

Regards,  
Donald Brown



**From:** [Karen Prisco](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 9:03:38 AM

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My name is Stephen Prisco I have a second home at the Admiralty condominiums in beautiful Palm city Florida I am a boat owner and I would love the option to have another family friendly waterfront restaurant on this side of the railway bridge which has become a topic of conversation in Martin County the last couple of months due to the excessive amount that the bridge is down causing inconveniences quite often people missing flights because of the unusual length of time the bridges down so to have an option to pull up on our boat or even drive to a restaurant on the water in Palm city I feel as a resident would improve our neighborhood not to mention possibly increase our property value. I met Austin and Jenny shortly after they purchased the marina found them to be very very nice people as well as astute business people first thing I noticed was the American flag hanging off of Matt Road and the new water feature and was quite happy to see that as a pull down Chapman Way so as a businessman myself knowing what it costs just to get projects off the ground to have someone come out of nowhere who claims to be anonymous I think it's a real detriment to this project as well as other projects in the area respectfully Steven Prisco

[Sent from Yahoo Mail for iPhone](#)

**From:** [Bryan Gardner](#)  
**To:** [Comish](#)  
**Cc:** [jenny@vipmarinas.com](mailto:jenny@vipmarinas.com); [austin@vipmarinas.com](mailto:austin@vipmarinas.com)  
**Subject:** Meridian Marina Project - Letter of Support  
**Date:** Monday, August 8, 2022 10:20:16 AM  
**Attachments:** [Meridian Marina \(Gardner\) letter of Support.pdf](#)

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Good morning Commissioners,

My wife Lori and I are resident of the Hamilton Place community that is located directly across Mapp Rd from Meridian Marina. We would like to express our Support of the proposed improvement plans for the Meridian Property that include the expansion of the boat barn and the adding of a restaurant.

The property has been in disrepair for a long time, and it is nice seeing that the property is finally being cared for. Based on the fact that all of the local boat storage facilities are at capacity, the additional boat storage space is definitely needed, especially for larger boats, since most dry boat storage facilities top out at 28ft. I also think that it will be nice to have a waterfront restaurant here in Palm City.

After meet with and discussing the project with the new owners personally, I feel confident that the project will be a success and will be a positive addition to our community.

Please see attached letter of support that I would like to have included for the record at tomorrow's meeting. Thanks in advance for supporting this project.

Sincerely,

Bryan K. Gardner

1550 SW Prosperity Way

Palm City, FL 34990

**From:** [Russell Accardi](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project  
**Date:** Monday, August 8, 2022 1:32:25 PM

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This Email Sent From External Sender

For whom it may concern,

As a resident of Palm City I want to express my full support of the Meridian Marina renovations to the now delapidated restaurant on the water. I think to build a new family friendly restaurant that people living in the area can go to both by land but especially by boat would be an excellent addition to the area. There are currently few places that can be accessed by boat on the water and would be a great enhancement to the area for both full time residents, as well as visitors to this area.

There is also currently a shortage of boat indoor boat storage in this area. This is important especially due to hurricane season.

I hope you will consider moving forward with this proposed project.

Russell Accardi

**From:** [Robin Cartwright](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Project M035-210 - 79th amendment  
**Date:** Wednesday, August 3, 2022 2:28:50 PM

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Good afternoon, Commissioners -

On Tuesday you are supposed to hear a request to approve the 79th amendment for the Meridian Marina project. The report from staff is recommending you approve this request. Here are my questions I've asked of the applicant. If they have been asked or addressed, the responses are not able to be found in the provided information in advance of Tuesday's meeting.

1. You have a variance request for parking. Required is 214 spaces. You are proposing 151. Why so few?
2. You are increasing the approved number of boats to 540 total. How do you remedy this with the amount of parking spaces especially if you plan on having a restaurant?
3. Why does a Marina need a 3-story 6,000 sq foot restaurant with rooftop event space? If that's the case, then you DEFINITELY don't have sufficient parking.
4. You have a request for four (4) accessory dwelling units. Why? How big will they be? Are you renting them out? Do you have a hotelier license if you are?
5. You have one building that is presumably grandfathered in for 260 boats. Your site plan has a proposal for another building for 140 boats. And then you are proposing external boat racks for 140 more boats.

Regarding the external boat racks for up to 140 boats, the weights listed do not make sense. You have 45k (pounds I presume?) boats at the ground level, 30k / 20k boats on the first level, 15k / 12k boats on the second level, and 10k boats on the top level. Are those weights per rack, structure, or boat?

6. Your schematic provided shows only three levels. Are you suggesting that the top level of the new outdoor racks will have boats on top?

If so, the new outdoor boat rack structure is drawn at 40 feet. But you will add boats on top that will more than likely be center console with t-tops. Therefore, it can be assumed what people see when they drive by will be closer to 50' if not more. Even if your policy was to not include boats with t-tops, the profile would still be in excess of 40'.

7. The outside boat rack is drafted at 42.47' deep. In the drawing it appears to be right up against the existing dry storage building. How will boats be loaded on to the external boat racks? Do you have to drive through the parking lot past marina members' cars to maneuver a boat on a forklift to load it on to the rack?

According BoatRacks.com, "With the current trend in boat sizes and forklift sizes, most aisles are at least 60' clear."

But wait... The space identified for parking on that side is 59.97 feet.

Not sure how this mathematically works with cars in the parking lot.

If you keep the outdoor racks, then you have to have less parking, which requires an even greater variance.

8. Lastly, the comp plan states that you cannot have a wall plane in excess of 100' nor constitute more than 60% of the building's total length. Your buildings independently and certainly together are in excess of that. And you need four facade elevations. Can you please explain the "commercial design alternative" being recommended?

**From:** [Meghan M](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant  
**Date:** Sunday, August 7, 2022 11:41:11 AM

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This Email Sent From External Sender

Dear Commissioner,

I'd like to voice my support of the proposed new restaurant planning on going in at Meridian Marina. I am a resident of Palm City and have been excited ever since I heard we were finally getting a waterfront restaurant. Not only a waterfront restaurant but one that we can boat to as well. I am disappointed to hear that there is someone trying to oppose something that will truly be enjoyed and appreciated by most of the Palm City residents.

Sincerely,  
Meghan Marinho  
Palm City Resident

Sent from my iPhone

**From:** [Robert Peterson](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina restaurant  
**Date:** Monday, August 8, 2022 11:49:11 AM

---

This Email Sent From External Sender

To whom it may concern,

I have been a resident of Palm City for over 40 years. And the thought of a new family, Waterfront, restaurant brings a sense of hope for the community. It would truly be one of a kind and offer countless opportunities to the community. Youth employment, added revenue, attraction of surrounding residents, and all within a short walk or bike ride of a majority of Palm City. I have personally witnessed the Improvements that the Austin's have brought to the community, through their efforts to bring the Meridian Marina back from a sad state of disrepair. I see nothing but great things from the welcome addition of the restaurant and the continuing improvement of the Meridian Marina.

Thank you for your consideration,  
Robert W. Peterson Jr.

Sent from my iPhone

**From:** [dndlott](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina Restaurant Proposal  
**Date:** Monday, August 8, 2022 11:45:19 AM

---

This Email Sent From External Sender

Dear Commissioners of Martin County,

We would like to voice our opinion on the proposed restaurant at the Marina. We are residents at the Admiralty Condos directly adjacent to it. Upon their purchase of the property out of bankruptcy, they began to do numerous repairs that the previous owner neglected. There was significant damage to the sides and roof of the storage barn, whole sheets of siding missing due to previous hurricane damage. We actually had our boat stored there for a couple of years before they purchased it. When we had them launch the boat, we found rusty flakes of metal on the floor of the boat coming from the barn's roof because we were on the top rack. More importantly, there was environmental issues that were never addressed with the previous owner. The "Cameron's" have done a wonderful job with repairing the storage barn and cleaning up the environmental mess. The property looks much better than I have ever seen it. The restaurant will be a magnificent addition to the property on the point. This will give the Palm City residents and neighbors a much needed waterfront restaurant nearby.

In my position as the HOA president (Diane Lott), I have had multiple conversations with the new owners. When they bought the marina 2 years ago, they expressed a sincere interest in meeting their new Admiralty neighbors. So, I set up a meeting for them to introduce themselves to the residents where they brought mock ups of the design and their vision for the the marina. The restaurant was discussed at that time and there was and continues to be overwhelming support amongst 75% of our community for the restaurant. This is backed up by a poll that was taken last week. The Admiralty is a small community of 5 buildings, 49 units in total. The poll taken showed that the majority of the residents that responded would frequent and support the restaurant.

My husband and I hope that you will approve building the restaurant at the marina's "point" as this will enhance convenience of not having to drive into Stuart to enjoy waterfront dining.

Cordially,

Diane and David Lott  
Admiralty Condominiums  
Unit 401  
954-294-5060



**From:** [Mayda Sotomayor-Kirk](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Saturday, August 6, 2022 11:21:13 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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To the board of commissioners:

I am a resident of Martin County for over 20 years and store my boat at Meridian Marina. I love the improvements that have been done to the marina, for several years the previous owners had really abandoned the upkeep of this property. I understand there is a plan in place to build out a waterfront restaurant, this will only enhance the value of our properties, provide jobs to the community and bring class to this area. I am completely in favor of having a waterfront dining restaurant.

Regards,

Mayda Sotomayor

Best regards,

**Mayda Sotomayor-Kirk**

Chief Executive Officer

T +1 772-569-2244 Ext 201

M +1 772-559-3000

**Seald Sweet LLC**

1991 74th Ave

Vero Beach, Florida 32966

United States

[Disclaimer](#) / [Legal information](#)



**From:** [correct aol email](#)  
**To:** [Comish](#)  
**Subject:** Meridian Marina  
**Date:** Monday, August 8, 2022 5:00:04 PM  
**Attachments:** [A5961768503144EB912A5350560014C7\[5152983\].jpg](#)

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Good afternoon commissioners,

First of all, thank you for all that you do and for making this community the BEST!

I am an Ambassador for the Palm City Chamber of Commerce and LOVE Martin County. With that being said, I am in FULL SUPPORT of the Meridian Marina.

Thank you

**Nikki Leserra**  
**Sky Is The Limit**  
**Creative Director**

**772-486-7372**

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**From:** [Robin A Cartwright](#)  
**To:** [Stacey McKindles](#)  
**Subject:** Re: Meridian Marina Project M035-210 - 79th amendment  
**Date:** Wednesday, August 3, 2022 4:05:37 PM

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Thank you, Ms. McKindles. Please forward the following amended question to those you mentioned.

4. Per the Florida State Legislature 163.31771(2)(a): “Accessory dwelling unit” means an ancillary or secondary living unit, that has a separate kitchen, bathroom, and sleeping area, existing either within the same structure, or on the same lot, as the primary dwelling unit.

To continue, by definition:

(4) An application for a building permit to construct an accessory dwelling unit must include an affidavit from the applicant which attests that the unit will be rented at an affordable rate to an extremely-low-income, very-low-income, low-income, or moderate-income person or persons.  
(5) Each accessory dwelling unit allowed by an ordinance adopted under this section shall apply toward satisfying the affordable housing component of the housing element in the local government’s comprehensive plan under s. 163.3177.

You have a request for four (4) accessory dwelling units. By this definition you cannot call them that. So what is their purpose? How big will they be? Are you renting them out? Do you have a hotelier license if you are?

Robin

On Aug 3, 2022, at 3:24 PM, Stacey McKindles <comaide5@martin.fl.us> wrote:

Good afternoon Ms. Cartwright,

Thank you for taking the time to express your opinion on this important matter. Each of the Commissioners, Martin County’s Administration and Growth Management has received your email.

Respectfully,

Stacey McKindles  
Commission Aide, District 5  
Martin County Board of County Commissioners  
2401 SE Monterey Road  
Stuart, FL  
(772) 221-1357 (o)  
(772) 288-5432 (f)

---

**From:** Robin Cartwright <robin.a.cartwright@gmail.com>  
**Sent:** Wednesday, August 3, 2022 2:29 PM  
**To:** Comish <Comish@martin.fl.us>

**Subject:** Meridian Marina Project M035-210 - 79th amendment



Good afternoon, Commissioners -

On Tuesday you are supposed to hear a request to approve the 79th amendment for the Meridian Marina project. The report from staff is recommending you approve this request. Here are my questions I've asked of the applicant. If they have been asked or addressed, the responses are not able to be found in the provided information in advance of Tuesday's meeting.

1. You have a variance request for parking. Required is 214 spaces. You are proposing 151. Why so few?
2. You are increasing the approved number of boats to 540 total. How do you remedy this with the amount of parking spaces especially if you plan on having a restaurant?
3. Why does a Marina need a 3-story 6,000 sq foot restaurant with rooftop event space? If that's the case, then you DEFINITELY don't have sufficient parking.
4. You have a request for four (4) accessory dwelling units. Why? How big will they be? Are you renting them out? Do you have a hotelier license if you are?
5. You have one building that is presumably grandfathered in for 260 boats. Your site plan has a proposal for another building for 140 boats. And then you are proposing external boat racks for 140 more boats.

Regarding the external boat racks for up to 140 boats, the weights listed do not make sense. You have 45k (pounds I presume?) boats at the ground level, 30k / 20k boats on the first level, 15k / 12k boats on the second level, and 10k boats on the top level.

Are those weights per rack, structure, or boat?

6. Your schematic provided shows only three levels. Are you suggesting that the top level of the new outdoor racks will have boats on top?

If so, the new outdoor boat rack structure is drawn at 40 feet. But you will add boats on top that will more than likely be center console with t-tops. Therefore, it can be assumed what people see when they drive by will be closer to 50' if not more. Even if your policy was to not include boats with t-tops, the profile would still be in excess of 40'.

7. The outside boat rack is drafted at 42.47' deep. In the drawing it appears to be right up against the existing dry storage building. How will boats be loaded on to the external boat racks? Do you have to drive through the parking lot past marina members' cars to maneuver a boat on a forklift to load it on to the rack?

According BoatRacks.com, "With the current trend in boat sizes and forklift sizes, most aisles are at least 60' clear."

But wait... The space identified for parking on that side is 59.97 feet.

Not sure how this mathematically works with cars in the parking lot.

If you keep the outdoor racks, then you have to have less parking, which requires an even greater variance.

8. Lastly, the comp plan states that you cannot have a wall plane in excess of 100' nor constitute more than 60% of the building's total length. Your buildings independently and certainly together are in excess of that. And you need four facade elevations. Can you please explain the "commercial design alternative" being recommended?

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**To:** [Stacey McKindles](#)  
**Subject:** Re: Meridian Marina Project M035-210 - 79th amendment  
**Date:** Wednesday, August 3, 2022 4:05:37 PM

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Martin County Board of County Commissioners  
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(772) 221-1357 (o)  
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**Sent:** Wednesday, August 3, 2022 2:29 PM  
**To:** Comish <Comish@martin.fl.us>

**Subject:** Meridian Marina Project M035-210 - 79th amendment



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**From:** [Stacey McKindles](#)  
**To:** [Denny Dennis](#)  
**Subject:** RE: Meridian Marina M035-210  
**Date:** Wednesday, August 3, 2022 2:33:00 PM

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Thank you for taking the time to express your opinion on this important subject. Each of the Commissioners and the Martin County's Administration has received your email.

Respectfully,

Stacey McKindles  
Commission Aide, District 5  
Martin County Board of County Commissioners  
2401 SE Monterey Road  
Stuart, FL  
(772) 221-1357 (o)  
(772) 288-5432 (f)

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**From:** Denny Dennis <Denny.1946@outlook.com>  
**Sent:** Tuesday, August 2, 2022 12:05 PM  
**To:** Comish <Comish@martin.fl.us>  
**Subject:** Meridian Marina M035-210



Dear Commissioners,

This property was built, approved, and developed to be visually pleasing to the landscape of our beautiful town of Palm City. It appears our out-of-state developer wishes to violate the covenants that approved this building from day one with an industrial exposed outside rack system, which is in direct violation of the architecture mandated on this property to be contiguous throughout the building. See Section 4.872 of our comp plan. This is a 100,000-square-foot+ pill box with a proposed industrial, commercial framework exposed for all to see. Approving this will forever change the visual landscape of our beautiful community. This was never intended from the beginning and should not be approved for the future. The original intention was a kinder, gentler look with appealing architecture, not an industrial, commercial framework that you do not see anywhere within this area of Palm City. Let me ask the question, how are they getting away with all of this?

The proposed restaurant was never an intended use, and you change the consequences forever by changing an intended use. The noise and the traffic were never contemplated for this property and should not be allowed. One can only surmise the consequences of quiet evenings once the marina operations stop in the early evening that we currently enjoy. A restaurant would continue its business, disrupting our neighborhood and enjoying our quiet evenings overlooking the river. It was never intended for this and should not be allowed. One only has to leave your window open in the evening or sit on your balcony to have the cause and effect of a Sailors Return type venue which can be

heard all over the neighborhood. While nothing can be done about the City of Stuart and their poor planning with this type of venue, this is Palm City in Martin County. This residential neighborhood should have quiet enjoyment instead of the consequences of a use change. This area is all residential, except for the marina. We moved here for the parks, the water, and the peace and quiet. I didn't mind the marina, it was here, but there was never a restaurant approved for that building. Never.

You may have seen the ORCA pollution maps published in TCPalm, the area around the marina stood out on those maps. Our river is a way of life; it rises and falls every day. When companies pollute our river, they rob us of the very lifestyle we live here to enjoy. Allowing these companies to pollute our waters, whether intended or not, is their responsibility, not ours. The spillage from a basin owned by this company contaminates our tributary and should not be allowed to continue. We that live here are stakeholders; they are not. So once again, the consequences of their actions destroy the very fabric of our community. Make them clean up their mess and make them responsible for it in the future.

Don't approve these outdoor racks when other viable options adhere to our community and comp plan. Over the years, I've seen many proposed expansions for up to 600 indoor racks; not one plan has ever proposed outside industrial storage racks that do not meet the facade requirements. Not one. Indoor racks can be achieved; it just costs money. This developer wants to achieve a high number of racks as cheap as possible at the cost of the character and charm of our community while he takes his profits back to Texas. Marina operators come and go, but we will be stuck with these hideous outdoor racks forever. Why should our community have to pay this price just because this developer does not want to spend the money to build this out properly? If he can't afford to do so, then simply don't do it.

Denny

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RE: M035-210 - Meridian Marina

I was excited when Texas bought the marina and said he had \$10 million to improve the property. Finally, it would be built into something beautiful, not just a huge old pill box plunked in the middle of our neighborhood. Sadly, here we go again. Slick out-of-state developers trying to change our Martin County for the sole purpose of lining their pockets. Commissioners, what is going on here? Meridian Marina was bought by a large out-of-state marina corporation headquartered in Texas. Since then, you have allowed Texas to erect two huge tents that are enormous eyesores and certainly won't withstand a hurricane, which they use to repair boats under. How is that legal? You also allowed Texas to put on an entire new roof with no permit, and replace the entire south side of the barn with a permit that says replace panels as needed, it was the entire 500' wall! They put it all on Facebook. I have to get a permit to put shutters up, but Texas does not have to get a permit to replace the entire roof on a 62,000 sq. ft. building! This smells of a big Texas payoff. We needed permits for tents at Palm Fest, a truly local community event, not an industrial play for the repair of boats. Nowhere else in Palm City will you find repair facilities working out of tents that haven't met the simplest building and fire codes. Yet you have allowed them to do this. For Texas, you look the other way. What about us, the people who elect you and who you represent? What is Texas doing for you?

The Admiralty shares part of the basin with the marina. The marina owns the basin, and we are at their mercy to have the basin dredged. We have been promised for 2 decades that it would be dredged as it is shallow and full of polluted muck. Have you seen the pollution maps done by ORCA? I've included a couple maps; this is a very residential area, and the ONLY business here is the marina, so I think it is pretty obvious the source of the pollution. If you approve this development, I hope you at least make them dredge out the muck and the plume of polluted muck emanating from their basin. The Atlantic Point developer is a local, cares about our river, and did that in front of their marina without even being asked to. I bet Texas hasn't offered that! Dredging the polluted muck out is a drop in the bucket for their budget, and it would help our river immensely. The Indian Riverkeeper used to say the river is dying a death from 1000 cuts; well, the reverse is true; everything we do to clean the river will heal those 1000 cuts, one slice at a time. Texas should pony up and clean their muck.

This was never intended to be an industrial outdoor boat storage area. Look at what the BOCC originally passed and intended for this area compared to this plan. Night and day! Passage of time should not be the excuse to morph our beautiful Palm City into an industrial looking area. That is what those ugly outdoor storage racks will do! Texas treats the primary facade, the side every visitor to Pendarvis Park and every resident off of Chapman sees every day, like a junkyard, look at the tents and old boats. No wonder he wants to put ugly outdoor racks there; he treats it like the back of the property that no one sees, not the front that it is! We do see it! Please, make Texas build something in compliance with our comp plan and what it was intended and approved for, a facility that is appealing to the eye and fits in with the culture of the neighborhood.

And please, make sure this monstrosity does not breach the 4 story height limit; all we need is to see boats 60' up in the air! If you approve these ugly industrial outdoor racks, there is no roof to ensure everything is below 40'. What will stop them from putting boats with towers or t-tops on the top rack, which would egregiously surpass the 40' height limit? **The ugly outside storage racks should be inside a building**; we are not in an industrial area. We have two beautiful parks, Justin Wilson and Pendarvis, wetlands, and the river. This area of Palm City is all residential, except for the marina. I'm not sure how that happened; it is already out of place, but for heaven's sake, please don't let them put some industrial outdoor rack system up. Stay with a look that was originally approved and intended; the racks are ugly!

In fact, these racks violate our comp plan! According to the Staff Report dated 11/24/2021, the west and north facades of the building are considered primary facades. Texas wants to put the industrial racks along the entire north facade. Section 4.872 dictates (see attached), "*Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing **visual interest that will be consistent with the community's identity and character** through the use of detail and scale.*" Please, drive through our community, we are residential, and the only addition allowed should be architecturally pleasing to fit in with the neighborhood as dictated in our Comp Plan and what was approved by the BOCC. How are ugly industrial outdoor racks on the north facade even remotely allowed according to our own codes? We have to look at this "primary facade" every day. It should be beautiful architecture, not ugly industrial boat racks! Every visitor to Pendarvis Park will have to look at those racks entering and leaving the Pendarvis Park. Texas doesn't want to build an architecturally pleasing building for our community because he doesn't live here, and he doesn't have to look at it every day. If he did, he would realize they are not consistent with our community's identity and character. All Texas cares about is lining his pockets with the money he is making from our community. I really hope you do not allow this outdoor storage system here. Palm City is doing so many improvements that make it appealing to the eye and family-friendly. Just check out the beautification on Mapp Rd. These industrial racks do not belong in our residential neighborhood, this marina should expand with INDOOR storage, not ugly outdoor boat racks. I am not opposed to him increasing his business, but this is not fair to our community to plunk industrial type racks in the front yard. Please only approve racks that are inside an architecturally pleasing building, as was the original intent of the Marina Village PUD. Marina owners come and go, but we will be left with this ugly monstrosity forever.

Slick Texas also is asking for 4 accessory dwelling units (ADW). What? Those have never been approved and certainly are not needed at a business that operates only during the day. I have to wonder if Texas isn't trying to pull a fast one so he has 4 waterfront apartments to rent out in our hot, money-making rental market. Here are some comparable area dry stack marinas and the number of ADWs recorded.

Riverwatch 0

Atlantic Point Marina 0

Sundance Marina 0

Manatee Marina 0

Considering the brief history Texas has had in this county and has immediately finagled major site work without permits, I wonder why Texas is trying to sneak in 4 apartments under the ADW, ADW's are obsolete in the drystack marina business. Then he wants to build a restaurant with a rooftop bar! The County seems to be bending over backward for him, letting him have the tent/repairs without permits, reducing setbacks for his monstrosity, all the while leaving us residents to twist in the wind and be stuck with whatever Texas wants to build, regardless of what it does to our beautiful and quiet neighborhood. I question the reduction in parking. Being this is something that can be adjusted by a "decision-maker," what parameters did the decision maker use to delete 63 required spaces by code? Is this the same "decision-maker" that let him replace an entire roof and beams without any permit? I get it, the more Texas can build and not adhere to our comp plan, the more money he can take back to Texas, but we are the ones who will forever have to live with the consequences.

I wonder when, not if, you are going to ask us residents for another tax increase while letting outside developers like Texas off the hook? Let's make the outside developers stick to our comp plan and rules. Sweetheart deals, variances, and comp plan amendments have no place here when it damages our community. We have to stick by the rules, so should they. This company's profits go back to Texas; they are not involved in our community or care about the river; they are just trying to build things that do not fit the culture of our community for nothing more than to pad their pockets at our expense.

Commissioners, things just don't seem on the up and up with all of this. Please just do your job. No favoritism to greedy, outside developers. WE live here. WE love our Martin County. WE love our river. WE legally obtain needed permits! WE love our peaceful neighborhood, and WE vote locally, Texas does not. Restaurants and bars belong in the commercial area of Palm City, not here. This is an incredibly unique location, please take the time to stroll down Chapman Way and you will understand. This entire area is all residential except for the marina, please don't add more traffic, chaos, and disruptions with a bar and restaurant. Traffic is already becoming a nightmare in the area. The marina with INSIDE storage is fine, bars and restaurants are not fine in this area. Protect us, our county, our river. No to ugly outside industrial storage racks, they don't belong in this part of Palm City! Those racks are a direct violation of our Comp Plan and primary facade requirements. No to apartments, I mean accessory dwelling units. No to the restaurant - save our residential neighborhood! And tell them to clean the muck up!

Very Concerned in Palm City

***F. Determination of compliance with Comprehensive Growth Management Plan requirements - Growth Management Department***

**Unresolved Issues:**

**Item #1:**

**Generic Comp Plan Compliance-GMD**

This application cannot be deemed to be in compliance with the Martin County Comprehensive Growth Management Plan (CGMP) until the issues identified in this report have been satisfactorily resolved. Martin County, Fla., CGMP, § 1.3

***G. Determination of compliance with land use, site design standards, zoning, and procedural requirements – Growth Management Department***

**Unresolved issues:**

1. Provide the floor plans and elevations for the restaurant, sales and operations building, including the accessory dwelling units.
2. The boat storage building appears to have a pitched roof. Show the building height to the mean height of the roof per Sec. 3.14 LDR.
3. Parking: The parking rate for Restaurants is 1.5 spaces per 100 sq. ft.  
A parking rate adjustment may be warranted with a shared parking rate analysis.
4. Show the percentage of building coverage in the data table. A maximum of 50% is permitted in the Commercial Waterfront land use.

**Item #1: Land Clearing**

No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre-construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials. MARTIN COUNTY, FLA., LDR § 4.37

***H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department***

**Commercial Design**

The west and north facades of the building are considered the primary facades

**Unresolved issues:**

1. Provide all four façade elevations of the building with the direction it faces labeled.

2. Sec. 4.872.B. Control of building mass. No continuous wall plane shall exceed 100 linear feet nor constitute more than 60% of the building's total length. A wall plane must be offset a minimum of 3 feet and extend a minimum of 8 feet to be considered a wall plane.
3. Sec. 4.872.C. Primary Facades. All primary facades shall consist of at least 4 design features along a minimum of 50% of the horizontal length. (see section 4.872.C. LDRs)
4. Sec. 4.872.F Roofs. Peaked roofs shall provide at least 2 roof slope planes and have a minimum slope of 1/3.
5. Sec. 4.872.G Customer entrances. All commercial buildings should have clearly defined entryways. Commercial buildings of more than 10,000 sq. ft. shall provide an outdoor patio area of a minimum of 200 sq. ft.
6. Sec. 4.872.H. Materials and color. Identify the materials and provide the colors used on the primary facades. The secondary facades shall use compatible materials and colors.
7. Sec. 4.873.B. Bicycle and pedestrian amenities. Provide the required bike racks and benches for a 100,000 sq. ft. plus building.
8. Sec. 4.874. Alternative Compliance. If alternative compliance is sought for any of the above requirements, list the section of code and provide for alternative measures or reasons that the requirement cannot be met.

### **Community Redevelopment Area**

N/A

The property is not located within a Community Redevelopment Area (CRA). Therefore, the Community Redevelopment Area reviewer was not required to review this application. MARTIN COUNTY, FLA., LDR, Division 6

#### ***I. Determination of compliance with the property management requirements – Engineering Department***

N/A

No dedication of additional right of way is required or proposed by the Applicant pursuant to the Roadway Classifications set forth in Section 4.843.B, Land Development Regulations, Martin County, Fla., (2010) which includes Table 4.19.1 that lists the minimum right of way requirements. Therefore, the Applicant is not required to submit due diligence materials for review by the Martin County Real Property Division.

#### ***J. Determination of compliance with environmental and landscaping requirements - Growth Management Department***

### **Environmental**

#### **Unresolved Issues:**

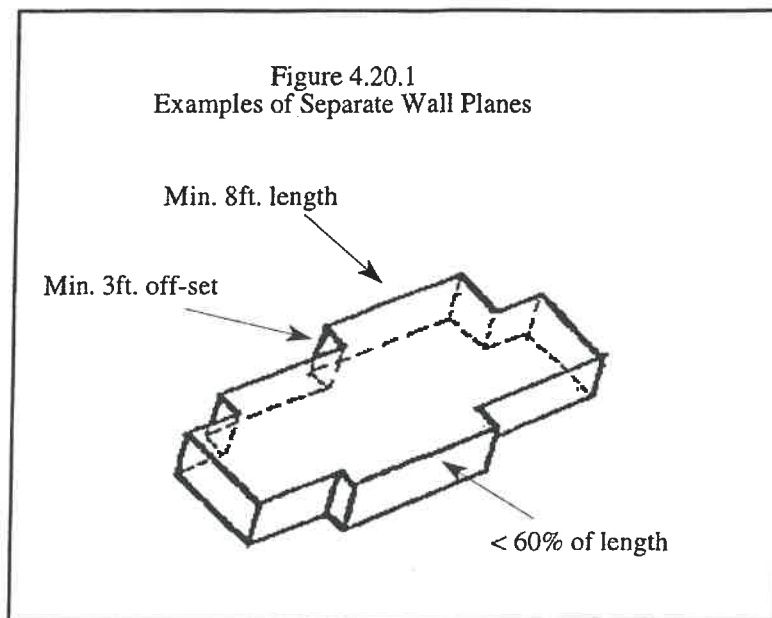
#### **Item#1: Site Plan**



## Sec. 4.872. Architectural design standards.

**4.872.A. Purpose and intent.** All commercial buildings and structures should be designed to maintain and enhance the attractiveness of the streetscape and the existing architectural design of the community. Buildings and structures should have architectural features and patterns that reflect human scale and proportions, reduce massing and recognize local character. Facades should be designed to reduce the mass or scale and uniform monolithic appearance of large unadorned walls, while providing visual interest that will be consistent with the community's identity and character through the use of detail and scale.

**4.872.B. Control of building mass.** On the ground floor of any primary facade, no continuous wall plane shall exceed 100 linear feet, nor shall any single wall plane constitute more than 60 percent of a building's total length. A wall plane shall be off-set a minimum of three feet from the adjacent wall plane and be a minimum of eight feet in length to be considered a separate wall plane. However, any portion of a wall plane having a pedestrian arcade extending a minimum of eight feet out from such wall, shall be considered a separate wall plane, provided that such arcade does not extend uninterrupted farther than 120 linear feet.



### Separate Wall Planes

#### 4.872.C. Primary facades.

1. **Consistent architectural style.** The primary facades of all buildings and structures shall be designed with consistent architectural style, detail and trim features.
2. **Minimum design elements.** All primary facades on the ground floor shall have at least four of the following design features along a minimum of 50 percent of their horizontal length.
  - a. Awnings, located over windows or doors, in increments of ten feet or less in length.
  - b. Overhanging eaves, extending out from the wall at least three feet, with a minimum eight-inch fascia.
  - c. Pedestrian arcades, a minimum of eight feet in width and length.



- 
- d. Raised parapet over a customer entrance.
  - e. Peaked roof forms.
  - f. Windows.
  - g. Decorative light fixtures.
  - h. Clock or bell towers.
  - i. Artwork, such as but not limited to sculpture, mosaic, glass block, opaque art glass, or relief work.
  - j. Architectural details other than those listed above, which are integrated into the building and overall design. Examples of architectural details include, but are not limited to relief and reveal work, tile mosaic, decorative columns, pilasters or sculpture.
3. *Limitations on blank wall areas.* Blank wall areas shall not exceed ten feet in vertical direction and 20 feet in horizontal direction on any primary facade. Control and expansion joints shall be considered blank wall area unless used as a decorative pattern. Wall areas that are adorned using at least one of the design features set forth in paragraph 2., above, shall not be considered blank wall areas. Walls that are adjacent to a pedestrian arcade shall not be considered blank wall areas.
4. *Windows.* Windows shall include visually prominent sills, shutters, stucco reliefs, awnings or other such forms of framing.
5. *Major intersections.* In addition to all other requirements of this subsection 4.872.C., developments located at an intersection of two or more arterial or collector streets shall provide a prominent architectural feature such as, but not limited to a monument, sculpture or clock tower, to emphasize their location as gateways and transition points within the community.
6. *Artwork for large commercial developments.* In addition to all other requirements of this subsection 4.872.C., large commercial developments shall provide a public display of artwork, such as but not limited to sculpture, mural, or tile mosaic. The artwork may be placed on any outdoor portion of the site which is available for public viewing. Developers providing artwork in accordance with this paragraph are encouraged to coordinate with the Public Art Advisory Board.
- 4.872.D. *Secondary facades.* Although the design standards of subsection 4.872.C., above, do not apply to secondary facades, the secondary facades of each building shall be consistent with the primary facade in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facade is stucco with beige paint and white trim, the secondary facades of the building shall include a similar stucco finish, beige paint and white trim.
- 4.872.E. *Parking structures.*
- 1. A minimum of 60 percent of any primary facade of a parking structure shall have at least one of the following:
    - a. Decorative metal grill-work or similar detailing which provides texture and partially covers the parking structure opening(s); or
    - b. Vertical trellises extending a minimum of 20 feet in height or to the top of the parking structure, whichever is less, covering at least 50 percent of the primary facade).
  - 2. When a parking structure is an accessory structure within a larger development, the facades of such parking structure shall be consistent with the primary facades of other buildings within the development in terms of the exterior finish and colors used. For example, if the dominant exterior finish of the primary facades of the other buildings is stucco with beige paint and white trim, the facades of the parking structure shall include a similar stucco finish, beige paint and white trim.

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4.872.F. *Roofs.*

1. Generally. Variations in roof lines shall be used to add interest to and reduce the massing of buildings (see figure 4.20.2 for examples). Roof features should be in scale with building mass and should complement the character of adjoining or adjacent buildings and neighborhoods wherever possible. Roofing material should be constructed of durable high quality materials in order to enhance the appearance and attractiveness of the community.
2. Flat roofs shall:
  - a. Have a parapet of at least 12 inches in height along any primary facade and shall have at least two changes in height of a minimum of two feet along each primary facade.
  - b. Provide a three-dimensional cornice treatment along the entire length of the primary facade. The cornice treatments shall be a minimum of 12 inches in height and have a minimum of three reliefs.
3. Peaked roofs shall:
  - a. Provide at least two roof slope planes per primary facade, where the primary facade is less than 40 feet in horizontal length, or at least three roof slope planes where the primary facade is 40 feet or longer in horizontal length.
  - b. Not exceed the average height of the supporting walls.
  - c. Have an average slope greater than or equal to one foot of vertical rise for every three feet of horizontal run and less than or equal to an average slope of one foot of vertical rise for every one foot of horizontal run.
4. Asphalt shingles shall be prohibited, except for 320 pound, 30-year architectural grade or better shingles which otherwise meet all requirements of the Florida Building Code.



Meridian Marina  
May 16, 2021 · 🌐

New siding is almost complete!

👍 1

👍 Like   💬 Comment   🔄

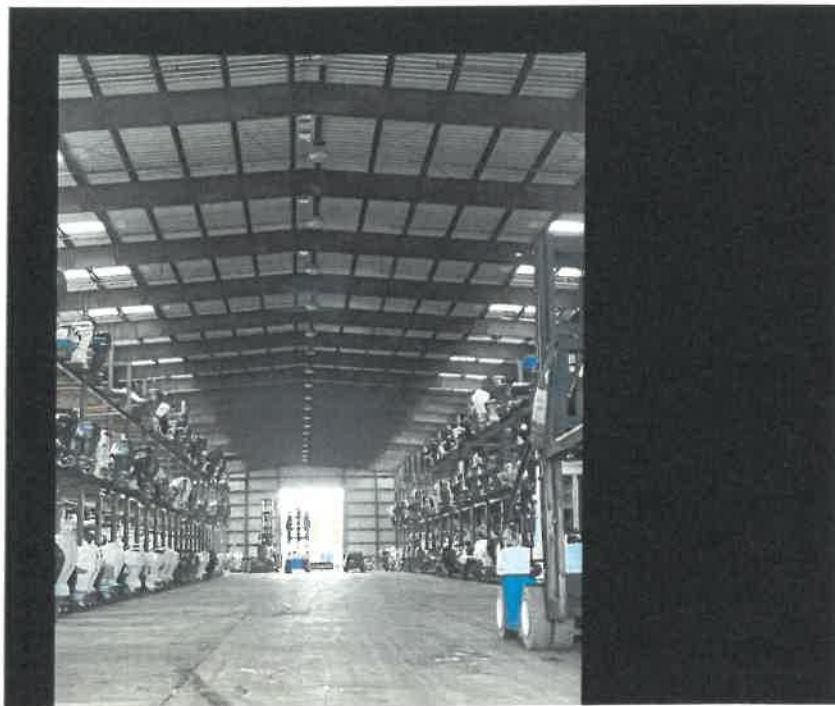


RYAN (408) 117-0000  
March 23, 2021 · 🌐

Rick inspecting Phase 1 of the barn construction.

👍 1

👍 Like   💬 Comment   ➦ Share



Meridian Marina  
May 16, 2021 · 🌐

The new roof and new beams are complete. No more rusty roof!

👍 1

👍 Like    💬 Comment    ➦ Share





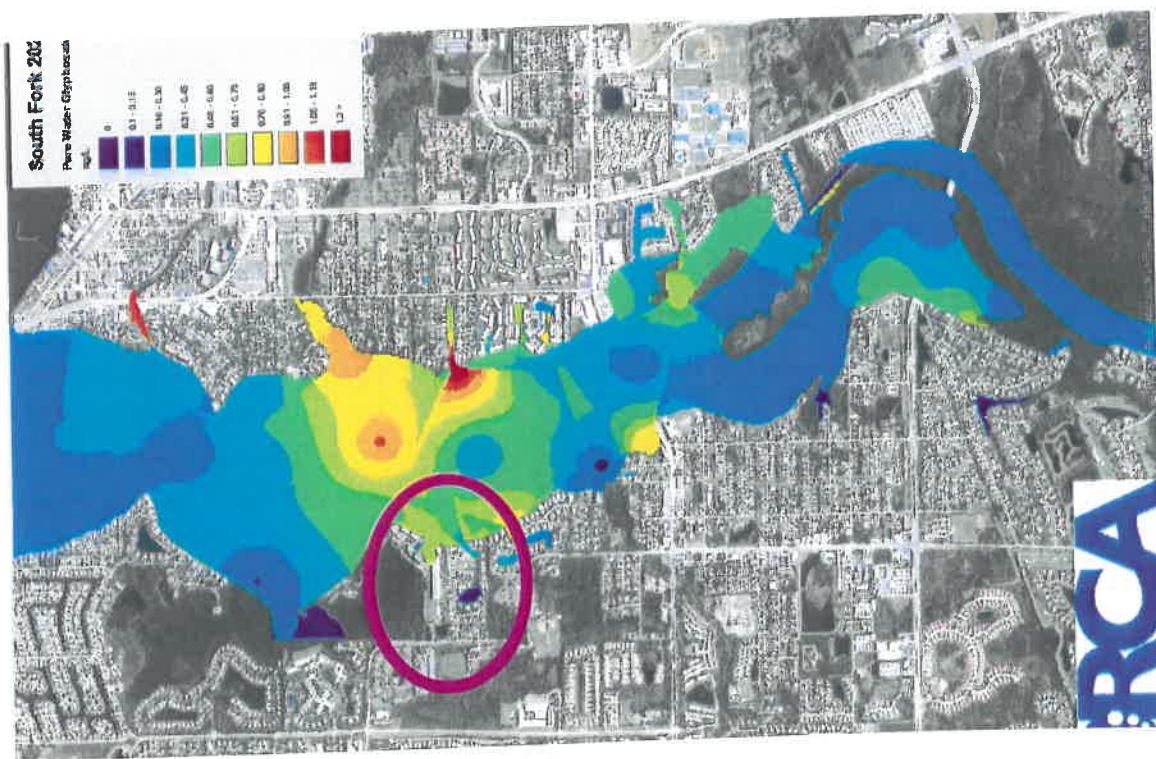
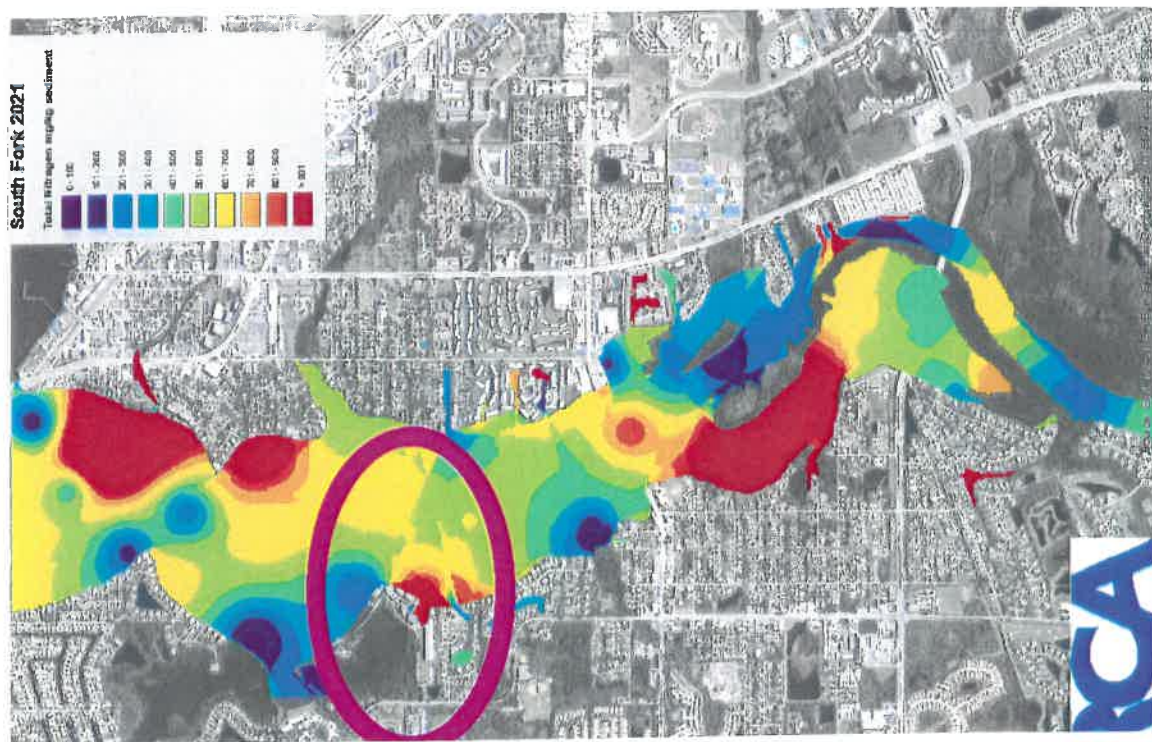
Meridian Marina  
March 23, 2021

Replacing the roof on the storage barn.

2

Like Comment Share







**From:** [David Miller](#)  
**To:** [Comish](#)  
**Subject:** Opposition to the Meridian Martina Restaurant/Bar  
**Date:** Monday, August 8, 2022 8:57:33 PM

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Dear Commissioner,

We are writing to voice our strong opposition to the proposed construction of a restaurant/bar as part of the Meridian Marina (1400 SW Chapman Way).

We purchased our waterfront property in 2017. It is located less than 1000 feet from the proposed restaurant/bar site.

Boating and the consumption of alcoholic beverages is a well known safety concern and has cost the lives of many. The approval of this project will encourage alcohol consumption and driving (boats and vehicles). Justin Wilson Park is used by hundreds of children and adults for recreational activities, it is located within .5 miles of this proposed restaurant/bar. If this concern alone is not enough to stop this project, we will be disappointed.

Mapp Road is currently adding an additional 24 single family homes which will increase traffic significantly.

The proposed bar will directly

1. affect the late evening noise level to our home and community, compounded by a rooftop deck
2. increase boat traffic resulting in adverse effects to all seawalls and docks in the area. We have already seen significant increases in boat traffic.

My husband and I are full time voting residents of Martin county and have faith that this project will not move forward.

Thank You,

David and Kasondra Miller

1162 SW Pelican Crescent

Palm City, FL

Sent from [Mail](#) for Windows

**From:** [crgrity@aol.com](mailto:crgrity@aol.com)  
**To:** [Comish](#)  
**Subject:** Restaurant at Meridian Marina  
**Date:** Monday, August 8, 2022 10:09:33 AM

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Hello All:

My name is Charles Glover, I live in Palm City. I have been here 11 years. I grew up in Ft pierce and I love living here in Martin County.

I am super excited about getting a waterfront restaurant in Palm City. I think it would be a great way to spend an evening with my friends without having to worry about driving and parking downtown.

I urge you to approve the restaurant.



**From:** [Cindy Belden](#)  
**To:** [Comish](#)  
**Subject:** Subject: Support for Meridian Expansion & Restaurant  
**Date:** Saturday, August 6, 2022 9:03:25 PM

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Hello Cornish...

I hope this finds you well...

My Husband and I are residents at the Admiralty in Palm City. I am a Realtor here in Stuart at Coldwell Banker and we have lived here for 24 years in Palm City and at the Admiralty for 18 years. We have watched the Marina thru 3 different owners and Not One has improved the property with the Desire and Community that Austin and Jenny Cameron have already displayed. We support what they have proposed at the Meridian Marina site and Welcome their plans as a Family Friendly Marina and Restaurant along with the Boat Racks to enhance and Beautify Chapman Way and Our Palm City Community. We hope you do too.

Sincerely ... Cindy Belden

Cindy Lauren Belden  
"Because Every Home... Deserves Luxurious Service!"  
Coldwell Banker Realty  
Coldwell Banker Global Luxury  
2369 SE Federal Highway - Stuart, FL. 34994  
Direct: 772-485-2000  
Fax: 772-287-3000

**From:** [Michael Morash](#)  
**To:** [Comish](#)  
**Subject:** Support for Meridian Marina  
**Date:** Sunday, August 7, 2022 7:26:59 PM

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This Email Sent From External Sender

Good evening.

I would like to express to the commissioners my support for the project Meridian Marina M035-210. I have been a customer for the past 3 years with this marina and I believe a project like this is extremely beneficial for the not only the customers but also for the residents in Martin County. Over the years I have seen how this marina has brought families closer together at the marina and also on the water. With this expansion I truly believe that families will be able to enjoy the benefits of a place to eat, relax and enjoy and become closer as a community. My daughters who is a Palm City resident and the people in her community are excited that there will be a place on the water that they can enjoy without traveling far.

Thank you for your time in the consideration for this expansion.

Michael C Morash.

772-359-0230

Sent from my iPhone

**From:** [sarah.pearson](#)  
**To:** [Comish](#)  
**Subject:** Support Meridian Marina  
**Date:** Monday, August 8, 2022 8:15:08 AM

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This marina has been hands down the best place to have come in contact with. The new owners of this Meridian Marina owns other very successful marinas in other states so they know how to operate and manage a business with no questions asked. With that being said expanding docks/repairing the existing ones opening up a nice restaurant would be beneficial to the community in more ways then one. I would see this project being a very successful and rewarding for families to make great memories. Keep Martin county looking beautiful these owner only wants what is best for the people in the community and boater that come from all over the world. Thank you. Sarah-- --

Sarah Pearson

**From:** [Donald F. White](#)  
**To:** [Comish](#)  
**Cc:** [Grace White](#); [Sydney White](#); [Reagan White](#); [Julianna Reilly](#); [Michael L Reilly](#)  
**Subject:** The Meridian Marina project M035-210 - 1400 SW Chapman Way Palm City  
**Date:** Monday, August 8, 2022 10:58:30 AM

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It has come to our attention that discussion and a possible vote on the Meridian Marina project is about to occur. We collectively want the commission to know our family fully supports the project as presented by our new neighbors, Austin and Jenny Cameron.

Our home is located at 1030 SW Chapman Way, one of four private homes just down the street from the marina. Indeed, we pass the marina multiple times daily to and from our home. We have spent several hours with the Camerons discussing their vision for this property and as residents on Chapman Way we are excited about their vision and the proposed project. Grace and Don have lived virtually our entire adult lives in Martin, built a business here, and are nearly 40 year residents. Sydney and Reagan have lived their entire lives here, are 2022 graduates of Martin County High, and incoming freshmen at UNF in Jacksonville. Grace and Don were excited, when in 1988, as Martin Downs residents, the marina was first built as a part of Peter and Julie Cummings vision for Martin Downs and Palm City in particular. We became one of the first customers of Martin Downs Marina when we moved our 26' Mako from a trailer in outside storage to the "in-and-out" facility on Chapman Way, then one of the finest in the area.

In 1993, we decided to purchase property on the river and bought a home in North River Shores. We moved our boat from the marina to our home and lost track of Martin Downs Marina. However, in 2012, we sold our house on Cocoanut Point and moved back to Palm City (coincidentally on the same street as the Marina). Frankly, we were shocked by the marina's state of disrepair and seriously considered not purchasing our home on Chapman Way because of it. The building was a mess. The property was overgrown. The pond on Mapp Road had become a weed infected mosquito breeding ground. However, we were assured by our realtor the property was under contract and the new owners were going to renovate the property and bring it back to its former glory. The realtor was truthful about the pending sale. What he did not know was the new owners would just make things worse. The building was not improved or repaired, the pond got even more infested, the lift equipment on at least a couple of occasions was in such bad shape, lifts actually fell into the water. The new owners did not help matters. Indeed, they made it worse.

Then, about a year and half ago, we discovered the property had been purchased by Austin and Jenny Cameron when our dog accidentally got out of our yard and ended up at the marina. We met the new manager and we learned about the Camerons and the plans they had for the only marina in Palm City. Nevertheless, we were skeptical. We had heard about the former owners' "big plans" in the past and nothing ever happened. But soon the roof was resurfaced, the pond was cleaned out, and the grass was being cut every week. The old lifts that looked as unsafe as anything on the property were replaced. Finally, a sign went up about a public hearing on changing the property and we were intrigued. We mentioned it to our neighbors, Mike and Julianna Reilly, who told us they had met the Camerons. He said they were impressed by their vision, and we should meet them as well. We did and we were happy we did. Austin and Jenny Cameron are the real deal. They want Meridian Marina to become the best it can be. They are talking about making an unprecedented multi-million dollar investment in Martin County and Palm City's future that should make us all proud. Their idea of a restaurant on the river run by a top drawer restaurateur is exceptional--there is nothing even remotely like it in Palm City. The expansion, landscape, and parking plan is well thought out and will turn the property into an exceptional marina.

We believe the commission should approve the project request in its entirety. It is good for our neighborhood, for Palm City, and all of Martin County. We are proud to call Austin and Jenny Cameron our neighbors.

Sincerely,

Donald, Grace, Sydney, and Reagan White  
1030 SW Chapman Way  
Palm City FL 34990



**Donald White, AEP, CLU, ChFC**  
**Author & Speaker**

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**P 772.285.0908 W donaldfwhite.com E donaldfwhite@gmail.com**



**From:** [stevens campbell](#)  
**To:** [Comish](#)  
**Subject:** Water Dining  
**Date:** Tuesday, August 9, 2022 9:33:47 AM

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This Email Sent From External Sender

As a boater and someone who works in the marine industry it would be great to have more choices of a place that caters to boaters. I would love to see a new restaurant/bar added to our area.

Sent from my iPhone

**From:** [Melissa Smith](#)  
**To:** [Comish](#)  
**Subject:** Waterfront Restaurant  
**Date:** Monday, August 8, 2022 2:55:16 PM

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This Email Sent From External Sender

To whomever it may concern - As a resident of the Palm City area, as well as a user of the Meridian Marina for my boat, I have been nothing but impressed with the quality of hospitality this Marina has provided. A family friendly restaurant would be a fantastic asset to this Marina and a space for the community to continue to flourish in what has been a wild time for the world.

I look forward to being a part of this journey and hope to see success during these next steps in getting there.

**From:** [Michael Kavanagh](#)  
**To:** [Comish](#)  
**Subject:** We Support Meridian Marina M035-210  
**Date:** Monday, August 8, 2022 9:32:58 AM

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This Email Sent From External Sender

This email expresses our support for the planned improvements to the Meridian Marina in Palm City and the addition of a restaurant to the property. We have been residents of Stuart for over 20 years. We were originally attracted to the area by its natural beauty and the abundance of water and water based activities. We have been boaters nearly our entire lives and the boat lifestyle in our community is amazing. During the pandemic we decided to buy a larger boat to expand our boating opportunities. Purchasing the boat ended up being the easy part. We were stunned to learn that in the Stuart/Jensen Beach/Palm City area there were virtually no slips available for our boat (33'). That is when we learned that Austin and Jenny Cameron had purchased the Meridian Marina.

We had heard that the Meridian Marina did not have a great reputation so I asked for an opportunity to meet the new owner. Austin met the same day with my wife and I and spent over an hour with us walking us through their vision for the property. We became customers and to this day the Camerons have done everything they said they would do. They have refurbished a run down eyesore into one of the nicer storage facilities in the area. They invested heavily in the infrastructure surrounding the building. They cleaned up the overgrown pond/water feature and made into an asset for the neighborhood. The remaining improvements- new docks, replacing the dilapidated seawall, adding additional storage and a new restaurant- were all part of the vision that Austin described. We are confident that the Camerons will complete the balance of the plan with the same professionalism, quality and sensitivity for the neighborhood that has been evident since the day that they took over the facility.

Martin County needs this facility. In a county where boating opportunities are nearly unmatched, the dearth of storage capabilities is stunning. We know of many of our Stuart neighbors that store their boats in Jupiter or Ft. Pierce because there is nowhere available in Stuart. A new waterfront restaurant in the area would also be a tremendous asset to Martin County and Palm City (which to my knowledge currently has zero). And unlike most waterfront restaurants in the area, Meridian has ample parking on property. The community will be a better place with this project.

The Camerons have been absolutely true to their word on everything they've done. They are accessible (living on site for a large part of the year), honest and an asset to Martin County. We need to attract more people like the Camerons to the county, not push them away.

We encourage the commissioners to approve this project.

Sincerely,

Michael & Jacqueline Kavanagh  
579 NE Plantation Road, S210  
Stuart, FL 34996  
[m.j.kavanagh@comcast.net](mailto:m.j.kavanagh@comcast.net)