



Board of County Commissioners

Agenda Item Summary

COUNTY
EXHIBIT # 1

File ID: 19-0530

PHQJ-2

Meeting Date: 6/18/2019

PLACEMENT: Public Hearings - Quasi-Judicial**TITLE:****WEST STUART BUSINESS CENTER REQUEST FOR REVISED FINAL SITE PLAN APPROVAL****EXECUTIVE SUMMARY:**

West Stuart Business Center, LLC is requesting revised major final site plan approval for the development of a 91,924 square foot office and warehouse complex and the associated infrastructure on an approximate 8.5-acre parcel located in the Ellipse industrial park located between Interstate I-95 and Florida's Turnpike in Stuart. Included with this application is a request for a Certificate of Public Facilities Reservation and a request for a parking rate adjustment pursuant to Section 4.625 LDR.

DEPARTMENT: Growth Management

PREPARED BY: Name: Peter Walden
Title: Principal Planner

REQUESTED BY: Engineering Design and Construction, Inc. Brad Currie, AICP**PRESET:****PROCEDURES: Quasi-Judicial**

FILED FOR RECORD
COMMISSION RECORDS
MARTIN COUNTY, FL
Date 6/18/19
CAROLYN TIMMANN
CLERK OF CIRCUIT COURT
D.C.

BACKGROUND/RELATED STRATEGIC GOAL:

The West Stuart Business Center is a proposed 91, 924 square foot office and warehouse complex located on lot 18 of the platted Ellipse limited industrial subdivision. Lot 18 is an approximately 8.5 acre parcel located on the east side of SE Ellipse Way approximately 1/5 of a mile east of SE Jack James Avenue. The project is accessed from SW Kanner highway in Stuart and is between Interstate I-95 and the Florida Turnpike.

The project received development approval for 39,800 square feet of warehouse and office space and the associated infrastructure on January 24, 2018 and that portion of the project is under construction. The project at that time met the threshold for a minor development. The applicant has submitted an application for an additional 52,124 square feet of office and warehouse space and the associated infrastructure to complete the buildout of the parcel. The additional square footage trips the threshold for a major final site plan requiring consideration by the Board.

The applicant also requests a parking rate adjustment pursuant to Sec. 4.625 LDR to add an additional 39 parking spaces to facilitate the tenant needs within the complex. Staff has determined

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that there is no adverse effects to the surrounding properties and the additional parking spaces are pervious as required by LDR parking rate adjustment criteria.

The development has met the commercial design requirements of Article 4, Division 20, Commercial Design, and meets all other applicable development standards of the LDRs and Comprehensive Growth Management Plan.

ISSUES:

There are no issues related to this site plan application.

LEGAL SUFFICIENCY REVIEW:

Because this request involves the application of a policy to a specific application and site, it is a quasi-judicial decision. Quasi-judicial proceedings must be conducted with more formality than a legislative proceeding. In quasi-judicial proceedings, parties are entitled - as a matter of due process - to cross-examine witnesses, present evidence, demand that witnesses testify under oath, and demand a decision that is based on a correct application of the law and competent substantial evidence in the record.

RECOMMENDED ACTION:

RECOMMENDATION

Move that the Board receive and file the Agenda Item and the associated staff report as Exhibit 1.
Move that the Board approve the revised major final site plan and the parking rate adjustment for the West Stuart Business Center.

ALTERNATIVE RECOMMENDATIONS

None.

FISCAL IMPACT:

RECOMMENDATION

The applicant has paid the \$9,127.00 application fee and the \$290.00 Completeness fee.

Funding Source	County Funds	Non-County Funds
Subtotal		
Project Total		

ALTERNATIVE RECOMMENDATIONS

None

DOCUMENT(S) REQUIRING ACTION:

- ☐ Budget Transfer / Amendment ☐ Chair Letter ☐ Contract / Agreement
☐ Grant / Application ☐ Notice ☐ Ordinance ☒ Resolution
☐ Other:

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MARTIN COUNTY, FLORIDA DEVELOPMENT REVIEW

STAFF REPORT

A. Application Information

WEST STUART BUSINESS CENTER REVISED MAJOR FINAL SITE PLAN

Applicant:	West Stuart Business Center LLC
Property Owner:	West Stuart Business Center LLC
Agent for the Applicant:	Engineering Design & Construction, Inc., Brad Currie, AICP
County Project Coordinator:	Peter Walden, Principal Planner
Growth Management Director:	Nicki van Vonno, AICP
Project Number:	E016-036
Application Type and Number:	DEV2018110010
Report Number:	2019_0506_E016-032_Staff_Report_Final
Application Received:	12/04/2018
Transmitted:	12/04/2018
Date of Report:	01/15/2019
Resubmittal Received:	02/28/2019
Transmitted:	03/01/2019
Date of report:	03/18/2019
Resubmittal received:	04/12/2019
Transmits:	04/12/2019
Date of Report:	05/06/2019

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B. Project description and analysis

Request for approval of a Revised Major final site plan for West Stuart Business Center, LLC. The approximately 8.5 acre parcel, lot 18 of the Ellipse industrial Park, is located at 7805 SW Ellipse Way in Stuart. The Ellipse Industrial subdivision is located between I95 and the Florida turnpike. Included with this application is a request for Public Facilities Reservation.

Lot 18 has an existing final site plan for 2 warehouse / office buildings totaling 39,800 square feet and the associated infrastructure. This application proposes to add four additional buildings with a combined 52,122 square feet of building area and the associated infrastructure bringing the total building area to 91,922 square feet. The access to the site will be as originally constructed for the first part of the development of lot 18.

The site is required to meet commercial design requirements. The future land use designation for the

property is Industrial and the zoning district designation is LI, Limited Industrial.

C. Staff recommendation

The specific findings and conclusion of each review agency related to this request are identified in Sections F through T of this report. The current review status for each agency is as follows:

Section	Division or Department	Reviewer	Phone	Assessment
F	Comprehensive Plan	Peter Walden	219-4923	Comply
F	ARDP	Samantha Lovelady	288-5664	N/A
G	Development Review	Peter Walden	219-4923	Comply
H	Urban Design	Santiago Abasolo	288-5485	Comply
H	Community Redevelopment	Santiago Abasolo	288-5485	N/A
I	Property Management	Colleen Holmes	288-5794	N/A
J	Environmental	Shawn Mccarthy	288-5508	Comply
J	Landscaping	Karen Sjöholm	288-5909	Comply
K	Transportation	Lukas Lambert	288-5476	Comply
L	County Surveyor	Tom Walker	288-5418	N/A
M	Engineering	Stephanie Piche	223-7945	Comply
N	Addressing	Emily Kohler	288-5692	Comply
N	Electronic File Submission	Emily Kohler	288-5692	Comply
O	Water and Wastewater	James Christ	320-3034	Comply
O	Wellfields	James Christ	320-3034	Comply
P	Fire Prevention	Doug Killane	288-5633	Comply
P	Emergency Management	Dan Wouters	219-4941	N/A
Q	ADA	Stephanie Piche	221-1396	Comply
R	Health Department	Todd Reinhold	221-4090	N/A
R	School Board	Kimberly Everman	219-1200	N/A
S	County Attorney	Krista Storey	288-5443	N/A
T	Adequate Public Facilities	Peter Walden	219-4923	Comply

D. Review Board action

This application meets the threshold requirements for processing as a major development. As such, a review of this application is required by the Local Planning Agency (LPA) and final action by the Board of County Commissioners (BCC). Both the LPA and the BCC meetings must be public hearings. MARTIN COUNTY, FLA., LDR, ARTICLE 10

The public hearing process requires proper noticing pursuant to Sec. 10.6.E. LDR The notice of a public hearing regarding development applications shall be mailed at least 14 calendar days (seven calendar days if the application is being expedited pursuant to section 10.12) prior to the public hearing by the applicant to all owners of real property located within a distance of 500 feet of the boundaries of the affected property.

Pursuant to Sec. 10.1.F, Land Development Regulations, Martin County, Fla., (2016) it shall at all times be the applicant's responsibility to demonstrate compliance with the Comprehensive Growth Management Plan (CGMP), Land Development Regulations (LDR) and the Code.

The applicant addressed the non-compliance findings from the staff report dated, March 18, 2019 with 461

its resubmittal dated April 12, 2019. The previous staff reports and resubmittals are incorporated herein by reference.

E. Location and site information

Parcel number(s) and address:

05-39-41-002-000-0018.0-1

Existing Zoning:

Future land use:

Commission district:

Planning area:

7805 SW Ellipse Way

LI, Limited Industrial

FLU-IND, Future Land Use Industrial

2

Port Salerno / 76 Cor

Location Map



Aerial



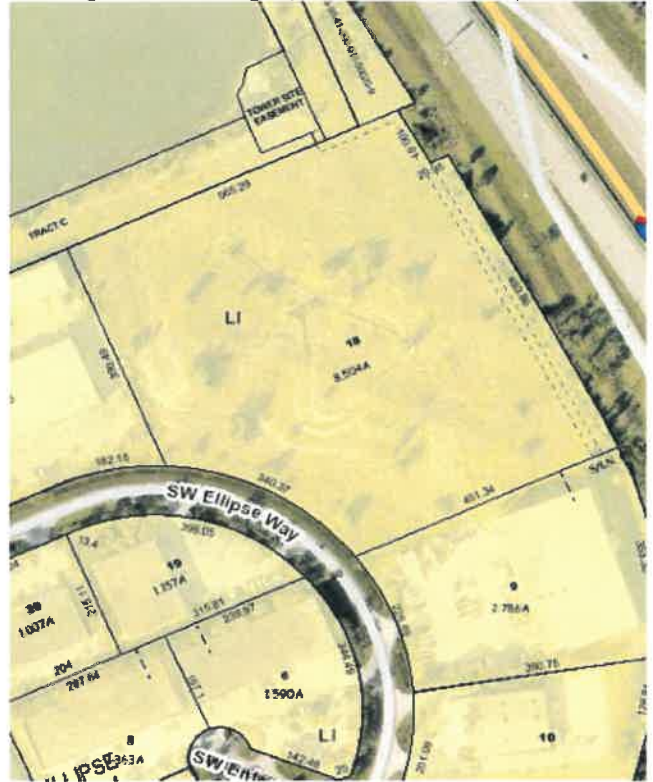
Proposed Development Overlay



Future Land Use Excerpt (Industrial)



Zoning Atlas Excerpt (Limited Industrial)



F. Determination of compliance with Comprehensive Growth Management Plan requirements - Growth Management Department

Findings of Compliance:

The Growth Management Department Development Review Division staff has reviewed the application and finds it in compliance with the applicable regulations. There are no unresolved Comprehensive Growth Management Plan requirements issues associated with this application.

G. Determination of compliance with land use, site design standards, zoning, and procedural requirements - Growth Management Department

Findings of Compliance:

The Growth Management Department Development Review Division staff has reviewed the application and finds it in compliance with the applicable regulations. There are no unresolved land use, site design standards, zoning and procedural requirements issues associated with this application.

Item #1;

A parking rate adjustment request has been submitted. The applicant has adequately shown that the additional parking has no impacts or adverse effect on surrounding development. The additional parking is pervious as required pursuant to Sec. 4.625.A. The rate adjustment will be presented at the required public hearings and the BCC will make the final decision on the request.

Additional Information:

Item #1:

Timetable Of Development - Final

The timetable of development for final site plans require all permits to be obtained within one year of approval and require all construction to be completed within two years of approval. MARTIN COUNTY, FLA., LDR, § 10.1., 5.32

Item #2:

The applicant has elected `Option 2, regarding Agency permit submittal for a consistency review after project approval. Prior to scheduling the mandatory pre-construction meeting for construction commencement authorization, all applicable local, state, and federal approved permits are to be submitted for review by the County Administrator with remittance of a \$600.00 review fee. If an application is made to any permitting agency for a modification to a permit that was required to be issued prior to final site plan approval, the application for the permit modification must be submitted concurrently to Martin County. [Section 10.9.A., LDR, MCC]

Information #3:

No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre- construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials. MARTIN COUNTY, FLA., LDR § 4.37

H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department

The proposed development complies with the requirements of Art. 4, DIV. 20 – Commercial Design – of the Martin Co., FL, Land Development Regulations.

I. Determination of compliance with the property management requirements – Engineering Department

N/A

No dedication of additional right of way is required or proposed by the Applicant pursuant to the Roadway Classifications set forth in Section 4.843.B, Land Development Regulations, Martin County, Fla., (2010) which includes Table 4.19.1 that lists the minimum right of way requirements. Therefore, the Applicant is not required to submit due diligence materials for review by the Martin County Real Property Division.

J. Determination of compliance with environmental and landscaping requirements - Growth Management Department

Environmental

Finding of Compliance:

The Growth Management Department Environmental Division staff has reviewed the application and finds it in compliance with the applicable land development regulations.

Landscape

Findings of Compliance:

The Growth Management Department staff has reviewed the application and finds it in compliance with the applicable Land Development Regulations regarding landscaping. The applicant has proposed construction of the second portion of an office /warehouse facility within an existing Industrial Park. The applicant has submitted landscape plans for the overall site that provide 2.47 acres of landscape area which equates to 29% of the 370,473 s.f development area to document compliance with Section 4.663.A.1., Land Development Regulations, Martin County, Fla. (2013). Pursuant to this regulation a minimum of 20% of the total development area shall be landscaped.

Section 4.663.A.3.b. Land Development Regulations, Martin County, Fla. (2013) requires that all nonresidential development provide at least one tree per 2,500 sq. ft. of site area; a total of 148 trees for this project. Calculation of the minimum total number of trees and shrubs required to be planted is based upon the proposed developed area and separately based upon quantities required to meet the vehicular use area planting requirements and any required bufferyard requirements. Plantings for the vehicular use area requires the establishment of 112 trees. To demonstrate compliance the applicant has proposed the planting of 102 trees plus the equivalent of 10 tree credits by the preservation of 5 existing trees for this 370,474 sq. ft. site.

Landscaped bufferyards are required between differing land uses and along certain transportation corridors. Martin County, Fla Section 4.663.B.1.a, (2013). Surrounding land use is industrial so non-compatibility buffers are not required.

Section 4.666.E.Land Development Regulations, Martin County, Fla. (2013) requires that development activity preserve at least ten percent of the total number of protected trees on the site unless it can be shown that the property would be precluded of reasonable use if the trees are not removed. Due to substantial grade changes necessary, to meet this requirement the applicant has submitted Landscape and Construction Plans to provide for removal of 1 existing protected trees and preservation of 5 existing oaks within the proposed perimeter landscape area. To demonstrate compliance with Section 4.666.D., Land Development Regulations, Martin County, Fla. (2013) he applicant has proposed preservation of existing trees equal to 10 credits to mitigate for the necessary tree removal.

Alterations cannot be made to the plans after final site plan approval. Any alteration may require an application to amend the affected approved plans.

The applicant is cautioned to consider the placement of utilities and any underground or above ground site improvement that could cause a conflict with the landscaping and possibly cause a change or amendment.

As-built landscape plans submitted prior to the release of a certificate of occupancy will be checked against the approved drawings. Inconsistencies may block the issuance of the certificate of occupancy

Findings of Compliance:

The Traffic Division of the Engineering Department finds this application in compliance.

Compliance with Adequate Public Facilities Ordinance:

Staff has reviewed the Traffic Statement prepared by O'Rourke Engineering and Planning, dated February 2019. O'Rourke Engineering and Planning stated that the site's maximum impact was assumed to be 76 directional trips during the AM peak hour. Staff finds that SW Jack James Drive is the recipient of a majority of the generated trips. The generalized service capacity of SW Jack James Drive is 750. The project impact is 10% of the maximum volume of that roadway. SW Jack James Drive is currently operating at a level of service C; it is anticipated to operate at level of service C at buildout (year 2021).

L. Determination of compliance with county surveyor - Engineering Department

N/A

The applicant has indicated that there are no proposed changes to the approved project boundary as part of the current application. Therefore, The Engineering Department was not required to review this application for consistency with the Martin County Codes for survey requirements contained in Article 4 of the Land Development Regulations. MARTIN COUNTY, FLA., LDR §10.1.F

M. Determination of compliance with engineering, storm water and flood management requirements - Engineering Department

Findings of Compliance:

The application was reviewed for compliance with the following Divisions of the Land Development Regulations. Staff's finding is summarized after each:

Division 8- Excavation, Fill, and Mining: The applicant demonstrated in the Engineer's Opinion of Probable Excavation, Fill, and Hauling that no excavation is proposed and only fill will be brought onto the site; therefore, hauling material from the site is not approved with this Development Order. The applicant demonstrated compliance with Division 8.

Division 9- Stormwater Management: The applicant has demonstrated the proposed development is included in the Master Stormwater Management System and proposed deviations from the previous permit will not affect the existing system; thereby, the required attenuation and water quality treatment is in compliance with Division 9.

Division 10 - Flood Protection: This site does not fall within a Special Flood Hazard Area. The applicant is proposing the Finished Floor Elevations above the stage of the 100-year 3-day storm event; therefore, the applicant demonstrated compliance with Division 10.

Division 14 - Parking and Loading: The applicant demonstrated compliance with the parking requirements set forth in Division 14.

Division 19- Roadway Design: The applicant is not proposing to make modifications to the existing road SW Ellipse Way; therefore, the applicant demonstrated compliance with Division 19.

The Engineering Department finds this application in compliance provided the Development Order includes conditions for the following:

1. The Owner is not authorized to haul fill off of the site. The Owner must comply with all County excavation and fill regulations.

Compliance with Adequate Public Facilities Ordinance:

This project will provide the proposed development sufficient services based upon the adopted LOS for stormwater management facilities.

N. Determination of compliance with addressing and electronic file submittal requirements – Growth Management and Information Technology Departments

Addressing

Findings of Compliance

The application has been reviewed for compliance with Division 17, Addressing, of the Martin County Land Development Regulations. Staff finds that the proposed site plan / plat complies with applicable addressing regulations. All street names are in compliance. They meet all street naming regulations in Article 4, Division 17, Land Development Regulations. Martin County, Fla. (2018).

Electronic Files

Findings of Compliance

The Information Services Department staff has reviewed the electronic file submittal and finds it in compliance with the applicable county requirements.

Both AutoCAD site plan and boundary survey were received and found to be in compliance with Section 10.2.B.5, Land Development Regulations, Martin County, Fla. (2018)

Both AutoCAD site plan and boundary survey were in State Plane coordinates and found to be in compliance with Section 10.2.B.5, Land Development Regulations, Martin County, Fla. (2018)

The AutoCAD boundary survey was received and found to be in compliance with Section 10.2.B.5, Land Development Regulations, Martin County, Fla. (2018)

O. Determination of compliance with utilities requirements - Utilities Department

Water and Wastewater Service

Findings of Compliance:

This development application has been reviewed for compliance with applicable statutes and ordinances and the reviewer finds it in compliance with Martin County's requirements for water and wastewater level of service. [Martin County, Fla., LDR, Article 4, Division 6 and 7, (2016)]

Wellfield and Groundwater Protection

Findings of Compliance:

The application has been reviewed for compliance under the Wellfield Protection Program. The reviewer finds the application in compliance with the Wellfield Protection and Groundwater Protection Ordinances. [Martin County, Fla., LDR, Article 4, Division 5] (2016)

P. Determination of compliance with fire prevention and emergency management requirements – Fire Rescue Department

Finding of Compliance;

The Fire Prevention Bureau finds this submittal in compliance with the applicable provisions governing construction and life safety standards of the Florida Fire Prevention Code and referenced publications. This occupancy shall comply with all applicable provisions of governing codes whether implied or not in this review, in addition to all previous requirements of prior reviews.

Q. Determination of compliance with Americans with Disability Act (ADA) requirements – Public Works Department

Findings of Compliance:

The Public Works Department staff has reviewed the application and finds it in compliance with the applicable Americans with Disability Act requirements.
(2014 FBC, FIFTH EDITION\ACCESSIBILITY)

R. Determination of compliance with Martin County Health Department and Martin County School Board

Martin County Health Department

N/A

There are no onsite potable wells or septic disposal systems, pursuant to Section 10.1.F, LDR, Martin County, Fla. Therefore, the Department of Health was not required to review this application for consistency with the Martin County Codes.

Martin County School Board

N/A

The applicant has indicated that this application is for an industrial office/warehouse. Therefore the Martin County School Board was not required to review this application for school concurrency evaluation. MARTIN COUNTY, FLA., LDR §10.1.F.

S. Determination of compliance with legal requirements - County Attorney's Office

Review ongoing

T. Determination of compliance with the adequate public facilities requirements - responsible departments

The following is a summary of the review for compliance with the standards contained in Article 5.32.D of the Adequate Public Facilities, Land Development Regulations (LDR's), Martin County Code for a Certificate of Adequate Public Facilities Reservation.

Potable water facilities (Section 5.32.D.3.a, LDR)

Service provider – Martin County

Findings – in place

Source - Utilities and Solid Waste Department

Reference - see Section O of this staff report

Sanitary sewer facilities (Section 5.32.D.3.b, LDR)

Service provider – Martin County

Findings – positive evaluation

Source - Utilities and Solid Waste Department

Reference - see Section O of this staff report

Solid waste facilities (Section 5.32.D.3.c, LDR)

Findings – in place

Source - Growth Management Department

Stormwater management facilities (Section 5.32.D.3.d, LDR)

Findings – Positive evaluation

Source - Engineering Department

Reference - see Section M of this staff report

Community park facilities (Section 5.32.D.3.e, LDR)

Findings – in place

Source - Growth Management Department

Roads facilities (Section 5.32.D.3.f, LDR)

Findings – positive evaluation

Source - Engineering Department

Reference - see Section K of this staff report

Mass transit facilities (Section 5.32.D.3.g, LDR)

Findings - in place

Source - Engineering Department

Reference - see Section K of this staff report

Public safety facilities (Section 5.32.D.3.h, LDR)

Findings - in place

Source - Growth Management Department

Reference - see Section P of this staff report

Public school facilities (Section 5.32.D.3.i, LDR)

Findings - in place

Source - Growth Management Department

Reference - see Section R of this staff report

A timetable for completion consistent with the valid duration of the development is to be included in the Certificate of Public Facilities Reservation. The development encompassed by Reservation Certificate must be completed within the timetable specified for the type of development.

U. Post-approval requirements

Approval of the development order is conditioned upon the applicant's submittal of all required documents, executed where appropriate, to the Growth Management Department (GMD), including unpaid fees, within sixty (60) days of the final action granting approval.

Item #1:

Post Approval Requirements List: After approval the applicant will receive a letter and a Post Approval Requirements List that identifies the documents and fees required. The applicant will return the Post Approval Requirements List along with the required documents in a packet with the documents arranged in the order shown on the list.

Item #2:

Post Approval Fees: The applicant is required to pay all remaining fees when submitting the post approval packet. If an extension is granted, the fees must be paid within 60 days from the date of the development order. Checks should be made payable to Martin County Board of County Commissioners.

Item #3:

Recording Costs: The applicant is responsible for all recording costs. The Growth Management Department will calculate the recording costs and contact the applicant with the payment amount required. Checks should be made payable to the Martin County Clerk of Court.

Item #4:

One (1) copy of the recorded warranty deed if a property title transfer has occurred since the site plan approval. If there has not been a property title transfer since the approval, provide a letter stating that no title transfer has occurred.

Item #5:

Original and one (1) copy of the current Unity of Title in standard County format if a property title transfer has occurred since the site plan approval. If there has not been a property title transfer since the approval, provide a letter stating so that no transfer has occurred.

Item #6:

Ten (10) 24" x 36" copies of the approved construction plans signed and sealed by the Engineer of Record licensed in the State of Florida. Fold to 8 by 12 inches.

Item #7:

Ten (10) copies 24" x 36" of the approved site plan.

Item #8:

Original approved site plan on Mylar or other plastic, stable material.

Item #9:

Ten (10) 24" x 36" copies of the approved landscape plan signed and sealed by a landscape architect licensed in the State of Florida.

Item #10:

One (1) digital copy of site plan in AutoCAD 2010 - 2017 drawing format (.dwg). The digital version of the site plan must match the hardcopy version as submitted.

Item #11:

Original of the construction schedule.

Item #12:

Original of the Engineer's Design Certification, on the County format which is available on the Martin County website, signed and sealed by the Engineer of Record licensed in the State of Florida.

Item #13:

Original and one (1) copy or two (2) copies of the executed and signed Water and Wastewater Service Agreement with Martin County Regional Utilities and one (1) copy of the payment receipt for Capital Facility Charge (CFC) and engineering and recording fees.

V. Local, State, and Federal Permits

This application is "Option 2" for final permit review

Item #1:

STORMWATER MGMT PERMITS

The following permits must be obtained prior to scheduling a Pre-Construction meeting:

1. South Florida Water Management District (SFWMD) Environmental Resource Permit (ERP)
2. Florida Department of Environmental Protection (FDEP) NPDES Generic Permit for Stormwater Discharges for Small and Large Construction Sites

Environmental Permits:

The property owner and/or agent shall be responsible for obtaining a gopher tortoise relocation permit from Florida fish and wildlife conservation commission. All necessary permits, or a current wildlife survey showing no gopher tortoises exist onsite, shall be submitted to the growth management department, environmental division for review. The wildlife survey shall be no greater than 90 days old at the time of review. No land clearing will be authorized until this information is received. No land clearing, including installation of erosion control barricades, can take place prior to the pre-construction meeting.

W. Fees

Public advertising fees for the development order will be determined and billed subsequent to the public hearing. Fees for this application are calculated as follows:

<i>Fee type:</i>	<i>Fee amount:</i>	<i>Fee payment:</i>	<i>Balance:</i>
Application review fees:	\$8,750.00	\$8,750.00	\$0.00
Inspection fees:	\$4,000.00		\$4,000.00
Advertising fees*:	TBD		
Recording fees**:	TBD		
Mandatory impact fees:	TBD		
Non-mandatory impact fees:	TBD		

* Advertising fees will be determined once the ads have been placed and billed to the County.

** Recording fees will be identified on the post approval checklist.

X. General application information

Applicant: West Stuart Business Center LLC
 George T. Kelly IV
 1935 Commerce Ln Ste 5
 Jupiter, FL 33458
 561-743-7381

Agent: Engineering Design & Construction, Inc.
 Brad Currie
 10250 SW Village Parkway, Suite 201
 Port St. Lucie, 34987
 772-462-2455

Y. Acronyms

ADA..... Americans with Disability Act
 AHJ Authority Having Jurisdiction
 ARDP Active Residential Development Preference
 BCC..... Board of County Commissioners
 CGMP Comprehensive Growth Management Plan

CIE Capital Improvements Element
CIP Capital Improvements Plan
FACBC Florida Accessibility Code for Building Construction
FDEP Florida Department of Environmental Protection
FDOT Florida Department of Transportation
LDR Land Development Regulations
LPA Local Planning Agency
MCC Martin County Code
MCHD Martin County Health Department
NFPA National Fire Protection Association
SFWMD South Florida Water Management District
W/WWSA Water/Waste Water Service Agreement

Z. Attachments

**BEFORE THE BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA
DEVELOPMENT ORDER**

RESOLUTION NUMBER ____

**[REGARDING REVISED MAJOR FINAL SITE PLAN APPROVAL FOR WEST STUART
BUSINESS CENTER WITH A CERTIFICATE OF PUBLIC FACILITIES RESERVATION]**

WHEREAS, this Board has made the following determinations of fact:

1. West Stuart Business Center, LLC submitted an application for revised major final site plan approval for the West Stuart Business Center, located on lands legally described in Exhibit A, attached hereto.
2. The Local Planning Agency considered the final site plan application at a public hearing on June 6, 2019. The LPA's recommendations were forwarded to the Board of County Commissioners.
3. This Board considered such application at a public hearing on June 18, 2019.
4. At the public hearing, all interested parties were given an opportunity to be heard.
5. The final site plan and is consistent with the Comprehensive Plan and the Land Development Regulations.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MARTIN COUNTY, FLORIDA, THAT:

A. The revised major final site plan, attached hereto as Exhibit B, for West Stuart Business Center, including the request for a parking rate adjustment pursuant to Section 4.625., LDR, Martin County, Fla. (2009), is approved. Development of the West Stuart Business Center shall be in accordance with the approved revised final site plan

B. All required applicable state and federal permits and approvals shall be submitted to the Growth Management Department (GMD) prior to the commencement of any construction.

C. No permits for construction or development activity shall be issued until all required documents, plans and fees are received and approved as required by Section 10.9, Land Development Regulations Martin County Code.

D. Failure to submit the required documents, plans and fees as required by Section 10.9, Land Development Regulations, Martin County Code, shall render approval of the final site plan for the West Stuart Business Center project null and void.

E. This application is hereby determined to meet the requirements for and shall serve as a Certificate of Public Facilities Reservation as set forth in Section 5.32.B, LDR, Martin County Code.

F. All permits for West Stuart Business Center Revised Major Final Site plan must be obtained within one year, by June 18, 2020. Development must be completed within two years, by June 18, 2021.

G. No land clearing is authorized prior to the mandatory pre-construction meeting for the project. Property corners and preservation areas shall be located by a licensed land surveyor and clearly marked in the field prior to the pre-construction meeting. Authorization for clearing to install erosion control devices and preserve barricades will be granted at the pre-construction meeting. No additional land clearing shall commence until a satisfactory inspection of the required control structures and barricades has been obtained. Authorization for the relocation of gopher tortoises within the development, as provided for on state agency permits, may be granted by the Growth Management Department upon review of required permit materials.

H. The Owner is not authorized to haul fill off the site. The Owner must comply with all County excavation and fill regulations.

I. This resolution shall be recorded in the public records of Martin County. A copy of this resolution shall be forwarded to the applicant(s) by the Growth Management Department subsequent to recording.

DULY PASSED AND ADOPTED THIS 18TH DAY OF JUNE, 2019.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA

BY: _____
CAROLYN TIMMANN
CLERK OF THE CIRCUIT COURT
AND COMPTROLLER

BY: _____
EDWARD V. CIAMPI, CHAIRMAN

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

BY: _____
KRISTA A. STOREY
ACTING COUNTY ATTORNEY

ATTACHMENTS:

Exhibit A, Legal Description
Exhibit B, Revised Final Site Plan

Exhibit "A"
Legal Description

LEGAL DESCRIPTION

WEST STUART BUSINESS CENTER

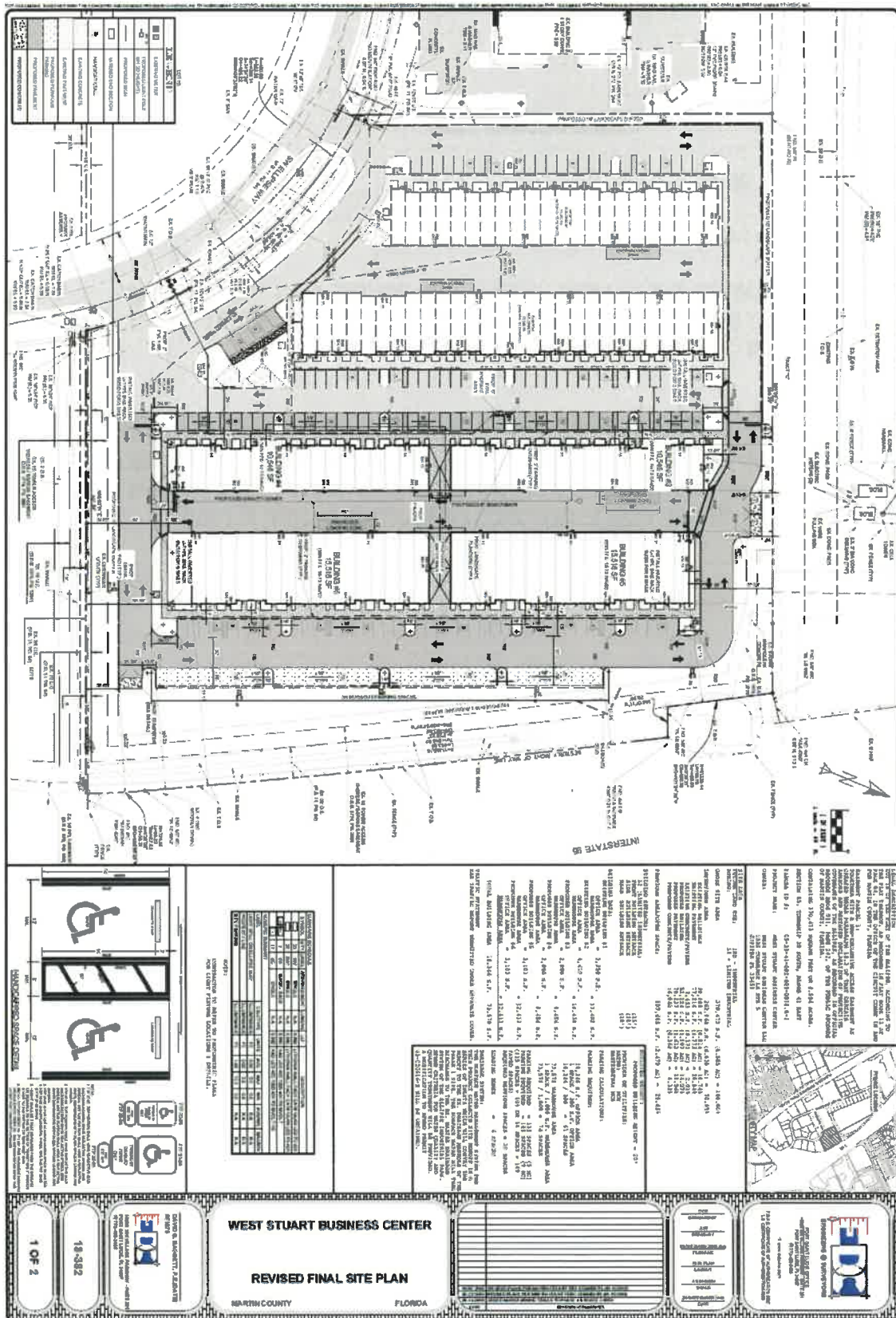
PARCEL ID: 05-39-41-002-000-00180-1

LOT 18 OF THE PLAT OF THE ELLIPSE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11 AT PAGE 84, IN THE OFFICE OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA.

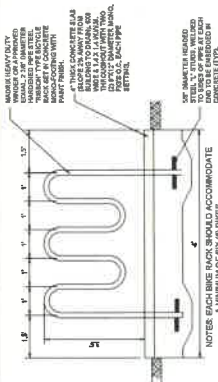
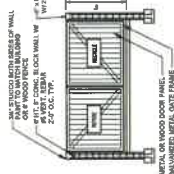
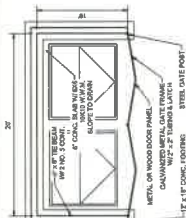
EASEMENT PARCEL 1:

TOGETHER WITH A NON-EXCLUSIVE ACCESS EASEMENT AS CREATED UNDER PARAGRAPH 10.3 OF THAT CERTAIN AMENDED AND RESTATED DECLARATIONS OF PROTECTIVE COVENANTS OF THE ELLIPSE, AS RECORDED IN OFFICIAL RECORDS BOOK 911, PAGE 242, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

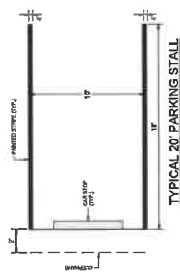
Exhibit B Revised Final Site Plan



	DAVID C. BAGGETT, P.E. 18382 FLORIDA	WEST STUART BUSINESS CENTER REVISED FINAL SITE PLAN DETAILS MARTIN COUNTY FLORIDA	18382	2 OF 2
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TYPICAL BIKE RACK DETAIL



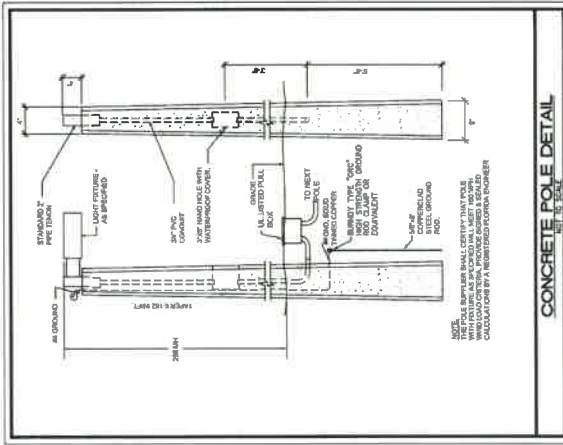
TYPICAL 20' PARKING STALL

[illegible]

LIGHT FIXTURE "SB" AND "SC"

[illegible]

LIGHT FIXTURE "SW" AND "SW1"



CONCRETE POLE DETAIL

THESE DOCUMENTS TOGETHER WITH THE COMMENTS AND OPINIONS PROVIDED HEREON, AS AN INDICATION OF RESPONSE, IS INTENDED ONLY AS FOR THE PEOPLE PROVIDED AND CANNOT BE USED FOR ANY OTHER PURPOSE. NO OTHER DOCUMENTS, INCLUDING ANY OTHER DOCUMENTS, SHALL BE WITHOUT LIABILITY TO BDC INC.



Martin County, Florida
Growth Management Department
DEVELOPMENT REVIEW DIVISION
2401 SE Monterey Road, Stuart, FL 34996
772-288-5495 www.martin.fl.us

Major Master & Final Site Plan Checklist

Please include the following items in the order shown below. In addition, if any item is not included, please identify the item and the reason for its exclusion in the narrative.

- ☒ 1. APPLICATION: Please use the new application form.
[Application](#)
- ☒ 2. AFFIDAVIT: Complete the affidavit for digital submission.
[Affidavit for digital submission](#)
- ☒ 3. If submitting the 8 1/2 by 11 or 14 inch documents digitally, include one disc or copy to the Digital Website with all the documents bookmarked as indicated in the Application Instructions. One paper packet must also be submitted, in addition to the digital submission.
[Digital website](#)
- ☒ 4. If submitting large format plans digitally, include two sets of paper plans. Each of the plans listed below should be submitted on either a disc or copied to the Digital Website. Do NOT scan the plans, but save the original .dwg or other file type as a .pdf at a minimum of 24x 36 inches and 300 dpi.
[Digital website](#)
- ☒ 5. NARRATIVE: A complete project narrative including what is being requested, the location and size of the subject property.
- ☒ 6. A check made payable to the Martin County Board of County Commissioners per the Development Review Fees.
[Development review fee schedule](#)
- ☒ 7. POWER OF ATTORNEY: A notarized power of attorney authorizing an agent to act on the owner's behalf.
- ☒ 8. RECORDED DEED: A copy of the recorded deed(s) for the subject property and any contract for purchase of the property.
- ☐ 9. PROPERTY TRANSFER: A certification of any property transfer since the property was deeded to the current property owner that is the applicant for this project.
- ☒ 10. LEGAL DESCRIPTION: Full legal description including parcel control number(s) and total acreage.
- ☒ 11. UNITY OF TITLE: A draft unity of title including the full legal description, total site acreage, and parcel control number(s).
[Unity of title form](#)
- ☒ 12. LOCATION MAP: A location map (8 1/2 x 11) showing the property and all major and minor roadways in and adjacent to the property with the property clearly outlined.
- ☒ 13. ADEQUATE PUBLIC FACILITIES: An adequate public facilities compliance statement; a reservation, deferral or an exemption.
- ☐ 14. If available, land dedication documentation.

- ☒ 15. EXCAVATION FILL AND HAULING: Engineer's Opinion of Probable Excavation, Fill and Hauling signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
[Excavation fill and hauling](#)
- ☒ 16. STORMWATER REPORT OR CALCULATIONS: A stormwater management report that is signed and sealed in accordance with the Florida Administrative Code (F.A.C.) 61G15-23.002 by a licensed Florida professional engineer. The report cover sheet and index sheet shall be signed and sealed; the report must clearly demonstrate compliance with Article 4, Division 9, Section 4.383, Martin County Land Development Regulations and its referenced Stormwater Management and Flood Protection Standards for Design and Review.
- ☒ 17. STORMWATER MAINTENANCE PLAN: A stormwater maintenance plan shall be included within this report. Section 4.386, Land Development Regulations, Martin County. MARTIN COUNTY, FLA., LDR § 4.386
- ☒ 18. TRAFFIC IMPACT ANALYSIS: A traffic impact analysis or statement signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
- ☒ 19. EVACUATION PLAN: An emergency evacuation plan if the property is located within Hurricane Surge Map Zones 1, 2, or 3.
[Hurricane surge map](#)
- ☒ 20. FIRE WILDFIRE SCORESHEET: A Florida Wildfire Risk Assessment Scoresheet.
[Wildfire risk assessment scoresheet](#)
- ☐ 21. SCHOOL IMPACT WORKSHEET: A school impact worksheet, if a residential development.
[School impact worksheet](#)
- ☒ 22. ENVIRONMENTAL ASSESSMENT: An environmental assessment of the property.
- ☐ 23. ENVIRONMENTAL WAIVER: Environmental waiver, when appropriate.
[Environmental waiver checklist](#)
- ☐ 24. PAMP: A preserve area management plan, if the environmental assessment identifies wetlands or native habitats that are required to be preserved.
- ☐ 25. LANDSCAPING ALTERNATIVE COMPLIANCE: A Landscaping Alternative Compliance Request justification statement that identifies the proposed modifications to the code.
- ☐ 26. A Landscaping Alternative Compliance Request check made payable to the Martin County Board of County Commissioners per the Development Review Fees.
- ☐ 27. CRA ALTERNATIVE COMPLIANCE: A CRA Alternative Compliance Request justification statement that identifies the proposed modifications to the code.
- ☐ 28. A CRA Alternative Compliance Request check made payable to the Martin County Board of County Commissioners per the Development Review Fees.
- ☐ 29. UTILITIES LETTERS: Letters documenting the availability of phone, cable, electric and solid waste pick-up services for the proposed development.
- ☒ 30. PROPOSED WATER SOURCES: The proposed utilities and irrigation water sources including any proposed use of wells and septic systems.
- ☐ 31. GROUNDWATER MODEL: If groundwater or surface water withdrawal is proposed, a computer ground water model shall be included unless the applicant has or will be granted a SFWMD permit allocating less than or equal to 3 MGM (or 100,000 GPD) shall be granted approval for compliance to ground water protection review.

- ☒ 32. UTILITIES WATER & WASTEWATER SERVICE AGREEMENT INFORMATION FORM: If the utility provider is Martin County Utilities, submit the completed Information Sheet.
[Information sheet](#)
- ☐ 33. UTILITY CERTIFICATION: If the utility provider is not Martin County Utilities, submit the completed Water and/or Wastewater Utility Service Certification form.
[Utility service certification](#)
- ☒ 34. AGENCY PERMITS:(OPTION ONE) All required federal, state and regional agency permits and approvals, or applications for pending permits and approvals. Submit all required federal, state and regional permits and approvals prior to the issuance of a development order by the County.
- ☐ 35. AGENCY PERMITS:(OPTION TWO) All required federal, state and regional agency permits and approvals, or applications for pending permits and approval. Submit all required federal, state and regional permits and approvals prior to the commencement of construction or development activities authorized by the County development order.
- ☒ 36. Electronic files of the master and final site plan in AutoCAD 2004 to 2007 (.dwg) and Adobe (.pdf) formats. The Adobe version must be 24 x 36 and 300 dpi.
- ☒ 37. Electronic file of the boundary survey in AutoCAD 2004 to 2007 (.dwg) format.
- ☒ 38. A boundary survey of the entire site including the legal description, parcel control number(s) and acreage, certified within 180 days of the date of this application, signed and sealed by a licensed Florida professional surveyor and mapper.
- ☒ 39. A topographic survey of the project site that extends a minimum of 200 feet outside the proposed limits of construction (or until a discernible drainage basin boundary is reached). The topography must be collected at an interval adequate to generate one-foot contours. The date of the field survey must be within 180 days of the date of this application; the survey must be signed and sealed by a licensed Florida professional surveyor and mapper.
- ☒ 40. The proposed master and final site plan.
[Site plan template](#)
- ☐ 41. Provide utilities-related calculations (as applicable) including lift station, fire flow (non-residential), irrigation (if using potable or reclaimed) and grease interceptor sizing.
- ☒ 42. Copies of any previously approved site plans.
- ☒ 43. A land clearing and erosion control plan on a single page signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
- ☒ 44. Construction plans signed and sealed by a licensed Florida professional engineer and if practicing through a duly authorized engineering business, the name, address and certification of authorization number of the engineering business.
- ☒ 45. A floor plan for each floor within the proposed structures including the identification of the proposed use(s) and the area of the proposed use(s).
- ☒ 46. Architectural drawings including elevation drawings to demonstrate compliance with commercial and residential design standards.
- ☒ 47. A landscape plan.
- ☒ 48. A tree survey that identifies protected trees as defined in Section 4.666 of the LDR.
[Section 4.666](#)
- ☒ 49. A lighting plan.
- ☐ 50. PHASING PLAN: Phasing plan with timetable for completion of each phase, when applicable. 483

- ☒ 51. PROPERTY OWNERS: Certified list of property owners to be notified by letter of the public hearings.
- ☒ 52. AERIAL PHOTO: Recent aerial photograph of the site with the property clearly outlined.
- ☒ 53. Commercial Design drawings must be prepared by a licensed architect. [Section 4.871C, LDR]
[Licensed architect for commercial design](#)
- ☒ 54. DISCLOSURE of INTEREST AFFIDAVIT: Please submit a completed financial disclosure affidavit form. [Section 10.2.B.3., LDR, MCC]
[Disclosure of Interest Affidavit](#)



DEVELOPMENT REVIEW APPLICATION

A. General Information:

1. Type of Application: Major Master and Final Site Plan
2. Proposed Development's Name:
West Stuart Business Center Phase II
3. Former Development's Name:

4. Previous Project Number: _____
5. Pre-Application Meeting Date: _____
6. Property Owner:
Name or Company Name WEST STUART BUSINESS CENTER LLC
Company Representative George T. Kelly IV
Address 1935 COMMERCE LN STE 5
City JUPITER State FL Zip 33458
Phone 561 - 743 - 7381 Fax 561 - 743 - 7383
Email GeoTKIV@aol.com
7. Agent: Select from the List
Name or Company Name Engineering Design & Construction, Inc.
Company Representative Brad Currie
Address 10250 SW Village Parkway, Suite 201
City Port St. Lucie State FL Zip 34987
Phone 772 - 462 - 2455 Fax 772 - 408 - 4208
Email bradcurrie@edc-inc.com
8. Contract Purchaser: Select from the List
Name or Company Name _____
Company Representative _____
Address _____
City _____ State _____ Zip _____
Phone _____ - _____ - _____ Fax _____ - _____ - _____
Email _____
9. Land Planner: Same as the Agent
Name or Company Name _____
Company Representative _____
Address _____
City _____ State _____ Zip _____
Phone _____ - _____ - _____ Fax _____ - _____ - _____
Email _____

16. Environmental Planner:

Select from the list

Name or Company Name

Engineering Design & Construction, Inc.

Company Representative

Toby Overdorf

Address

10250 SW Village Parkway, Suite 201

City

Port St. Lucie

State FL

Zip

34987

Phone

772 - 462 - 2455

Fax

772 - 408 - 4208

Email

tobyoverdorf@edc-inc.com

17. Other Professional:

Name or Company Name

Company Representative

Address

City

State

Zip

Phone

- - -

Fax

- - -

Email

18. Parcel Control Number(s):

05-39-41-002-000-00180-1

19. Certifications by Professionals:

Section 10.2.D.7., Article 10, Development Review Procedures, Land Development Regulations (LDR), Martin County Code (MCC) provides the following:

When reviewing an application for a development permit that is certified by a professional listed in s. 403.0877, F.S., the County shall not request additional information from the application more than three times, unless the applicant waives the limitation in writing. If the applicant believes the request for additional information is not authorized by ordinance, rules, statute, or other legal authority, the County, at the applicant's request, shall proceed to process the application for approval or denial.

☐

This box must be checked if the applicant waives the limitations.

B. Applicant or Agent Certification:

I have read this application, and to the extent that I participated in the application, I have answered each item fully and accurately.



Applicant's signature

Bradley J. Currie, AICP

Printed name

10/16/12

Date

NOTARY ACKNOWLEDGMENT

STATE OF Florida

COUNTY OF St. Lucie

I hereby certify that the foregoing instrument was acknowledged before me this
16th day of October, 2018, by Bradley J. Currie

He or she

☒ is personally known to me or ☐ has produced N/A as
 identification.

Patricia Sesta

Notary public signature

Patricia Sesta

Printed name



Patricia M. Sesta
 NOTARY PUBLIC
 STATE OF FLORIDA
 Comm# FF983414
 Expires 8/11/2020

State of Florida at-large



Martin County Development Review
Digital Submittal Affidavit

I, Patricia Sesta, attest that the electronic version included for the project West Stuart Business Center Phase II is an exact copy of the documents that were submitted for sufficiency, excluding any requested modifications made by the sufficiency review team. All requested modifications, if any, have been completed and are included with the packet.

A handwritten signature in blue ink that reads "Patricia Sesta".

Applicant Signature

10/16/2018

Date



ENGINEERS & SURVEYORS & ENVIRONMENTAL

PROJECT NARRATIVE & COVER LETTER
West Stuart Business Center Phase II
Major Master and Final Site Plan Final Site Plan
October 16, 2018

REQUEST

On behalf of the Petitioner, Engineering Design & Construction, Inc. is requesting review and approval of a major master and final site plan for a project known as West Stuart Business Center East. The client is proposing four (4) freestanding office / warehouse buildings totaling 91,922 sf. Of the proposed square footage, 18,346 sf is proposed office and 73,576 sf is proposed warehouse. The project is located at 7805 SW Ellipse Way in Martin County, Florida.

SITE CHARACTERISTICS & PROJECT HISTORY

The subject property is located at 7805 SW Ellipse Way in Stuart, Florida. It can be identified in the below table:

Parcel ID:	Address:	Acreage:
05-39-41-002-000-00180-1	7805 SW Ellipse Way	8.5

The project currently has a Future Land Use designation of Industrial and a Zoning designation of Light Industrial (LI). The west side of the project is currently under construction.

To the north of the subject property are developed lake to serve the overall Industrial Park. This tract has a Future Land Use Designation of Industrial and an underlying Zoning designation of Light Industrial (LI).

To the west of the subject property lies is a developed industrial parcel. This parcel has a Future Land Use designation of Industrial and an underlying Zoning designation of Light Industrial (LI).

To the southwest of the subject property lies the right of way for SW Ellipse Way followed by developed commercial parcels. South of the subject parcel is a developed commercial parcel. These parcels have a Future Land Use designation of Industrial and is located in the Light Industrial (LI) Zoning district.

To the east of the subject is the Right-of-Way of I-95 and east of that is the Right-of-Way for Lost River Road.

The checklist is submitted along with this Project Narrative/Cover Letter. Most of the items on the checklist have been provided. There has been no transfers in ownership and a copy of the warranty deed is included as required. There are no land dedications,

environmental waivers or PAMP. A school impact worksheet has not been included as the proposed development is not residential. There are no landscape alternative compliance requests, no CRA alternative requests proposed for this developed. It is the intent of the applicant to section Option One in reference to agency permitting. A lighting plan has not been supplied as the proposed development is not located on a barrier island and does not have proposed public rights-of-way. It is not the intent of the petitioner to phase this project. No groundwater modeling is required. No phasing is proposed for this project.

Pursuant to Section 5.7.B of the Martin County Land Development Regulations, the petitioner request reservation of public facilities to serve this project. Martin County Utilities will be the service provider for water and wastewater service. The site will be irrigated by the lake as previously permitted under SFWMD Water Use Permit # 43-01382-W.

Based on the above justification and attached information, the Petitioner respectfully requests approval of this request.

S:\EDC-2018\18-382 - West Stuart Business Phase 2 - Kelly\ENGINEERING\Documents\Submittal Documents\Justification Statement\2018-09-10_VV_Stuart_Bus_Ctr_East_Major_Master_&_FSP_Justification_Ltr_18-382.docx

West Stuart Business Center, LLC
 1935 Commerce Lane
 Suite 5
 Jupiter, FL 33458

AGENT CONSENT FORM

Project Name: West Stuart Business Center East

BEFORE ME THIS DAY PERSONALLY APPEARED George T Kelly IV, WHO
 BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act as agent for the
 purposes of obtaining permits and approvals from state and local government agencies for the
 property described below:

**LOT 18 THE ELLIPSE ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK
 11 PAGE 84 PUBLIC RECORDS MARTIN COUNTY FLORIDA (UNITY OF TITLE OR
 2981/2237)**

Parcel ID: 05-39-41-002-000-00180-1

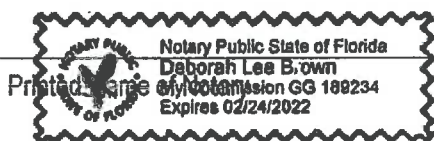
If you have any questions, please call me at (561) 743-7381.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 10 day of October, 2018, by
George T. Kelly IV (Name of Person Acknowledging) who is personally
 known to me or who has produced _____ (type of identification) as
 identification and who did (did not) take an oath.


 Notary Signature


 Owner's Signature



(Notary Seal)

West Stuart Business Center LLC
 Owner's Name

1935 Commerce Ln suite 5
 Street Address

Jupiter FL 33458
 City, State, Zip

2-24-22

My commission expires

561 743 7381

Telephone / Email

GT Kelly GC @ bellsouth.net

Prepared by and return to:
Matthew L. Kwasman, Esq.
Nason Yeager Gerson White & Lioco, PA
3001 PGA Boulevard Suite 305
Palm Beach Gardens, FL 33410
Ph: 561-686-3307
File Number: 1623-24727
Will Call No.: 155

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 30th day of March, 2017 between Stuart Kanner 2, LLC, a Florida limited liability company, whose post office address is 1247 Vista Parkway, Suite 17, Royal Palm Beach, FL 33411, grantor, and West Stuart Business Center, LLC, a Florida limited liability company, whose post office address is 1935 Commerce Lane, Suite 5, Jupiter, FL 33458, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 18 of The Ellipse, according to the Plat thereof, as recorded in Plat Book 11, Page 84, Public Records of Martin County, Florida.

Parcel Identification Number: 5-39-41-002-000-00180.10000

Subject To, covenants, restrictions and public utility easements of record, existing zoning and governmental regulations, none of which are reimposed hereby, and property taxes for the year 2017 and thereafter.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantor.

[SIGNATURES TO FOLLOW]


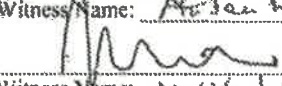
DoubleTime®

493

Recorded in Martin County, FL Carolyn Timmann, Clerk of the Circuit Court 03/06/2017 01:50:58 PM
DEED DOC 10,360.00
CFN# 2622869 OR BK 2910 PG 2540 PAGE 1 OF 2

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


 Witness Name: Arthur H. Jacobs

 Witness Name: Mike Lombardi

Grantor

Stuart Kanner 2, LLC, a Florida limited liability company

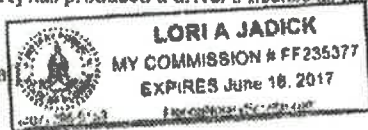
By: 

Steven E. McCraney, its manager and sole member

State of Florida
 County of Palm Beach

The foregoing instrument was acknowledged before me this 3 day of March, 2017 by Steven E. McCraney the manager and sole member of Stuart Kanner 2, LLC, a Florida limited liability company, on behalf of said firm. He ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]




 Notary Public

Printed Name: Lori Jadick

My Commission Expires: June 18, 2017

\\fs1\does\01623\01623-24727\506497.rtf/crs/mlk

DoubleTime®

LEGAL DESCRIPTION

WEST STUART BUSINESS CENTER PHASE II

PARCEL ID: 05-39-41-002-000-00180-1

LOT 18 OF THE PLAT OF THE ELLIPSE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11 AT PAGE 84, IN THE OFFICE OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA.

EASEMENT PARCEL 1:

TOGETHER WITH A NON-EXCLUSIVE ACCESS EASEMENT AS CREATED UNDER PARAGRAPH 10.3 OF THAT CERTAIN AMENDED AND RESTATED DECLARATIONS OF PROTECTIVE COVENANTS OF THE ELLIPSE, AS RECORDED IN OFFICIAL RECORDS BOOK 911, PAGE 242, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

Return to:
Martin County Growth Management Department

UNITY OF TITLE

In consideration of the issuance of a permit to West Stuart Business Center LLC, as Owner(s) for the construction of West Stuart Business Center Phase II in Martin County, Florida, and for other good and valuable considerations, the undersigned hereby agree to restrict use of lands described in **Exhibit A** attached hereto in the following manner:

Read carefully.

- ✓ Check Box 1. - if property is non-platted/non-condominium or
- ✓ Check Box 2. - if property is a platted subdivision or
- ✓ Check Box 3. - if property is a condominium, as applicable.

☐ 1. Non-Platted/Non-Condominium. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised, or assigned separately except in its entirety as one plot and parcel of land; with the sole exception being that a portion of said property may be sold, transferred, devised or assigned to any governmental entity.

OR

☒ 2. Platted Subdivision (Non-Condominium). That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised, or assigned separately except in its entirety as one plot and parcel of land; however that (a) individual subdivision lots may be conveyed upon approval and recordation of the plat of The Ellipse, (b) phases or portions of phases that comply with the requirements contained within the development orders may be conveyed separately upon final site plan approval of that phase or portion of a phase, (c) common elements, common open areas and developed recreation areas may be conveyed to a property owners' association or other similar entity as deemed appropriate by the Board of County Commissioners, so long as such conveyance shall be subject to the express restriction that use of the subject property shall only be for the use described on the final site plan and plat, and (d) other portions of the subject property may be conveyed and used or maintained by governmental, environmental, charitable or other organizations or agencies for such purposes as the Board of County Commissioners may deem appropriate, with the sole exception being that a portion of said property may be sold, transferred, devised, or assigned to any governmental entity.

OR

☐ 3. Condominium. That said property shall be developed as a condominium in which the underlying common elements shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately, except in its entirety as one plot or parcel of land, with the sole exception being that if any of the condominium units are developed as "land units" those parcels may be sold, transferred,

devised or assigned subject to being part of the condominium and subject to the declaration of condominium pursuant to which they were established, or a portion of said property sold, transferred, devised, or assigned to any governmental entity.

4. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their/its successors, heirs and assigns until such time as the same may be released in writing by the Martin County Board of County Commissioners.

5. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County.

6. Nothing herein contained shall limit, in any manner, the Owner, or their successors or assigns, to mortgage or encumber the property or any part thereof.

INDIVIDUAL(S)

Signed, acknowledged and notarized on this ____ day of _____, 20____.

WITNESSES:

Sign: _____
Print: _____
Sign: _____
Print: _____
Sign: _____
Print: _____
Sign: _____
Print: _____

OWNER(S):

Sign: _____
Print: George T. Kelly, IV

Sign: _____
Print: _____
Owner(s) Address: _____

Note: If two owners are involved, two witnesses are required for each signature; the same 2 witnesses can be used for both signature and both signatures need to be notarized.

STATE OF Florida
COUNTY OF Martin

I HEREBY CERTIFY that the foregoing Unity of Title was acknowledged before me this ____ day of _____, _____, by George T. Kelly, IV. He or she (☒) is personally known to me or (☐) has produced N/A as identification.

NOTARY PUBLIC

Name: _____
State of Florida at large
My commission expires: _____

STATE OF _____
COUNTY OF _____

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me this ____ day of _____, _____, by _____. He or she (☐) is personally known to me or (☐) has produced _____ as identification.

NOTARY PUBLIC

Name: _____
State of _____ at large
My commission expires: _____

[STAMP]

CORPORATE

Signed, acknowledged and notarized on this ____ day of _____, 20____.

WITNESSES:

OWNER:

Sign: _____
Print: _____

Name of Corporation

Sign: _____
Print: _____

By: _____
Name: _____
Title: _____
Address: _____

Note: Florida Statutes requires one of the following: corporate officer's signature attested by the corporate secretary and corporate seal applied; or, corporate seal applied and one witness; or corporate officer's signature and two witnesses.

STATE OF _____
COUNTY OF _____

I HEREBY CERTIFY that the foregoing Unity of Title was acknowledged before me this ____ day of _____, _____, by _____ (name of officer/agent and title) of _____ (name of corporation) He or she () is personally known to me or () has produced _____ as identification.

NOTARY PUBLIC

[STAMP]

Name: _____
State of _____ at large
My commission expires: _____

**EXHIBIT A
(Legal Description)**

PARCEL ID: 05-39-41-002-000-00180-1

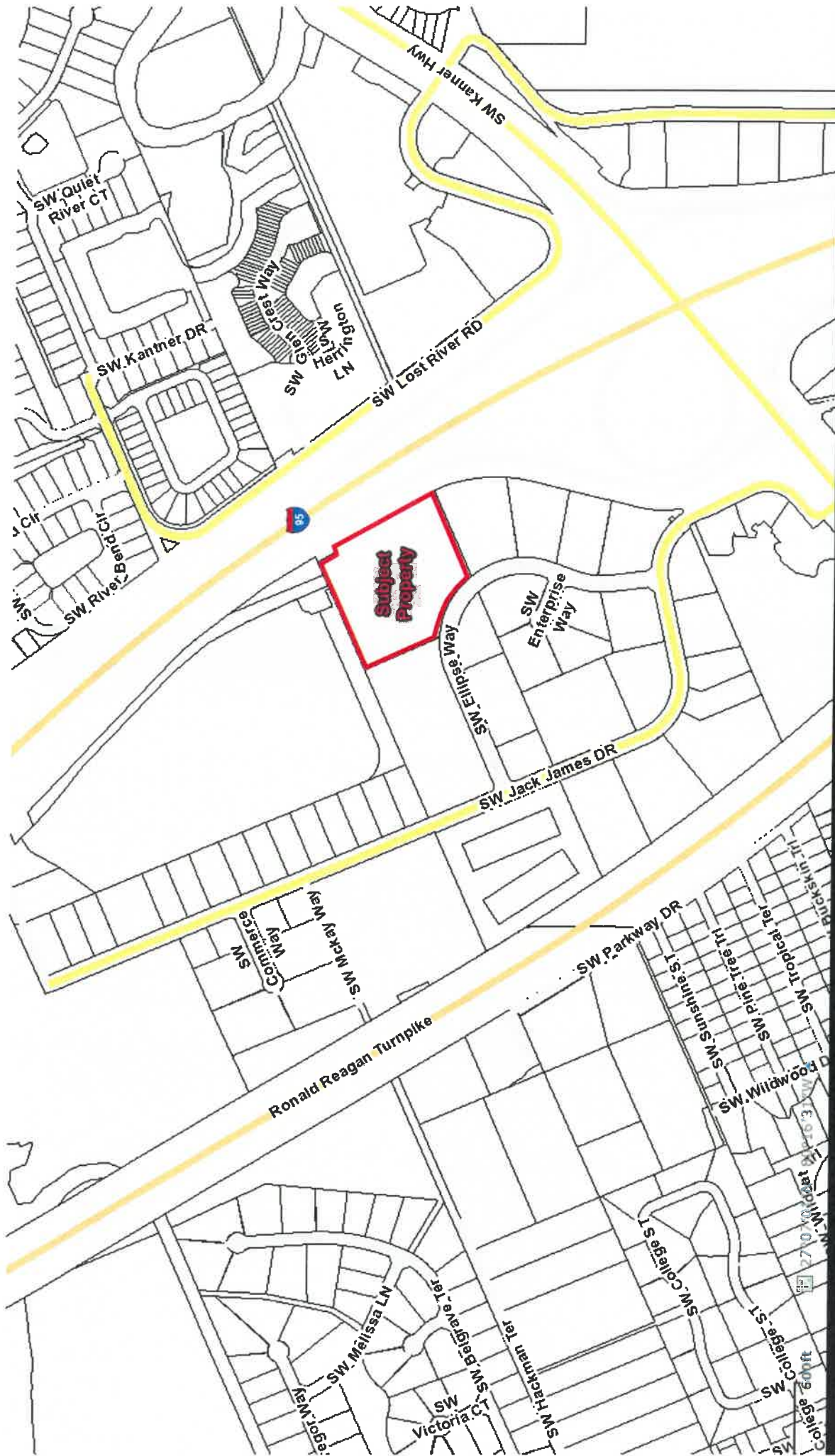
**LOT 18 OF THE PLAT OF THE ELLIPSE, ACCORDING TO THE PLAT THEREOF,
AS RECORDED IN PLAT BOOK 11 AT PAGE 84, IN THE OFFICE OF THE CIRCUIT
COURT IN AND FOR MARTIN COUNTY, FLORIDA.**

TOTAL ACREAGE / SF: 8.51 AC / 370,473.901 SF



Stuart, Florida 50

501





ENGINEERS • SURVEYORS • ENVIRONMENTAL

April 11, 2019

Via: Hand Delivery

Peter Walden
Martin County Growth Management
2401 SE Monterey Road
Stuart, FL 34996

**Re: West Stuart Business Center Revised Major Final Site Plan
Response to Comments, # E016-036, DEV2018110010**

Dear Pete:

On behalf of our client, please find the attached response to comments received via email on March 18, 2019 for a project known as West Stuart Business Center Revised Major Final Site Plan. Each comment is identified below followed by a response in ***bold italics***.

H. Determination of compliance with the urban design and community redevelopment requirements – Community Development Department

The South façade of Building 4, and the East and West facades of Buildings 3, 4, 5 and 6 are considered the primary façades.

Please show on the site plan the total length and width of buildings 3, 4, 5 and 6.

Unresolved Issues:

Item #1:

Primary Facades – Minimum Design Features

All primary facades on the ground floor shall have at least four of the design features identified in Section 4.872.C.2 of the LDR, along a minimum of 50% of their horizontal length. MARTIN COUNTY, FLA., LDR, § 4.872.C.2 (2013)

Remedy/Suggestion/Clarification:

The South Façade of Building 4 has only three design features. Please show on the South Elevation Façade of Building 4 one additional design feature.

RESPONSE: The south façade of Building 4 has the following four design features: 1) Window, 2) Decorative light fixture, 3) Foam medallions, 4) Stucco reveal joints in a decorative pattern. See Sheet A4.1, Drawing 5, Revision 2.

Item #2:

Primary Facades – Limitation on Blank Wall Areas

Blank wall areas shall not exceed 10 feet in vertical direction and 20 feet in horizontal direction of any primary façade. Control and expansion joints shall be considered blank wall areas unless used as a decorative pattern. Wall areas adorned with at least one of the design features set forth in Section 4.872.C.2, shall not be considered blank wall areas. Walls that are adjacent to a pedestrian arcade shall not be considered blank wall

areas. MARTIN COUNTY, FLA., LDR, § 4.872.C.3 (2013)

Remedy/Suggestion/Clarification:

The South Façade of Building 4 shows a blank wall area that exceeds 10 feet in vertical direction and 20 feet in horizontal direction. Please include on the blank wall one additional design feature from the list of Section 4.872.C.2.

RESPONSE: *The south façade of Building 4 has stucco reveal joints indicated in decorative patterns. The patterns have been dimensioned to indicate there are no blank wall areas greater than 10' in vertical direction and 20' in horizontal direction. See Sheet A4.1, Drawing 5, Revision 2.*

Item #3:

Roofs – Flat Roofs

Flat roofs shall have a parapet of at least one foot in height along any primary façade and shall have at least two changes in height of a minimum of two feet along each primary façade. Provide 12" height, three-dimensional cornice treatments with a minimum of three reliefs along entire length of the primary facades. MARTIN COUNTY, FLA., LDR, § 4.872.F.2 (2013)

Remedy/Suggestion/Clarification:

The South Façade of Building 4 does not have at least two changes in height. Please provide one additional change in the height along the South Façade of Building 4. Please submit an architectural detail showing the required cornice treatment along the entire length of the primary facades.

RESPONSE: *The south façade of Building 4 has been revised to indicate two changes in parapet height. See Sheet A4.1, Drawing 5, Revision 2 and Sheet A4.2, Drawing 4, Revision 2.*

A foam cornice detail has been added to the drawings. See Sheet A4.1, Cornice Detail, Revision 2.

Item #4:

Bicycle and pedestrian amenities shall be provided as determined by square footage of building on the site as schedule in this Code. These amenities maybe incorporated into a pedestrian arcade or similar feature that otherwise meets the requirements of this Division 20. Bike racks shall be provided within 50 feet of any customer entrance. The design of all amenities shall be of durable, long-lasting materials consistent with the design of the principle structures on the site and the principles found in Bicycle Facilities Planning and Design Handbook (FDOT 1997). Benches shall be not less than 6 feet in length and shall provide structural or vegetative shading. Required bike racks shall be the inverted "U" type and shall be designed to store a minimum of 6 bicycles each. MARTIN COUNTY, FLA., LDR, § 4.873.B (2013)

Remedy/Suggestion/Clarification:

The site plan shows only one bike rack. Bike racks shall be provided within 50 feet of any customer entrance. One bike rack is required for each building. Please show on the Site Plan three additional bike racks.

RESPONSE: *See revised site plan which includes additional bike racks as requested.*

Item #5:

Exterior light fixtures shall not exceed 30 feet in height within vehicular areas or 20 feet in non- vehicular pedestrian areas. MARTIN COUNTY, FLA.,LDR, § 4.873.C (2013)

Remedy/Suggestion/Clarification:

Please show on the site plan location and dimensions of the required light fixtures.

REPSONSE: Please see revised site plan.

Item #6:

The required screening of roof mounted mechanical equipment including air conditioning units and ductwork shall be as follows: when located on a flat roof, roof shall provide full parapet coverage a minimum of four feet in height, or to the highest point of the mechanical equipment whichever is lower. All mechanical equipment shall comply with the provisions of Article XI, Noise, of Article 12, Environmental Control of the Code of Laws and Ordinances. MARTIN COUNTY, FLA.,LDR, § 4.873.D (2013)

Remedy/Suggestion/Clarification:

Please show on the facades elevations the required screening.

RESPONSE: Roof mounted equipment is limited to plumbing vents. Screening is not required.

J. Determination of compliance with environmental and landscaping requirements - Growth Management Department

Landscape

**Unresolved
Issues:**

Item #1:

Standard Application Requirements

The deficiencies noted in this section need to be addressed by the applicant with revised plans and documentation. To ensure a successful review, the following shall be provided with your resubmittal information:

Revision dates/notes on all affected plans.

Plans should be provided with "call-out" revision clouds/notes to identify areas that have been modified from the original submittal.

A summary of changes that are provided with your resubmittal information, the staff report may be used as a template for your responses. It is important that you be specific as to what has been changed and where the changes may be found in the resubmitted materials. Resubmittal comments provided to address deficiencies such as "see the revised plans" should be replaced with more specific language such as "refer to the revised 30' dimension to the NE buffer provided on sheet 3/4 and revised landscape note 3 on sheet 2/4".

RESPONSE: Acknowledged.

Item #2:

Landscape Tabular Data

Landscape plans shall include a table which lists the gross and net acreage, acreage of development and preservation areas, number of trees and tree clusters to be protected within the developed area and within perimeter areas, and square footage of vehicular use areas (Ref. Section 4.662.A.10, LDR).

Interior and perimeter vehicular use areas should be quantified separately in the table. Tabular data shall also indicate a calculation of the minimum total number of trees and shrubs required to be planted based upon the proposed developed area and separately based upon quantities required to meet the vehicular use area planting requirements and any required bufferyard requirements.

Please also include the following:

- a. Identify each species intended to meet the required trees, shrubs, and ground cover separately in the tabular data. Tabular data shall also indicate calculations of the minimum total number of trees and shrubs to be planted based upon the proposed developed area and separately based upon quantities required to meet vehicular use planting requirements and bufferyard requirements.

Remedy/Suggestion/Clarification:

While it appears that sufficient landscape area has been provided, it is unclear from the site data table if sufficient trees have been provided based on perimeter and interior vehicular use area requirements.

There is no tally for trees required for the entire 8.5 acre site. Since 21 trees are proposed to be relocated from the 1st construction area and 7 slash pine are being omitted for the additional parking, data needs to be evaluated with respect to the entire site. Revise site data table to document required tree quantities for the entire site.

RESPONSE: *The table has been updated to reflect individual requirements and a line has been added addressing the overall tree count. 5 trees have been added to replace pine trees removed for the additional parking area*

Item #3:

General Landscape Design Standards

Please demonstrate compliance with the following general landscape requirements on the provided plans:

Remedy/Suggestion/Clarification:

The perimeter landscape area on the south property line is still shown within the access easement, though the site plan has labeled the area north of the easement as the landscape area, remove landscaping from easement area. Landscaping has been removed from the tower access easement on the east but only by 3 feet and the site plan still labels the easement as the landscape area. Please correct the site plan label, label the access easements on the landscape plan, and move oak trees back from this easement where they will not be impacted by truck access traffic.

RESPONSE: *Landscaping was moved outside the access easement*

Item #4:

Landscape Native Tree Protect & Survey

A tree survey is required to identify specific native trees required to be protected from development [Section 4.666, LDR]. Please note that trees in proposed preservation areas, palm trees and non-native species need not be identified on this survey. Existing native vegetation shall be retained to act as buffers between adjacent land uses, and to minimize nuisance dust noise and air pollution during construction.

Remedy/Suggestion/Clarification:

Comment not properly addressed. While replacement trees will be sufficient to mitigate please provide a tree summary table or tree disposition table to demonstrate compliance.

RESPONSE: No native hardwood trees are being removed. The site contains 2 pine trees that are being removed which are not protected.

We feel the attached adequately addresses staff comments and respectfully request the approval of this project. If you have any questions regarding this application, the attached documents, or the project, please contact our office.

Respectfully,

ENGINEERING DESIGN & CONSTRUCTION, INC.



Patricia Sesta
Planner

cc: George Kelly – West Stuart Business Center, LLC

S:\EDC-2018\18-382 - West Stuart Business Phase 2 - Kelly\ENGINEERING\Documents\Submittal Documents\Comment Response Letter\2019-04-11_P_Walden_W_Stuart_Business_Ctr_Major_Final_Rsp2Cmts_18-382.doc

WEST STUART BUSINESS CENTER - CONSTRUCTION PLANS 22 FEBRUARY 2019 #18-382

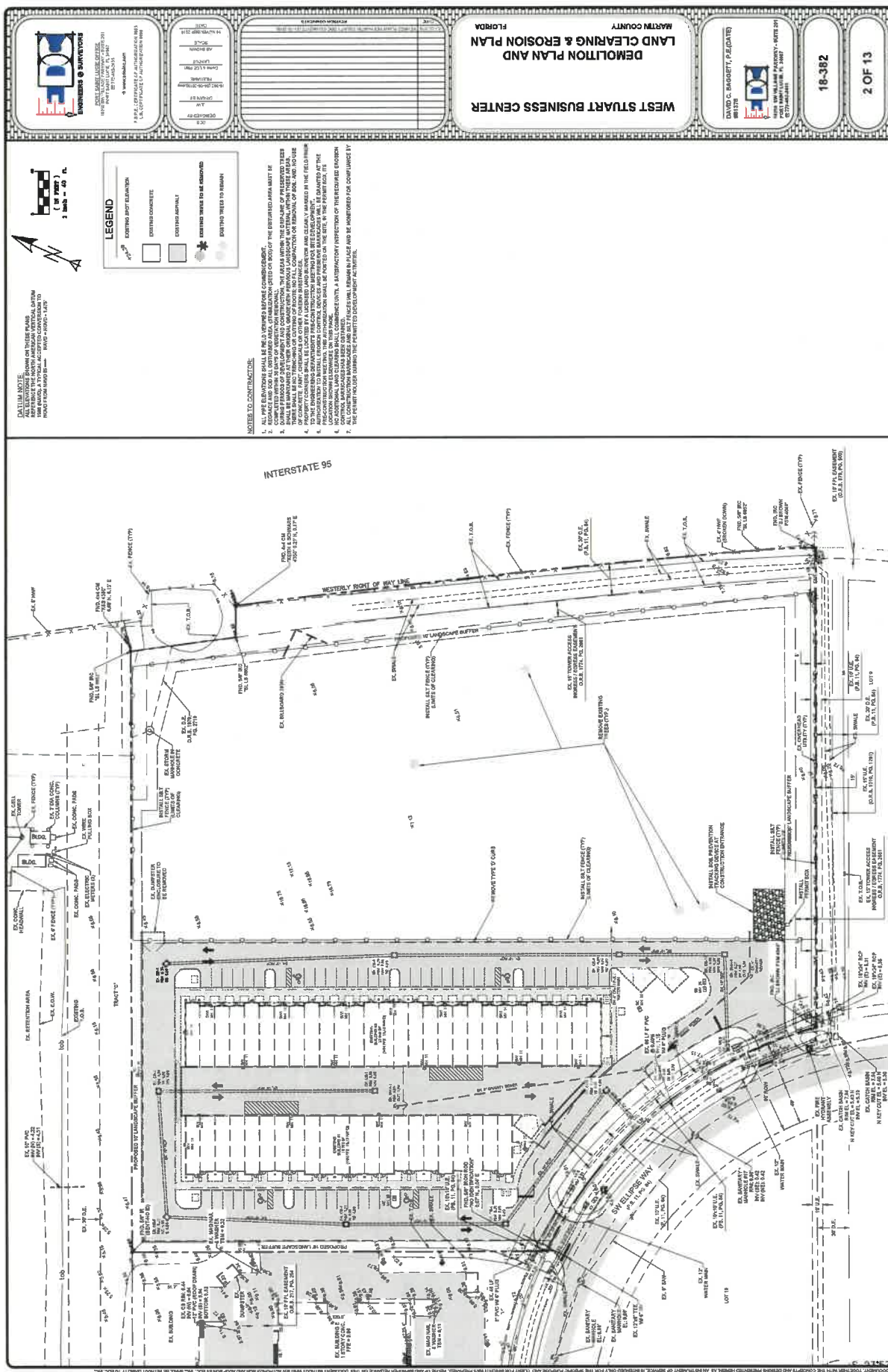
A map of the state of Florida showing its county boundaries. The map is oriented with the Atlantic Ocean to the north and the Gulf of Mexico to the west. Key locations are labeled: Jacksonville (top left), Tallahassee (far left), Fort St. John (north central), Apalachicola (central), West Palm Beach (east central), Miami (southeast), and Key West (far southeast). A line points from the text 'Project Location' to a specific area in the northern part of the state, near the border with Georgia.

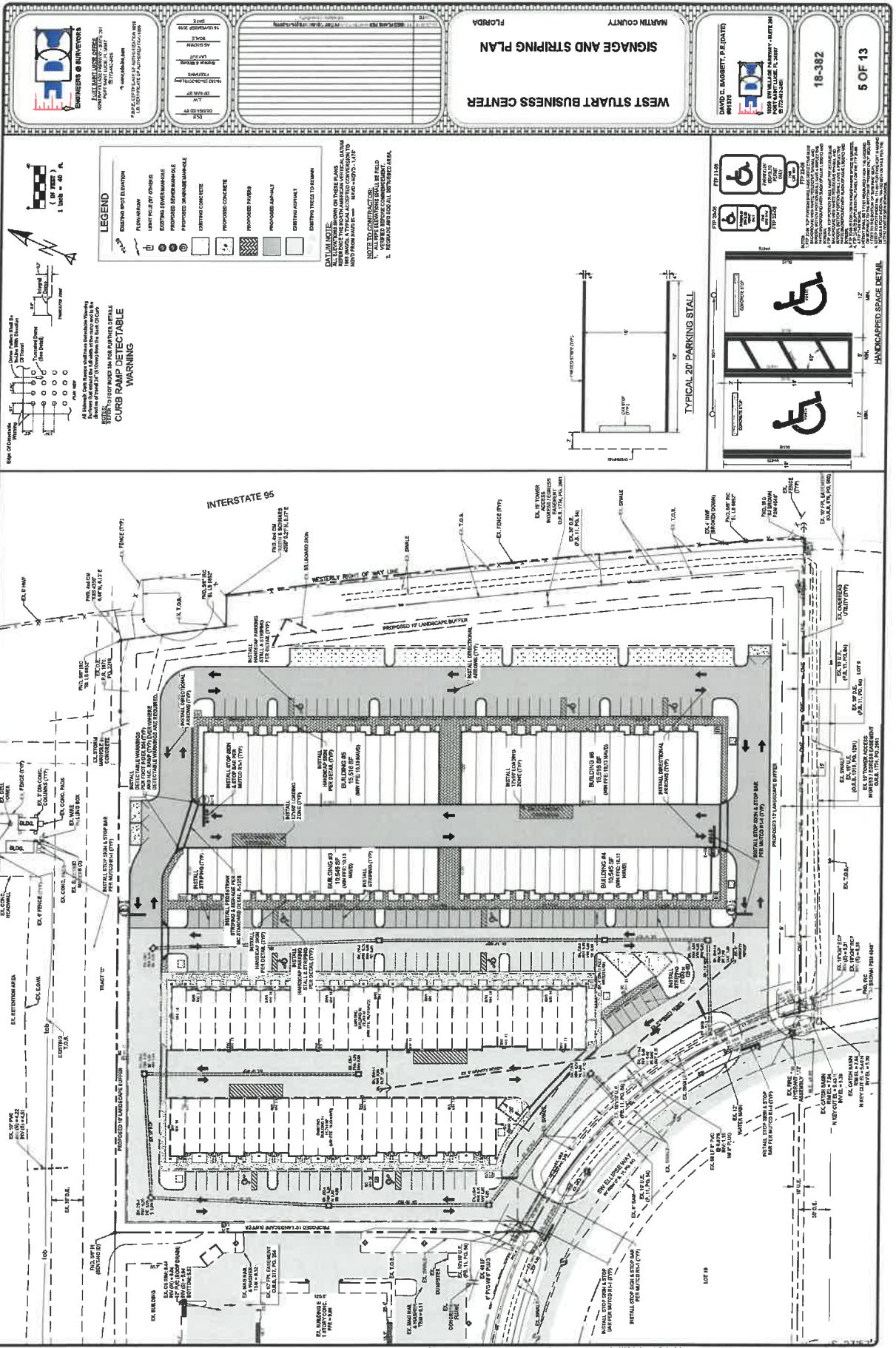
1. COVER
2. DEMOLITION PLAN AND LAND CLEARING & EROSION PLAN
3. LAND CLEAR & EROSION DETAILS
4. HORIZONTAL CONTROL PLAN
5. SIGNAGE AND STRIPING PLAN
6. PAVING, GRADING, & DRAINAGE PLAN
7. UTILITY PLAN
8. PAVING, GRADING, & DRAINAGE DETAILS
9. PAVING, GRADING, & DRAINAGE DETAILS
10. UTILITY DETAILS
11. UTILITY DETAILS
12. UTILITY DETAILS
13. SPECIFICATIONS

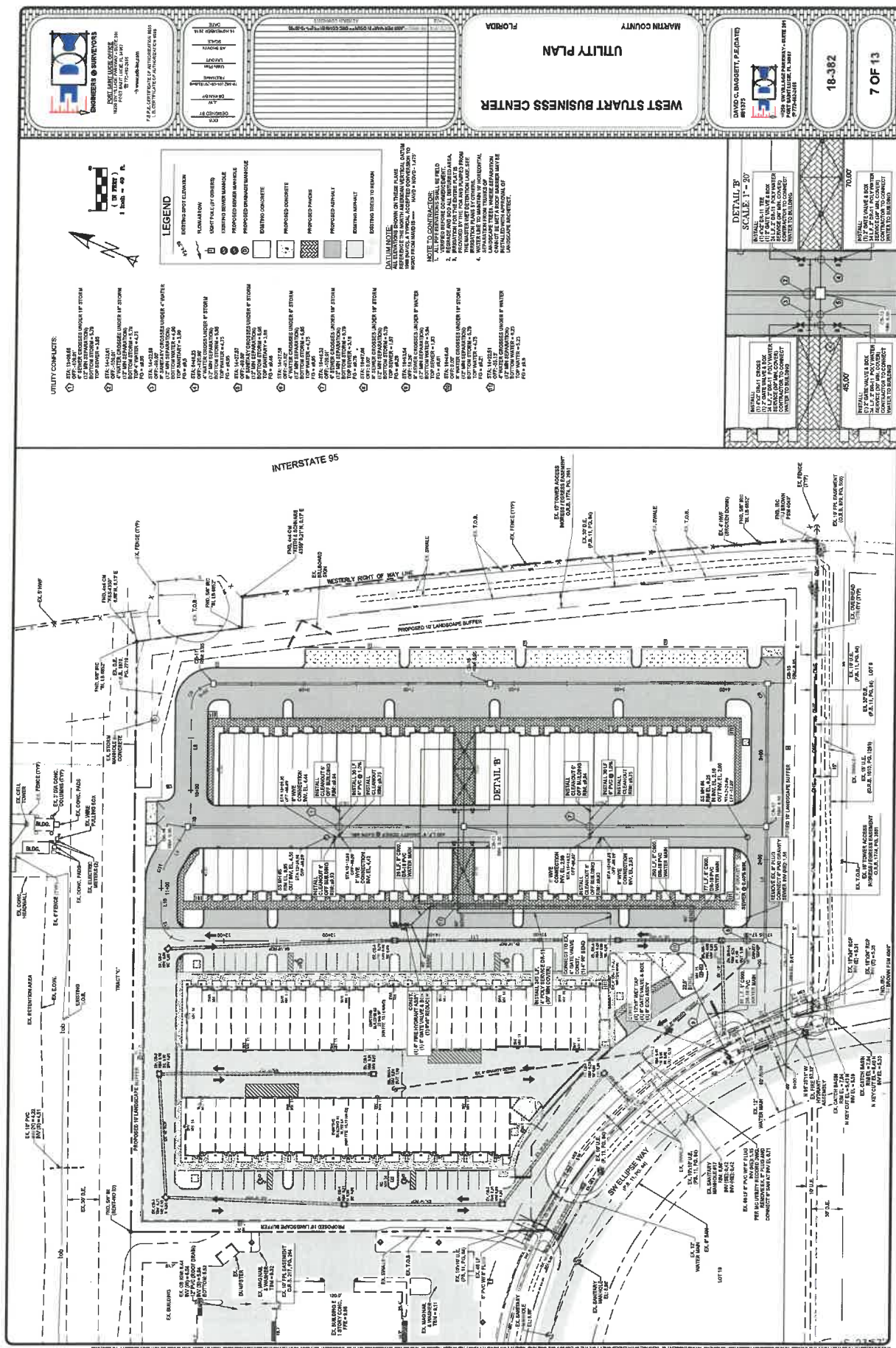
DAVID C. BAGGETT, P.E.(DATE)
08/13/75
10259 JW VILLAGE PKWY. SUITE 201
PORT SAINT LUCIE, FL 34987
☎ 772-462-2455


PORT SAINT LUCIE OFFICE
1090 GAY VILLAGE PKWY - SUITE 200
PORT SAINT LUCIE, FL 34887

U.S. DEPARTMENT OF AUTHORIZATION 9907
U.S. DEPARTMENT OF AUTHORIZATION 1001









WEST STUART BUSINESS CENTER
PAVING, GRADING, & DRAINAGE
DETAILS

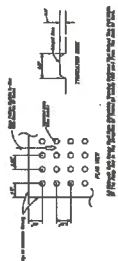
MARTIN COUNTY
FLORIDA

DAVID C. KAGERT, P.E. (L) 1007
1007 WEST PALM AVENUE - SUITE 101
WEST PALM BEACH, FL 33411
TEL: 561-832-2441

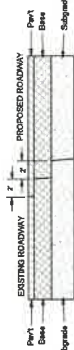
18-382

8 OF 13

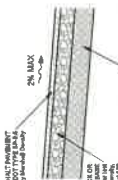
DATA NOTES:
ALL ELEVATIONS SHOWN ON THESE PLANS SHALL BE IN FEET AND INCHES. ELEVATIONS SHALL BE TO THE TOP OF THE FINISHED PAVEMENT UNLESS OTHERWISE NOTED. A TYPICAL ACCEPTED CONVERSION TO METRIC FORM MAY BE FOUND IN: 1-1000 - 1-1000



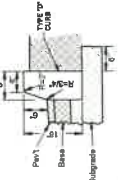
DETECTABLE WARNING
NOTES:
1. DETECTABLE WARNING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
2. DETECTABLE WARNING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
3. DETECTABLE WARNING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.



MATERIAL BENCHING DETAIL
(FOR ATTACHING TO EXISTING ROADWAY)



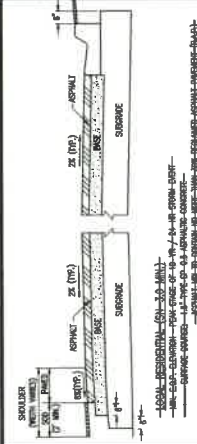
TYPICAL ON-STREET PAVEMENT SECTION
NOTES:
1. Use 1,000 P.S.I. concrete at 28 days for construction.
2. Subgrade to be finished to a minimum of 12 inches below 100% cut.
3. Type "D" Curb to be constructed in accordance with R-10 detail.



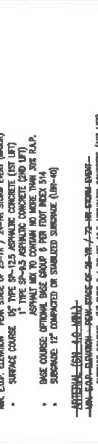
TYPE "D" CURB
NOTES:
1. Use 1,000 P.S.I. concrete at 28 days for construction.
2. Subgrade to be finished to a minimum of 12 inches below 100% cut.
3. Type "D" Curb to be constructed in accordance with R-10 detail.

SPACING OR REDUCED ROADWAY / PARKING AREA TESTS				
ITEMS TO BE TESTED	F.A.V.	DENSITY	L.A.A.	THICKNESS
CONCRETE	100	1000	1000	1000
STRUCTURAL SURFACE	100	1000	1000	1000
LANDSCAPE BASE	100	1000	1000	1000
LANDSCAPE BASE	100	1000	1000	1000
LANDSCAPE BASE	100	1000	1000	1000
ASPHALT	100	1000	1000	1000

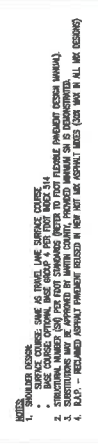
NOTE: ALL TESTS SHALL BE TAKEN AT A MINIMUM SPACING OF 100 FEET FROM A POINT 10' FROM THE CURB LINE.



CURB CUT RAMP
NOTE: 1. Limitation: Minimum to be 2' below top of sidewalk.



TRENCH DETAIL WITH PAVEMENT OVERLAY
NOTE: 1. Limitation: Minimum to be 2' below top of sidewalk.



TYPICAL TRENCH DETAIL
NOTE: 1. Limitation: Minimum to be 2' below top of sidewalk.

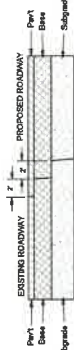


CURB CUT RAMP
NOTE: 1. Limitation: Minimum to be 2' below top of sidewalk.

DOUBLE STRIPING DETAIL
NOTES:
1. DOUBLE STRIPING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
2. DOUBLE STRIPING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
3. DOUBLE STRIPING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.



DOUBLE STRIPING DETAIL
NOTES:
1. DOUBLE STRIPING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
2. DOUBLE STRIPING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
3. DOUBLE STRIPING SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.



20' PARKING STALL DETAIL
NOTES:
1. PARKING STALL SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
2. PARKING STALL SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
3. PARKING STALL SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.



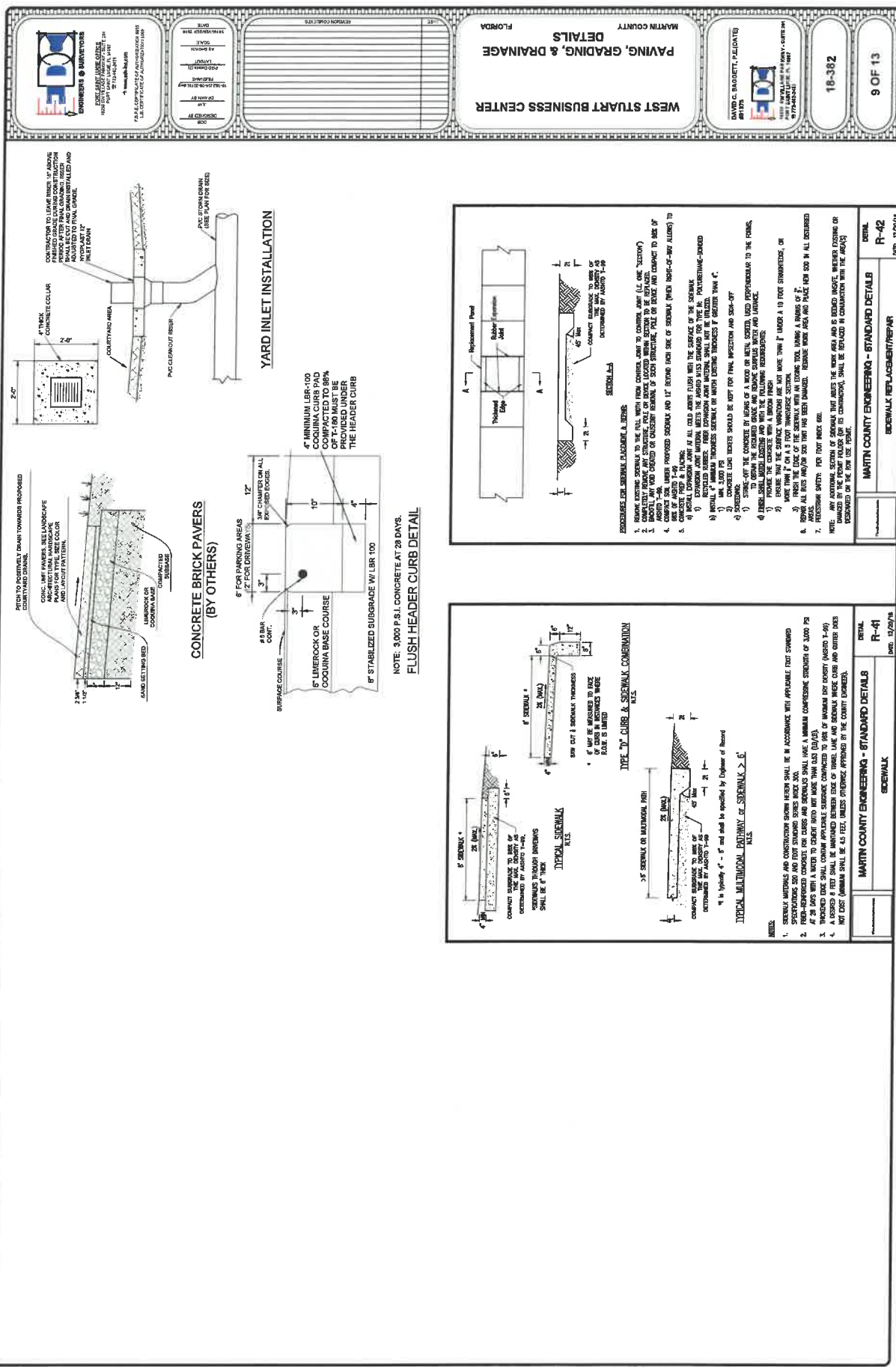
HANDICAP SPACE DETAIL
NOTES:
1. HANDICAP SPACE SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
2. HANDICAP SPACE SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.
3. HANDICAP SPACE SHALL BE LOCATED AT THE BEGINNING OF THE CROSSING AND AT THE END OF THE CROSSING.

DETAIL R-9B
TYPICAL OPEN CUT TRENCH
DATE: 12/20/14

DETAIL R-31A
TYPICAL OPEN CUT TRENCH
DATE: 12/20/14

DETAIL R-10
FLEXIBLE PAVEMENT SECTIONS
DATE: 12/20/14

DETAIL R-10
FLEXIBLE PAVEMENT SECTIONS
DATE: 12/20/14



[illegible]

NOTES:

1. ALL MANHOLES SHALL BE CONSTRUCTED TO A MINIMUM DEPTH OF 4'-0\"/>

REVISION: AUGUST 2016

DATE: 10/1/2011

SCALE: AS SHOWN

PROJECT: 1000 W. WILLOW PARKWAY - SUITE 200

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 10/1/2011

WEST STUART BUSINESS CENTER

UTILITY DETAILS

MARTIN COUNTY

FLORIDA

DAVID C. BARNETT, P.E. (SEWER)

1000 W. WILLOW PARKWAY - SUITE 200
 BOCA RATON, FL 33433
 PHONE: 561-993-1111
 FAX: 561-993-1112
 WWW.S&E-FLA.COM

18-382

11 OF 13

NOTES:

1. SERVICE LATERALS SHALL TERMINATE WITH A CLEANOUT AT L.
2. LATERAL CLEANOUTS SHALL BE LOCATED AT THE END OF EACH SERVICE LINE OR OPPOSITE.
3. SERVICE LATERALS SHALL TERMINATE WITH A CLEANOUT AT L.

REVISION: AUGUST 2016

DATE: 10/1/2011

SCALE: AS SHOWN

PROJECT: 1000 W. WILLOW PARKWAY - SUITE 200

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 10/1/2011

WEST STUART BUSINESS CENTER

UTILITY DETAILS

MARTIN COUNTY

FLORIDA

DAVID C. BARNETT, P.E. (SEWER)

1000 W. WILLOW PARKWAY - SUITE 200
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18-382

11 OF 13

NOTES:

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REVISION: AUGUST 2016

DATE: 10/1/2011

SCALE: AS SHOWN

PROJECT: 1000 W. WILLOW PARKWAY - SUITE 200

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 10/1/2011

WEST STUART BUSINESS CENTER

UTILITY DETAILS

MARTIN COUNTY

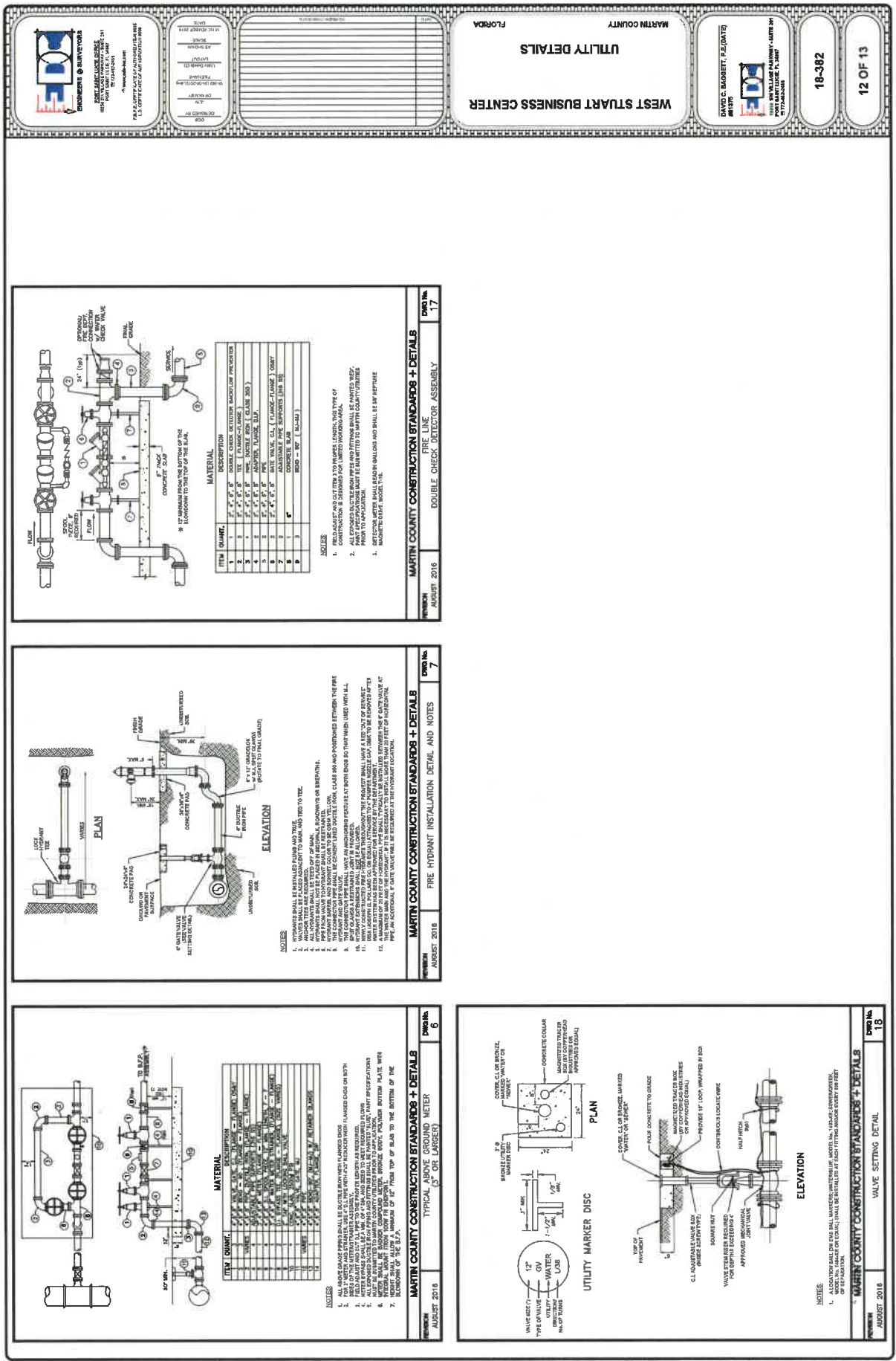
FLORIDA

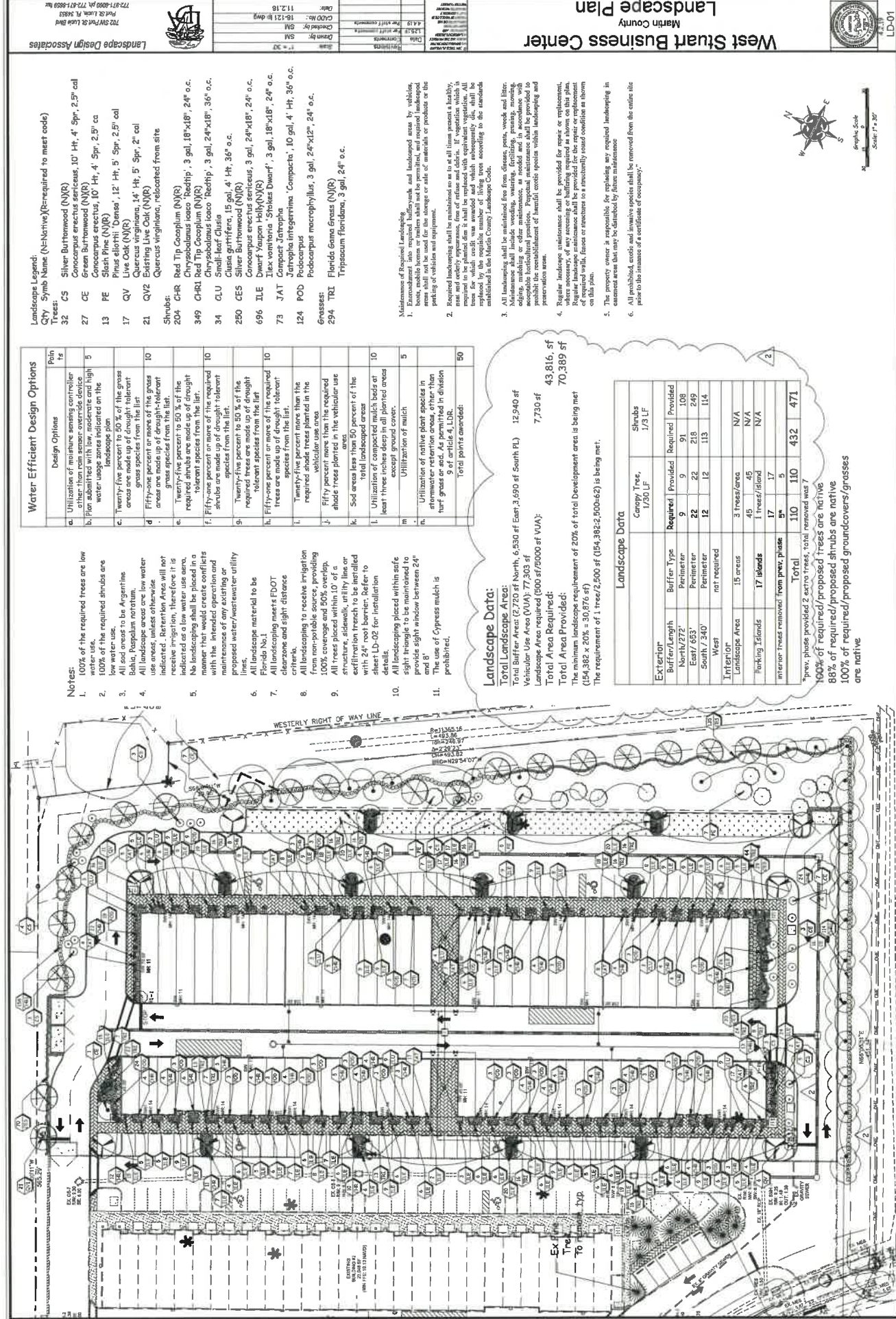
DAVID C. BARNETT, P.E. (SEWER)

1000 W. WILLOW PARKWAY - SUITE 200
 BOCA RATON, FL 33433
 PHONE: 561-993-1111
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 WWW.S&E-FLA.COM

18-382

11 OF 13





Water Efficient Design Options

Design Options	Points
a. Utilization of moisture sensing controller other than rain sensor override device	5
b. Plant abutment with low, moderate and high water usage areas indicated on the plan	5
c. Twenty-five percent to 50% of the grass areas are made up of drought tolerant grass species from the list	10
d. Fifty-one percent or more of the grass areas are made up of drought-tolerant grass species from the list	10
e. Twenty-five percent to 50% of the required shrubs are made up of drought tolerant species from the list	10
f. Fifty-one percent or more of the required shrubs are made up of drought tolerant species from the list	10
g. Twenty-five percent to 50% of the required trees are made up of drought tolerant species from the list	10
h. Fifty-one percent or more of the required trees are made up of drought tolerant species from the list	10
i. Twenty-five percent more than the required shrubs are made up of drought tolerant species from the list	5
j. Fifty percent more than the required shrubs are made up of drought tolerant species from the list	5
k. Soil area less than 50 percent of the total landscaped area	10
l. Utilization of compacted mulch beds at least three inches deep in all planted areas	5
m. Utilization of mulch	5
n. Utilization of native plant species in stormwater retention areas, other than turf grass or sod. As permitted in division 9 of article 4, LDC.	50

Total points awarded:

Notes:

- 100% of the required trees are low water use.
- 100% of the required shrubs are low water use.
- All and are to be Argemone, Bahia, Paspalum notatum.
- All landscape areas are low water use areas. Trees other than Argemone, Bahia, Paspalum notatum will not receive irrigation. Therefore it is indicated as a low water use area.
- No landscaping shall be placed in a manner that would create conflicts with the intended operation and maintenance of any existing or proposed water/wastewater utility lines.
- All landscape material to be Florida No.1.
- All landscaping meets FDOT criteria and sign distance criteria.
- All landscaping to receive irrigation from non-portable source, providing 100% coverage and 50% overlap.
- All trees placed within 10' of a structure, sidewalk, utility line or exfiltration trench to be installed with 24" root barrier. Refer to sheet LD-02 for installation details.
- All landscaping placed within safe sight triangle to be maintained to provide sight window between 24" and 48" from curb.
- The use of Cypress mulch is prohibited.

Landscape Data:

Total Landscape Area: 12,940 sf
Total Buffer Area: 2,720 sf North, 6,530 sf East, 3,690 sf South (PL)
Vegetable Use Area (VUA): 77,303 sf
Landscape Area required (500 sf/5000 sf VUA): 7,730 sf
Total Area Provided: 43,816 sf
Total Area Required: 70,389 sf
The minimum landscape requirement of 50% of total Development area is being met (154,382 x 50% = 77,191 sf)
The requirement of 1 tree/2,500 sf (154,382/2,500=62) is being met.

Landscape Data

Exterior	Canopy Tree, 1/30 LF	Shrubs 1/3 LF
Buffer/Length	Required	Provided
North/272'	9	91
Perimeter	22	218
East/653'	12	113
South/340'	not required	114
West	not required	
Interior		
Landscape Area	15 areas	N/A
Parking Islands	17 islands	N/A
Interior Trees removed from prev. phase	5*	5
Total	110	432
Total	110	471

*prev. phase provided 2 extra trees, total removed was 7

100% of required/proposed trees are native
88% of required/proposed shrubs are native
100% of required/proposed groundcovers/grasses are native

Landscaping Legend:
Qty Sybm Name (N=Native)(R=required to meet code)

- 32 C5 Silver Burdtwood (N/R)
- 32 C5 Silver Burdtwood (N/R)
- 27 CE Green Burdtwood (N/R)
- 13 PE Silver Burdtwood (N/R)
- 17 QV Pinus elliotii 'Densa', 12" Ht, 5" Spr, 2.5" cal
- 21 QV2 Existing Live Oak (N/R)
- 204 CHR Red Tip Coccoloba (N/R)
- 349 CHR Red Tip Coccoloba (N/R)
- 34 CLE Small-leaf Cudra (N/R)
- 250 CEU Silver Burdtwood (N/R)
- 696 ILE Dwarf Yaupon Holly (N/R)
- 73 JAT Compact Jatropha
- 124 POB Jatropha integrifolia
- Grasses:
294 TRI Florida Guinea Grass (N/R)
- Tripsacum daniellii, 3 gal, 24" o.c.

Maintenance of Required Landscaping

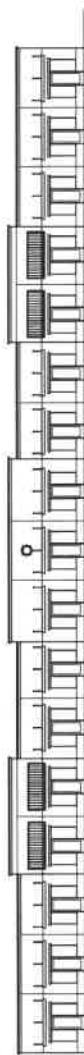
1. Establishment into required buffers and landscaped areas by vehicles, boats, mobile homes or trailers shall not be permitted, and required landscaped areas shall be maintained free of debris, litter, or other materials or products at the parking of vehicles and equipment.
2. Required landscaping shall be maintained as per all listed species, including, but not limited to, pruning, watering, fertilizing, and other maintenance. All trees for which credit was awarded and which subsequently die, shall be replaced with a tree of the same species and size, or a tree of a different species, as approved by the Planning Commission, within the time frame established in the Martin County Landscape Code.
3. All landscaping shall be established free from disease, pests, weeds and litter. Maintenance shall include weeding, watering, fertilizing, pruning, mowing, edging, mulching or other maintenance, as needed and in accordance with acceptable horticultural practices. Pruning shall be provided to maintain the health and appearance of the landscape. Pruning shall be provided to maintain the health and appearance of the landscape.
4. Regular landscape maintenance shall be provided for species or replacement of any existing or required landscaping as shown on this plan. Regular landscape maintenance shall be provided for the repair or replacement of required walls, fences or structures to a structurally sound condition or shown on this plan.
5. The property owner is responsible for replacing any required landscaping in event areas that may be disturbed by these maintenance.
6. All prohibited, exotic and invasive species shall be removed from the entire site prior to the issuance of a certificate of occupancy.

West Stuart Business Center
Martin County
Landscape Plan

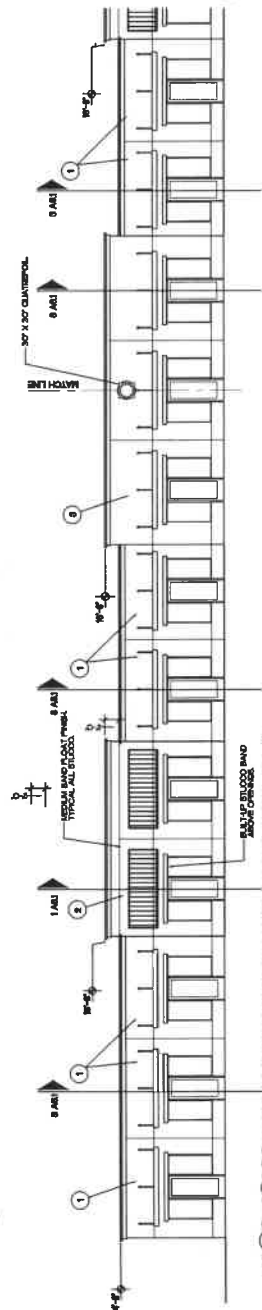


ARCHITECTURAL DESIGN REQUIREMENTS COMPLIANCE

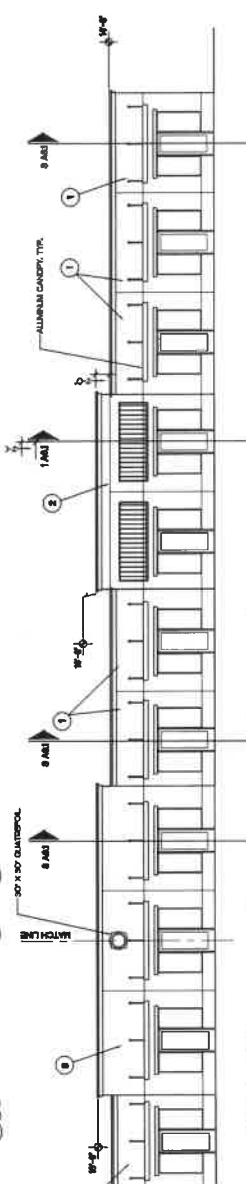
1. PRIMARY WALL PLACES OFFSET A MINIMUM OF 3".
2. RANGES LOCATED OVER WOODS AND DOORS IN INCREMENTS OF 10' OR LESS.
3. GAISED PARAPETS OVER ENTRANCES.
4. PARAPETS A MINIMUM OF 2' IN HEIGHT.
5. DECORATIVE LIGHT FIXTURES.
6. THREE-DIMENSIONAL CORNICE TREATMENTS.
7. MINIMUM OF TWO CHANGES IN HEIGHT OF THE PARAPETS AT A MINIMUM OF 7'.



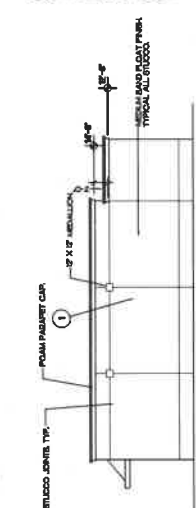
BUILDINGS 3 AND 4
WEST ELEVATION-PRIMARY FACADE



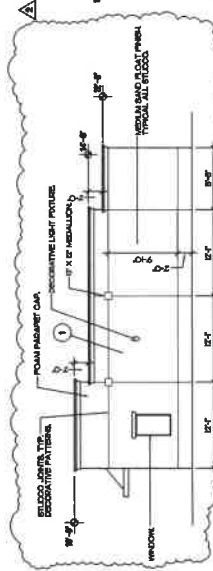
PARTIAL WEST ELEVATION-PRIMARY FACADE



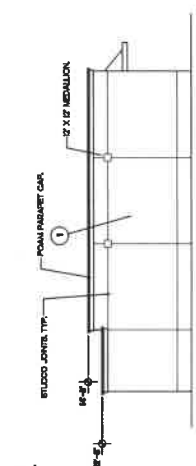
BUILDING 3
PARTIAL WEST ELEVATION-PRIMARY FACADE



**BUILDING
C CHARTER**
SOUTH ELEVATION-SECONDARY FACADE



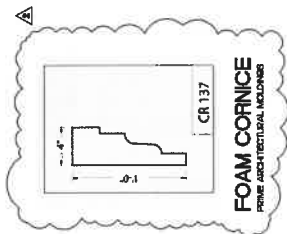
5 BUILDING 4
SOUTH ELEVATION-PRIMARY FACADE



6
ELEVATIONS 3 AND 4
NORTH ELEVATION-SECONDARY FACADE

PROPOSED COLORS

- 1 PPG092-2 NESSA BEIGE
- 2 PPG092-3 TUSCAN BEIGE
- 3 PPG092-4 CRAFTSMAN GOLD
- 4 CANOPY ROOFING-BLACK



West Stuart Business Center
Section 43, Township 38S, Range 41E
Martin County, Florida

Release:  1/25/19  2/28/19	Content: Buildings 8 and 4 Exterior Elevations
--	--

Drugs: _____
 Date: 10/3/98
 Proj. No. 19008

A4.1



Mond De Guiraud
architecture LLC

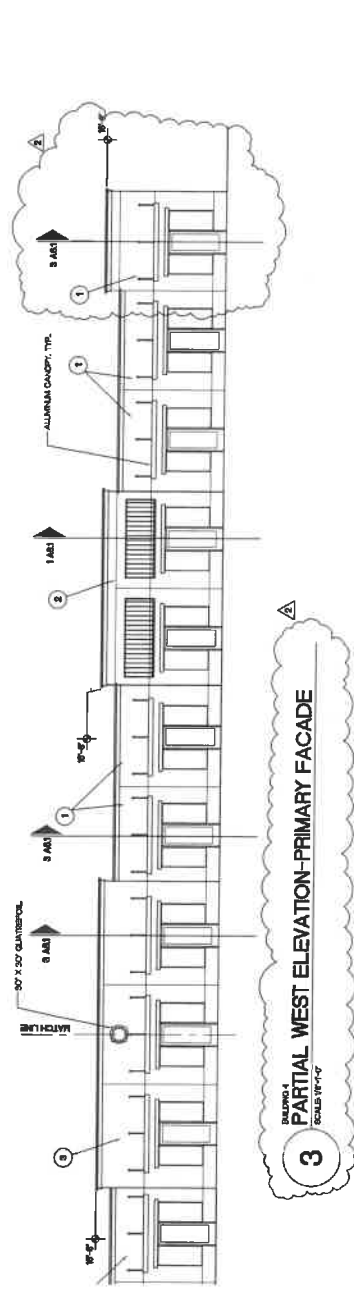
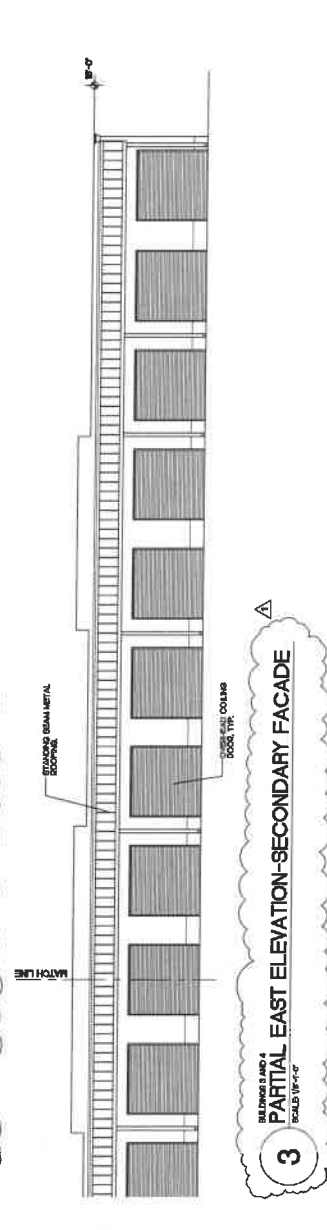
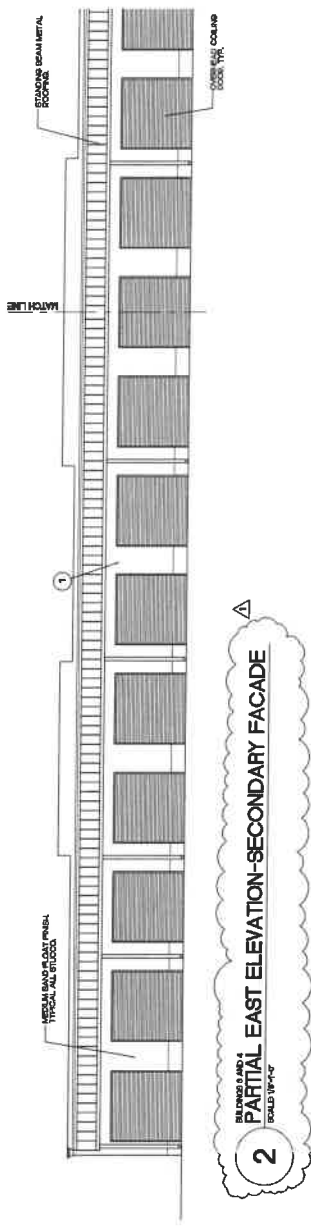
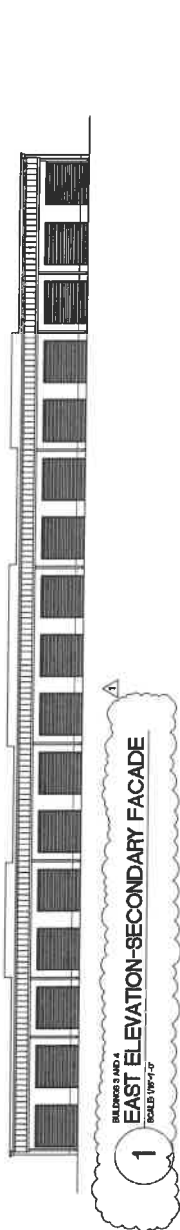
1400 Midway Avenue
Jacksonville, Florida
32202
(904) 723-8164
monddeguiraud.com

Corporation Number
A00001553
Professional Seal
Architect
A0003312

West Stuart Business Center
Section 43, Township 38S, Range 41E
Martin County, Florida

Revisions
1/25/19
2/25/19
3/25/19
Contract
Buildings 3 and 4
Exterior Elevations

Drawn By
10/13/18
Proj. No.
8006
Sheet No.
A4.2



DISCLOSURE OF INTEREST AFFIDAVIT

BEFORE ME, the undersigned authority, duly authorized to take acknowledgments and administer oaths, personally appeared the undersigned person on the date set forth below, who, first being duly sworn, deposes and says under penalties of perjury:

1. That the record property owner(s) of the Real Property described in **Exhibit "A"** to this Affidavit is (are) as follows:

Name	Address
West Stuart Business Center LLC	1935 Commerce Ln #5 Jupiter FL 33458

(If more space is needed attach separate sheet)

2. That the following is a list of every natural person and entity with any legal or equitable interest in the property (as defined in Section 10.2.B.3. Land Development Regulations, Martin County Code):

Name	Address	Interest
Michael M. Canter	2901 SE Gran Park Way Stuart FL 34997	50%
George T Kelly	1935 Commerce Ln #5 Jupiter FL 33458	25%
Patrick B Kelly	1935 Commerce Ln #7 Jupiter FL 33458	25%

(If more space is needed attach separate sheet)

3. That the following is a list of those, who have any interest in a contract for sale of the property, or a conveyance of any interest in the property, including but not limited to, real estate brokers and salespersons; and any and all mortgagees of the property:

Name	Address	Interest

(If more space is needed attach separate sheet)

4. That the following is a list of all other applications for which the applicant has an interest as defined in subsection b. and c. of Section 10.2.B.3. Land Development Regulations, Martin County Code currently pending before Martin County. The list shall include any development applications, waiver applications, road opening applications, and lien reduction requests.

Application Name and/or Project Number	Names & Addresses of Parties involved	Date	Type of Application	Status of Application*
E016-32 D001201700199	Michael M Conter 3901 Gran Port Way Stuart Fl 34997	Aug 9 2018	Minor Final Site Plan	A
"	George T Kelly 1937 Commerce Way Jupiter Fl 33458	"	"	"
"	Patrick B Kelly 1935 Commerce Ln #5 Jupiter Fl 33458	"	"	"

(If more space is needed attach separate sheet)

- Status defined as:
A = Approved

P = Pending
D = Denied
W = Withdrawn

This Affidavit is given for the purpose of establishing compliance with the provisions of Section 10.2.B.3 Land Development Regulations; Martin County Code.

FURTHER AFFIANT SAYETH NOT.

AFFIANT

George T. Kelly IV

STATE OF Florida
COUNTY OF Palm Beach

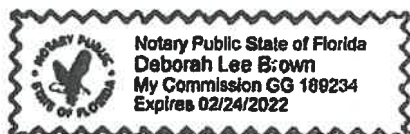
The foregoing Disclosure of Interest Affidavit was sworn to, affirmed and subscribed before me this 10 day of October 2018, by George T. Kelly IV, who is personally known to me or have produced _____ as identification.

Deborah Lee Brown
Notary Public, State of Florida

Print Name: Deborah Brown

My Commission Expires: 2-24-2022

(Notary Seal)



Appendix
Article 10.2.B.3. Article 10, Development Review Procedures;
Land Development Regulations; Martin County Code

10.2.B. Application submittal for development approval. Applications for development approval shall comply with the following described procedures:

1. Initiation. A development application shall be filed with the County Administrator by the owner or other person having a power of attorney from the owner to make the application.
2. Acceptance of the application. A development application will be received for processing on any working day.
3. Verification of property ownership. The documents required below are required prior to an application being determined complete. After the application is determined to be complete, the applicant has a continuing obligation to provide revised documents to reflect any changes to the information provided that may occur before and as of the date of the final public hearing or final action on the application.
 - a. Proof of ownership must be provided for any application for any type of development order. The applicant shall provide a copy of the recorded deed for the subject property, and shall certify any subsequent transfers of interests in the property. If the applicant is not the owner of record, the applicant is required to report its interest in the subject property.
 - b. The applicant must disclose the names and addresses of each and every natural person or entity with any legal or equitable interest in the property of the proposed development, including all individuals, children, firms, associations, joint adventures, partnerships, estates, trusts, business trusts, syndicates, fiduciaries, corporations, limited liability company, professional associations and all other groups or combinations.
 - c. For those entities that are a firm, association, joint adventure, partnership, estate, trust, business trust, syndicate, fiduciary, corporation, limited liability company, professional associations and all other groups or combinations thereof, every natural person or entity that enjoys a legal or equitable interest in property of the proposed development shall be disclosed including but not limited to any partners, members, shareholders, trustees, and stockholders.
 - d. The disclosure required in b. and c. above shall not apply to companies that are publicly traded and to consultants and contractors who may perform professional services or work related to the property.
 - e. In addition, the disclosure must include those having any interest in a contract for sale of the property, or a conveyance of any interest in the property, including but not limited to, real estate brokers and salespersons; and any and all mortgagees of the property.
 - f. The applicant must list all other applications for which they have an interest as defined in subsection b. and c. above that is currently pending before Martin County. The list shall include any development applications, waiver applications, road opening applications, and lien reduction requests.
 - g. Any development order, including applications for Planned Unit Developments which was granted or approved based on false or incomplete disclosure will be presumed to have been fraudulently induced and will be deemed by the Martin County Board of County Commissioners to be void ab initio and set aside, repealed, or vacated.

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

West Stuart Business Center
1935 Commerce Ln, Ste 5
Jupiter, FL 33458

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear West Stuart Business Center,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

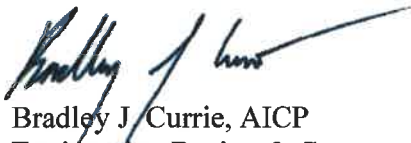
When attending a public hearing, a member of the public may speak during the public comment portion of the public hearing. A person may also participate in the public meeting as an Intervenor.

An Intervenor may ask questions of the staff, applicant and give testimony on the subject of the public hearing. In order to be an Intervenor, a person must qualify to receive mailed notice of the subject application in accordance with Section 10.6.E., Land Development Regulations, Martin County Code. In addition, an Intervenor must file a form of intent with the County Administrator not less than 7 days prior to the meeting. No fee will be assessed on Intervenor. If the Intervenor is representing a group/association, he/she must file a letter on official letterhead signed by an authorized representative of the group/association, stating that he/she is authorized to speak for the group. Forms are available on the Martin County website www.martin.fl.us.

If any person decides to appeal any decision made with respect to any matter considered at the meetings or hearings of any board, committee, agency, council or advisory group, that person will need a record of the proceedings and, for such purpose, may need to insure that a verbatim record of the proceedings is made, which record should include the testimony and evidence upon which the appeal is to be based.

For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,

A handwritten signature in black ink, appearing to read "Bradley J. Currie", with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

RFP Holdings, LLC
PO Box 480577
Delray Beach, FL 33448

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear RFP Holdings, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

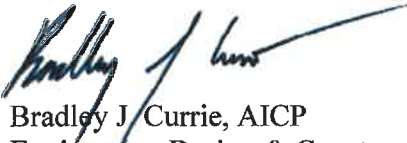
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Sincerely,

A handwritten signature in black ink, appearing to read "Bradley J. Currie", with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Ted Glasrud Associates, FL, LLC
759 SE Federal Hwy, # 217
Stuart, FL 34994

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Ted Glasrud Associates, FL, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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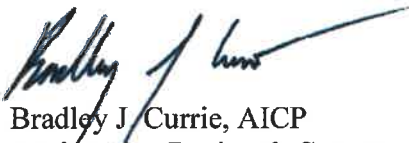
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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Cedrus Inc.
9011 SW Old Kansas Ave.
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Cedrus Inc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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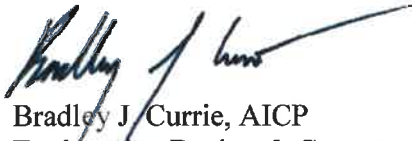
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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Michel J. Ecchio
19496 Liberty Road
Boca Raton, FL 33434

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Michel J. Ecchio,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

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Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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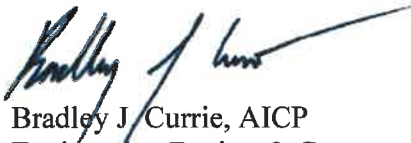
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For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,

A handwritten signature in black ink, appearing to read "Bradley J. Currie", with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Impact Enterprises, LLC
8189 SW Yachtsman Dr.
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Impact Enterprises, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

American Towers, Inc.
PO Box 723597
Atlanta, GA 31139

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear American Towers, Inc.,

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Thursday, June 6, 2019

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9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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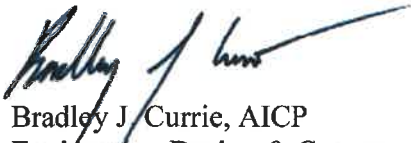
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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Tidewater Pointe Homeowners Assoc.
6123 Lyons Road
Coconut Creek, FL 33073

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Tidewater Pointe Homeowners Assoc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

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9:00 A.M., or as soon after as the matter may be heard, on
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Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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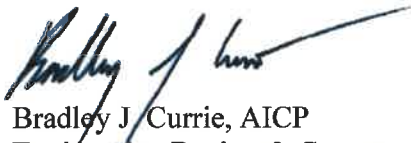
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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Dept. of Transportation
3400 W. Commercial Blvd.
Ft. Lauderdale, FL 0

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Dept. of Transportation,

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Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

HP Extreme LLC
7825 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear HP Extreme LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Place: Martin County Administrative Center
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Stuart, Florida 34996

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

RCA Holdings, LLC
7802 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear RCA Holdings, LLC,

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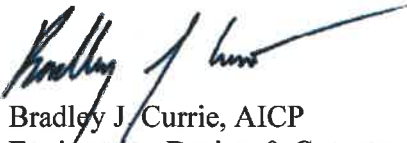
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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Hayden Real Estate Investments, LLC
750 Tanglewood Trl.
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Hayden Real Estate Investments, LLC,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Raphael Bloom Living Trust
Patricia M. Bloom Living Trust
11241 SW Wyndham Way
Port St. Lucie, FL 34987

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Raphael Bloom Living Trust and Patricia M. Bloom Living Trust,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

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Sincerely,

A handwritten signature in blue ink, appearing to read 'Bradley J. Currie', with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Beach Dairy Real Estate LLC
8385 SW Mastead Drive
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Beach Dairy Real Estate LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

TC 789 LLC
126 Grand Palm Way
Palm Beach Gardens, FL 33418

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear TC 789 LLC,

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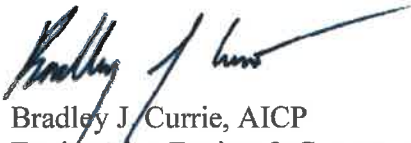
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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

DR Horton, Inc.
6123 Lyons Road, Ste 100
Coconut Creek, FL 33073

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear DR Horton, Inc.,

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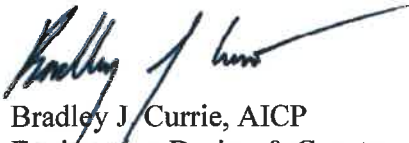
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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Ted Glasrud Associates, FL, LLC
1700 W. Highway 36 # 650
Roseville, MN 55113

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Ted Glasrud Associates, FL, LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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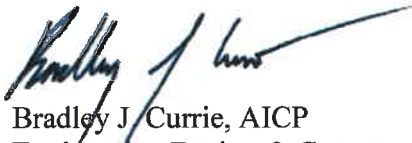
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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Old Reliable Companies of Florida
7845 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Old Reliable Companies of Florida,

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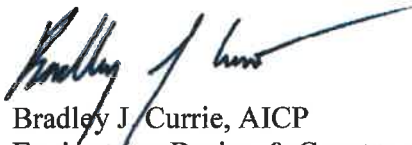
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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Elite Professional Plaza Condo. Assoc.
1340 US Highway 1, Ste 102
Jupiter, FL 33469

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Elite Professional Plaza Condo. Assoc.,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Lynda R. Zielke (Tr)
1140 SW Chapman Way Unit 411
Palm City, FL 34990

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Lynda R. Zielke (Tr),

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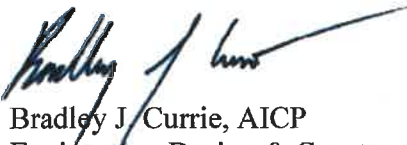
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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

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LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

RBP Enterprises LLC
7861 SW Ellipse Way
Stuart, FL 34997

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear RBP Enterprises LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

Time and Date: **LOCAL PLANNING AGENCY**
7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

Time and Date: **BOARD OF COUNTY COMMISSIONERS**
9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

All interested persons are invited to attend and be heard. Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the County Administrator at (772) 221-2360, or in writing to 2401 S.E. Monterey Road, Stuart, FL 34996, no later than three days before the hearing date. Persons using a TDD device, please call 711 Florida Relay Services.

When attending a public hearing, a member of the public may speak during the public comment portion of the public hearing. A person may also participate in the public meeting as an Intervenor.

An Intervenor may ask questions of the staff, applicant and give testimony on the subject of the public hearing. In order to be an Intervenor, a person must qualify to receive mailed notice of the subject application in accordance with Section 10.6.E., Land Development Regulations, Martin County Code. In addition, an Intervenor must file a form of intent with the County Administrator not less than 7 days prior to the meeting. No fee will be assessed on Intervenor. If the Intervenor is representing a group/association, he/she must file a letter on official letterhead signed by an authorized representative of the group/association, stating that he/she is authorized to speak for the group. Forms are available on the Martin County website www.martin.fl.us.

If any person decides to appeal any decision made with respect to any matter considered at the meetings or hearings of any board, committee, agency, council or advisory group, that person will need a record of the proceedings and, for such purpose, may need to insure that a verbatim record of the proceedings is made, which record should include the testimony and evidence upon which the appeal is to be based.

For further information, please call the Growth Management Department at 772-288-5495. All written comments should be sent to Nicki van Vonno, Growth Management Department Director, (e-mail: nikkiv@martin.fl.us) or 2401 SE Monterey Road, Stuart, FL 34996. Copies of the item will be available from the Growth Management Department. This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator 772-320-3131, the County Administration Office 772-288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bradley J. Currie', with a long horizontal flourish extending to the right.

Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Lake 101 LLC
7605 SE Rivers Edge St.
Jupiter, FL 33458

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Lake 101 LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

The date, time and place of the scheduled hearings are as follows:

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Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

Tidewater Pointe LLC
1699 SW Sunset Trail
Palm City, FL 34990

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear Tidewater Pointe LLC,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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7:00 P.M., or as soon after as the matter may be heard, on
Thursday, June 6, 2019

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9:00 A.M., or as soon after as the matter may be heard, on
Tuesday, June 18, 2019

Place: Martin County Administrative Center
2401 S.E. Monterey Road
Stuart, Florida 34996

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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map

LETTER TO SURROUNDING PROPERTY OWNERS

May 7, 2019

River Glen Condo. Assoc., Inc.
789 S. Federal Hwy, Ste 101
Stuart, FL 34994

Subject and Location: West Stuart Business Center (E016-036). Request by West Stuart Business Center, LLC, for a revised Major Final Site Plan for the development of a 91,924 square foot office/warehouse center and the associated infrastructure on an approximate 8.5 acre parcel located in the platted Ellipse Industrial Park. The site is located on lot 18 of the Ellipse Industrial Park. The parcel is on the east side of SW Ellipse Way about 1/5 of a mile east of SW Jack James Drive and backs up to Interstate I-95 in Stuart.

Dear River Glen Condo. Assoc., Inc.,

As a landowner within 500 feet of the property identified in the above description and shown on the map attached to this letter, please be advised that consideration of an amendment to the zoning atlas as noted above will occur at two public hearings.

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Place: Martin County Administrative Center
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Stuart, Florida 34996

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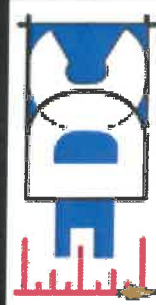
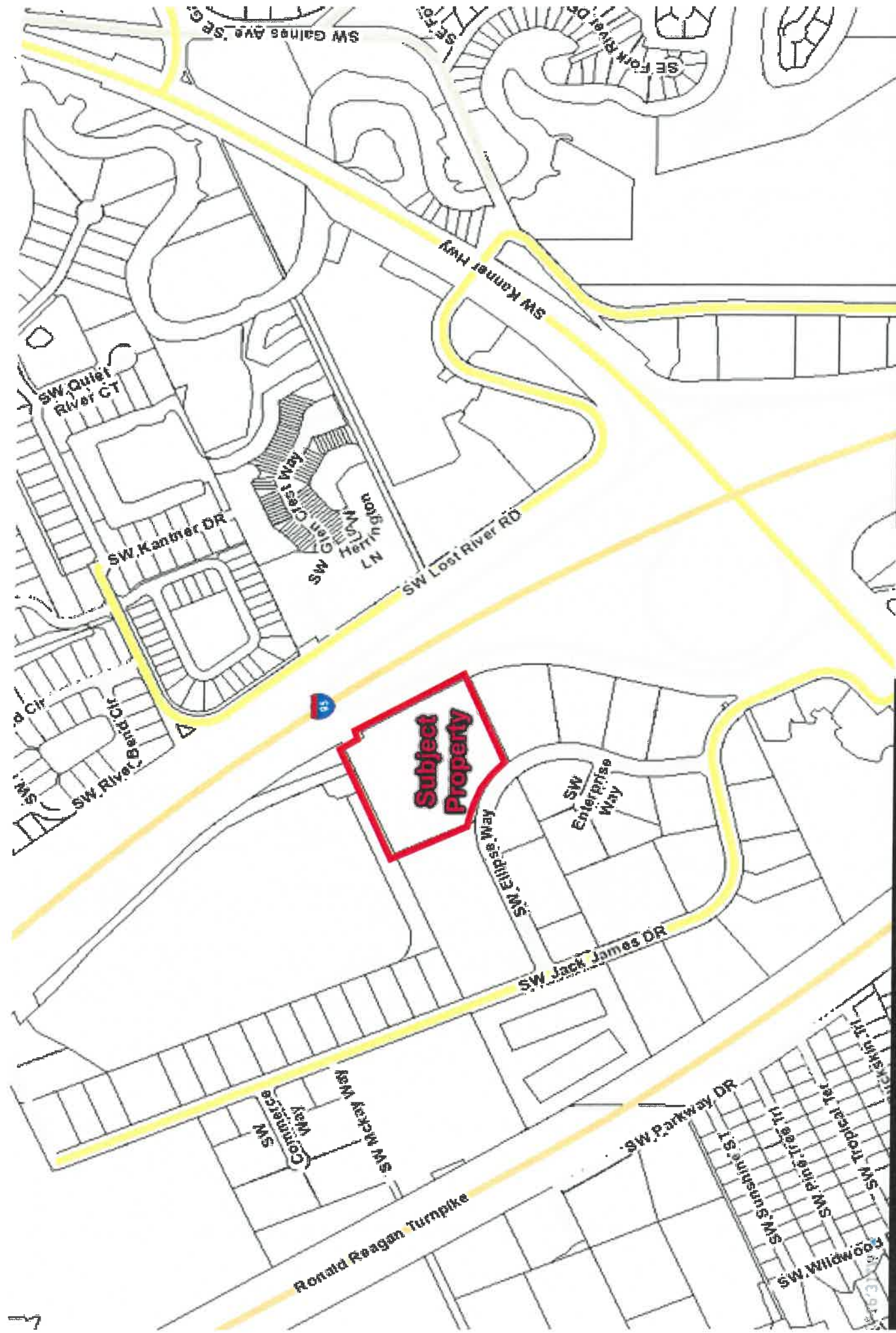
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Sincerely,

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Bradley J. Currie, AICP
Engineering Design & Construction, Inc.

Attachment: Location Map



West Stuart Business Center

Stuart, Florida

Location Map

577



ENGINEERS • SURVEYORS • ENVIRONMENTAL

January 30, 2019

Martin County Growth Management Department
Attn: Peter Walden
2401 SE Monterey Road
Stuart, FL 34996

RE: West Stuart Business Center – Revised Major Final Site Plan
Project # E016-036

To Whom It May Concern:

This letter is to certify that the above referenced sign was installed per Martin County requirements. The sign was posted according to and complies with the standards of the notice provisions of Article 10, Section 10.6: Development Review Procedures.



Signature:

January 30, 2019

Date

STATE OF FLORIDA
COUNTY OF ST LUCIE

The foregoing instrument was acknowledged before me this 30th day of January 20 19, Brad Currie, personally appeared before me.

(NOTARY SEAL)



Signature of Notary Public – State of Florida

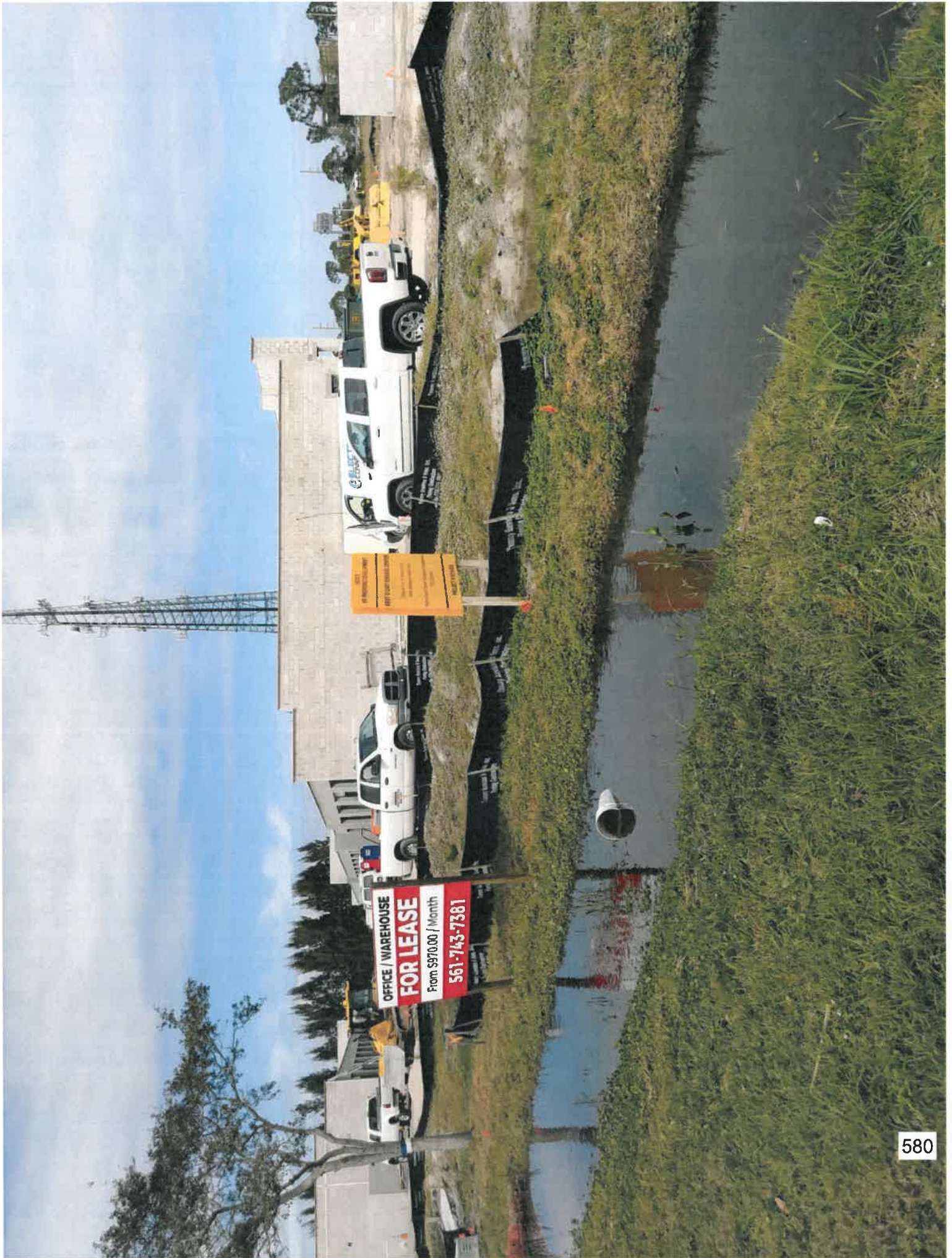
Patricia Sesta

Name of Notary Typed, Printed, or Stamped

Personally Known X OR Produced Identification _____

Type of Identification Produced _____









OFFICE / WAREHOUSE

FOR LEASE

From \$970.00 / Month

561-743-7381

**NOTICE
OF PROPOSED DEVELOPMENT**
MEETING BUSINESS CENTER
Project Name: Meeting Business Center
Project Location: 10000 Highway 100, Suite 100
Project Description: 10,000 sq. ft. Meeting Business Center
Project Contact: 561-743-7381
PROJECT # 10000

Prepared By:
Martin County Growth Management Department
2401 S.E. Monterey Road
Stuart, FL 34996

[blank space above reserved for recording information]

**BEFORE THE BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA
DEVELOPMENT ORDER**

RESOLUTION NUMBER _____

**[REGARDING DENIAL OF REVISED MAJOR FINAL SITE PLAN APPROVAL FOR WEST
STUART BUSINESS CENTER**

WHEREAS, this Board has made the following determinations of fact:

1. West Stuart Business, LLC submitted an application for a Revised Major Final site plan for West Stuart Business Center, located on lands legally described in Exhibit A, attached hereto.
2. This Board held a public meeting on the application on June 18, 2019.
3. At the public meeting, all interested parties were given an opportunity to be heard.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY
COMMISSIONERS OF MARTIN COUNTY, FLORIDA, THAT:**

- A. The request for a Revised Major Final Site Plan for the West Stuart Business Center project is denied because XXXXX.
- B. This resolution shall be recorded in the public records of Martin County. A copy of this resolution shall be forwarded to the applicant(s) by the Growth Management Department subsequent to recording.

DULY PASSED AND ADOPTED THIS 18TH DAY OF JUNE 2019.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA

BY: _____
CAROLYN TIMMANN
CLERK OF THE CIRCUIT COURT
AND COMPTROLLER

BY: _____
EDWARD V. CIAMPI, CHAIRMAN

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

BY: _____
KRISTA A. STOREY
ACTING COUNTY ATTORNEY

ATTACHMENTS:

Exhibit A, Legal Description

Exhibit "A"
Legal Description

Lot 25 of the Plat of THE ELLIPSE, according to the Plat thereof as recorded in Plat Book 11 at Page 84 of the Public Records of Martin County, Florida.

Total Acreage: 8.34

PCN: 05-39-41-002-000-00250-6

LOT 24
2000-01-01
Lot 24, 2000-01-01



Project Site

SECTION 5
THOMPSON RIVER
RANGE 41E



MSF-1

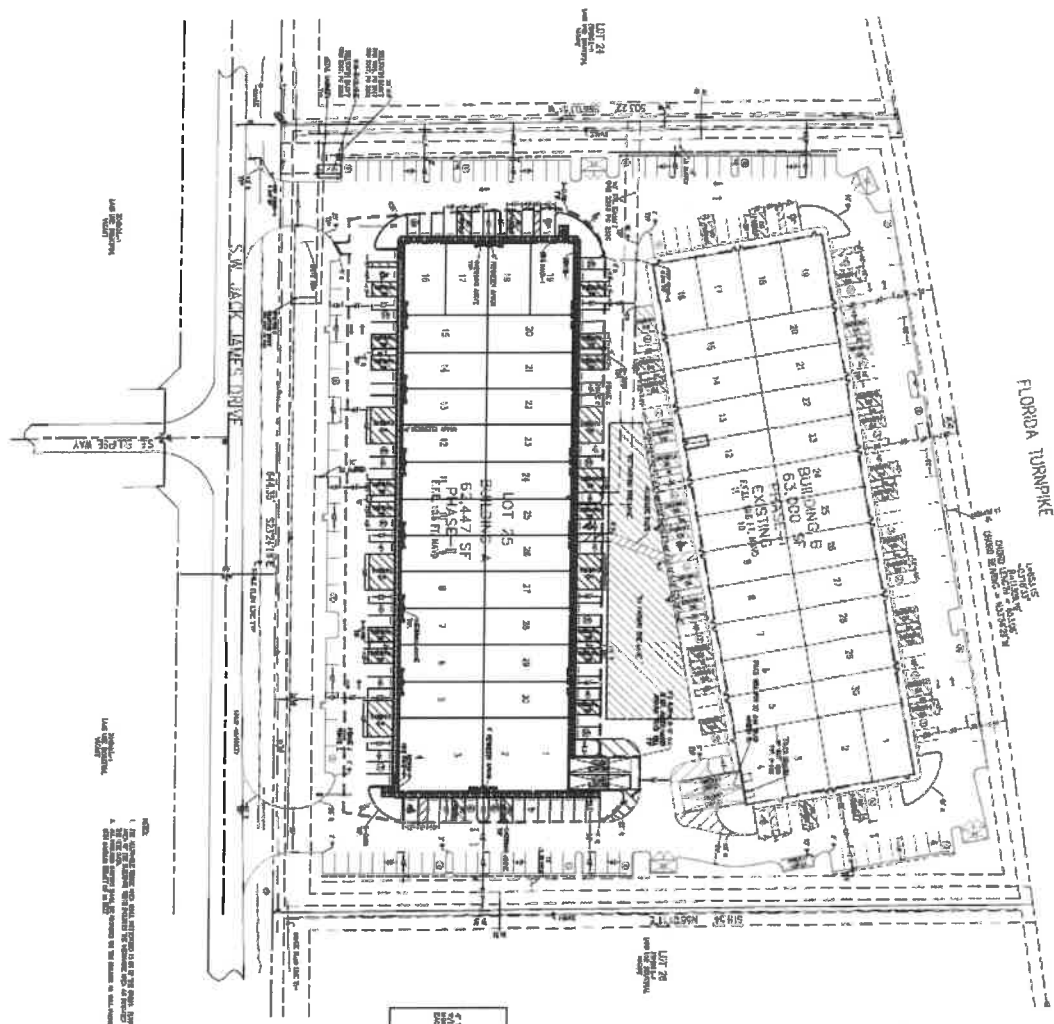
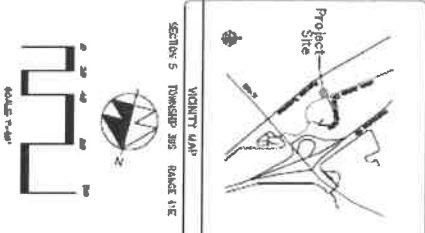
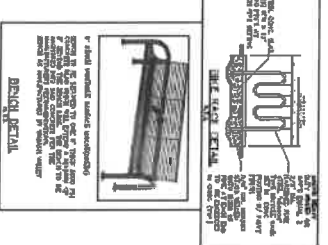
MASTER SITE PLAN			
DATE	SCALE	DRAWN BY	CHECK BY
1/26/05	1"=40'	JEC	DAK

**TREASURE COAST
COMMERCE CENTER
(LOT 25 ELLIPSE)**

BARTON COUNTY, FLORIDA

Jeff H. Irvani, Inc.
Consulting Engineers
1934 COMMENCE LANE, SUITE 0
JUPITER, FLORIDA 33458
TEL. (561) 575-8630
FAX (561) 575-0080

仁	孝	悌	忠	信	義	廉	恥
禮	智	勇	節	廉	恥	孝	悌
忠	信	義	廉	恥	孝	悌	仁
禮	智	勇	節	廉	恥	孝	悌
忠	信	義	廉	恥	孝	悌	仁
禮	智	勇	節	廉	恥	孝	悌
忠	信	義	廉	恥	孝	悌	仁
禮	智	勇	節	廉	恥	孝	悌

[illegible][illegible][illegible]

<div style="text-align: center;">FINAL SITE PLAN</div>			
DATE	SCALE	DESIGNED BY	DRAWN BY
7/25/85	1"=40'	JOB	24K

**TREASURE COAST
COMMERCE CENTER
(LOT 25 ELLIPSE)
PHASE II
HARTIN COUNTY, FLORIDA**

 **Jeff H. Iravani, Inc.**
Consulting Engineers

1001 COMMERCIAL LANE, SUITE 5
APTEN, FLORIDA 33556

TEL: (361) 575-0530
FAX: (361) 575-0588

www.jhinc.com

[illegible]

Peter W. Walden

3712 SW Woodbriar Lane, Palm City, Fl. 34990 • pwalden@martin.fl.us

ExperienceCOUNTY
EXHIBIT # 2**Principal Planner**, Martin County, FL

2018- present

- Development application and land development regulation review.
- Project coordinator.

Senior Planner, Martin County, FL.

2015- 2018

- **Development Review:** Project coordinator for development and zoning applications.
- Provide review of development applications for consistency with the Comprehensive Growth Management Plan and the Land Development Regulations.

Development Compliance Planner, City of Palm Beach Gardens, Palm Beach Gardens, FL.

2014- 2015

- **Development Review:** Review development and permit applications for compliance with land development code. Monitor development construction for compliance with development orders and environmental compliance. Provide related documents; draft time extensions, build out determinations, administrative amendments.

Zoning Compliance, Village of North Palm Beach, NPB, FL.

2012- 2014

- **Plan Review:** Member of the DRC, participate in all development review, focus on zoning regulations and land development policy and compliance. Review building permits for code compliance. Prepare and present projects to the Planning Commission, and maintain all corresponding files.
- **Building Department:** fully trained permit technician, assist permit techs with code questions, record searches, and customer service, assist building official with zoning compliance issues
- **Grant Committee:** Prepare, review and present grants to the Business Grant Committee.

Sales Associate, The Home Depot, Jupiter, FL

2010-2012

- Worked as a Sales Associate while attending FAU.

Landscape Design Manager, Ginn Company, Celebration, FL.

2004-2008

- Part of a development team responsible for managing the construction and maintenance of Resort Communities.
- Projects included: golf courses, land development and earthwork, utilities and irrigation, streetscapes, mitigation projects and wetland construction, parks, Clubhouses, and PGA Tour events in the southeast and the Bahamas.
- Worked with project managers and consultants on development compliance with SFWMD, DEP, Army Corp of Engineers, and local municipalities.

Education & Certifications**Florida Atlantic University**, Boca Raton, FL (GPA 3.8)**B.P.M. Bachelor of Public Management** (Administration), minor in Geography, May 2012**Course work in:** Urban Planning, GIS, Emergency Management, Program Evaluation, Transportation**Indian River State College**, Stuart, FL (GPA: 3.75)**A.A., Environmental Science**, May 2010**Government Internship**, Town of Jupiter, FL. May-August 2011 Planning and Zoning, Business Development*Member of the American Planning Association*

FILED FOR RECORD
COMMISSION RECORDS
MARTIN COUNTY, FL
Date 6/18/19 Time _____
CAROLYN TIMMANN
CLERK OF CIRCUIT COURT
By MKV D.C.