



Board of County Commissioners

2401 SE Monterey Road
Stuart, Florida 34996

Agenda Item Summary

COUNTY
EXHIBIT # 1

File ID: 20-0849

PHQJ-1

Meeting Date: 7/28/2020

PLACEMENT: Public Hearings - Quasi-Judicial

TITLE:

FIRST PUBLIC HEARING TO CONSIDER AN ORDINANCE ESTABLISHING DIVISION 6, PORT SALERNO COMMUNITY REDEVELOPMENT CODE, IN ARTICLE 12, LDR, AND AMENDING THE ZONING ATLAS

EXECUTIVE SUMMARY:

This is the first public hearing before the Board of County Commissioners (Board) on a proposed ordinance to amend the Land Development Regulations (LDRs) to: (1) create Division 6, Port Salerno Community Redevelopment Code, of Article 12; (2) amend the Zoning Atlas to assign the Port Salerno Redevelopment Zoning District and other zoning districts for consistency with the Future Land Use Map; and (3) repeal Section 3.263, Port Salerno Community Redevelopment Area, LDR. The proposed amendment of the LDRs and Zoning Atlas is a companion to CPA 19-27, Port Salerno FLUM.

DEPARTMENT: Growth Management

PREPARED BY: **Name:** Irene A. Szedlmayer, AICP
Title: Principal Planner

REQUESTED BY: Board of County Commissioners

PRESET:

PROCEDURES: Quasi-Judicial

FILED FOR RECORD
COMMISSION RECORDS
MARTIN COUNTY, FL
Date 7/28/2020
CAROLYN TIMMANN
CLERK OF CIRCUIT COURT
By MKV D.C.

BACKGROUND/RELATED STRATEGIC GOAL:

Between November 2017 and August 2018, the period when the Board considered and adopted "glitch bill" amendments to the zoning regulations for the CRAs, the Board recognized that more substantive changes were needed to facilitate infill development and redevelopment of socially and economically vibrant, environmentally-sustainable, compact, walkable neighborhoods in the Community Redevelopment Areas (CRAs).

In December 2017, the Board directed CPA 18-10, CRA Text Amendments, to strengthen Comprehensive Growth Management Plan goals, objectives and policies that encourage in-fill development and redevelopment in the CRAs, and in June 2018, the Board of County Commissioners approved a contract with the Treasure Coast Regional Planning Council to develop new Land Development Regulations for the CRAs.

The goal of the overall work program-amendment of the text of the Comprehensive Plan,

amendment of the Land Development Regulations, amendment of the Future Land Use Map, and amendment of the Zoning Atlas--is to facilitate achievement of CGMP Goal 4.2 ("To alleviate the negative impacts of inadequate public facilities and services and substandard structures for affected areas in the County.") and 4.3. ("To provide opportunities for mixed residential and nonresidential uses, including Traditional Neighborhood Development.").

The staff report for CPA 19-27, Port Salerno FLUM, identifies 39 public meetings and public hearings at which this overall work effort regarding Martin County's CRAs has been reviewed and discussed and members of the public have had the opportunity to ask questions and to be heard. In addition to the public meetings and public hearings, the TCRPC has interviewed more than 100 residents, business and property owners in the CRAs, members of the NACs and the CRA Board, members of the LPA, and individual County Commissioners. The proposed Division 6, Port Salerno Community Redevelopment Code, of Article 12 was the specific subject of presentations to the Port Salerno Neighborhood Advisory Committee on February 13, 2020 and June 22, 2020. Article 12, Division 6 and the proposed amendments to Zoning Atlas were presented to the Community Redevelopment Agency on June 11, 2020.

Both the Port Salerno NAC and the Board of the Community Redevelopment Agency voted to support adoption of the proposed Article 12, Division 6 and approval of the amendment of the Zoning Atlas.

This application was presented to the Local Planning Agency (LPA) at a public hearing on July 2, 2020. The LPA recommended approval.

ISSUES:

The changes proposed involve a change to the permitted uses in zoning districts. Pursuant to Section 125.66 (4)(b), Florida Statutes (F.S.), the Board must consider the proposed changes to the zoning code at two public hearings. The second public hearing must be held at least 10 days after the first public hearing; and after 5 PM unless a majority plus one of the Board agrees to hold the hearing before 5 PM.

Section 125.66 (4)(b), F.S. is set forth below:

"(b) In cases in which the proposed ordinance or resolution changes the actual list of permitted, conditional, or prohibited uses within a zoning category, or changes the actual zoning map designation of a parcel or parcels of land involving 10 contiguous acres or more, the board of county commissioners shall provide for public notice and hearings as follows:

1. The board of county commissioners shall hold two advertised public hearings on the proposed ordinance or resolution. At least one hearing shall be held after 5 p.m. on a weekday, unless the board of county commissioners, by a majority plus one vote, elects to conduct that hearing at another time of day. The first public hearing shall be held at least 7 days after the day that the first advertisement is published. The second hearing shall be held at least 10 days after the first hearing and shall be advertised at least 5 days prior to the public hearing."

LEGAL SUFFICIENCY REVIEW:

This is a quasi-judicial matter because the ordinance includes a proposed amendment to the Zoning Atlas to assign the Port Salerno Redevelopment Zoning District and other zoning districts to the parcels within the Port Salerno Community Redevelopment Area. It involves the application of a policy to a specific site. Quasi-judicial proceedings must be conducted with more formality than a

legislative proceeding. In quasi-judicial proceedings, parties are entitled - as a matter of due process - to cross examine witnesses, present evidence, demand that witnesses testify under oath, and demand a decision based on a correct application of the law and competent substantial evidence in the record.

RECOMMENDED ACTION:

RECOMMENDATION

1. Move that the Board receive and file the agenda item summary and all attachments including the staff report for the record as Exhibit 1.
2. Move that the Board consider the attached draft ordinance that (A) creates Division 6, Port Salerno Community Redevelopment Code, in Article 12 of the LDR; (B) amends the Zoning Atlas to assign the Port Salerno Redevelopment Zoning District and other zoning districts for consistency with the Future Land Use Map; and (C) repeals Section 3.262, Port Salerno Community Redevelopment Area, LDR.
3. Move that the Board schedule the second public hearing for September 15, 2020 prior to 5:00 PM in order to coincide with the hearing date for other related matters.

ALTERNATIVE RECOMMENDATIONS

Move that Board direct staff to make certain changes and bring the matter back to the Board at a future date certain.

FISCAL IMPACT:

RECOMMENDATION

Staff time.

Funding Source	County Funds	Non-County Funds
Subtotal		
Project Total		

ALTERNATIVE RECOMMENDATIONS

1. Staff time.

DOCUMENT(S) REQUIRING ACTION:

- ☐ Budget Transfer / Amendment
 ☐ Chair Letter
 ☐ Contract / Agreement
☐ Grant / Application
 ☐ Notice
 ☐ Ordinance
 ☐ Resolution
☐ Other:

MARTIN COUNTY, FLORIDA
Growth Management Department



**Amendment of the
Land Development Regulations
and the Zoning Atlas
for the Port Salerno CRA**

Project	Update of the Land Development Regulations for the CRAs
Staff	Irene A. Szedlmayer, AICP
Date of this Report	April 30, 2020

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I. Background

The Land Development Regulations (LDRs) governing the Community Redevelopment Areas (CRA) were initially adopted between 2001 and 2006. Different consulting firms and different staff worked on different CRAs. The ordinances were codified as Article 3, Zoning Districts, Division 6, Redevelopment Overlay Districts, Martin County LDR. There were significant deficiencies in those regulations regarding which standards were mandatory versus merely encouraged, and which provisions applied only in the zoning overlays and which applied throughout the CRA. These ambiguities in the text led to varying staff interpretations over time. Furthermore, while codified in Article 3, Zoning Districts, the regulations included provisions regarding streets, landscaping, and stormwater. Questions about how landscaping and street design provisions in the zoning code related to landscaping and street standards in Article 4, Site Development Standards, required difficult interpretations in the face of unclear text. Additionally, the regulations included inadequate recognition of the existing neighborhoods to which they applied. The need to amend Article 3, Division 6 was recognized years ago, but in the face of constraints on staff time during boom times in land development and construction, plus the magnitude of a task that was beyond staff's capacity, caused time to pass with no resolution.

In 2017 and 2018, staff was able to recommend "glitch bills" to the Board of County Commissioners. However, the glitch bills were limited in scope. The focus was to reduce ambiguity and inconsistency in the codes without significant substantive change. The need for more substantial amendments was acknowledged.

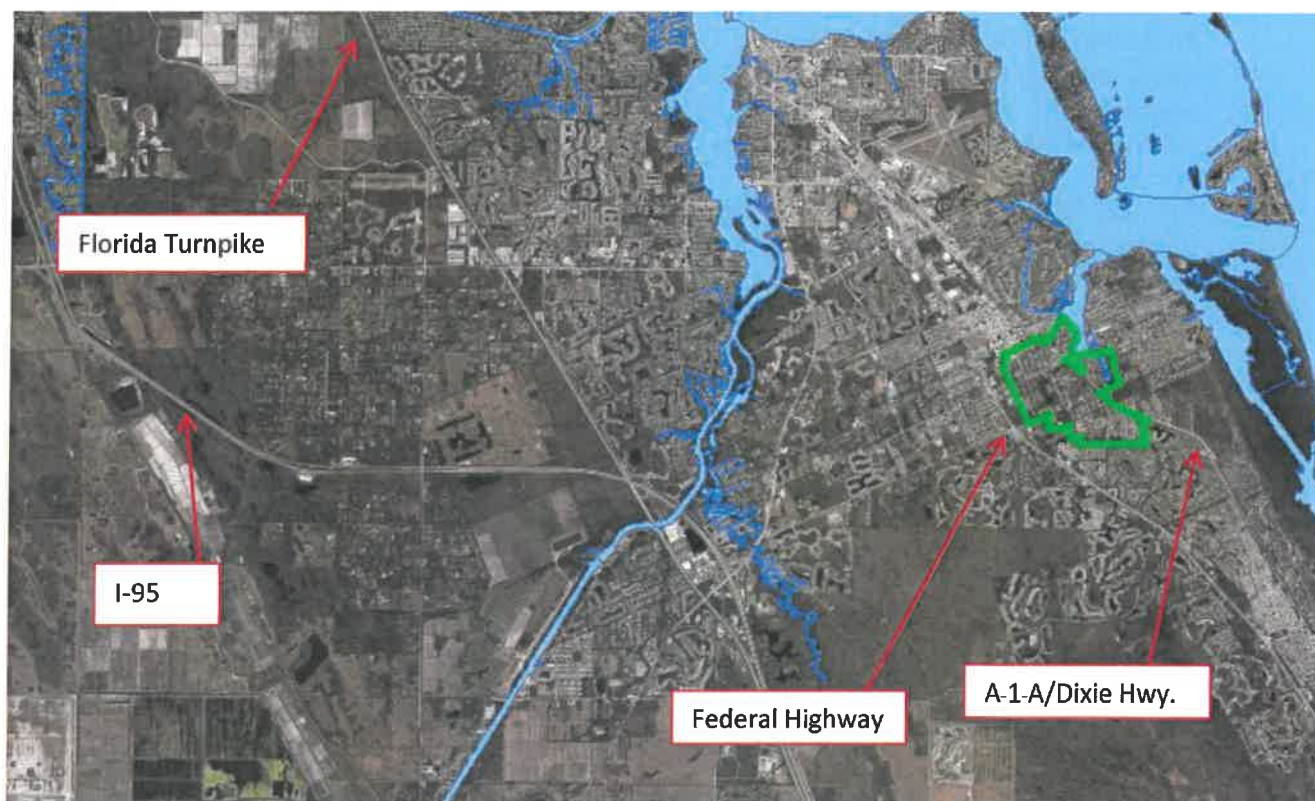
In June 2018, the Board of County Commissioners approved a contract between the Community Redevelopment Agency and the Treasure Coast Regional Planning Council to develop new

Land Development Regulations for the CRAs. The Treasure Coast Regional Planning Council brings substantial knowledge and expertise in the areas of urban design, town planning and redevelopment and a long history of providing such assistance to counties, towns and cities in the region, to this Martin County CRA project.

Dana Little, Urban Design Director, TCRPC, and Jessica Cortor Seymour, RA, LEED AP, Regional Planner, TCRPC, worked with the Office of Community Development, the Growth Management Department, the Public Works Department, William M. Spikowski, FAICP, Spikowski Planning Associates, and received further input from the Port Salerno Neighborhood Advisory Committee and members of the public who participated.

The Local Planning Agency recommended approval of the proposed Article 12, Division 6 at its July 2, 2020 public hearing.

Figure 1. Location Map - Port Salerno CRA

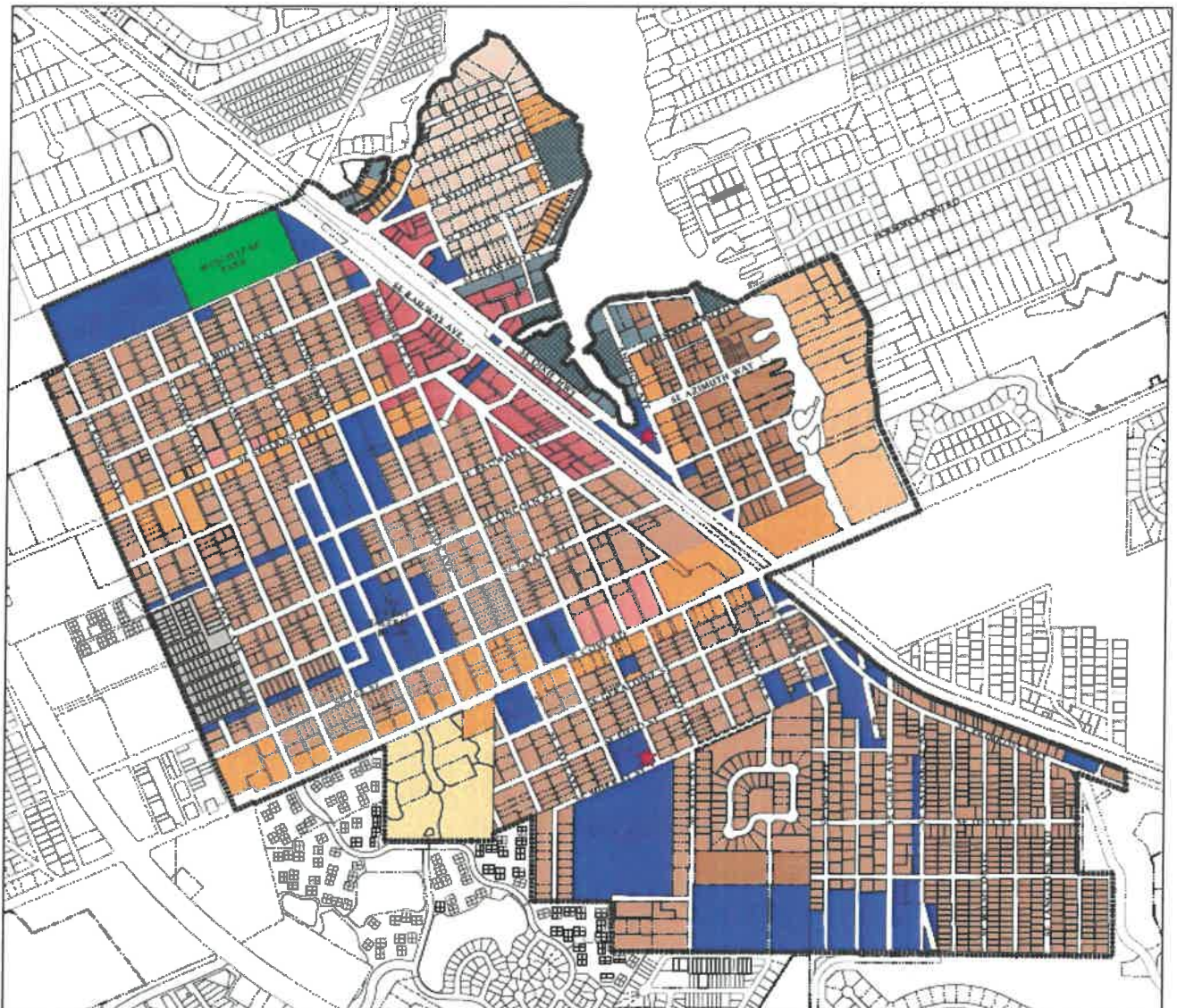


II. Article 12, Division 6, Port Salerno Community Redevelopment Code

The proposed Article 12, Redevelopment Code, Division 6, Port Salerno Community Redevelopment Code, is included in this agenda item. (Exhibit A) Article 12, Redevelopment Code, Division 1, General, was adopted on September 24, 2019 and became effective on November 8, 2019. Art. 12, Div. 1 will be applicable in all six Martin County Redevelopment Zoning Districts. Because Division 6, Port Salerno Community Redevelopment Code, the subject of this agenda item, cannot be fully understood without reference to Division 1, it is also included in the agenda packet (Exhibit B)

1. Because the goal for a vibrant, compact, walkable, small town Port Salerno CRA has not substantially changed, the proposed LDR are intended to facilitate a built environment that is consistent with the vision established in the Port Salerno Community Redevelopment Plan, adopted in 2000 and revised in 2009.
2. Article 12, Division 6 creates the Port Salerno Redevelopment Zoning District. The amendment of the Martin County Zoning Atlas to assign this zoning district to the land is addressed in the second half of this report. The majority of the Port Salerno CRA will be assigned to the Port Salerno Redevelopment Zoning District. The exceptions are those parcels with PS-1 (Public Service District -1 zoning district) or PR (Public Recreation zoning district). See Figure 5 (page 12) or Exhibit C.
3. Art. 12, Div. 6 establishes the Regulating Plan for Port Salerno. The Regulating Plan assigns ten zoning subdistricts to the land: Core, Waterfront, General, Corridor, Industrial, Multifamily, Mobile Home, Detached-1, Detached-2, and Detached-3. See Figure 2. The Regulating Plan in larger scale is included as Exhibit D.
4. Permitted uses and development standards are governed by zoning subdistrict.
5. The permitted use groups and the development standards for the subdistricts remain consistent, though not identical, with the permitted uses and development standards in effect in Port Salerno now. Certain general goals guided the assignment of the zoning subdistricts to the land:
 - (a) avoid diminishing existing development rights;
 - (b) avoid creating non-conformities;
 - (c) avoid conferring substantial new development rights;
 - (d) adjacent lots recognized by the Property Tax Assessor Appraiser as a single parcel should be assigned the same subdistrict;
 - (e) adjacent parcels with the same owner should be assigned the same subdistrict; and
 - (f) respect the existing fabric of the community.

Figure 2. Proposed Port Salerno Regulating Plan (6/23/2020)



SUB-DISTRICT ZONING LEGEND	
	CORE
	GENERAL
	CORRIDOR
	WATERFRONT
	INDUSTRIAL
	MOBILE HOME
	MULTIFAMILY
	DETACHED 1
	DETACHED 2
	DETACHED 3

REGULATING PLAN LEGEND	
	CRA BOUNDARY
★	CIVIC SITES
	PROPOSED STREET
	MARINE SERVICE AREA

ZONING LEGEND	
	PUBLIC RECREATION
	PUBLIC SERVICE DISTRICT

Sometimes consideration of the particular facts concerning a particular property results in minor deviations from these general guidelines. The next paragraphs discuss the assignment of zoning subdistricts in Port Salerno.

1. In Port Salerno, the CRA Center future land use designation is implemented by the Core, Corridor and General zoning subdistricts.
2. The Core subdistrict is clustered around the intersection of SE Salerno Road and SE Dixie Highway on land within the Mixed-Use Future Land Use Overlay. It is intended to be the most walkable center of Port Salerno.
3. The General and Corridor zoning subdistricts are also assigned to land that is now within the Mixed-Use Future Land Use Overlay, such as along Cove Road, Salerno Road, Mulford Drive, Park Drive, Anchor Avenue, and Barcelona Street.
4. The Core, Corridor and General subdistricts all permit residential, commercial and institutional uses.
5. The Corridor subdistrict is distinguished from the General subdistrict in that Corridor permits a convenience store with fuel and permits marinas, whereas in the General subdistrict those two uses are not permitted.

In Port Salerno, the Corridor subdistrict is assigned to just 5 acres. The Corridor subdistrict is assigned to land outside the Town Center Zoning Overlay and with the General Commercial future land use designation or adjacent to and under the same ownership as the lots with General Commercial future land use designation, that is, land on which "Service stations" with up to 4 gas pumps are currently permitted. A building type is proposed for a convenience store with fuel. (Div. 6, page 10). The definition of marina includes the dry land storage of boats.

6. In Port Salerno, the CRA Neighborhood future land use designation is implemented by five residential subdistricts: Multifamily, Mobile Home, Detached-1, Detached-2 and Detached-3.
 - a. The Multifamily subdistrict is assigned to the Salerno Shores area (vicinity of Azimuth Way, Capstan and Bollard Avenues) based on the prevalence of existing multifamily buildings as well as the current R-3 zoning which permits multifamily buildings. The neighborhood currently has the Medium Density Residential future land use designation and the maximum density of 8 dwelling units per acre is retained. In order to facilitate fee simple townhouses, the minimum lot width and lot area are 20 feet and 2,000 sq. ft., respectively.
 - b. The Mobile Home zoning subdistrict is assigned to the Cora-Winn Cove Mobile Home Co-op Park. The Mobile Home subdistrict limits buildings to one story, but to accommodate resilient construction and the possible desire of property owners to raise their mobile home above the natural grade, the maximum height is increased to 30 ft., from a maximum building height of 20 ft. applicable in the TP zoning district.

Another difference between the TP zoning district and the Mobile Home zoning subdistrict is that in TP only property owners who are "homesteaded" (under Article

VII, Section (6)(a), Florida Constitution) in the mobile home site can construct a site-built dwelling. In the Mobile Home subdistrict, any property owner can construct a site-built dwelling. (The ability to construct a site-built dwelling pursuant to Martin County Land Development Regulations does not override any more restrictive private rule that may govern the Cora-Winn Cove Co-op.) The Mobile Home zoning subdistrict permits 8 dwelling units per acre, consistent with the Mobile Home future land use designation and TP zoning on the property now

- c. The Detached-1 zoning subdistrict covers the largest land area in the Port Salerno CRA. Detached-1 is assigned to Port Salerno's residential neighborhoods west of SE Dixie Highway. Consistent with the Medium Density Residential future land use that now applies, the maximum residential density permitted in Detached-1 is 8 dwelling units per acre. The Detached-1 zoning subdistrict permits detached single-family dwellings, duplexes and townhouses.
- d. The Detached-2 zoning subdistrict covers the residential neighborhood east of Dixie Highway in the vicinity of Seaward, Westfield and Barcelona Streets. This residential neighborhood has the Low Density Residential future land use designation and was removed from the Town Center Mixed-Use future land use overlay in 2011. Detached-2 permits only detached single-family dwellings.

About half of Detached-2 now has R-2B single-family residential zoning and about half has R-2A Two-family zoning. While the R-2B and R-2A zoning districts both require a minimum lot width of 60 feet and a minimum lot area of 7,500 sq. ft., since adoption of Section 3.262, LDR, in 2001, residential lots were permitted to be as narrow as 16-feet for a townhouse or 35 feet for a rear yard or side yard house, with no minimum lot area, so long as density did not exceed 5 dwelling units per acre.

The proposed minimum lot width of 50 feet is consistent with the existing platted lots which are generally 50 feet or 60 feet wide.

The proposed minimum lot area for Detached-2 (5,000 sq. ft.) is smaller than the platted lots, which vary from 6,250 sq. ft. (50 ft. x 125 ft.), to 8,800 sq. ft. (60 ft. by 148 ft.), to 10,000 sq. ft. (100 ft. by 100 ft.), as well as larger waterfront lots. Nonetheless, the 50-ft. minimum lot width prevents all but about 15 lots from a potential split or subdivision.

- e. The Detached-3 zoning subdistrict is assigned to the eastern most residential neighborhood in the Port Salerno CRA, along SE Manatee Cove Road, which currently has the Estate Density 2UPA future land use and R-1B zoning. The R-1B zoning district requires a 75-ft. minimum lot width and an 8,200 sq. minimum lot area. However, as explained above, since adoption of Section 3.262, LDR, in 2001, residential lots in Port Salerno CRA could be as narrow as 16-feet for a townhouse or 35 feet for a rear yard or side yard house with no minimum lot area, so long as density did not exceed that permitted by the future land use designation.

The Detached-3 zoning subdistrict permits only detached single-family dwellings. The minimum lot area is 8,200 sq. ft.

6. Division 6 also establishes a Street Regulating Plan for Port Salerno. The Street Regulating Plan designates primary streets, secondary streets, and civic places. For purposes of Article 12, Primary Streets are not necessarily the streets that carry the most traffic but are the streets where the quality of the public realm is most important. Port Salerno's Primary Streets are Dixie Highway, Cove Road and Salerno Road. Secondary Streets are Azimuth Way, Murray Street, SE 46th Avenue, Ebbtide Avenue, Broward Street and Jack Avenue. See, Exhibit E.
7. The development standards for the zoning subdistricts are set forth in Table PS-5. (Div. 6, page 9). As reviewed previously regarding lot width and area for residential subdistricts, other development standards remain similar to, though not identical with, the currently applicable development standards.
 - a. Maximum Building Height. The current and proposed maximum building heights are summarized in Table 1. Currently, maximum building height for a mixed-use project in a Mixed-Use future land use overlay is 3 stories/35 feet. The maximum building height for a single-use project in the same locale is governed by the future land use designation.

Art. 12, Div. 6 permits 3-stories/40-feet in the Core, General, Corridor and Multifamily subdistricts. Increasing the permissible height in feet but not stories does not increase density or leasable floor area but allows more generous ceiling heights and more easily accommodates modern building systems located between ceilings and the floors above.

Table 1. Building Height

		Max. Building Height
Current Future Land Use Designations in the Port Salerno zoning overlays	Mixed-Use project in the Mixed-Use Future Land Use Overlay	3 stories/35 ft.
	General Commercial, Residential	3 stories/40 ft.
	Marine Waterfront Commercial	30 ft. or 40 ft.
	Limited Commercial, CO/R	3 stories/30 ft.
	Mobile Home	1 story/20 ft.
Proposed Zoning Subdistricts	Core, General, Corridor, Multifamily	3 stories/40 ft.
	Waterfront	3 stories/35 ft.
	Industrial	3 stories/30 ft.
	Mobile Home	1 story/30 ft.
	Detached-1 and Detached-2	3 stories/30 ft.
	Detached-3	3 stories/35 ft.

- b. Maximum building coverage and minimum open space. Currently, mixed-use projects within the Mixed-Use Future Land Use Overlay are permitted up to 80% building coverage and must maintain 20% open space. Otherwise, maximum building coverage and minimum open space are governed by the future land use designation as modified by the zoning overlay or the zoning district. The current and proposed maximum building coverage and minimum open space standards are summarized in Table 2.

Table 2. Building Coverage and Open Space

		Maximum Building Coverage	Minimum Open Space
Current Future Land Use Designations	Mixed-Use project in the Mixed-Use Future Land Use Overlay	80%	20%
	General Commercial	60%	20%
	Limited Commercial	50%	30%
	Commercial Office/ Residential	40%	40%
	Residential	--	50%
Proposed Zoning Subdistricts	Core	80%	20%
	General and Corridor	60%	20%
	Waterfront	50%	20%
	Industrial	40%	20%
	Multifamily	60%	30%
	Detached-1 and Detached-2	50%	30%
	Detached-3	35%	30%

D. Amendment of the Zoning Atlas

1. Application Information

Applicant: Martin County Board of County Commissioners

Represented By: Susan Kores, Manager, Office of Community Development

Property Owners:	Multiple
Planner in charge:	Irene A. Szedlmayer, AICP
Growth Management Director:	Paul Schilling
Project Number:	CPA 19-27
Application Received:	03/26/2019
LPA Meeting Date:	07/02/2020
BCC Meeting Date:	07/28/2020
BCC Meeting Date	09/15/2020

2. Project description and analysis

a) Introduction

This application involves the Port Salerno Community Redevelopment Area (CRA). See Figure 1 (on page 2). Currently, 17 different zoning districts are assigned to the Port Salerno CRA's 861 acres:

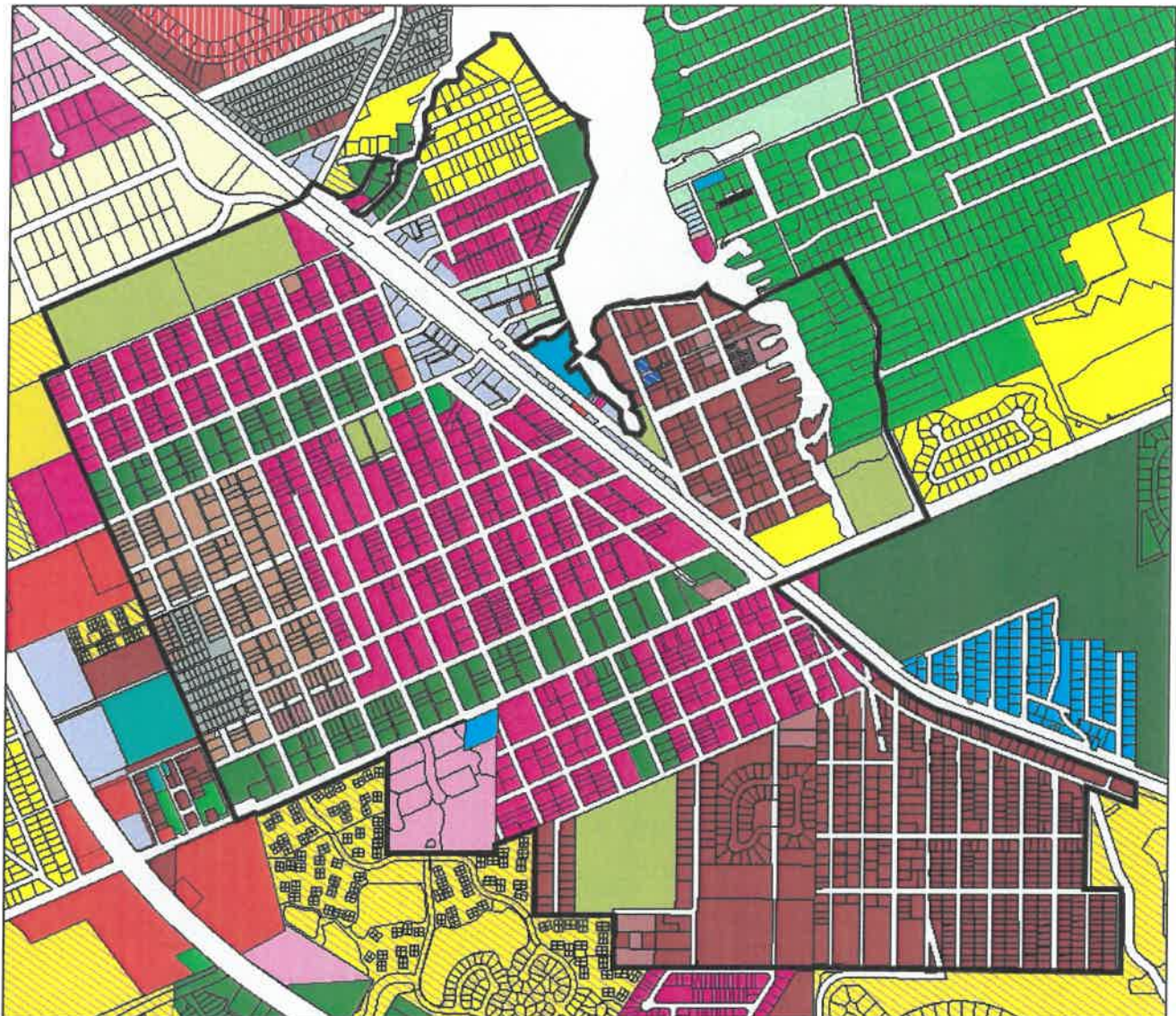
- | | |
|--|--|
| 1. R-1B (Single-family Residential) | 10. RT (Mobile Home Subdivision) |
| 2. RE-1/2A (Single-family Residential) | 11. TP (Mobile Home Park) |
| 3. R-2A (Two-family Residential) | 12. B-1 (Business) |
| 4. R-2B (Single-family Residential) | 13. B-2 (Business -Wholesale Business) |
| 5. R-3 (Multiple-family) | 14. COR-1 (Comm. Office/Residential-1) |
| 6. R-3A (Liberal Multiple-family) | 15. LC (Limited Commercial) |
| 7. RM-6 (Medium Density Residential) | 16. GC (General Commercial) |
| 8. RM-8 (Medium Density Residential) | 17. M-1 Industrial |
| 9. PS (Public Servicing) | |

See Figure 3 (on page 10). Additionally, Port Salerno CRA has three zoning overlay districts: Town Center, Cove Road and Salerno Road. See Figure 4 (on page 11).

The proposal amends the Martin County Zoning Atlas by:

- (1) assigning the Port Salerno Redevelopment Zoning District, the PR zoning district, or the PS-1 Public Service- Zoning District to 860 of the CRA's 861 acres;
- (2) repealing the three Port Salerno zoning overlay districts; and,
- (3) removing the R-3 Multifamily zoning district from two small islands in Manatee Creek that are owned by the State of Florida. See Figure 4.

Figure 3. Existing Zoning Atlas



Zoning Atlas Legend

R-2A

R-2B

R-2

RT

TP

R-

RM-8

R-3A

WGC

WRC

B-1

B-2

COR1

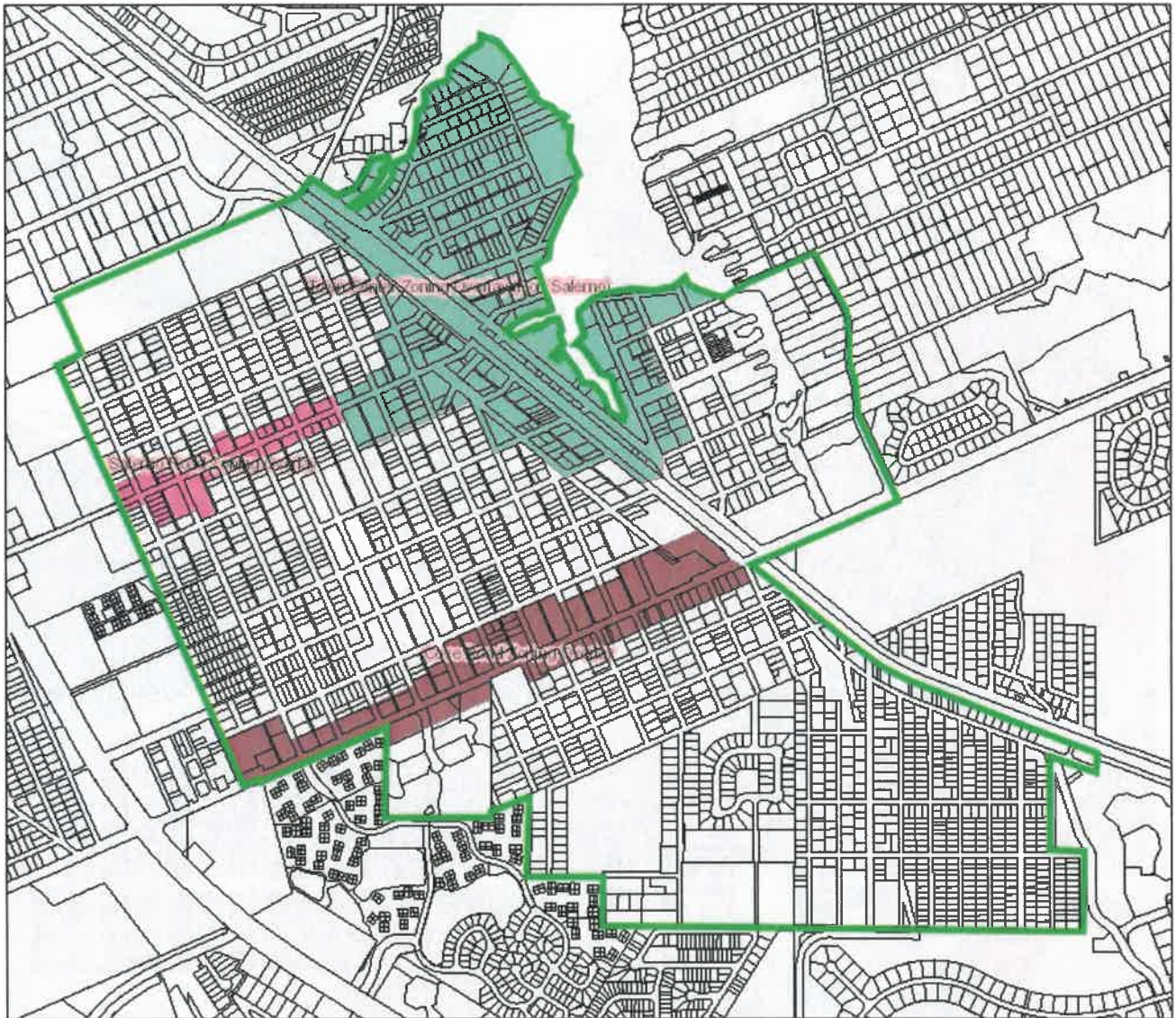
LC

GC

M-1

PS

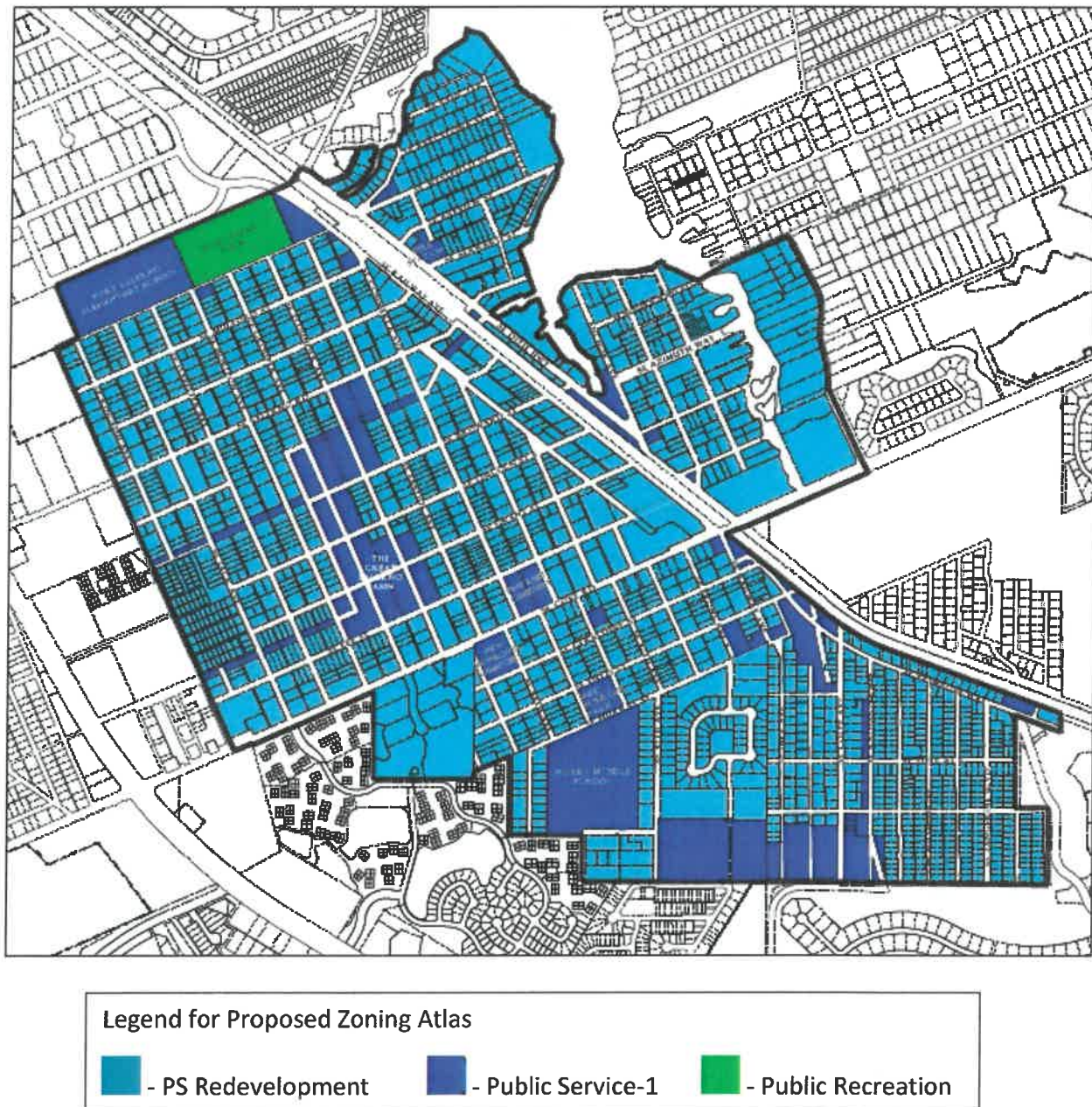
Figure 4. Port Salerno Zoning Overlay Districts



The permitted uses and development standards for the Port Salerno Redevelopment Zoning District are set-forth in Article 12, Redevelopment Code, Division 1, General, and Division 6, Port Salerno Community Redevelopment Code, LDR. As explained in the first part of this report, permitted uses and development standards are governed by the subdistrict. Ten zoning subdistricts are proposed for the Port Salerno CRA: Core, Corridor, General, Waterfront, Industrial, Multifamily, Mobile Home, Detached-1, Detached-2 and Detached-3. The subdistricts are assigned to the land by the Regulating Plan, which is part of Article 12, Division 6.

The Port Salerno Regulating Plan also identifies proposed future streets and important civic sites.

Figure 5. Proposed Zoning Atlas



b) Description of the Port Salerno Subdistricts

The Port Salerno Redevelopment Zoning District will have ten zoning subdistricts. The subdistricts are described in Article 12, Division 1 as follows:

CORE: The Core subdistrict is a pedestrian-oriented center for surrounding neighborhoods and the entire CRA. These are centers of dining, shopping, housing, and entertainment, with shaded sidewalks, large windows, intimate pedestrian spaces, outdoor dining, and richly detailed building facades. A broad mix of uses is encouraged in the Core subdistrict.

CORRIDOR: The Corridor subdistrict is intended to extend the pedestrian-oriented building types, frontages and streetscapes along a major roadway.

GENERAL: The General subdistrict offers a wide variety of housing, civic spaces, and pedestrian-oriented businesses. The General subdistrict also fosters a mix of uses but is more residential in scale and character.

WATERFRONT: The Waterfront subdistrict is defined by marinas and working waterfronts. In some redevelopment Zoning Districts, it may also promote a mixed-use waterfront environment with restaurants, entertainment, resort and residential uses.

INDUSTRIAL: The Industrial subdistrict identifies areas where industrial uses are permitted and encouraged.

MULTIFAMILY: The Multifamily subdistrict allows for denser and more varied residential buildings.

MOBILE HOME: The Mobile Home subdistrict identifies where mobile homes are permitted.

DETACHED: The Detached subdistrict is predominately single-family homes with front yards and walkable sidewalks.

The Port Salerno zoning subdistricts were discussed in more detail in the first half of this report.

c. Adjacent Zoning Districts (See Figure 3 on page 10)

A mixture of different zoning districts borders the proposed Port Salerno Redevelopment Zoning District. To the north are Limited Industrial as well as a mix of R-2b, R-3A, PUD-C and PUD-R. To the west are R-3, RM-10, R-3, PUD-R, GC, R-2A, and R-5. To the south, are GC, PUD-R, R-2A, and R-3 zoning districts. To the east are R-1B and R-2B.

The permitted uses and development standards of the zoning subdistricts of the Port Salerno Redevelopment Zoning District are consistent, though not identical, with the permitted uses and development standards currently applicable. Consequently, the proposed Port Salerno Redevelopment Zoning District is compatible with the adjacent zoning districts. The proposed Port Salerno Redevelopment Zoning District will have no negative impact on nearby zoning districts. Nor should nearby zoning districts negatively impact the proposed Port Salerno Redevelopment Zoning District. Likewise the PR and PS-1 zoning districts are compatible with adjacent zoning districts.

3. Standards for Amendments to the Zoning Atlas

The Martin County Land Development Regulations (LDR), Article 3, Section 3.2.E.1. provides the following “Standards for amendments to the Zoning Atlas.”

“The Future Land Use Map of the CGMP [Comprehensive Growth Management Plan] establishes the optimum overall distribution of land uses. The CGMP also

establishes a series of land use categories, which provide, among other things, overall density and intensity limits. The Future Land Use Map shall not be construed to mean that every parcel is guaranteed the maximum density and intensity possible pursuant to the CGMP and these Land Development Regulations. All goals, objectives, and policies of the CGMP shall be considered when a proposed rezoning is considered. The County shall have the discretion to decide that the development allowed on any given parcel of land shall be more limited than the maximum allowable under the assigned Future Land Use Category; provided, however, that the County shall approve some development that is consistent with the CGMP, and the decision is fairly debatable or is supported by substantial, competent evidence depending on the fundamental nature of the proceeding. If upon reviewing a proposed rezoning request the County determines that the Future Land Use designation of the CGMP is inappropriate, the County may deny such rezoning request and initiate an appropriate amendment to the CGMP.”

Pursuant to Section 3.2.E.2., LDR, the following factors must be considered:

- a. *Whether the proposed zoning amendment is consistent with all applicable provisions of the Comprehensive Plan.*

The Port Salerno Redevelopment Zoning District, along with the Core, Corridor, General, Waterfront, Industrial, Multifamily, Mobile Home, and Detached-1, Detached-2, and Detached-3 zoning subdistricts are consistent with all applicable provisions of the Comprehensive Plan, as are the PS-1 and PR zoning districts.

- b. Whether the proposed zoning amendment is consistent with all applicable provisions of the LDR.

Any development proposal for land located within the Port Salerno Redevelopment Zoning District, will be required to comply with all applicable LDRs including uses, density, set-backs, height, open-space, wetlands, uplands, landscaping, stormwater, etc. The Port Salerno Redevelopment Zoning District and subdistricts are consistent with all applicable provisions of the Land Development Regulations, as are the PS-1 and PR zoning districts.

- c. *Whether the proposed district amendment is compatible with the character of the existing land uses in the adjacent and surrounding area and the peculiar suitability of the property for the proposed zoning use.*

The Port Salerno Community Redevelopment Code and the Port Salerno Redevelopment Zoning District were developed expressly for the land to which they will apply—the Port Salerno CRA. The amendment is compatible with the existing land uses within the Port Salerno CRA as well as those in adjacent and surrounding areas. The PS-1 (Public Service District-1) implements CGMP policies for lands designated Institutional-General on the Future Land Use Map. PS-1 is designed to minimize the potential for negative impacts on surrounding properties. PS-1 is newly assigned in the Port Salerno CRA to numerous County-owned stormwater management tracts. PR is assigned to Wojcieszak Park.

d. Whether and to what extent there are documented changed conditions in the area.

The analysis required for this section is similar to the analysis required pursuant to CGMP Section 1.11.C.(1) when considering the proposed amendment of the Future Land Use Map. The proposed amendment of the Zoning Atlas will not substantially change the land uses or intensity of development permitted. Rather, the intent is primarily to modify the regulatory framework in order to simplify interpretation and implementation for property owners, developers and County staff, provide greater flexibility regarding permitted uses, and incrementally increase the development intensity permitted. The intent is to realize more efficiently and effectively the longstanding vision for the CRAs as represented in the Port Salerno Redevelopment Plan adopted in 2000 and amended in 2009. Therefore, whether or not there are documented changed conditions in the area may not be a pertinent factor in this case. Because the Port Salerno CRA is identified as an area in need of redevelopment, the lack of substantial change offers support for the proposed new zoning.

e. Whether and to what extent the proposed amendment would result in demands on public facilities.

The land subject to the re-zoning is located within the Primary Urban Service District. Therefore, pursuant to CGMP Objective 4.7A., the full range of public facilities and services at the adopted Level of Service are to be provided or programmed to be provided. The maximum residential density allowed within the proposed Core, General and Corridor subdistricts is the same as that permitted pursuant to the current Port Salerno Mixed-Use Future Land Use Overlay and the land area included within these subdistricts is now within the Mixed-Use Future Land Use Overlay. The maximum residential density permitted in the Multifamily, Mobile Home, Detached-1 and Detached-2 is the same as permitted currently. Detached-3 remains restricted to detached single-family residential use with the same minimum lot area and lot width as currently applies.

It is expected that the more compact development pattern will enable public facilities and services to be provided more efficiently. Therefore, the amendment of the Zoning Atlas should not create demand on public facilities that is not anticipated by the current zoning. When a proposed site plan is reviewed, Comprehensive Plan policies and the LDR ensure that present or planned public facilities and services are capable of meeting and maintaining the adopted LOS. Additionally, the County Impact Fee program is designed to mitigate such impacts and ensure development pays for itself.

f. Whether and to what extent the proposed amendment would result in a logical, timely and orderly development pattern which conserves the value of existing development and is an appropriate use of the County's resources.

Twenty years ago, Martin County identified the Port Salerno CRA as an area appropriate for infill development and redevelopment. The proposed Port Salerno Redevelopment zoning district is designed to encourage infill development and redevelopment and such will be logical, timely and orderly, will conserve or improve the value of existing development, and is an appropriate use of County resources.

Additionally, by providing for residential development within the CRA, it may be possible to help extend the life of the boundary of the Primary Urban Service District.

g. Consideration of the facts presented at the public hearings.

The public hearings provide the public an opportunity to participate in the review and decision-making process. Whatever facts are presented at the public hearing should be considered by the decision-makers.

4. Staff Review

The amendment of the Zoning Atlas does not involve review of a site plan. Therefore, departments responsible for site plan review are not included in this staff report. The current review is as follows:

Division or Department	Reviewer	Assessment
Comprehensive Plan	Irene Szedlmayer	Comply
County Attorney	Krista Storey	Review Ongoing
Adequate Public Facilities	Irene Szedlmayer	Exempt

5. Review Board Action

The choice of the most appropriate zoning district for the subject property is a policy decision the Local Planning Agency (LPA) and the Board of County Commissioners (BCC) are asked to consider based on the "standards for amendments to the zoning atlas" provided in Section 3.2 E.2., Land Development Regulations, Martin County Code.

The review and recommendation of the LPA are required on this application. Final action is by the BCC. Both the LPA and the BCC meetings are advertised public hearings.

6. Location and Site Information

Location: The request to amend the Zoning Atlas applies to the 861 acres that are the Port Salerno CRA. This area can be described generally as east of Federal Highway in the vicinity of Cove and Salerno Roads and centered around the Manatee pocket.

Parcel numbers: Approximately 4,777 parcels.

Existing zoning: 17 zoning districts and 3 zoning overlays.

Future Land Use: This amendment of the Zoning Atlas is proposed concurrently with the amendment of the Future Land Use Map propose by CPA 19-27. The recommended amendment of the Zoning Atlas can occur only if the recommended amendment of the Future Land Use Maps first occurs. The Low Density Residential, Medium Density Residential, High Density Residential, Mobile Home Density, Residential Estate Density, Commercial Office/Residential, Limited Commercial, and General Commercial future land use designations are proposed to be changed to the CRA Center, CRA

Neighborhood, Recreational or General Institutional future land use designations. The Marine Waterfront Commercial and the Industrial future land use designations will be retained. The repeal of the Port Salerno Mixed-Use Future Land Use Overlays is proposed. Finally, the removal of the Residential Estate Density future land use designation from two small islands in Manatee Pocket that are owned by the State of Florida is recommended.

Commission District: 4
Community Redevelopment Area: Port Salerno CRA
Municipal Service Taxing Unit: District 4 MSTU
Planning Area: Port Salerno

7. Determination of compliance with the Comprehensive Growth Management Plan

Findings of Compliance:

The staff of the Growth Management Department Comprehensive Planning Division has reviewed the application and finds it in compliance with applicable Goals, Objectives and Policies. There are no unresolved Comprehensive Growth Management Plan issues associated with this application.

8. Determination of compliance with land use, site design standards, zoning, and procedural requirements

Findings of Compliance:

The staff of the Growth Management Department Comprehensive Planning Division has reviewed the application and finds it in compliance with the applicable regulations. There are no unresolved issues associated with this application. Changes to the zoning atlas authorize no development activity. Any specific site future land use, design, zoning or procedural issues will be addressed at such time as development of a particular site is proposed.

9. Recommendation

Staff recommends adoption of the proposed ordinance to:

- (1) enact Division 6, Port Salerno Community Redevelopment Code, Article 12, LDR, Martin County Code;
- (2) repeal Section 3.262, Article 3, Port Salerno Community Redevelopment Area, Martin County LDR, and
- (3) amend the Zoning Atlas to assign the Port Salerno Redevelopment Zoning District and other zoning districts for consistency with the Future Land Use Map.

10. Attachments

- Ex. A. Article 12, Division 6, Port Salerno Community Redevelopment Code
- Ex. B. Article 12, Redevelopment Code, Division 1, General
- Ex. C. Proposed Zoning Atlas
- Ex. D. Port Salerno Regulating Plan
- Ex. E. Street Regulating Plan
- Ex. F. Public Notices, including the published newspaper advertisement

Division 6, Article 12
Port Salerno Community Redevelopment Code**Section 12.6.01. Purpose.**

1. Port Salerno is a diverse and historic community in Martin County that boasts a wide range of cultural and economic assets. Known for its working waterfront and commercial fishing industry in the Manatee Pocket area, Port Salerno is also rich with a variety of neighborhoods offering housing options at all economic levels in close proximity to the center of town. In an effort to maintain and strengthen the historical and cultural attributes of Port Salerno, this LDR Division is intended to:
 - a. Promote and accomplish the goals, policies, and objectives of the Martin County Growth Management Plan as they pertain to Port Salerno;
 - b. Preserve the character, quality, and scale of historic Port Salerno and ensure the compatibility of future investment;
 - c. Provide clarity and predictability in future planning and development in Port Salerno;
 - d. Maintain the high-quality standards of residential and non-residential growth;
 - e. Ensure a desirable and controlled natural and built environment for future generations.
2. **Port Salerno Redevelopment Zoning District.** This Article 12, Division 6 of the Martin County Land Development Regulations establishes the Port Salerno Redevelopment Zoning District and the permitted uses and development standards applicable therein.
3. **Organization.** How this Division is organized:

Section 12.6.01	Purpose
Section 12.6.02	Regulating Plan
Section 12.6.03	Permitted Uses
Section 12.6.04	Development Standards
Section 12.6.05	Building Type & Frontage Type Standards
Section 12.6.06	Street Standards
Section 12.6.07	Parking Standards
Section 12.6.08	Stormwater Standards
Section 12.6.09	Landscape Standards
Section 12.6.10	Wall & Fence Standards
Section 12.6.11	Sign Standards
Section 12.6.12	Architectural Standards



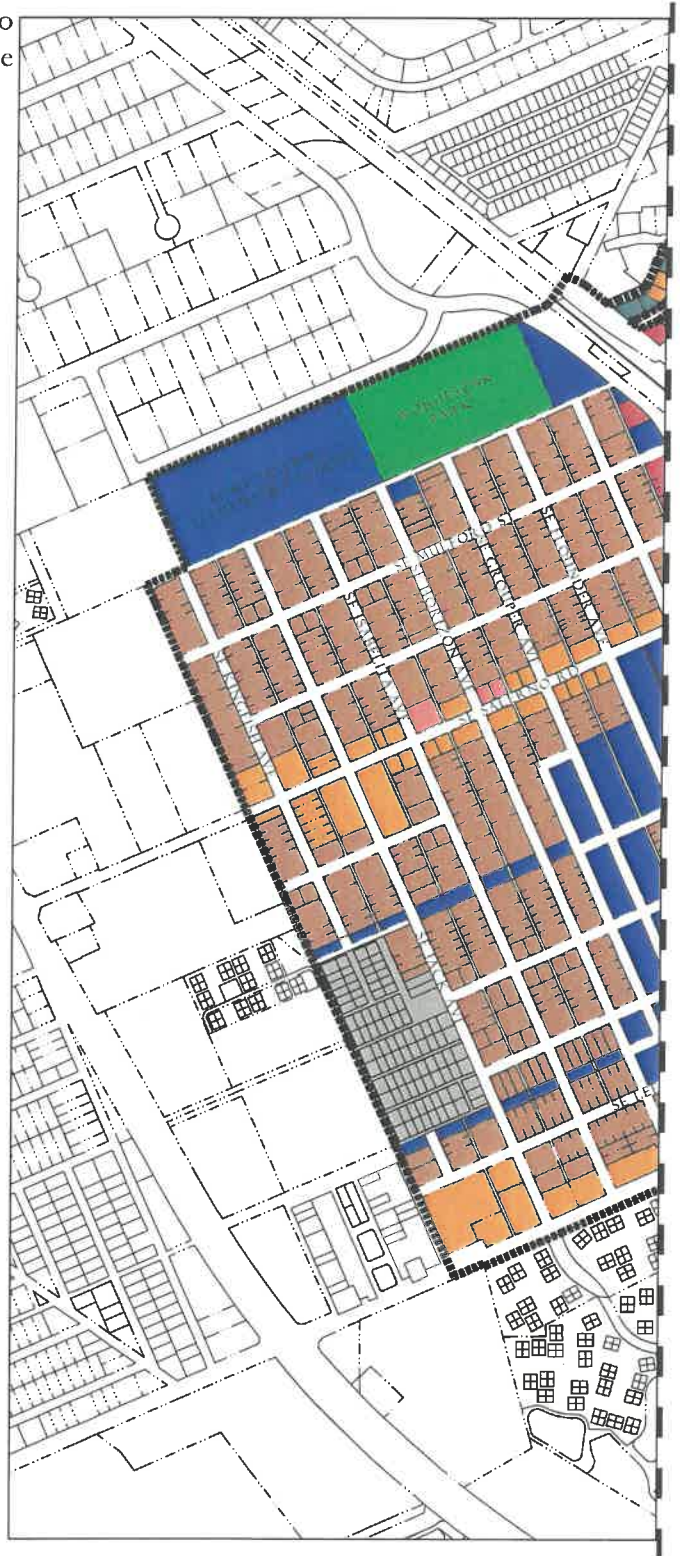
Figure PS-1 Rendering of Complete Street interventions as part of the Martin Metropolitan Planning Organization Complete Streets: Access to Transit Study.



Regulating Plan

12.6.02

Section 12.6.02. Regulating plan. Figures **PS-2** and **Figure PS-2 Regulating Plan PS-3** are the Regulating Plans that apply to the Port Salerno Redevelopment Zoning District. Section 12.1.02 describes the purpose and content of Regulating Plans.



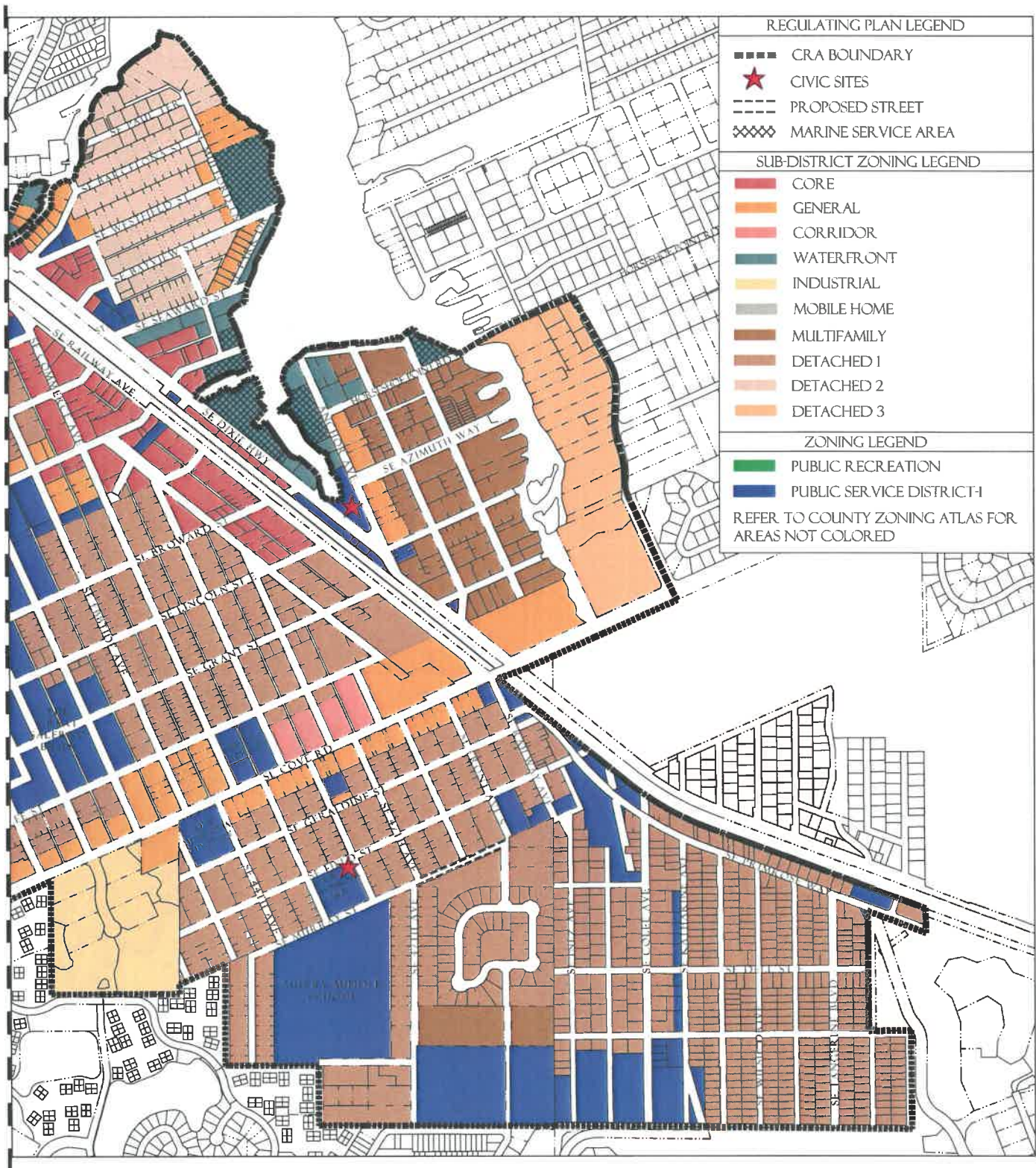
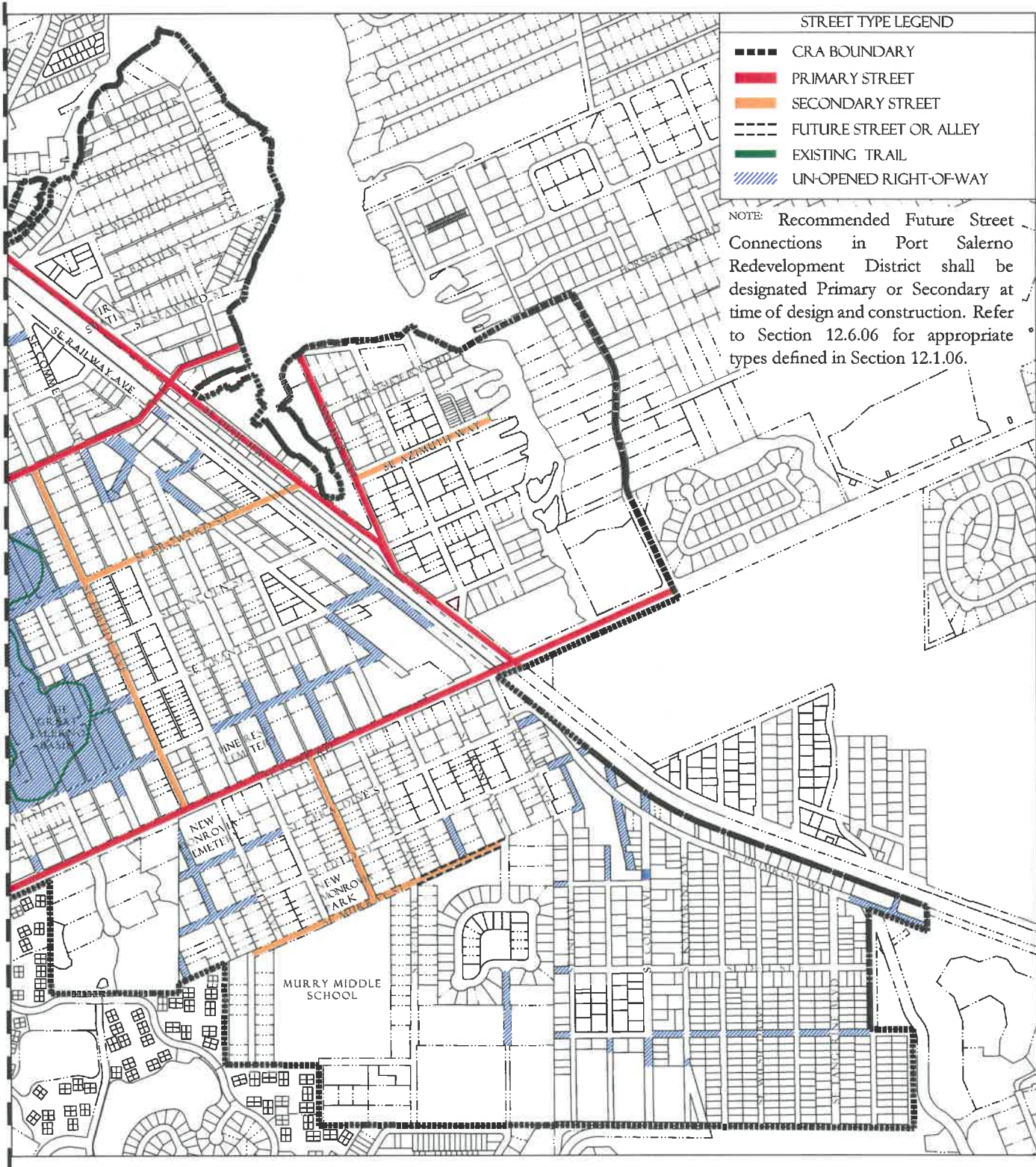




Figure PS-3 Street Regulating Plan







Permitted Uses

12.6.03

Section 12.6.03. Permitted Uses. Table **PS-4** identifies permitted uses in the PS (Port Salerno) Redevelopment Zoning District.

1. The Use Groups listed in the first column of Table **PS-4** are described in Section 12.1.03.
2. The remaining columns identify the Subdistricts shown on the Regulating Plan.
 - a. “P” in a row below a column means that any use in that use group is permitted within that Subdistrict, provided the use can be developed in accordance with all applicable requirements of the LDR.
 - b. If “P” is not shown in a row, the use group is not permitted in that Subdistrict.
3. For uses that are functionally similar but not clearly permitted in a Subdistrict see Section 12.1.03.3.



Table PS-4 Use Groups Permitted in Port Salerno Subdistricts

	Core	General	Water-front	Corridor	Industrial	Multi-family	Mobile Home	Detached 1	Detached 2	Detached 3
Residential Use Groups, see 12.1.03										
Accessory dwelling units	P	P	-	P	-	P	-	P	P	P
Mobile homes	-	-	-	-	-	-	P	-	-	-
Other dwelling types	P	P	P ^{1,2}	P	-	P	-	P ⁴	-	-
Single-family dwellings	-	P	P ^{1,2}	P	-	P	-	P	P ³	P ³
Bed and breakfast inns	P	P	P ^{1,2}	P	-	P	P	P	P	P
Agricultural Use Groups, see 12.1.03										
Urban farming	-	-	-	P	-	-	-	-	-	-
Commercial & Business Use Groups, see 12.1.03										
Business & professional offices	P	P	P ¹	P	P	-	-	-	-	-
Construction services, limited	P	P	P ¹	P	P	-	-	-	-	-
Construction services, extensive	-	-	-	-	P	-	-	-	-	-
Convenience store with fuel	-	-	-	P	-	-	-	-	-	-
Drive-through facility	-	-	-	-	-	-	-	-	-	-
Drive-through restaurant	-	-	-	-	-	-	-	-	-	-
Hotels, motels, resorts spas	P	P	P ¹	P	-	-	-	-	-	-
Marinas	-	-	P	P	-	-	-	-	-	-
Medical offices	P	P	-	P	P	-	-	-	-	-
Parking lots and garages	P	P ⁵	-	P ⁵	-	-	-	-	-	-
Restaurants	P	P	P ¹	P	P	-	-	-	-	-
Retail & services, limited impact	P	P	P ¹	P	P	-	-	-	-	-
Retail & services, general impact	P ⁶	P ⁶	-	P ⁶	P	-	-	-	-	-
Retail & services, extensive impact	-	-	-	-	-	-	-	-	-	-
Recreational vehicle parks	-	-	-	-	-	-	-	-	-	-
Vehicular service and maintenance	-	-	-	-	P	-	-	-	-	-
Wholesale trades and services	-	-	-	-	P	-	-	-	-	-
Working waterfront	-	-	P	-	-	-	-	-	-	-
Public & Institutional Use Groups, see 12.1.03										
Institutional uses, limited impact	P	P	P	P	-	P	P	P	P	P
Institutional uses, general impact	-	P	-	P	-	-	-	-	-	-
Industrial Use Groups, see 12.1.03										
Limited impact industries	-	-	P	-	P	-	-	-	-	-
Extensive impact industrial industries	-	-	-	-	-	-	-	-	-	-
Footnotes, see above										

¹ Development in the Waterfront Subdistrict shall be water-dependent or water-related. Development on land in the Waterfront Subdistrict may contain residential uses when other uses in a mixed-use project are water-dependent or water-related and not located within the Marine Service Area. Water-related development includes marine resort-type uses including transient accommodations, restaurants and retail shops.

² Residential uses established prior to the effective date of Art. 12, Div. 6 or within a mixed-use project are permitted.

³ No Duplexes are permitted.

⁴ No Multifamily dwellings and Apartment hotels are permitted.

⁵ No Garages are permitted.

⁶ No Residential storage facilities are permitted.



Development Standards

12.6.04

Section 12.6.04. Development Standards.

1. All new development, substantial improvements of a building, and substantial renovations of a building exterior shall comply with the Development Standards in Table **PS-5**.
2. **Existing Buildings.** Whenever substantial improvement of a building or substantial renovation of a building exterior triggers the obligation to comply with this Division, the Growth Management Director may authorize incremental compliance with its requirements proportional to the nature and scope of the existing and proposed improvements if full compliance would be unreasonable. An application for alternative compliance shall not be required, but the Growth Management Director may require that the proposal be presented to the Neighborhood Advisory Committee for review and comment. See Section 4.871.B, Div. 20, Article 4.
3. **Accessory Dwelling Units.** Standards for accessory dwelling units are provided in Development Standards Section 12.1.04.8.
4. **Building Types.** Each new building, and any substantial improvement, must meet the standards for one of the Building Types permitted in the Subdistrict where it is located, see Table **PS-5**. Building Type diagrams do not prescribe use or architectural style and are illustrative. Dimensions provided in tables are regulatory requirements.
5. **Façade Transparency.** Shopfront, Mixed-use, Office, Apartment and Courtyard Building façades facing streets or civic open spaces at the ground level must have transparent windows which cover between 40 percent and 70 percent of the wall area. Building façades above ground level must have transparent windows which cover between 20 percent and 50 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than forty percent.
6. **Maximum Lot Width.** Maximum lot width applies to parcels assembled or subdivided after the date of adoption of the Port Salerno Redevelopment Code, Div. 2, Article 12. Maximum lot width is intended to preserve existing character and landmarks.
7. **Convenience store with fuel.** In addition to the standards in Section 3.106. - Vehicular service and maintenance, development shall meet the following criteria:
 - a. A ground level shop must be located along a street, with the gas pumps located to the rear or side of the lot as illustrated in Figure PS-12-9.04. No more than eight fuel positions and four fueling islands are permitted, refer to PS-12-9.05.
 - b. The shop shall have the primary entrance facing and directly accessible from the street; an additional entrance shall face the parking lot.
 - c. Gasoline Stations may be one story in height.

Table PS-5 - Development Standards in Port Salerno Subdistricts

	Core	General	Water-front	Corri-dor	Indus-trial	Multi-family	Mobile Home	De-tached 1	De-tached 2	De-tached 3
Lot Size, see 12.1.04.1										
Lot area - minimum in sf	-	-	-	-	15,000	2,000	-	2,500	5,000	8,200
Lot width - minimum in feet	25	25	25	25	100	20	-	25	50	75
Lot width - maximum in feet	100	150	100	150	-	-	-	-	-	-
Height, see 12.1.04.2										
Building height, maximum in stories	3	3	3	3	3	3	1	3	3	3
Building height, maximum in feet	40	40	35	40	30	40	30	30	30	35
Ceiling height, maximum in feet	Established in 12.6.05 for certain building types									
Density, see 12.1.04.3										
Residential density, max in units/acre	15	15	10 ^{1,2}	15	-	8	8	8	5	1 per lot
Hotel/motel density, max in units/acre	20	20	20	20	-	-	-	-	-	-
Building Coverage, see 12.1.04.4										
Building coverage, maximum %	80	60	50	60	40	60	-	50	50	35
Open Space, see 12.1.04.5										
Open space, minimum in %	20	20	20	20	20	30	-	30	30	30
Building & Parking Placement, see 12.1.04.6										
Build-to Zone min/max in feet	Established in 12.6.05 for certain building types									
Side and Rear setbacks	Established in 12.6.05 for certain building types									
Frontage percentage, minimum %	Established in 12.6.05 for certain building types									
Parking Setbacks minimum in feet	Established in 12.6.05 for certain building types									
Building Types, see 12.6.05										
Shopfront Building	P	P ³	P	P	P	-	-	-	-	-
Mixed-use Building	P	P	P	P	-	-	-	-	-	-
Office Building	P	P ³	-	P	P	-	-	-	-	-
Apartment Building	P	P	-	P	-	P	-	-	-	-
Courtyard Building	P	P	-	P	-	P	-	-	-	-
Townhouse	P	P	-	P	-	P	-	P	-	-
Live/Work Building	P	P	P	P	-	-	-	-	-	-
Side Yard House	-	P	-	P	-	P	-	P	P	-
Cottage	P	P	P	P	-	P	P	P	P	-
Cottage Court	P	P	P	P	-	P	P	-	-	-
Duplex	-	P	-	P	-	P	-	P	-	-
All Yard House	-	P	-	P	-	P	P	P	P	P
Outbuilding	P	P	P	P	P	P	P	P	P	P
Boat Barn	-	-	P	P	P	-	-	-	-	-
Industrial Building	-	-	P	-	P	-	-	-	-	-
Footnotes, see above										

¹ See Marine Service Areas within 12.1.02. Marine Service Areas are indicated on the Regulating Plan.² Residential uses established prior to the effective date of Art. 12, Div. 6 or within a mixed-use project are permitted.³ Only permitted when facing a primary or secondary road as identified in PS-3.



Development Standards

12.6.04

Figure PS-12-9.04 - Fueling Stations

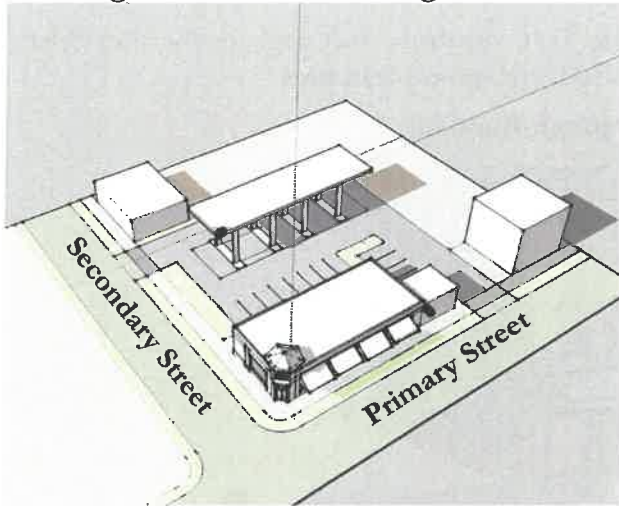
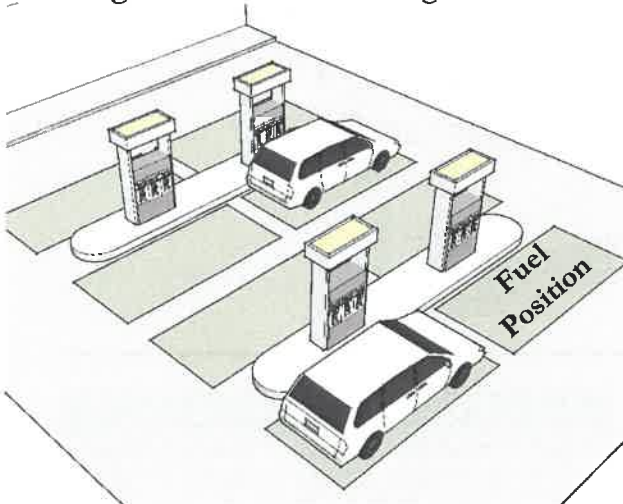


Figure PS-12-9.05 - Fueling Stations



Four fueling islands with eight fuel positions.

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Building Type & Frontage Type Standards

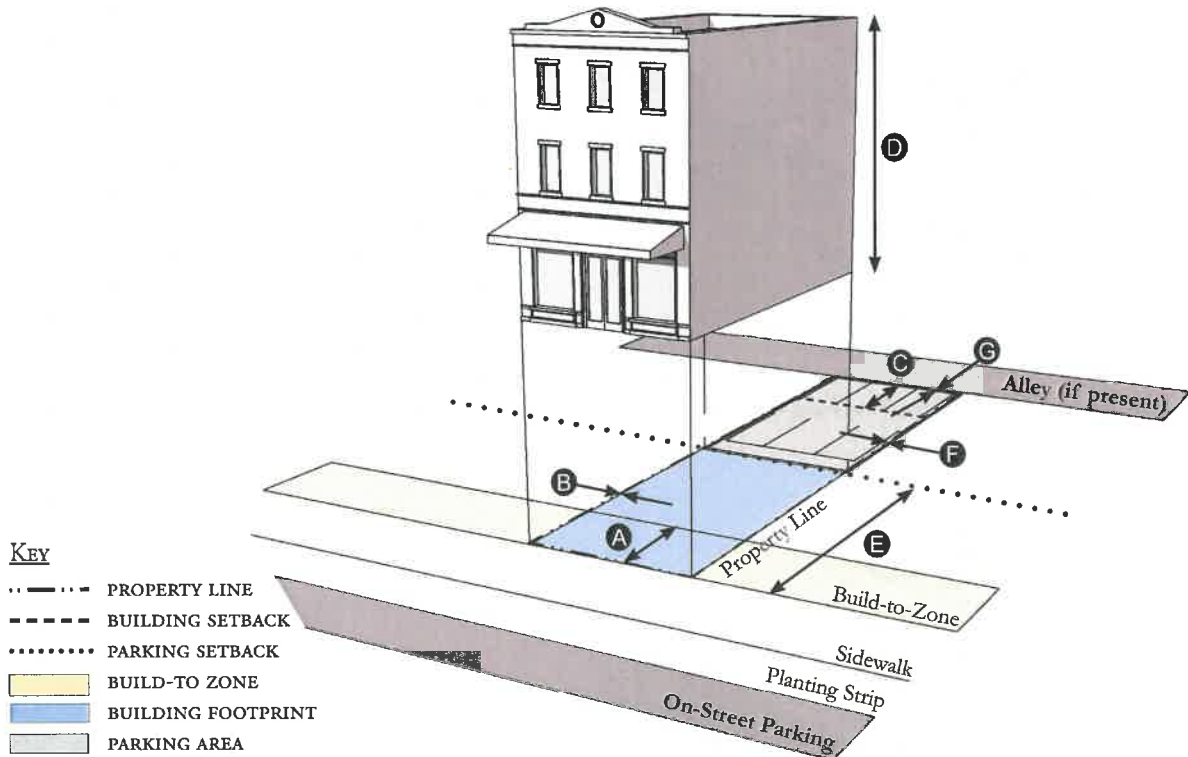
12.6.05

PS

Section 12.6.05. Building Type & Frontage Type Standards.

- Building Types.** The following Building Type standards shall apply in the Port Salerno Subdistricts. Table PS-5 provides additional Development Standards.

Figure PS-5.01 - Shopfront Building



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	0' min., 15' max.	(A)
Side at Street Build-to-Zone	0' min., 15' max.	
Side at Property Line Setback ²	0' or 5'	(B)
Rear Yard Setback ²	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	(D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	0' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Subdistricts, see 12.6.02

Core	General ¹	Corridor	Water-front	Indus-trial
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Description

A Shopfront Building has ground level space immediately adjoining the sidewalk that can accommodate business uses with doors and large windows facing the sidewalk.

Façade Transparency, see 12.6.04.5

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

¹ Only permitted when facing a primary or secondary road as identified in PS-3.

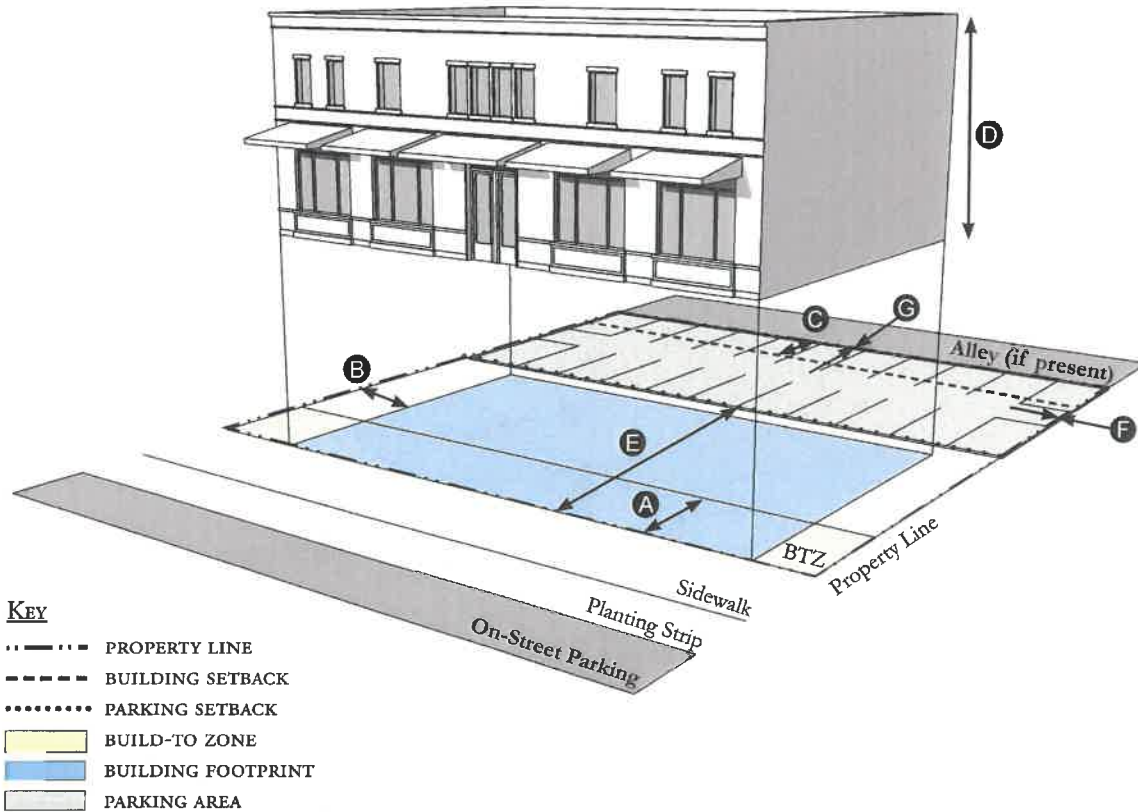
² Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted Lot Size, Density, Building Coverage, and Open Space, see Table PS-5.

Building Type & Frontage Type Standards

12.6.05

Figure PS-5.02 - Mixed-Use Building



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	0' min., 15' max.	A
Side at Street Build-to-Zone	5' min., 15' max.	
Side at Property Line BTZ ¹	5' min., 10' max.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.6.02

Core	General	Corridor	Waterfront
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Description

A Mixed-Use Building has multiple tenants or occupancies and may contain residences, lodging and/or businesses to the extent permitted in the Subdistrict.

Façade Transparency, see 12.6.04.5

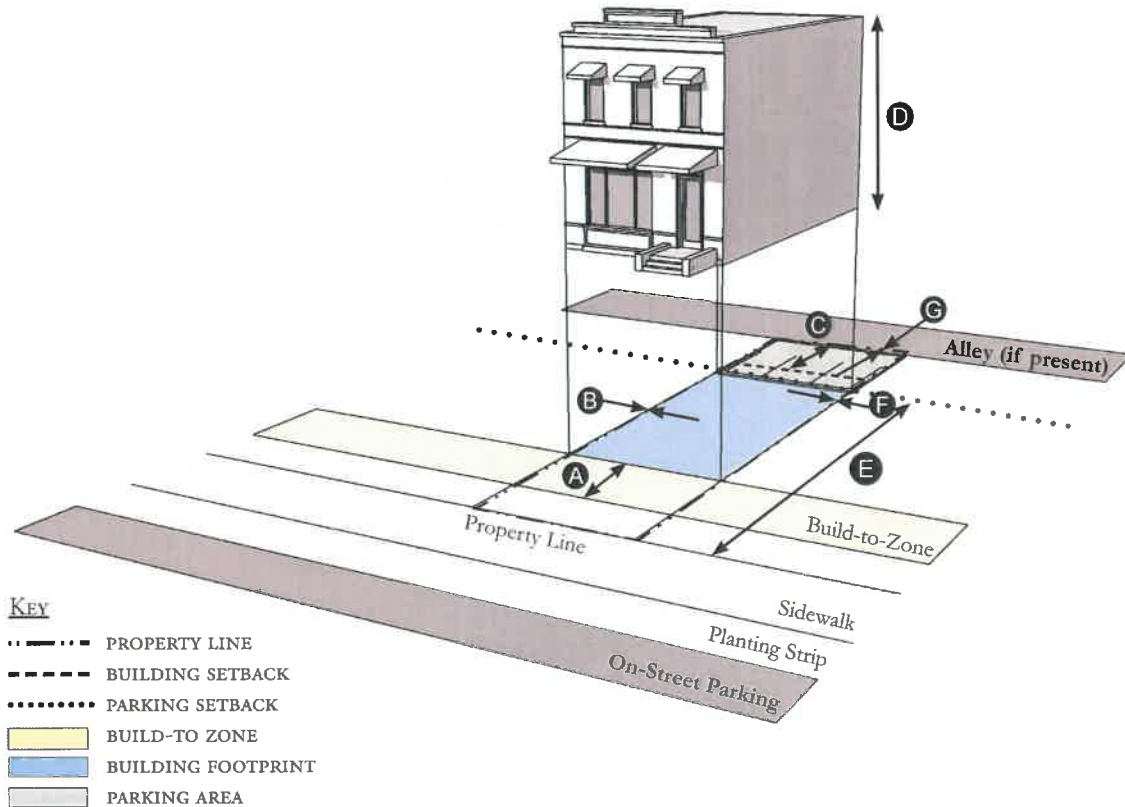
	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.03 - Office Building



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	10' min., 15' max.	(A)
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ²	0' or 5'	(B)
Rear Yard Setback ²	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	(D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	0' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Permitted Subdistricts, see 12.6.02

Core	General ¹	Corridor	Industrial
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Description

An Office Building has a one or more commercial tenants, occupancies, or businesses. An Office Building may have a shopfront frontage on the ground level.

Façade Transparency, see 12.6.04.5

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

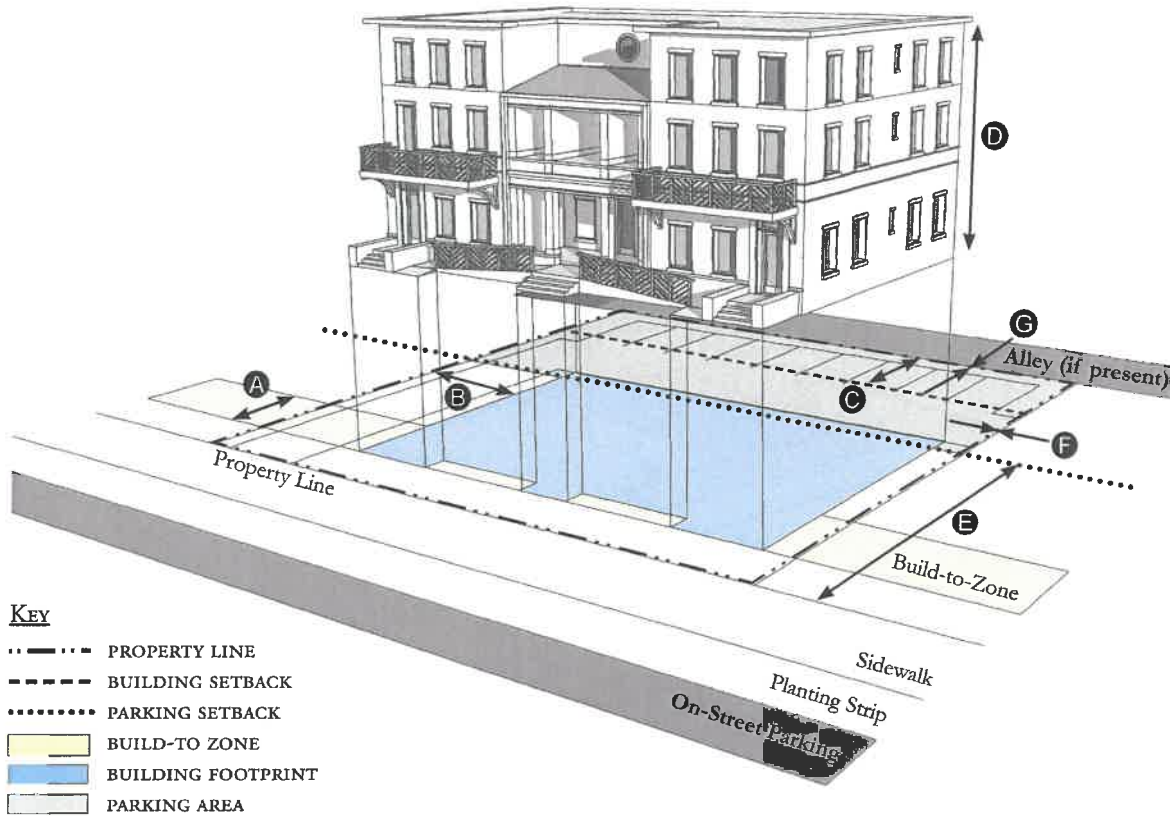
Notes

¹ Only permitted when facing a primary or secondary road as identified in PS-3.

² Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

Figure PS-5.04 - Apartment Building



Building Placement, see 12.1.04.6		
Frontage	60% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	5' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	D
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min./0' min. with alley	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.6.02	
Core	General Corridor Multifamily
Description	
An Apartment Building contains multiple residences above and/or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. Off-street parking is provided to the side or rear.	
Façade Transparency, see 12.6.04.5	
	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50
Notes	
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.	
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table PS-5.	

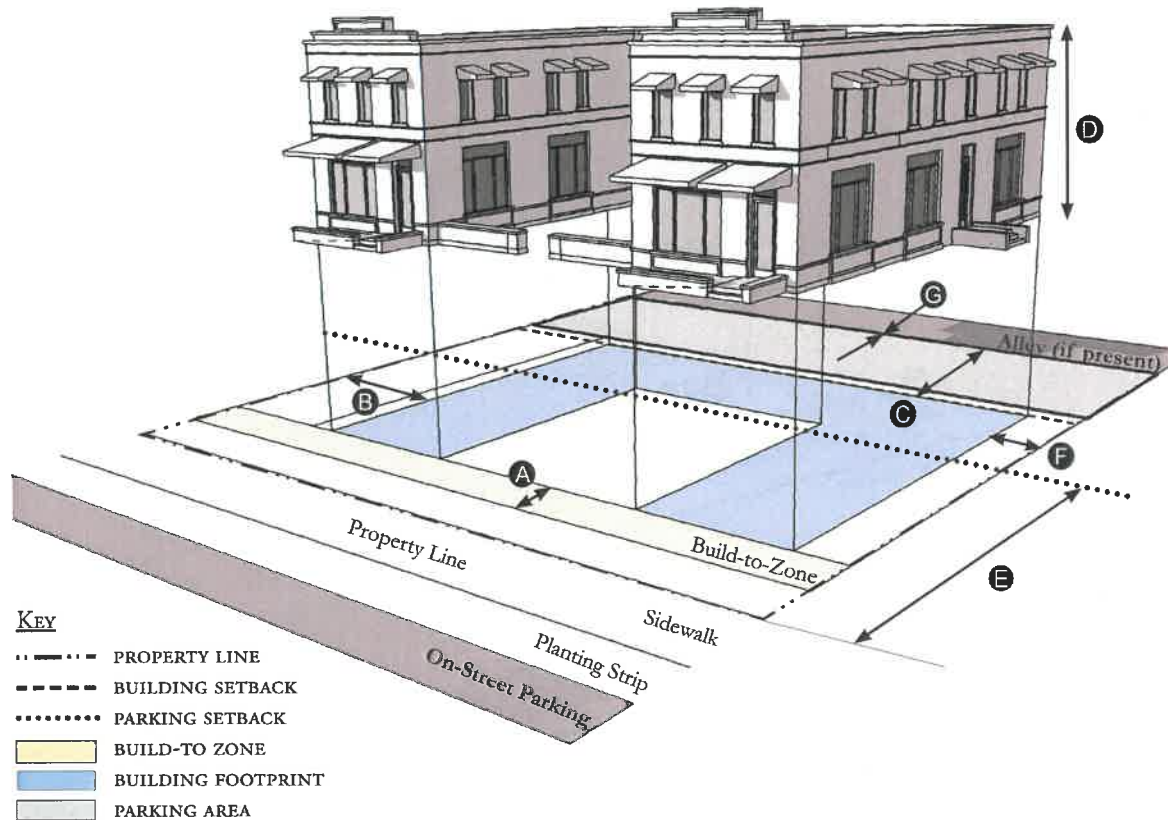
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Building Type & Frontage Type Standards

12.6.05

PS

Figure PS-5.05 - Courtyard Building



Building Placement, see 12.1.04.6

Frontage Percentage	60% min. includes courtyard	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	5' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	D
Building Height	Refer to Table PS-5	

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min./0' min. with alley	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.6.02

Core	General	Corridor	Multifamily
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Description

A Courtyard Building accommodates multiple dwellings or businesses arranged around and fronting on a central green that may be partially or wholly open to the street.

Facade Transparency, see 12.6.04.5

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

The proportions of the courtyard space shall be at least as deep as it is wide.

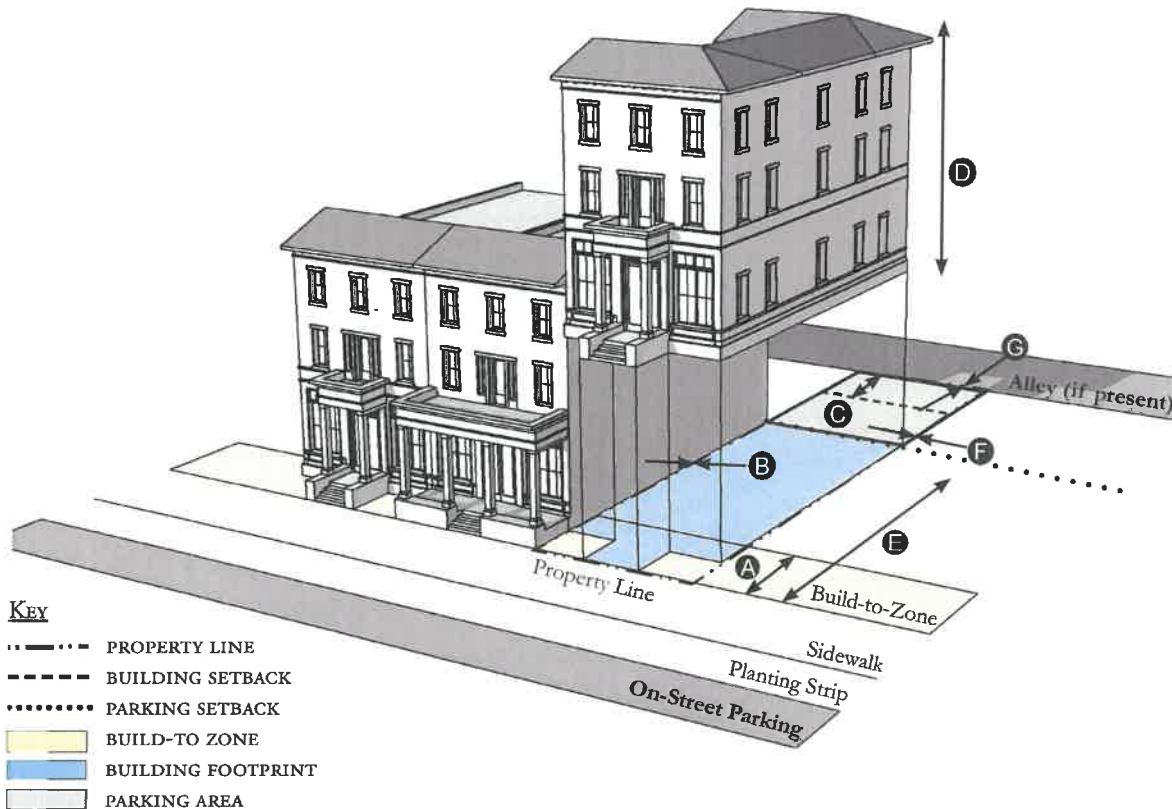
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted Lot Size, Density, Building Coverage, and Open Space, see Table PS-5.

Building Type & Frontage Type Standards

12.6.05

Figure PS-5.06 - Townhouse



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	0' min., 15' max.	A
Side at Street Build-to-Zone	0' min., 15' max.	
Side at Property Line Setback ^{1,2}	0' min. or 10' min.	B
Rear Yard Setback ¹	10' min. / 5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5/2 stories min.	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.6.02

Core General Corridor Multifamily

Description

A Townhouse is a building with common walls on one or both sides and often a private garden to the rear. Service and parking access are from the rear.

Notes

Townhouses shall have a maximum grouping of 8 dwelling units and a minimum Setback of 15 feet between buildings.

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

² When directly adjacent to another property that is not part of the townhouse development the Side Setback is 10 feet minimum from the property line.

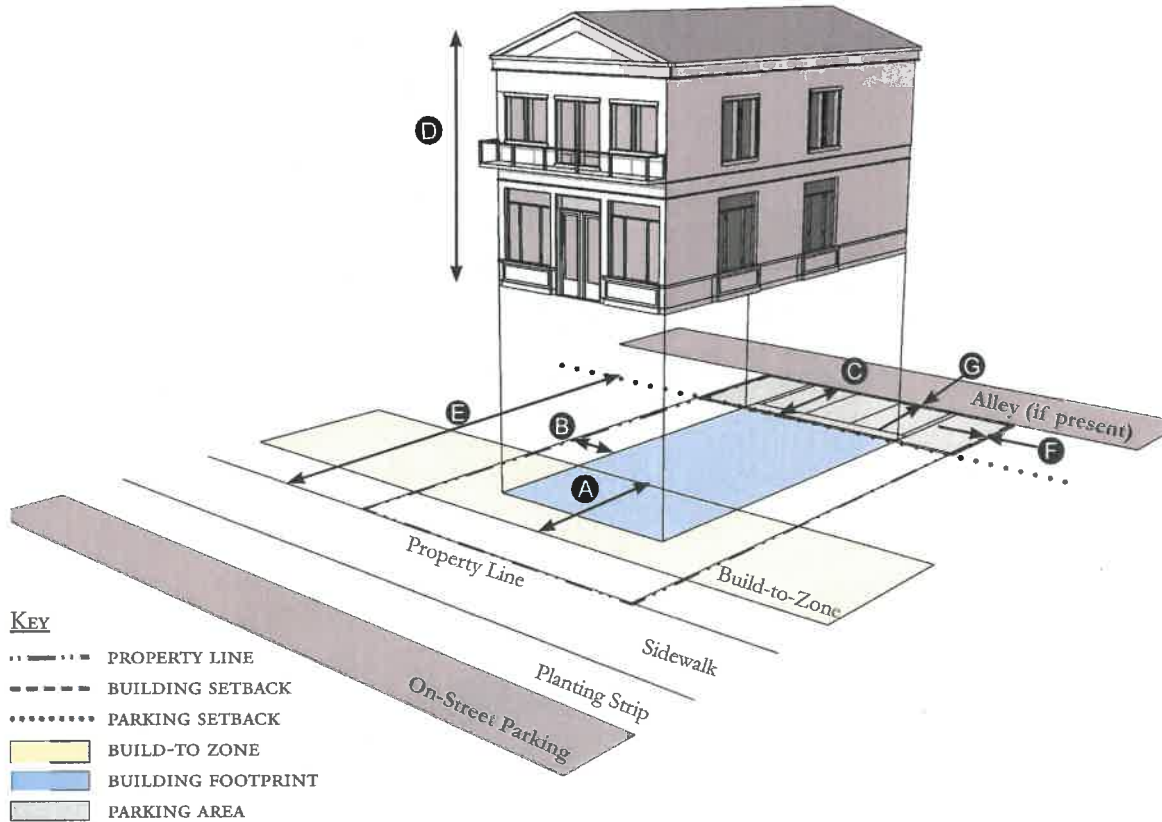
For permitted Lot Size, Density, Building Coverage, and Open Space, see Table PS-5.

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Building Type & Frontage Type Standards

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Figure PS-5.07 - Live/Work Building



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	5' min., 25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback ¹	10' min.	B
Rear Yard Setback ¹	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Permitted Subdistricts, see 12.6.02

Core	General	Corridor	Waterfront
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Description

A Live/Work Building consists of commercial and residential uses. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activities or industry.

Notes

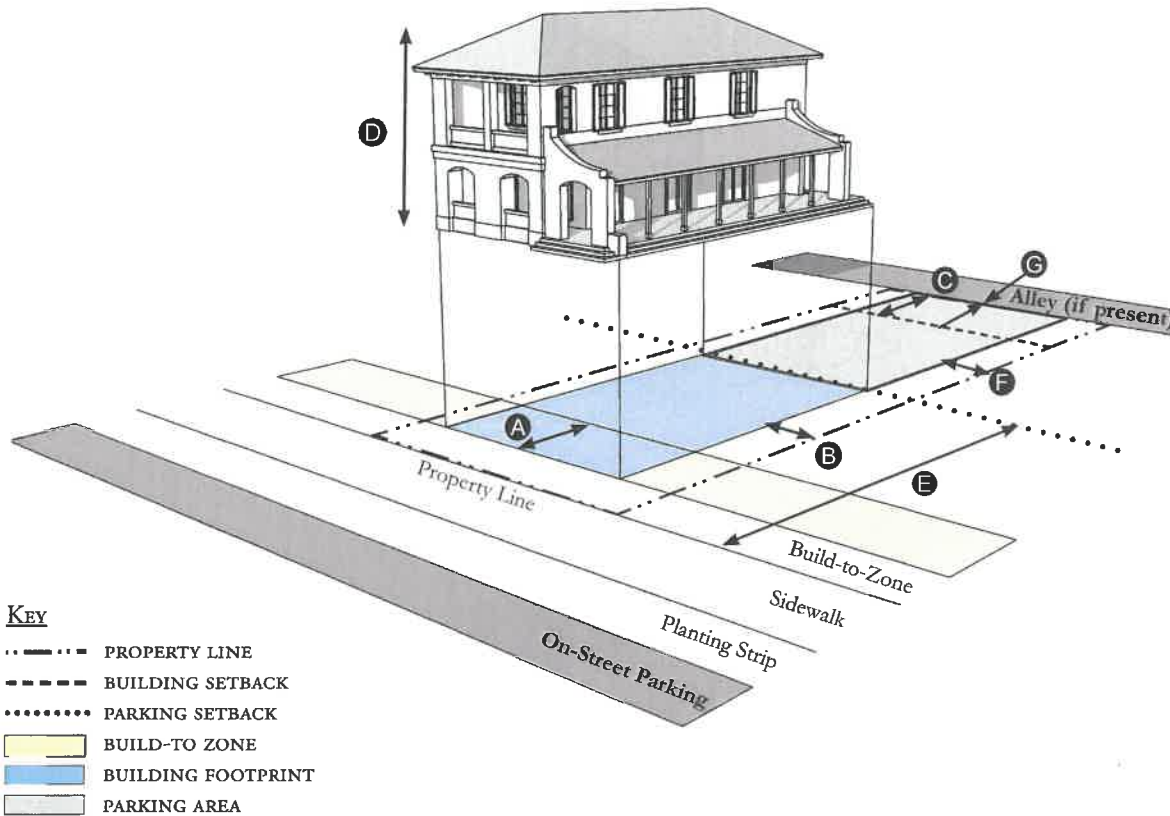
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted Lot Size, Density, Building Coverage, and Open Space, see Table PS-5.

Building Type & Frontage Type Standards

12.6.05

Figure PS-5.08 - Side Yard House



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	5' min., 25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min., 10' min. other side	B
Rear Yard Setback	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	D
Building Height	Refer to Table PS-5	

Parking Placement, see 12.1.04.6 and 12.6.07.8

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min./0' min. with alley	G

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Permitted Subdistricts, see 12.6.02

General	Corridor	Multifamily
Detached 1	Detached 2	

Description

A Side Yard House is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard type houses.

Notes

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

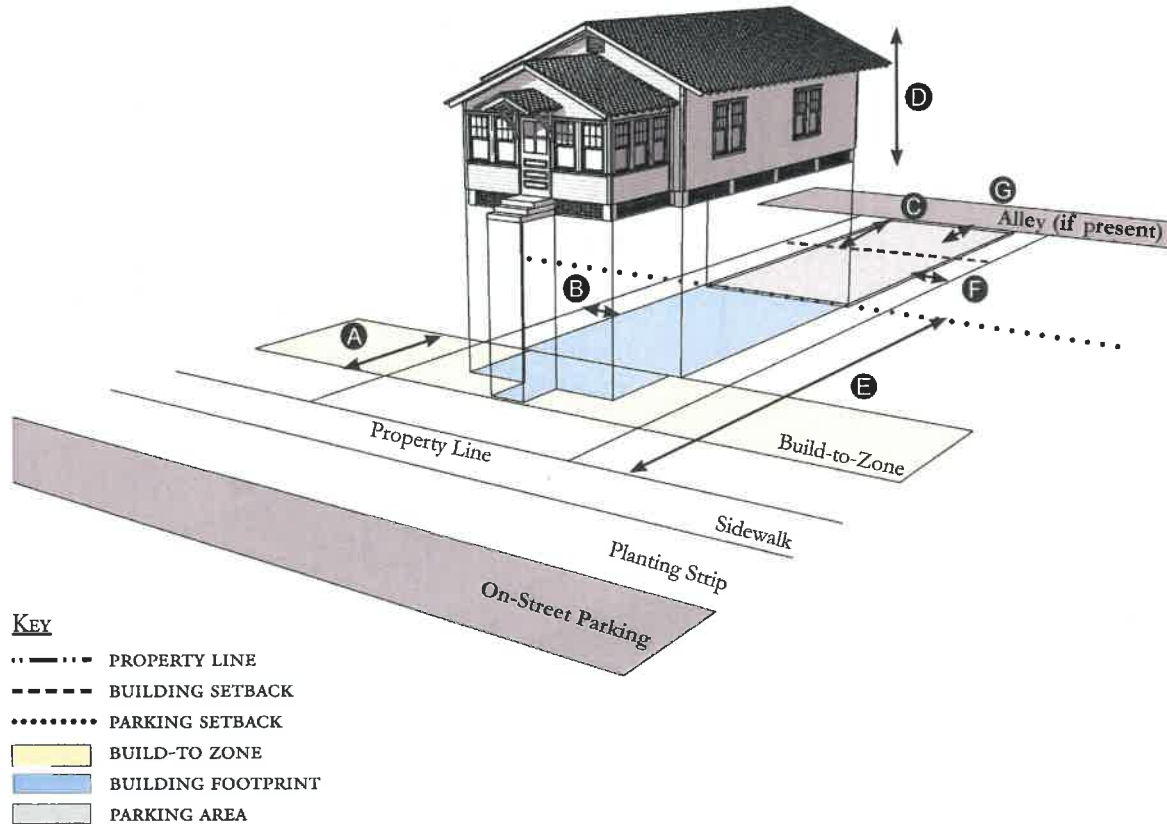
For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

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Building Type & Frontage Type Standards

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Figure PS-5.10 - Cottage



Building Placement, see 12.1.04.6

Frontage ^{1,2}	60% min.	
Front Build-to-Zone	5' min., 25' max.	(A)
Side at Street Build-to-Zone	5' min., 10' max.	
Side at Property Line Setback	5' min.	(B)
Rear Yard Setback	10' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	(D)

Parking Placement, see 12.1.04.6 and 12.6.07.8

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min	(G)

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Permitted Subdistricts, see 12.6.02

Core	General	Waterfront
Corridor	Multifamily	Mobile Home
Detached 1	Detached 2	

Description

A Cottage is a detached building with a small front yard often located on a narrow lot. Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.

Notes

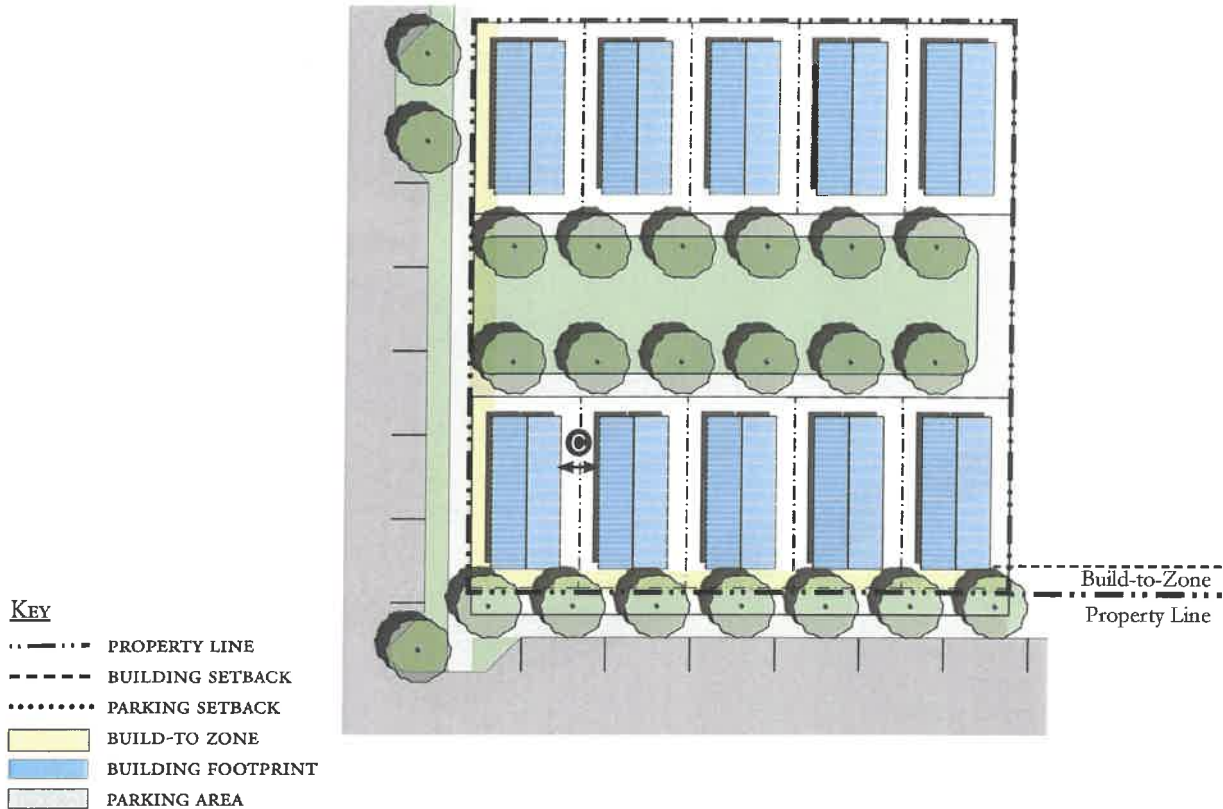
Cottages shall not exceed a footprint of 2,000 square feet.

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

² For Mobile Homes frontage requirement does not apply.

For permitted Lot Size, Density, Building Coverage, and Open Space, see Table PS-5.

Figure PS-5.11 - Cottage Court



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	6' min.	A
Side at Street Setback	6' min.	
Side at Property Line Setback	6' min.	B
Unit Separation	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min	G

Subdistricts, see 12.6.02

Core	General	Corridor
Waterfront	Multifamily	Mobile Home

Description

A Cottage Court is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas.

Notes

Cottage Courts may include duplexes.

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

² For Mobile Homes frontage requirement does not apply.

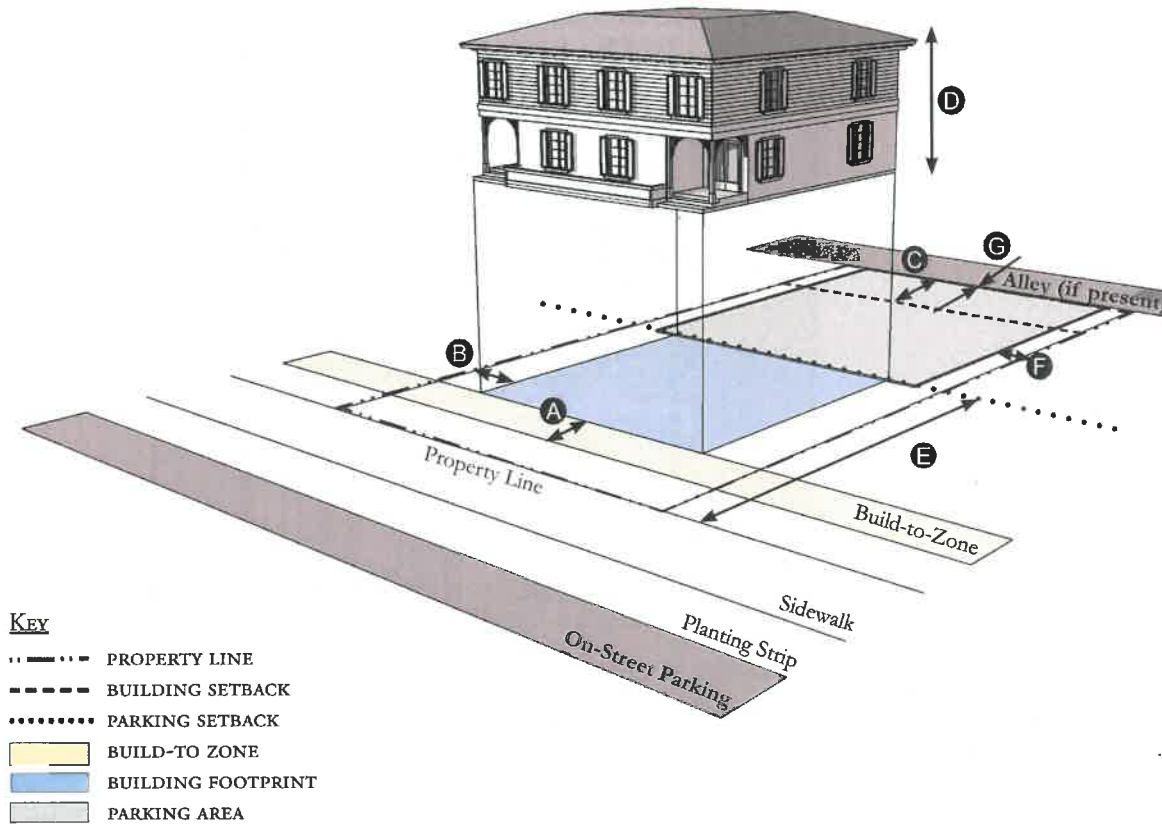
For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

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Building Type & Frontage Type Standards

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Figure PS-5.09 - Duplex



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	5' min., 25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	B
Rear Yard Setback	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	D

Parking Placement, see 12.1.04.6 and 12.6.07.8

Side at Property Line	5' min.	F
Rear Setback	5' min./0' min. with alley	G

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Permitted Subdistricts, see 12.6.02

General Corridor Multifamily Detached 1

Description

A Duplex is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.

Notes

Duplexes do not permit accessory dwelling units.

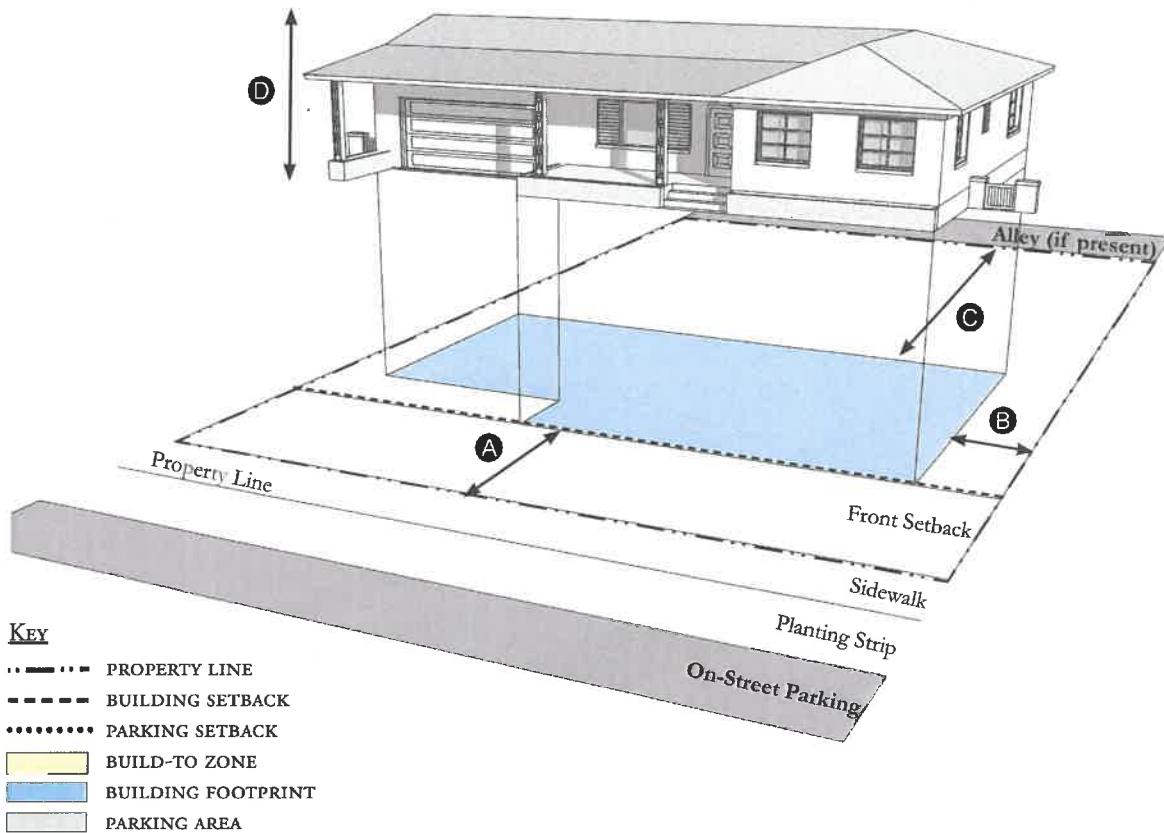
¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

Building Type & Frontage Type Standards

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Figure PS-5.12 - All Yard House



Building Placement, see 12.1.04.6

Frontage	Not Required	
Front Setback	20' min.	(A)
Side at Street Setback	10' min.	
Side at Property Line Setback	10' min.	(B)
Rear Yard Setback	10' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	(D)

Parking Placement, see 12.1.04.6 and 12.6.07.8

Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Permitted Subdistricts, see 12.6.02

General	Corridor	Multifamily	Mobile Home
Detached 1	Detached 2	Detached 3	

Description

An All Yard House has yards on all sides and may contain accessory structures toward the rear.

Notes

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

[illegible]

Parking Placement, see 12.1.04.6

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Description
An Outbuilding is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. An Outbuilding may include a garage, shed, workshop, or accessory dwelling unit.

Notes

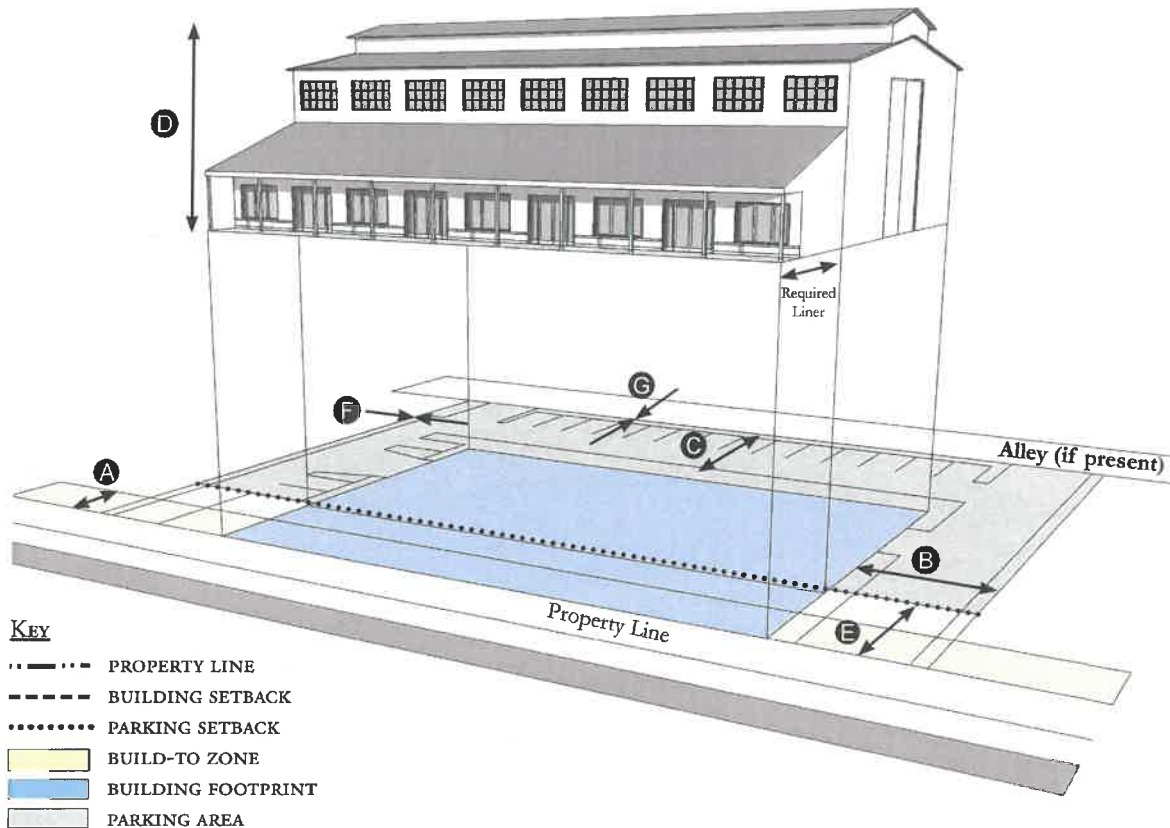
Outbuildings shall not exceed a footprint of 850 square feet.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see 'table **PS-5**.

Building Type & Frontage Type Standards

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Figure PS-5.14 - Boat Barn



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	0' min., 15' max.	(A)
Side at Street Setback	10' min.	
Side at Property Line Setback ¹	10' min.	(B)
Rear Yard Setback ¹	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	(D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	5' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Parking shall not be located between the building and the street.

Permitted Subdistricts, see 12.6.02

Corridor	Waterfront	Industrial
----------	------------	------------

Description

A Boat Barn is an indoor storage facility. A liner with habitable uses is required to avoid large blank facades visible to the public. A liner shall face all primary streets. Liners may be additional commercial space with permitted uses.

Notes

A commercial liner shall be a minimum depth of 20' feet.

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

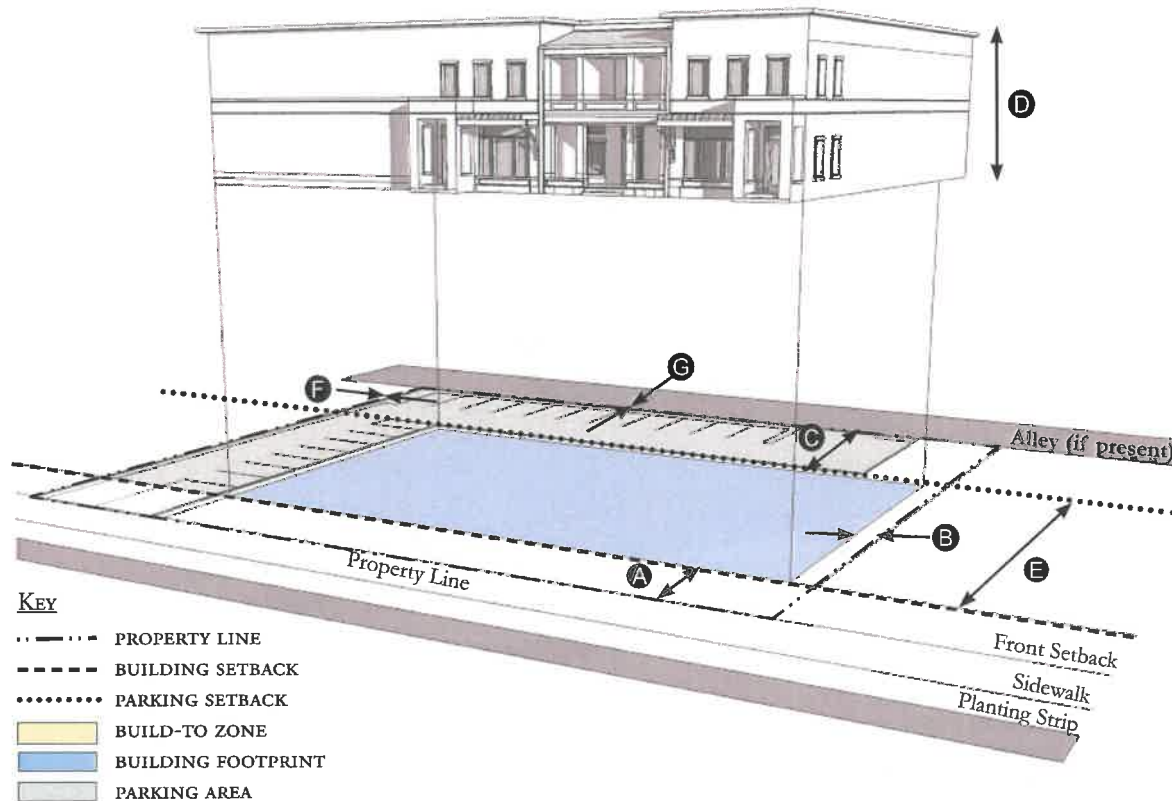
For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

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Building Type & Frontage Type Standards

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Figure PS-5.14 - Industrial Building



Building Placement, see 12.1.04.6

Frontage	Not Required	
Front Setback	20' min.	(A)
Side at Street Setback	5' min.	
Side at Property Line Setback ¹	5' min.	(B)
Rear Yard Setback	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	(D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	5' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Parking shall not be located between the building and the street.

Permitted Subdistricts, see 12.6.02

Waterfront Industrial

Description

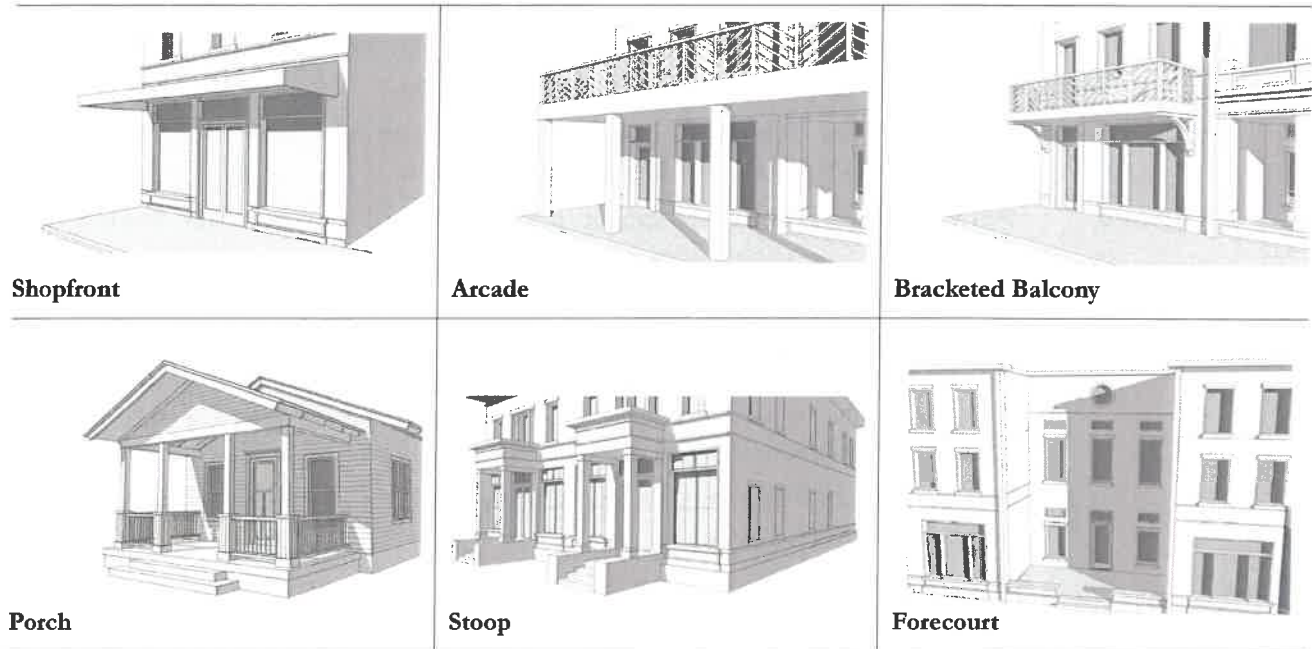
An Industrial Building will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking and loading shall be accommodated in Alleys or Secondary Streets whenever possible.

Notes

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

Figures PS-5.14 - Frontage Types Matrix



2. **Frontage Types.** Using one or more of the permitted frontage types indicated in Table PS-5.15 is required within the Core, General, Corridor and Waterfront Subdistricts. Standards for Frontages are found in Section 12.1.05. Frontage Types are encouraged in the Mobile Home, Multifamily, Detached 1, Detached 2, and Detached 3 Subdistrict, but are not required.

Table PS-5.15 - Permitted Frontage Types Matrix

Subdistrict	Shopfront	Arcade	Bracketed Balcony	Porch ¹	Stoop	Forecourt
Core	P	P	P	P	P	P
General	P	P	P	P	P	P
Corridor	P	P	P	P	P	P
Waterfront	P	P	P	P	P	P
Industrial	-	-	-	-	-	-
Mobile Home	-	-	-	-	-	-
Multifamily	-	-	-	-	-	-
Detached 1	-	-	-	-	-	-
Detached 2	-	-	-	-	-	-
Detached 3	-	-	-	-	-	-

Primary Streets shall include the required Principal Entrance & Frontage Type.

¹ For implementation in the PS Redevelopment Zoning District, Figure 12-7.04-Porch Frontage is modified such that the minimum depth of a porch shall be 5 feet and the maximum depth shall be 8 feet.



Section 12.6.06. Street Standards.

1. **Applicability.** Street Standards that apply in all Redevelopment Zoning Districts are provided in Section 12.1.06. The additional street standards which apply in the Port Salerno Redevelopment Zoning District are specified in this section.
2. **Street Regulating Plan.** A Street Regulating Plan is provided in Figure **PS-3**, Section 12.6.02. That Regulating Plan identifies the following features:
 - a. **Primary Streets** allow movement through as well as within the Port Salerno Redevelopment Zoning District.
 - b. **Secondary Streets** are local streets that supplement the primary streets to provide an interconnected street network that serves users of all ages and abilities and that fully integrates residential neighborhoods with shopping, employment, and civic features. The secondary street network is priority for street improvements within the neighborhood which should include sidewalks and landscape improvements.
 - c. **Recommended Future Streets** would become additional streets to complete a highly interconnected street network.
 - d. **Recommended Future Alleys** are not required but are strongly encouraged within the blocks created by the construction of proposed streets. Alleys may be designed and constructed as the alley type in Section 12.1.06.
3. **Future Streets.**
 - a. **Street Location.** The schematic location of proposed streets is shown on the Street Regulating Plan. The exact location may be adjusted during the development review process provided the new location meets these requirements:
 - i. The adjusted location does not reduce the level of connectivity with surrounding streets, both existing and proposed.
 - ii. The adjusted location does not reduce the level of street connectivity within the site or substantially increase the average block size.
 - iii. The adjusted location does not diminish or eliminate any proposed civic space, or civic building shown on the Regulating Plan.
 - iv. The adjusted location maintains or enhances pedestrian convenience and safety and does not create any traffic hazards.
 - b. **Street Types.** Proposed streets may be designed and constructed as any one of the following street types below defined in Section 12.1.06.
 - i. Local Street 1
 - ii. Local Street 2
 - iii. Local Street 3
 - iv. Local Street with Shared Use Path
 - v. Neighborhood Street 1



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- vi. Neighborhood Street 2
- vii. Yield Street

4. **Improvements To Existing Streets.** The planting of new shade trees shall be required for project approval and shall be coordinated with existing or future CRA and County streetscape improvements. As provided in Section 12.1.06, the County Engineer may allow deviations from these minimum standards when necessary due to the location of existing buildings, constrained right-of-way, or to meet other goals for the particular street section. The following streets are all identified as candidates for Complete Streets interventions in the *MPO Complete Street Access to Transit Study*.
 - a. **A-1-A/Dixie Highway.** A-1-A/Dixie Highway shall include the planting of trees with a minimum height of 12 feet, a four-foot clear trunk, and three-inch diameter at breast height (dbh) at the time of planting, planted at a maximum of 30-foot intervals. If palms are used, each palm must have a minimum 12-foot clear trunk planted at a maximum of 15-foot intervals. Every 200 feet shall be complemented with a bench and a garbage container set on a solid surface and accessible to the sidewalk. The landscape islands shall be sized appropriately to the maximum mature size of the tree. SE Dixie Highway in Port Salerno is identified as part of the East Coast Greenway in Florida.
 - b. **SE Salerno Road.** SE Salerno Road shall include the planting of trees with a minimum height of 12 feet, a four-foot clear trunk, and three-inch diameter at breast height (dbh) at the time of planting, planted at a maximum of 30-foot intervals. If palms are used, each palm must have a minimum 12-foot clear trunk planted at a maximum of 15-foot intervals. Every 200 feet shall be complemented with a bench and a garbage container set on a solid surface and accessible to the sidewalk. The landscape islands shall be sized appropriately to the maximum mature size of the tree.
 - c. **SE Cove Road.** SE Cove Road shall include the planting of trees with a minimum height of 12 feet, a four-foot clear trunk, and three-inch diameter at breast height (dbh) at the time of planting, planted at a maximum of 30-foot intervals. If palms are used, each palm must have a minimum 12-foot clear trunk planted at a maximum of 15-foot intervals. Every 200 feet shall be complemented with a bench and a garbage container set on a solid surface and accessible to the sidewalk. The landscape islands shall be sized appropriately to the maximum mature size of the tree.



Section 12.6.07. Parking Standards.

1. **Applicability.** Parking Standards found in Sections 4.621 through 4.628, Div. 14, Article 4, are modified for all Redevelopment Zoning Districts in Parking Standards Section 12.1.07. Those modified Parking Standards apply in the Port Salerno Redevelopment Zoning District except as specified otherwise in this section.
2. **Parking Rates.** Refer to Section 12.1.07 for parking rates applicable to Redevelopment Zoning Districts.
3. **Special Parking Alternatives for Redevelopment Centers (SPARC) program.** The SPARC program described in Section 12.1.07 is authorized within the Port Salerno CRA.
4. **Screening of Parking from Residential Uses.** There shall be an alley between parking areas and adjacent residential uses. Where an alley is not possible, there shall be a visual barrier between parking areas and residential uses. Refer to Landscaping Standards Section 12.6.09 Vehicular Use Areas.
5. **Parking Structures.** Whenever a parking structure or surface parking provided beneath a building is located on a Primary Street, as identified on the Street Regulating Plan, Section 12.6.02, ground level commercial space shall be provided for a depth of no less than 20 feet measured from the front of the building.
6. **Distributing Parking.** Where more than 200 parking spaces are provided on-site, such parking shall be distributed such that no more than 50 percent of the spaces are grouped in a single area of the parcel. Methods of distributing parking include locating parking adjacent to the rear or sides of a building or by physically separating parking areas with other buildings or landscaped areas.
7. **Shared Parking Lot.**
 - a. Shared parking lots must be located within 500 feet of each use. These lots may be separated from the use(s) by a street, easement, or other right-of-way.
 - b. In order to meet the parking requirements, parking shared by different uses must be supported by evidence that peak parking demands of each use occur at different times of the day or days of the week. Section 4.626.B.2, Div. 14, Article 4, Shared Parking provides the methodology to support shared parking. Mixed-use developments do not have to meet this standard.
8. For residential garages in the Port Salerno Redevelopment Zoning District, Section 12.1.07.8 and Figure 12-9.01-Single Family Dwelling-Front Loaded are modified as follows. The minimum Setback from the Front Façade for garages shall be 5' for garage doors measuring up to 16' in width and shall be 10' for garage doors exceeding 16' in width.
9. **Approved parking surfaces.**
 - a. Residential-only development shall provide parking on a paved surface.
 - b. Nonresidential development shall provide the required number of parking spaces on



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paved surfaces; however, any overflow parking may be provided on a stabilized grassed surface. Accessible spaces and access aisles shall meet the requirements set forth in the Americans with Disabilities Act.

- c. Existing parking surfaces shall comply with the requirements of this sub-section, no later than five years from the effective date of this Division.



Section 12.6.08. Stormwater Standards.

1. Stormwater management standards are provided in Sections 4.381 through 4.390, Div. 9, Article 4 and apply in Redevelopment Zoning Districts except as modified in Section 12.1.08.



Landscape Standards

12.6.09

Section 12.6.09. Landscape Standards.

1. Table **PS-9** identifies which of the landscaping, buffering, and tree protection standards in Div. 15, Article 4 apply in the Port Salerno Redevelopment Zoning District and which standards are modified, replaced, or do not apply in this Redevelopment Zoning District.

Table PS-9 - Landscaping, Buffering, and Tree Protection Standards

Div. 15, Article 4		In Port Salerno CRA
General Requirements		
4.661.A	Purpose and intent	Applies as written
4.661.B	Applicability	Does not apply
4.661.C	Glossary	Applies as written
Application Requirement		
4.662.A	Landscape Plan	Modified by 12.6.09.2
4.662.B	Irrigation Plans	Applies as written
Landscape Design Standards		
4.663.A	General requirements	
A.1	Required landscape area	Replaced by 12.6.09.3
A.2	Landscape area credits	Applies as written
A.3	Required tree planting	Modified by 12.6.09.4
A.4-5	Vehicular use areas	Modified by 12.6.09.6
A.6	Service areas	Modified by 12.6.09.7
A.7	Commercial buildings	Does not apply
4.663.B	Buffer-yard requirements	Does not apply
4.663.B.5	Buffer-yard requirements Adjoining Conservation Land	Applies as written
4.663.C	Add't req. for landscaping	Does not apply
4.663.D	Water efficient landscaping	Applies as written
4.663.E	Preserve area interface	Applies as written
Landscape Material Standards		
4.664	(All Subsections)	Applies as written
Maintenance of Required Landscaping		
4.665	(All Subsections)	Applies as written
Tree Protection		
4.666	(All Subsections)	Applies as written
Alternative Compliance		
4.667	(All Subsections)	Replaced by 12.1.13.3
Certificate of Compliance		
4.668	(All Subsections)	Applies as written



2. **Single family dwellings or duplexes.** Lots cannot be cleared without a clearing permit. Single-family dwellings and duplexes on existing lots shall plant one tree for each 3,000 sq. ft. of lot area. Such tree shall meet the standards in Section 4.664, landscape material standards. The maintenance requirements in Section 4.665 also shall apply. Construction of SFR and duplexes on existing lots is exempt from all other landscaping requirements.
3. **Required landscape area.**
 - a. Landscaping shall be permitted in easements only with the written permission of the easement holder. A written agreement shall specify the party responsible for restoring disturbed landscape areas, shall be submitted to the county in a form acceptable to the County Attorney, and shall be recorded in the public records.
 - b. Exposed dirt yards are prohibited.
4. **Required tree planting.**
 - a. Table **PS-10** indicates the minimum number of trees that must be planted.
 - b. Trees planted in adjacent right-of-way as indicated in Section 12.6.06, or in other nearby public space, shall be credited towards meeting the number of trees required by Table **PS-10**. Any private use of the public right-of-way requires the approval of the County Engineer, a right-of-way use permit, a construction agreement, and an indemnification agreement.
 - c. Trees planted in Vehicular Use Areas shall be credited towards meeting the number of trees required by Table **PS-10**
 - d. FPL's *Right Tree/Right Place Guidelines* shall be considered when trees are planted near utilities.

Table PS-10 - Required Tree Planting

Subdistrict	One Tree for this Amount of Total Site Area
Core	1,500 sf
General	1,500 sf
Corridor	1,500 sf
Waterfront	1,500 sf
Industrial	2,500 sf
Mobile Home	3,000 sf
Multifamily	3,000 sf
Detached 1	3,000 sf
Detached 2	3,000 sf
Detached 3	3,000 sf

5. **Landscape Plan.** Development applications shall include a landscape plan prepared by a qualified professional that provides the location and type of existing and proposed features that are identified in Table **PS-11**, which are summarized from the detailed requirements in Section 4.662.A, Div. 15, Article 4.
 - a. **Column A** requirements apply to an application for a final site plan.



Landscape Standards

12.6.09

Draft 07-07-2020

Table PS-11 - Landscape Plan Application Requirements

Div. 15, Article 4		In PS CRA	
		A	B
1	Property boundaries	Yes	Yes
2	Land use features	Yes	Yes ¹
3	Structures & paving	Yes	Yes ¹
4	Utilities	Yes	Yes
5	Vehicular use areas	Yes	Yes
6	Water bodies	Yes	Yes
7	Tree survey	Yes	Yes
8	Installation methods	Yes	Yes
9	Development areas	Yes	-
10	Ditches & swales	Yes	Yes
11	Tabular data	Yes	-

¹ On-site features only

- b. **Column B** requirements apply to an application for a building permit for a Small Site which is defined as the construction or expansion of a principal building or accessory structure on a lawfully established lot or adjacent lots, provided the parcel being developed is less than one-half acre.
- c. **Column B** requirements also apply to an application for a substantial improvement or substantial renovation of a building exterior on any lot regulated by Article 12, as those terms are defined in Section 4.871.B, Div. 20, Article 4.

6. Vehicular Use Areas.

- a. **Perimeter landscaping.** Landscaping shall be provided along the perimeter of all vehicular use areas, and also in accordance with the following standards:
 - i. The side of a vehicular use area fronting SE Salerno Road, SE Cove Road, or SE Dixie Highway shall be landscaped with a minimum width of 8 feet and planted with trees at 30-foot intervals. The trees shall be 12 feet in height, with a four-foot clear trunk, and four-inch caliper at the time of planting.
 - ii. The side of a vehicular use area abutting a residential property shall be planted with trees with a minimum height of 12 feet, four-foot clear trunk, and four-inch caliper, at 25-foot intervals in a landscape area that is at least eight feet wide. A five-foot wall or hedge shall also be provided. The trees, landscaped buffer and the wall, fence or hedge may be reduced or eliminated with the written consent of the owner of the residential property, which shall be recorded in the public records.
 - iii. Any side of a vehicular use area not included in paragraph (i) or (ii) shall be planted with trees minimum height of 12 feet, with a four-foot clear trunk, and two-inch dbh at 30-foot intervals.
 - iv. A wall, fence, or hedge shall be provided around all vehicular use areas.



Between the vehicular use area and a road right-of-way, the wall, fence, or hedge shall not exceed four feet in height. For the remainder of the lot, it shall be no more than six feet in height. Walls and landscaping around parking areas shall provide pedestrian access every 50 linear feet. No wall, fence, or hedge is required along the side of a parking area that abuts another parking area.

- b. Interior landscaping.** If a vehicular use area is larger than 15,000 square feet, landscaping shall be provided within its interior in accordance with Section 4.663.A.4, Div. 15, Article 4, except that these interior landscape areas may also be used as stormwater management and conveyance facilities. If a vehicular use area is equal to or smaller than 15,000 square feet, no interior landscaping, terminal islands, interior medians, or interior islands are required.
- 7. Service areas.** Service function areas including dumpsters, shall be screened in accordance with Section 4.663.A.6, Div. 15, Article 4, except that landscaping shall not be required around the perimeter of the screen, and an enclosure shall be a finished masonry wall. All nonconforming enclosures shall be brought into compliance no later than two years from the effective date of this Division.



Wall & Fence Standards

12.6.10

Section 12.6.10. Wall & Fence Standards.

1. Walls and fences must comply with the Wall and Fence Standards established for all Redevelopment Zoning Districts in Section 12.1.10.



Section 12.6.11. Sign Standards.

1. Signs must comply with the Sign Standards established for all Redevelopment Zoning Districts in Section 12.1.11 except where modified below.
2. **Wall signs.** Table **PS-12** supersedes the signage-area table in Section 4.700, Div. 16, Article 4.
3. **Banner signs.** Banner signs may be erected for a temporary period, not to exceed 30 days. If hung over a right-of-way, they must comply with all applicable FDOT and Martin County regulations.
4. **Freestanding signs.** Freestanding signs are not permitted.
5. **Murals.** Are permitted and defined in Art. 4, Div. 16.
6. **Types of signs permitted.** The list of permitted signs in Section 4.703, Div. 16, Article 4 is adjusted by adding the following type of sign:
 - a. **Sandwich or sidewalk signs** as defined in Section 4.693, Div. 16, Article 4, are permitted in the Core, Corridor and General Subdistricts, provided the signs do not exceed 6 square feet per face, do not unreasonably obstruct pedestrian or vehicular movement, and are moved off sidewalks or other public property by 9:00 PM daily.
7. **Lettering and logo size.** Table **PS-12** provides the maximum height of lettering and logos. Section 4.699, Div. 16, Article 4 establishes how the height of irregularly shaped features shall be measured.

Table PS-12 - Sign Size Limitations

Subdistrict	Percent of Building Face Area Allowable for Wall Signs	Maximum Size Per Wall Sign	Maximum Height of Lettering and Logos for All Signs
Core	12%	32-sf	24 inches
General	12%	32-sf	24 inches
Corridor	12%	32-sf	24 inches
Waterfront	12%	32-sf	24 inches
Industrial	12%	32-sf	24 inches
Mobile Home	-	-	-
Multifamily	-	-	-
Detached 1	-	-	-
Detached 2	-	-	-
Detached 3	-	-	-



Architectural Standards

12.6.12

Section 12.6.12. Architectural Standards. The following Architectural Standards are applicable within Port Salerno Redevelopment Zoning District

1. **Accessory Structures.** Materials for accessory structures shall be or have the appearance of materials from the primary structure.
2. **Historic Structures.** Structures identified as historically and architecturally contributing shall be candidates for historic protection as set forth in Div.13, Article 4.
3. **Heat Island Effect.** In order to reduce urban heat islands for both roofed and non-roofed areas, the following recommendations are provided for building and site design:
 - a. Non-roofed: Provide shade on at least 30% of non roof impervious surface on the site, including parking lots, walkways, plazas, etc.; or use light-colored/high-albedo materials (reflectance of at least .3) for 30% of the site's non-roofed impervious surfaces; or, use open grid pavement system.
 - b. Roofed: Use Energy Star roof-compliant, high-reflectance and high emissivity roofing or install a "green" (vegetated) roof for at least 50% of the roof area.
 - c. Parking Garage Roofs: Provide shade on at least 30% of any exposed parking on the roof.
4. All new development in the Port Salerno CRA shall adhere to one of the five architectural styles described in this section. Any substantial improvement of an existing structure or substantial renovation of a building exterior shall be consistent with the existing architectural style of the building, or one of the five architectural styles in this section.
 - a. General characteristics of Florida Vernacular Architectural Style.
 - i. Roofs of the primary structure are typically gabled with a slope between 6:12 and 12:12.
 - ii. Roofing materials consist of metal, standing seam or "V" crimp, asphaltic shingles or wooden shakes.
 - iii. Roof overhangs are typically deep, between two feet and four feet, and have exposed rafter tails. Fascia on the gabled ends are deeper than those exposed along the running eave edge.
 - iv. When attic spaces are desired, they are vented at the gable ends underneath the ridge and/or where the rafters meet the wall along the running eave edge.
 - v. Generally, the massing of Florida Wood Vernacular buildings is vertically proportioned and two stories. Where possible, roof rafters should be exposed to the interior to allow for greater interior volume on the second floor.
 - vi. The exterior finishes are almost always horizontal wood lap siding. The siding should have between four inches to six inches exposed to the weather and is terminated with vertical corner boards at the building's edges. Other siding materials such as wood-plank are acceptable.
 - vii. Doors and windows are vertically proportioned with wooden surrounds and sills. Horizontally-proportioned openings are made of a grouping of vertical windows. Windows are usually double hung with no light divisions in the top or bottom sash.



- viii.** Porches are ideal and in many cases wrap around the front façade and continue at some length along the side façade. The porch roof is supported by posts which are placed to create vertical or square openings between them. Porches in this genre are typically quite deep and occupy a large percentage, if not all, of the front, around floor elevation. The porch roof may be of a different slope than that of the primary building, however detailing and overhangs shall be consistent.
- ix.** The entire Florida Wood Vernacular building sits on a continuous, typically skirted, base. The base actually conceals a crawl space to allow for access and ventilation to the underside of the building.
- x.** Other architectural styles which could be considered in this genre include Victorian, “Carpenter Gothic,” Cracker, and Shingle styles.
- b.** General characteristics of Mediterranean Revival Architectural Style.
 - i.** Roofs of the primary structure can be hipped, gabled or a combination of both. Roof slopes are somewhat shallow and are generally sloped between 3:12 and 6:12.
 - ii.** Roofing materials consist of barrel tile, Spanish “S” tile, or flat concrete tile.
 - iii.** Roof overhangs can vary from being deep to having no overhang at all. When deep overhangs exist, they are typically supported by sizable wooden brackets. Roofs that do not overhang are usually treated with a molded cornice.
 - iv.** The Mediterranean Revival House is typified as ornate, asymmetrical and eclectic. It is not uncommon to have multiple levels, multiple interior and exterior spaces, and even multiple buildings. Building massing tends to irregular with a variety of shapes and heights; however, the appearance of solidity and permanence is critical.
 - v.** Exterior finishes are almost exclusively stucco and colored with great richness, variety and multiple methods of application.
 - vi.** Brackets, balconies, porches, shutters, and other elements are usually wood or iron.
 - vii.** The prolific use of arched openings or windows is also a prominent characteristic.
 - viii.** Windows and doors are of vertical and/or square proportions with the occasional round, oval or ornamental windows.
 - ix.** Openings for doors and windows are deep and cast deep shadows as well as give the impression of thickness and solidity.
 - x.** Windows usually have divided lights and are commonly double-hung, casement, or jalousie. Window and door surrounds, when they exist, are made of stucco or stone.
 - xi.** The attached porch is a common element, as are balconies and courtyards. Loggias (porches not attached but located within the volume of the building)



Architectural Standards

12.6.12

are very common and may even serve as outside circulation between rooms.

- xii. Columns, posts, wooden and masonry balustrades, brackets and various ornamentation are all very common elements within this genre. Columns may be rounded, twisted, or detailed as squared masonry piers. Although all of these elements are compatible, it is the delicate composition of a few of them that creates the successful Mediterranean Revival house.

- xiii. Variations of this style include Mission or Santa Fe.

c. General characteristics of Anglo Caribbean Architectural Style.

- i. The Anglo-Caribbean house is a hybrid of Wood Vernacular and Spanish or Mediterranean detailing and materials.
- ii. Roofs of the Anglo Caribbean house are made of wood or asphalt shingles, metal or slate. Roof slopes are between 4:12 and 8:12 and are typically hip roofs.
- iii. Roof overhangs are typically quite deep with exposed rafter tails and thin eaves. Often the overhang will kick out from the beam at a shallower roof slope to give the appearance of a canted roof. This allows for a steeper roof slope and a deeper overhang without covering too much of the elevation with roof. Brackets can be used at the overhang but are not used as extensively as with the Florida Bungalow house.
- iv. Masonry or stone is used on the ground floor while wood framing and siding are used on the second floor. The façade compositions are typically symmetrical with long covered balconies and porches. Ground level masonry columns or piers support second level wooden posts.
- v. Exterior finishes are almost exclusively lower level stucco and upper level siding. Colors tend to be subtle with an emphasis on natural materials and earth tones. There is extensive use of balconies supported by brackets, two story porches, Louvered openings and shutters. Detailing and ornamentation is very simple in its usage.
- vi. Windows and doors are of vertical and/or square proportions. Openings for doors and windows are deep and cast deep shadows as well as give the impression of thickness and solidity. Windows can have divided lights, single lights and may borrow light configurations from the Florida Bungalow or Craftsman languages. Windows are most commonly double hung or casement. Window and door surrounds, when they exist, are made of stucco, stone or wood.
- vii. The front porch is a common element and typically supports a second story balcony and is thereby under the primary roof. Loggias, like in Mediterranean Revival, can be found on either the first or second story. Porches are augmented by second floor balconies.
- viii. Columns, posts, wooden and masonry balustrades, and brackets are all very common elements within this architecture. Columns are either smooth and



round, or can be detailed as square masonry piers. The most prominent feature of the Anglo-Caribbean house is the clear distinction between the first and second floors; between the massive and the delicate, between masonry and wood.

- d. General characteristics of Florida Bungalow Architectural Style.
 - i. The Florida Bungalow house, like the Mediterranean Revival, is eclectic in its origins and detailing. Generally, the house is one or one-and-a-half stories tall and maintains a low profile. It is typically moderate in size yet delivers a prominent street presence with its porches and detailing.
 - ii. Roofs of the Bungalow are predominantly gabled with shallow slopes of 3:12 to 6:12. Roofing materials are mostly asphalt shingles; although metal is appropriate.
 - iii. Deep overhangs are characteristic as well as exposed rafter tails and support joinery. Typically at a gable's end there are substantial wooden brackets.
 - iv. Exterior finishes shall be primarily wood and masonry. Although stucco is a common wall finish, variations of wood siding and shingles give the bungalow its true craftsman aesthetic. Masonry and stone are used extensively for a building's base, steps, and the pedestal for porch columns. Wooden brackets, railings, balustrades, and tapered columns are very common elements.
 - v. Windows and doors are square or vertically proportioned and are almost exclusively double-hung. In character with the Craftsman or Prairie style, windows will typically have multiple vertically divided lights. Many times the top sash alone will be divided with the bottom sash remaining whole. Window and door surrounds are wood and can be quite elaborate.
 - vi. Front porches are a very important element in the Bungalow composition. In addition to their usefulness as an important neighborhood device, the front porch provides an opportunity to articulate and ornament an otherwise straightforward box. The porch, when it is the full width of the house, can share the roof of the primary structure. When under the primary roof, typically shed or "sleepy" dormers are provided to add light into the roof space. This condition occurs when the ridge of the roof is running parallel to the street.
 - vii. The Florida bungalow house sits on a continuous stone or masonry base which becomes an integral and defining element throughout the façades. Rarely are rounded columns used. Tapered wooden posts or masonry piers are the most common vertical support members.
 - viii. Variations of this style include Prairie, Craftsman, or "Stick" style.



Architectural Standards

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- e. General characteristics of Art Deco Architectural Style.
 - i. The term Art Deco describes early 20th Century modern design. During the decades following World War I, came the Art Deco architectural style. The buildings are characterized by flat roofs, smooth stucco walls, and distinctly modern look. They are highly ornamented, especially around entrances, windows, and along roof lines, and use the abstract, angular or floral ornament taken from the 1925 Paris Exposition des Arts Decoratifs et Industriels Modernes. Art Deco buildings during the Great depression, a second art deco period, usually have very little ornamentation and have a very flat, machine-like look. Hallmarks of this period include rounded corners, banded stripes, porthole windows and lots of glass brick.

Article 12

Redevelopment Code

*Land Development Regulations for
Community Redevelopment Areas
within Martin County, Florida*

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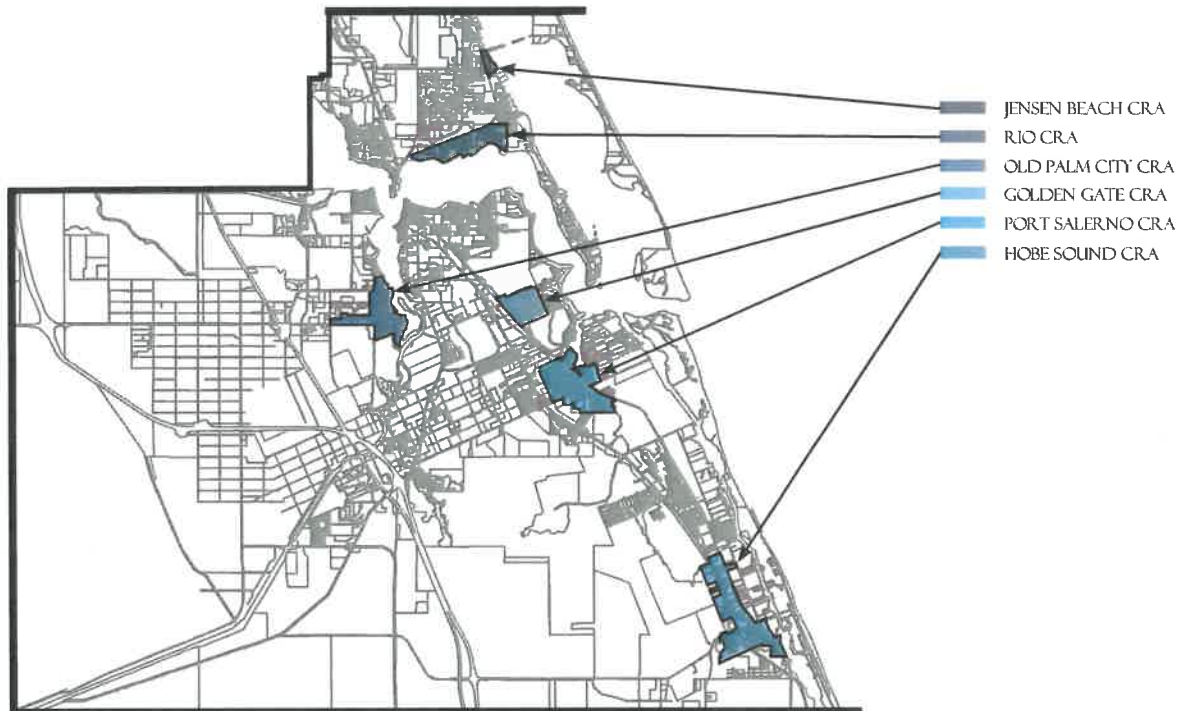
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Section 12.1.01. Purpose & Intent. The Redevelopment Code provides zoning procedures to implement Comprehensive Growth Management Plan policies by providing opportunities for traditional neighborhood design and mixed residential and commercial uses in redeveloping areas. The Redevelopment Code shall be adopted only for Community Redevelopment Areas (CRA) that have been formally designated by Martin County in accordance with the Comprehensive Growth Management Plan.

Section 12.1.01.A. Content of the Redevelopment Code. Each CRA shall have its own Redevelopment Zoning District. Article 12 provides Redevelopment Code and Redevelopment Zoning Districts for each of the following CRA, as shown in Figure 12-1:

1. Jensen Beach CRA Division 2
2. Rio CRA Division 3 (reserved)
3. Old Palm City CRA Division 4 (reserved)
4. Hobe Sound CRA Division 5 (reserved)
5. Port Salerno CRA Division 6 (reserved)
6. Golden Gate CRA Division 7 (reserved)

Figure 12-1 - Martin County Community Redevelopment Areas





Purpose & Intent

12.1.01

Section 12.1.01.B. Adoption and modification of the Redevelopment Code. The adoption or modification of the Redevelopment Code and Redevelopment Zoning Districts and the assignment of land to a Redevelopment Zoning District and Subdistrict shall be by an ordinance amending the Land Development Regulations. When such ordinance assigns land to a Redevelopment Zoning District and Subdistrict, public notice shall be the same as for development applications and for amendments to the Martin County zoning atlas as set forth in Article 10.

Section 12.1.01.C. Comprehensive Plan. All development in a CRA shall comply with the Martin County Comprehensive Growth Management Plan (CGMP). In the case of conflict between Chapter 18, Community Redevelopment, CGMP and the LDR or the General Ordinances, Chapter 18 shall control.

Section 12.1.01.D. Function of the Redevelopment Code; consistency with other regulations. Development under the Redevelopment Code shall comply with all requirements of the Martin County Land Development Regulations (LDR) and General Ordinances. In the case of conflict between Article 12, LDR and other provisions of the LDR or the General Ordinances, Article 12 shall control.

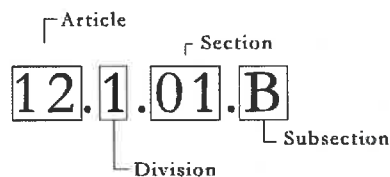
Section 12.1.01.E. Form-based code. The Redevelopment Code is a form-based code, land development regulations that foster predictable built results and a high-quality public realm by using physical form (rather than full separation of uses) as the code's primary organizing principle.

Section 12.1.01.F. Subdistricts. The land in each Redevelopment Zoning District is controlled by a Regulating Plan. The Regulating Plan may identify the following Subdistricts:

1. The **Core** Subdistrict is intended to be a pedestrian-oriented center for surrounding neighborhoods and the entire CRA. These are centers of dining, shopping, housing, and entertainment, with shaded sidewalks, large windows, intimate pedestrian spaces, outdoor dining, and richly detailed building facades. A broad mix of uses is encouraged in the Core Subdistrict.
2. The **Corridor** Subdistrict is intended to extend the pedestrian-oriented building types, frontages, and streetscapes along a major roadway.
3. The **General** Subdistrict offers a wide variety of housing, civic spaces, and pedestrian-oriented businesses. The General Subdistrict also fosters a mix of uses but is more residential in scale and character.
4. The **Waterfront** Subdistrict is defined by marinas and working waterfronts. In some Redevelopment Zoning Districts, it may also promote a mixed-use waterfront environment with restaurants, entertainment, resort and residential uses.
5. The **Industrial** Subdistrict identifies areas where industrial uses are permitted and encouraged.
6. The **Multifamily** Subdistrict allows for denser and more varied residential buildings.
7. The **Detached** Subdistrict is predominantly single-family homes with front yards and walkable sidewalks.
8. The **Mobile Home** Subdistrict identifies where mobile homes are permitted.

Section 12.1.01.G. How to use Article 12.

1. Review the standards in Division 1, which apply to all Redevelopment Zoning Districts.
2. Division 2 through Division 7 establish standards specific to each Redevelopment Zoning District(s). Review the Division applicable to the specific site.
3. Locate the site on the Regulating Plan. The Regulating Plan identifies the Subdistrict of each site in the Redevelopment Zoning District, the existing street network, the lot pattern, and additional regulatory information pertaining to that Redevelopment Zoning District.
4. Determine Permitted Uses for the Subdistrict.
5. Determine applicable Development Standards for the Subdistrict including lot size, density, and height.
6. Determine the permitted Building Types for the Subdistrict and development standards that correspond to those types.
7. Review applicable Stormwater Standards, Parking Standards, Wall and Fence Standards, Sign Standards, Architectural Standards and other standards that may be specific to the Redevelopment Zoning District and the Subdistrict.
8. Organization of Article 12 numbering.





Regulating Plan

12.1.02

Section 12.1.02. Regulating Plan

1. **Purpose.** A Regulating Plan is adopted for each Redevelopment Zoning District. The Regulating Plan illustrates zoning Subdistricts and provide detail about the existing and desired character of individual streets, blocks, and civic spaces. Certain standards in Redevelopment Zoning Districts are keyed to specific features shown on the Regulating Plan to manage the form and scale of buildings and their relationship with other buildings and the public realm.
2. **Content.** Regulating Plans contain regulatory information including the following:
 - a. **Boundary.** Boundary of the Redevelopment Zoning District.
 - b. **Subdistricts.** All land in a Redevelopment Zoning District is assigned to a Subdistrict that provides regulations for the characteristics and location of that land. Subdistricts are designated on the regulating plans.
 - c. **Primary and Secondary Streets and Alleys.** Primary Streets are intended to develop over time as pedestrian environments and, as such, are held to higher standards regarding building placement, building frontage, and the location of parking and service uses. Streets not designated as Primary Streets are Secondary Streets. Secondary Streets can accommodate service functions and vehicular-oriented development needs, including parking, loading, and drive-through facilities. Alleys are important assets in the Redevelopment Zoning Districts, performing many functions within small rights-of-way.
 - d. **Required Commercial Frontage.** Portions of Primary Streets within Redevelopment Zoning Districts are intended to support businesses, civic uses, and reinforce local character. These streets are designated as Required Commercial Frontage and are held to stricter standards regarding allowable frontage types and uses located within sidewalk level stories. Required Commercial Frontage shall be non-residential and open to the public at the ground level. Frontages shall be shopfront and arcades. Required Commercial Frontage shall be provided for a depth of no less than 20 feet measured from the front of the building.
 - e. **Recommended Future Street and Alley Connections.** Potential future connections may also be illustrated on Regulating Plans. Future connections are desired new vehicular or pedestrian connections to existing streets or alleys that will improve the overall transportation network. Future connections are not precise alignments or specific locations. The final street designations, exact alignment, location, maintenance responsibility and dedication of these intended links of the transportation network will be determined during the development review and approval process.
 - f. **Marine Service Areas.** Marine Service Areas cannot be converted to permanent housing unless the marine service uses can be replaced on the same parcel or another parcel not already designated a Marine Service Area. See CGMP Policy 4.13A.8(4).

Section 12.1.03. Permitted Uses.

1. Table **12-2** below identifies potential uses of land included in “use groups” with similar impacts. Each use group contains one or more of the uses described in Article 3 (see definitions in Div. 1, Article 3, standards for specific uses in Div. 3, Article 3). Each Redevelopment Zoning District contains a table describing which use groups are permitted.
2. All uses listed in Table **12-2** are not permitted in every Redevelopment Zoning District or Subdistrict.
3. The Growth Management Director may approve uses other than those listed in the Permitted Use Tables upon a finding that the use is functionally similar to the permitted uses and that the use is not likely to generate harmful impacts or create incompatibilities with other uses in the area. Prior to the decision, the Growth Management Director may request a recommendation from the Neighborhood Advisory Committee for that Redevelopment Zoning District. The Growth Management Director shall keep a record of all such determinations.
4. **Accessory Dwelling Units.** Standards for accessory dwelling units are provided with Development Standards Section 12.1.04.

Table 12-2 - Permitted Uses in Each Use Group

Residential Use Groups	Residential Uses in this Use Group
Accessory dwelling units	Accessory dwelling units, as accessory use
Mobile homes	Mobile homes Single-family detached dwellings
Other dwelling types	Apartment hotels Multifamily dwellings Single-family detached dwellings, if established prior to the effective date of this ordinance Townhouse dwellings
Single-family dwellings	Single-family detached dwellings Duplex dwellings Modular homes Family day care, as accessory use
Bed and breakfast inns	Bed and breakfast inns
Agricultural Use Groups	Agricultural Uses
Urban Farming	Urban Agriculture Agrihood Farmer's Market, limited to open air markets and quarter acre fixed sites

Table 12-2 - Permitted Uses in Each Use Group Continued

Commercial & Business Use Groups	Commercial & Business Uses in this Use Group
Business & professional offices	Business & professional offices
Construction services, limited impact	Construction industry trades Trades & skilled services
Construction services, extensive impact	Construction sales & service
Convenience store with fuel	Convenience store with fuel
Drive-through facility	Drive-through facility, excluding restaurants with drive-through facilities
Drive-through restaurant	Drive-through restaurant
Hotels, motels, resorts & spas	Hotels, motels, resorts & spas
Marinas	Marinas, commercial Marine fuel sales Marine power sales, service and repair Watercraft sales, rentals, and charters Marine education & research
Medical offices	Medical services Veterinary medical services
Parking lots & garages	Parking lots & garages
Restaurants	Restaurants, convenience without drive-through facilities Restaurants, general
Retail & services, limited impact	Ancillary retail use Artisan, art studio, galleries Health and fitness club Limited retail sales & services
Retail & services, general impact	Commercial amusements, indoor Commercial day care Financial institutions Funeral homes General retail sales & services Residential storage facilities Theater, indoor
Retail & services, extensive impact	Commercial amusements, outdoor Flea markets Golf courses Golf driving ranges Plant nurseries & landscape services Kennels, commercial Shooting ranges, indoor Theater, outdoor
Recreational vehicle parks	Recreational vehicle parks
Vehicular service & maintenance	Vehicular service & maintenance
Wholesale trades & services	Wholesale trades & services
Working waterfront	Working waterfront Boat yards

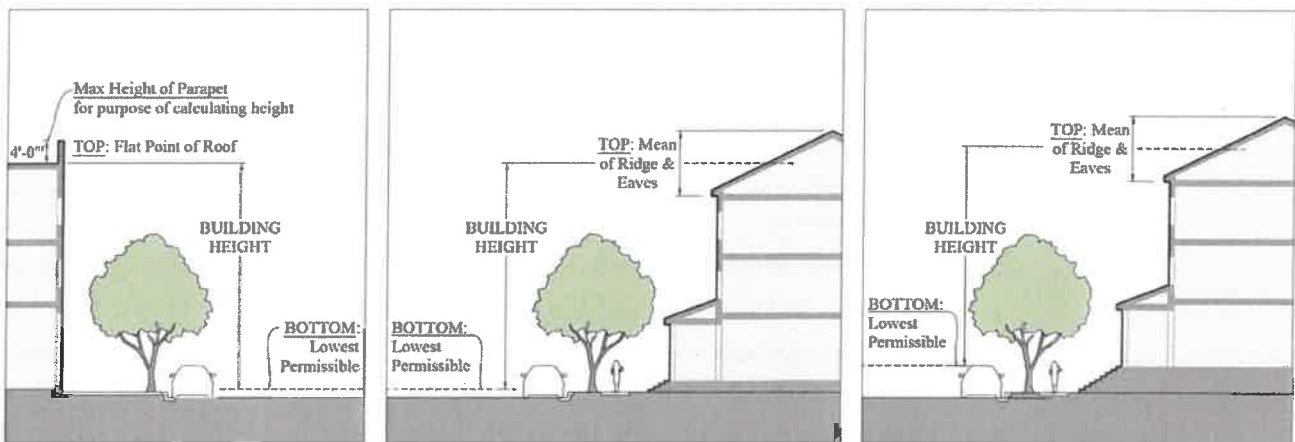
Table 12-2 - Permitted Uses in Each Use Group Continued

Public & Institutional Use Groups	Public & Institutional Uses in this Use Group
Institutional uses, limited impact	Administrative services, not-for-profit Community centers Cultural or civic uses Neighborhood assisted residences with six or fewer residents Neighborhood boat launch Places of worship Post offices Protective & emergency services Public libraries Public parks and recreation areas, passive Residential care facilities, where such use was lawfully established prior to the effective date of this ordinance
Institutional uses, general impact	Educational institutions Public parks & recreation areas, active Residential care facilities Recycling drop-off centers Utilities
Industrial Use Groups	Industrial Uses in this Use Group
Limited impact industries	Limited impact industries
Extensive impact industries	Extensive impact industries

Section 12.1.04. Development Standards. Development Standards are established for all Redevelopment Zoning Districts. The following provisions apply in all Redevelopment Zoning Districts, except as they may be modified in a particular district:

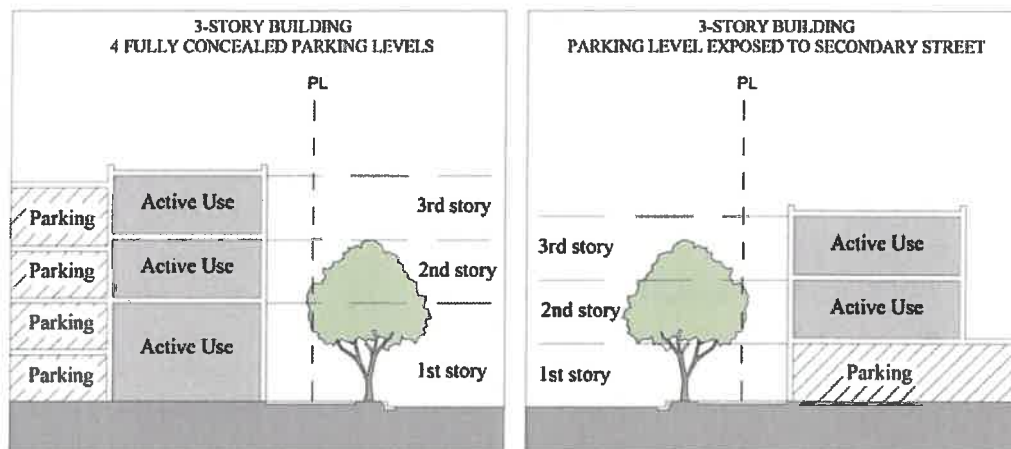
1. **Lot Size.** Lot width shall be measured pursuant to Section 3.15.B, Div. 2, Article 3. Section 3.15.C, Div. 2, Article 3 provides exceptions to minimum lot size requirements.
2. **Height.** Height is measured in accordance with Section 3.14, Div. 2, Article 3. Height exceptions are described in Section 3.14.B, Div. 2, Article 3. See Figure 12-3 for illustration. In case of a conflict between illustrations and text, Section 3.14, Div. 2, Article 3 controls.

Figure 12-3 - Building Height Diagrams



- a. Where maximum building heights are established in stories, all levels devoted to parking are considered as individual stories except when screened by a liner building with active use provided for a depth of no less than 20 feet measured from the front of the building. See Figure 12-4 for illustration. Under all circumstances the 40' and 4-story height limit shall not be exceeded.

Figure 12-4 - Parking Screened by Uses



- b. Minimum ceiling heights are provided for certain Building Types in individual Redevelopment Zoning Districts. Ceiling height is measured from finished floor to finished ceiling.



3. **Density.** The permitted densities shall be gross residential densities and the gross land area of which this density is applied is described as follows. These densities shall be applied to contiguous land areas under common ownership, with the following provisions and exceptions:
 - a. In cases where land abuts the waters of the Atlantic Ocean, St. Lucie River, Indian River, Loxahatchee River, Intracoastal Waterway, Lake Okeechobee or any tributary or manmade canal, the boundary of the land shall be delineated as established by State Statutes.
 - b. No submerged land areas waterward of the boundary described above shall be included under this definition.
 - c. No land areas proposed to be allocated to nonresidential uses shall be included under this definition except for contiguous land areas for:
 - i. Utilities under common ownership and principally supporting the residential use;
 - ii. Recreational facilities for the primary use of on-site residents;
 - iii. Dedication to the County or other County-approved agencies or notfor-profit corporations;
 - iv. In mixed-use projects in the six designated CRAs as described in Chapter 18.
 - v. The MUV future land use designation, as described in Policy 4.13A.15.
 - d. Maximum gross density is defined as maximum allowable units divided by gross land areas.
 - e. For development proposed for previously platted lots in a CRA and subject to calculation of gross residential density, the property owner may opt to include within the gross land area one-half of any right-of-way adjoining the development site.
 - f. **Small Dwelling Units.** When the lot is one acre or less, dwelling units of 800 square feet or less shall count as one-half a dwelling unit.
 - g. **Small Dwelling Units in Affordable Housing.** When the lot is larger than one acre, dwelling units of 800 square feet or less shall count as one-half a dwelling unit if at least 50 percent of the units qualify as affordable housing, as defined in the CGMP.
4. **Building Coverage.** Building coverage means the horizontal area measured from the building footprint of the roofed area at the ground floor of the principal and accessory structures on a lot.
5. **Open Space.** The open space requirements shall apply on a lot-by-lot basis unless the lot has been approved as part of a final site plan which demonstrates compliance on a project-wide basis, for example, by way of setting aside common areas such as upland and wetland preserve areas and other eligible open spaces.
6. **Building and Parking Placement.**
 - a. **Frontage.** Frontage is the percentage of the total width of a lot minus the required setbacks which is required to be occupied by the primary façade of a building. Building Frontage requirements are established for each Building Type.
 - i. The primary façade shall be generally parallel to the right-of-way, located in accordance with the minimum and maximum front setbacks of the Subdistrict or permitted Building Type.
 - ii. The location of the primary façade is not changed by the projection of



Development Standards

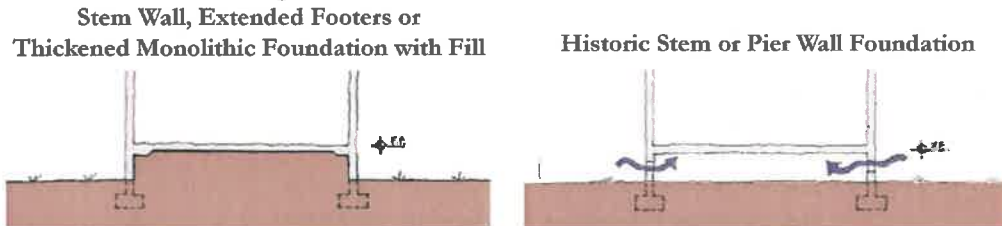
12.1.04

architectural elements such as cornices, bay windows, awnings, porches, balconies, stoops, or arcades.

- iii. On corner lots, the primary façade shall extend to the corner or provide civic open space.
- b. **Setbacks.** Setbacks are measured from the property line and are illustrated in the Building Types for each Redevelopment Zoning District.
- 7. **Accessory Uses and Structures.** Accessory uses and structures shall be governed by Section 3.201, Div. 4, Article 3 except as provided in this Section 12.1.04.08.
- 8. **Accessory Dwelling Units.**
 - a. One accessory dwelling unit may be permitted on a lot which a single-family dwelling is located.
 - b. Accessory dwelling units shall not count as a separate unit for purposes of calculating density.
 - c. Accessory dwelling units may be the second floor of a garage, a freestanding cottage, or physically attached to the principal dwelling.
 - d. Accessory dwelling unit shall not exceed a footprint of 850 square feet, and shall not have more than one-half the square footage of the primary dwelling.
 - e. Accessory dwelling units may have separate utility meters or share utilities with the principal dwelling, as required or permitted by the utility provider.
 - f. An accessory dwelling shall not be sold or conveyed separately from the principal dwelling unit.
- 9. **Garages, Sheds and similar structures.** Refer to Parking Standards Section 12.1.07.8 for Garage placement standards. Outbuildings, including sheds and similar structures, shall be located as permitted within the Building Type Standards of the Redevelopment Zoning District.
- 10. **Shielding from Street.** Garages, sheds, exposed pumps or electrical meters, air conditioning compressors or projecting air conditioning window units, clothes lines for clothes drying, antennas and satellite dishes, and similar structures and uses shall not be located between the front of a building and a street.
- 11. **Gates and Guardhouses.** Private gated communities are not permitted within the Redevelopment Zoning Districts. Gates and guardhouses may not be installed on public or private streets or alleys in Redevelopment Zoning Districts. This prohibition does not preclude gates that control access to a single parking lot.
- 12. **Building Length.** Buildings may not be longer than 200 feet without a street, alley, or paseo providing through access to another street, alley or paseo. Paseos shall be a minimum of 15 feet wide, open to the public, open to the sky, and illuminated at night. The building face shall have transparent windows covering at least 50% of the wall area. The incorporation of storefront standards is encouraged.
- 13. **Foundation Types.** Where buildings are required to be raised above existing or natural grade, a foundation type as shown in Figure 12-5 or a similar foundation type shall be provided. A slab on grade foundation on raised fill is not a permitted means of raising structures within the Redevelopment Zoning Districts.

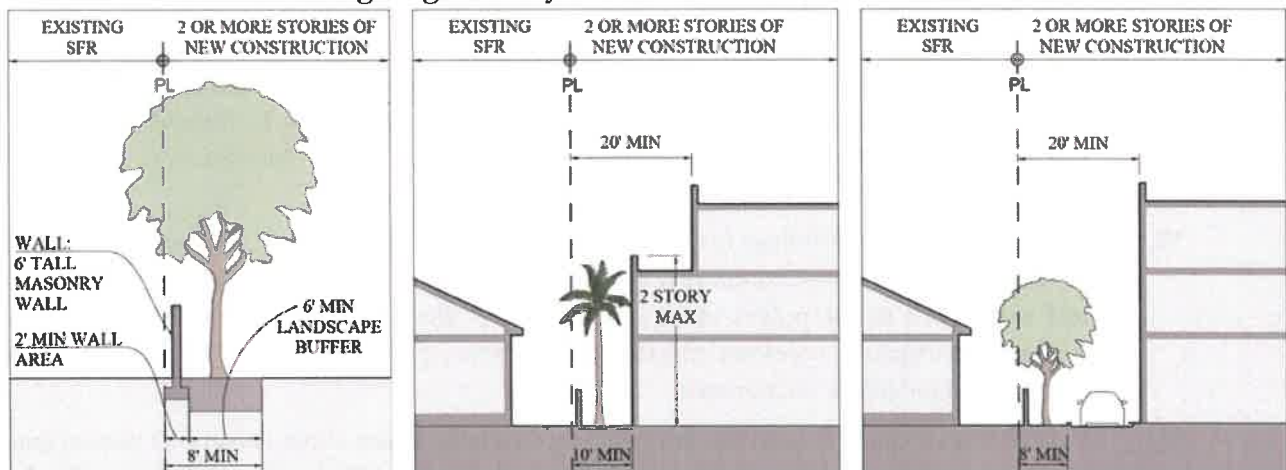
14. **Residential Development.** When residential use is proposed on the first floor of a building, elevation of the first floor at least twenty-four inches above the finished grade as measured along the front building line is required.

Figure 12-5 - Acceptable Foundation Types



15. **Building Transitions.** Where commercial, multifamily, or mixed-use construction along the rear or side yard of a property directly abuts a residential Subdistrict or an existing single family home with less than thirty feet (30') separation, such as a street, alley, railroad, waterway, park, right-of-way, or other public open space between them; the following shall apply:
- For buildings or portions of buildings two stories or less in height, a minimum side and rear setback of 10 feet from the property line shall be provided, unless a greater setback is required by another standard.
 - A minimum side and rear building setback of 20 feet shall be provided from the property line for the portion of the building that is over two stories in height.
 - A solid finished masonry wall six feet in height shall be located within 2 feet of the inside and adjacent to the portion of the property line which directly abuts the residential property followed by a minimum of a 6 foot planting strip with a hedge or tree. Walkways and other pedestrian or bicycle connections through the wall shall provide links encouraged by the CGMP to promote necessary or desirable connectivity between properties.

Figure 12-6 - Building Transition Requirements between Existing Single Family Residential and New Construction



16. **Substantial Improvement.** A substantial improvement is defined in Section 8.1, Article 8. Refer to Section 12.1.12 Applicability for Nonconforming uses, structures and lots as well as alternative compliance.



Building Type & Frontage Type Standards

12.1.05

Section 12.1.05. Building Types & Frontage Types.

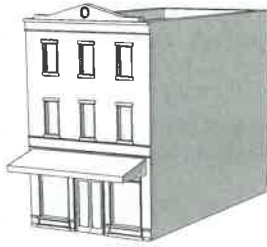
1. **Building Types** are required in Redevelopment Zoning Districts. Building Types do not prescribe use or architectural style. The following Building Types shall be incorporated or modified for use in Redevelopment Zoning Districts:
 - a. A **Shopfront Building** has ground-floor space immediately adjoining the sidewalk that can accommodate business uses with doors and large windows facing the sidewalk.
 - b. A **Mixed-Use Building** has multiple tenants or occupancies and may contain residences, lodging and/or businesses to the extent permitted in the Subdistrict. Mixed-use buildings may have a storefront frontage on the ground floor.
 - c. An **Office Building** has a one or more commercial tenants, occupancies, or businesses. An office building may have a storefront frontage on the ground floor.
 - d. An **Apartment Building** contains multiple residences above or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. Off-street parking is provided to the side or rear.
 - e. A **Courtyard Building** accommodates multiple dwellings or businesses arranged around and fronting on a central green that may be partially or wholly open to the street.
 - f. A **Townhouse** is a building with common walls on one or both sides and often has a private garden to the rear. Service and parking access are from the rear.
 - g. A **Live/Work Building** consists of commercial and residential uses. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activities or industry.
 - h. A **Side Yard House** is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard house types.
 - i. A **Cottage** is a detached building with a small front yard often located on a narrow lot. Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.
 - j. A **Cottage Court** is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas. Parking can be accommodated on-street and in a parking lot to the rear.
 - k. A **Duplex** is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.
 - l. An **All Yard House** has yards on all sides and may contain accessory structures toward the rear.
 - m. An **Outbuilding** is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. Outbuildings may include a garage, shed, workshop, or an accessory dwelling unit.
 - n. An **Industrial Building** will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking and loading shall be accommodated in Alleys or Secondary Streets whenever possible.

Building Type & Frontage Type Standards

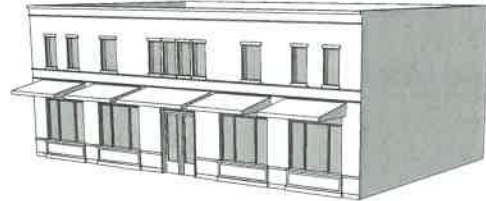
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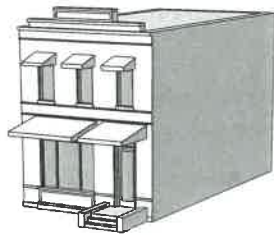
Figure 12-7 - Building Types Matrix



Shopfront Building



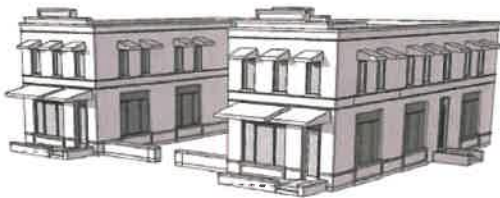
Mixed-Use Building



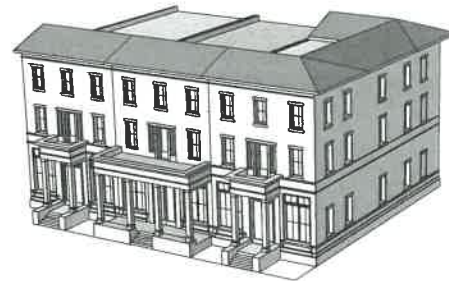
Office Building



Apartment Building



Courtyard Building



Townhouse Building

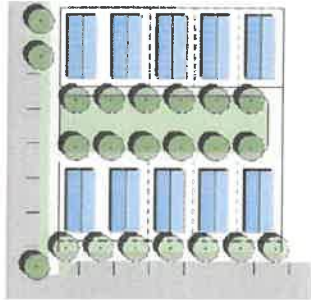



Live/Work Building



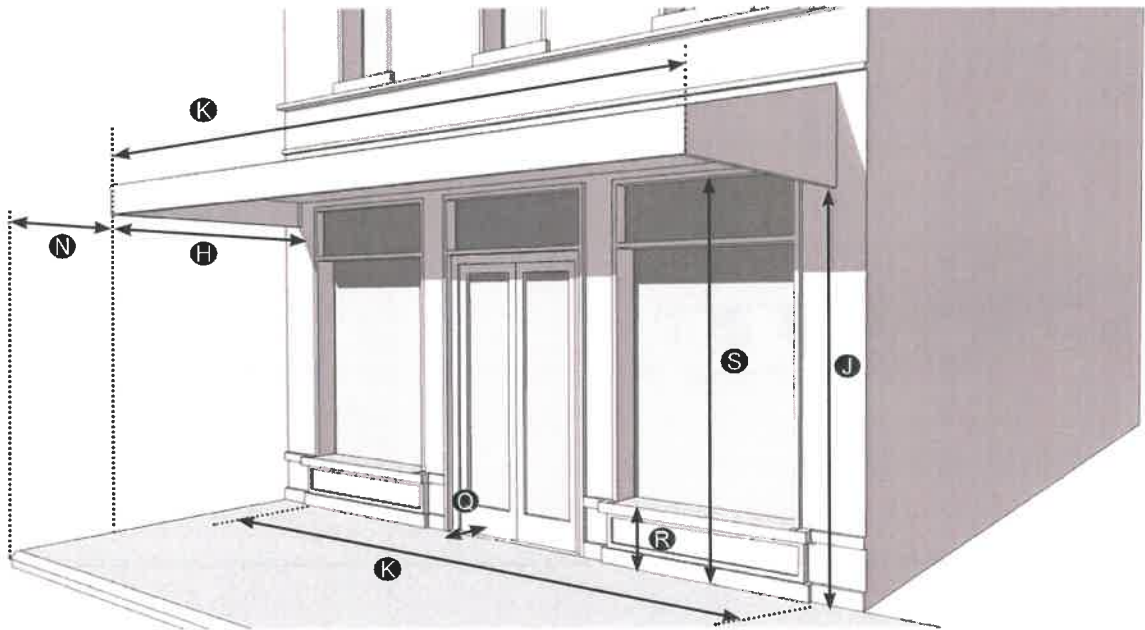
Side Yard House

Figure 12-7 - Continued Building Types Matrix

 <p>Duplex</p>	 <p>Cottage</p>
 <p>All Yard House</p>	 <p>Cottage Court</p>
 <p>Outbuilding</p>	 <p>Industrial Building</p>

2. **Frontage Types.** Building Frontage Types are required in certain Redevelopment Zoning Districts. The following frontage types as described further in Figures 12-7.01-12-7.06 may be incorporated or modified for use in Redevelopment Zoning Districts:
 - a. A **Storefront** frontage
 - b. An **Arcade** or gallery frontage
 - c. A **Bracketed Balcony** frontage
 - d. A **Porch** frontage
 - e. A **Stoop** frontage
 - f. A **Forecourt** frontage

Figure 12-7.01 - Storefront Frontage



Description

The storefront is a frontage type along the sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.

Dimensions

Width, length of facade	70% min.	K
Door recess	10 feet max.	Q
Storefront base	1 foot min. / 3 feet max.	R
Glazing height	8 feet min.	S
Awning		
Depth	3 feet min.	H
Height, ground level clear	8 feet min.	J
Width, length of facade	70% min.	K
Set back from curb	2 feet min.	N



Figure 12-7.02 - Arcade Frontage



Description

An arcade is a covered, unglazed, linear hallway attached to the front of a building, supported by columns or pillars. The arcade extends into the public right-of-way, over the streetscape area, creating a shaded environment ideal for pedestrians. This frontage type is typically associated with commercial uses. Arcades shall remain open to the public at all times. In the case where an arcade encroaches into the public right-of-way, a right-of-way maintenance agreement may be required.

Dimensions

Depth, clear	8 feet min.	(H)
Height, ground level clear	10 feet min.	(J)
Width, length of facade	70% min.	(K)
Finish level above sidewalk	Not applicable	(M)
Height, stories	2 stories max.	(N)
Set back from curb	2 feet min. / 4 feet max.	



Figure 12-7.03 - Bracketed Balcony Frontage



Description

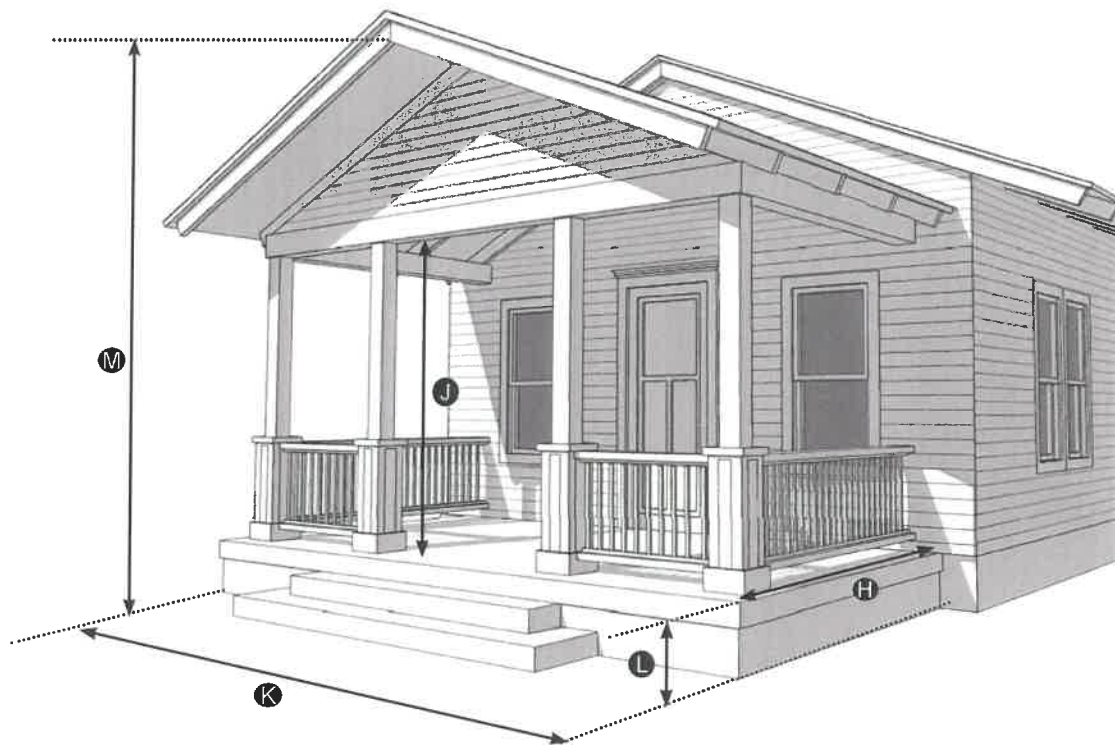
A bracketed balcony is a second-story balcony, located over the main building entry, which provides cover for a person entering or exiting the building, emphasizes the entryway, and creates a semi-public space overlooking the street. Bracketed balconies are typically associated with buildings with commercial uses in the ground story; however, bracketed balconies may be used with residential uses if combined with a stoop.

Dimensions

Depth	5 feet max.	H
Height, ground level clear	10 feet min.	J
Width	4 feet min.	K
Finish level above sidewalk	Not applicable	
Height, stories	Not applicable	
Set back from curb	Not applicable	



Figure 12-7.04 - Porch Frontage



Description

A porch is an open-air structure attached to a building forming a covered entrance large enough for comfortable use as an outdoor room. All porches shall cover at least 40% of the width of the facade the porch enfronts, including any garage. Front porches may be screened.

Dimensions

Depth	8 feet min.	(H)
Height, ground level clear	8 feet min.	(J)
Width, length of facade	40% min.	(K)
Finish level above sidewalk	2 feet min.	(L)
Height, stories	2 stories max.	(M)
Set back from curb	Not applicable	



Figure 12-7.05 - Stoop Frontage



Description

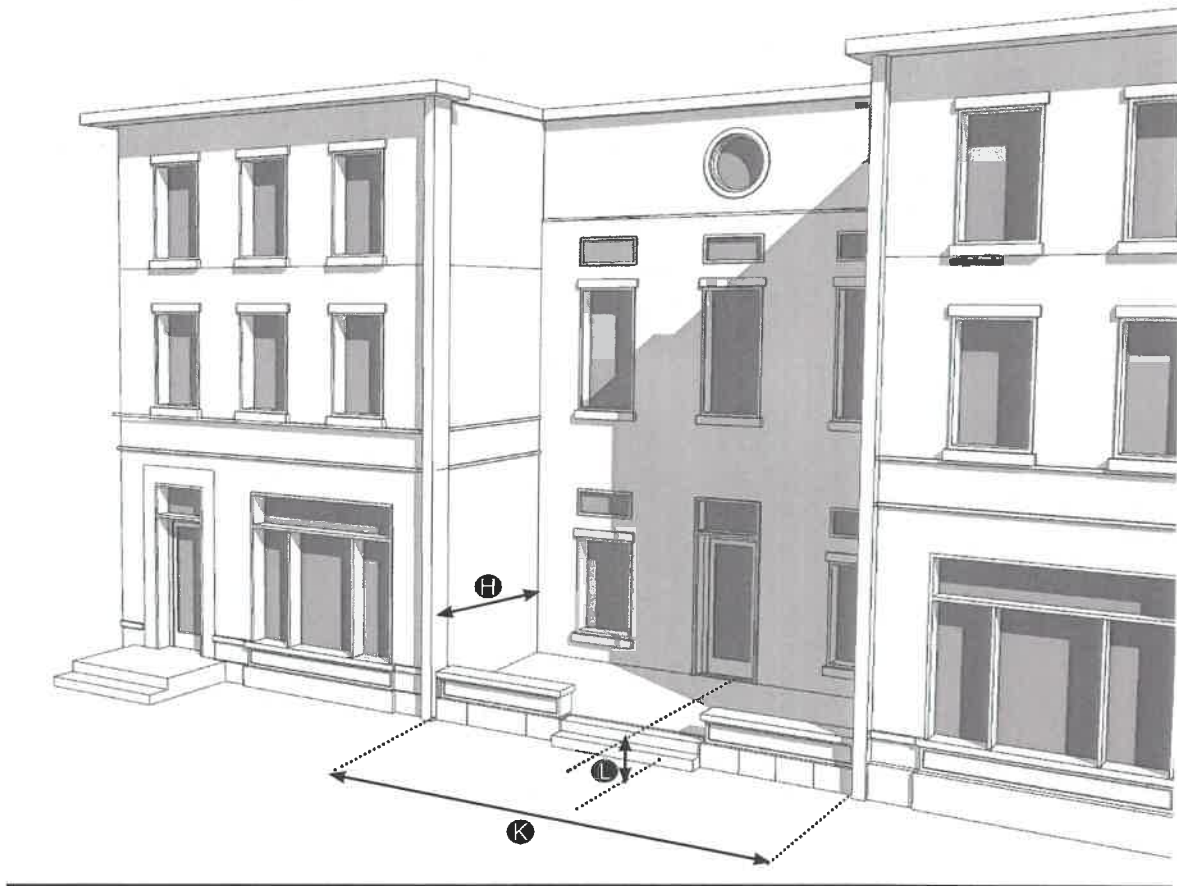
A stoop is a small staircase leading to the entrance of a building that may be covered. The elevation of the stoop is necessary to ensure privacy for residential uses in the ground story of buildings. Stoops should provide sufficient space for a person to comfortably pause before entering or after exiting the building.

Dimensions

Depth	5 feet min.	H
Height, ground level clear	8 feet min.	J
Width, clear	4 feet min.	K
Finish level above sidewalk	2 feet min.	L
Height, stories	1 story max.	M
Set back from curb	Not applicable	



Figure 12-7.06 - Forecourt Frontage

**Description**

A forecourt is an open area in front of the main building entrance(s) designed as a small garden or plaza. Low walls or balustrades no higher than three feet six inches in height when solid may enclose the forecourt. Forecourt walls are constructed of similar material as the principal building or are composed of a continuous, maintained hedge. A forecourt may afford access to one or more first floor residential dwelling units or incorporate storefronts for commercial uses. Forecourts are typically associated with multifamily, mixed-use, and commercial buildings.

Dimensions

Depth, clear	20 feet max.	H
Height, ground level clear	Not required	
Width, length of facade	12 feet min. / 50% of facade max.	K
Finish level above sidewalk	2 feet min.	L



Building Type & Frontage Type Standards

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Figure 12-7.07 - Possible Examples of Accessible Routes for Raised Ground Levels



Description

The Florida Building Code contains technical requirements for accessibility for sites, facilities, buildings and elements by individuals with disabilities which may include code requirements for the access into a building. The images above depict possible solutions for buildings when raised above the natural or existing grade. Refer to the latest version of Florida Building Code for the specific requirements and standards of the code. See Figure 12-7.07 for images of examples.



Street Standards

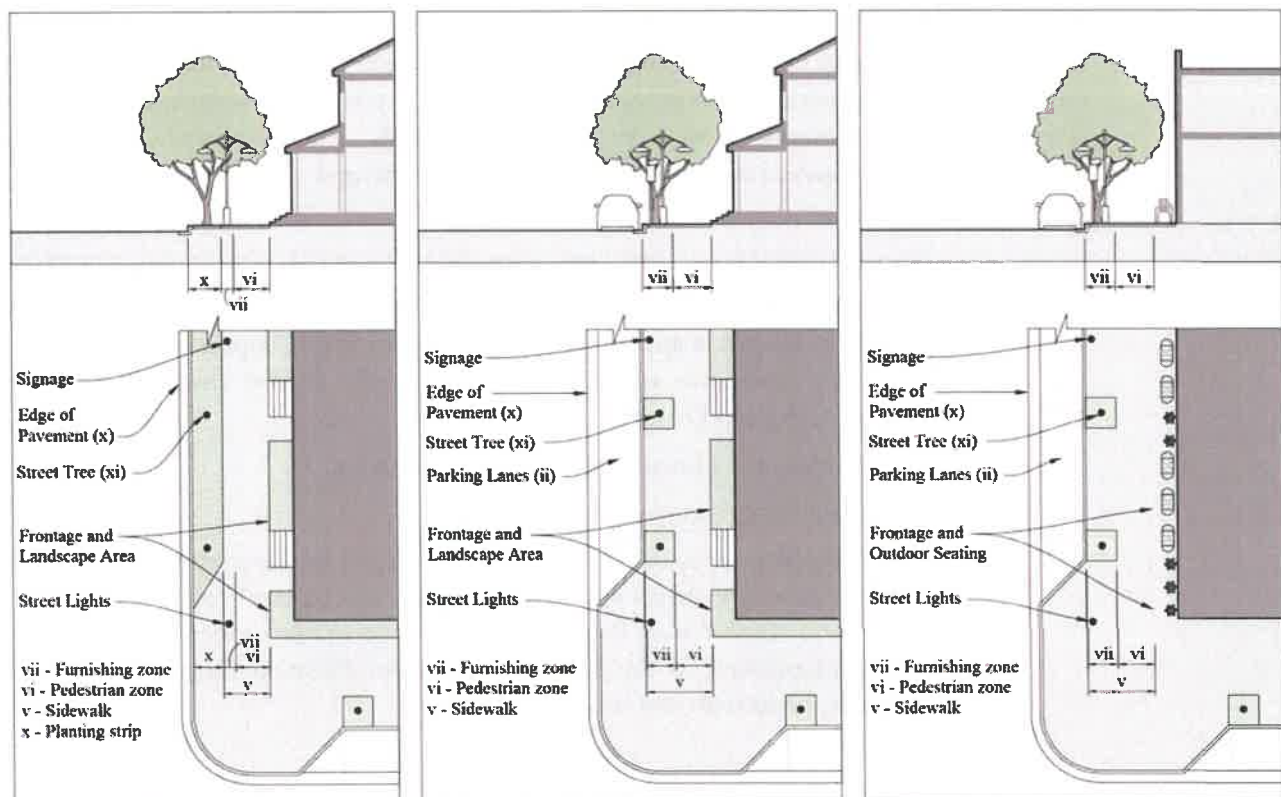
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Section 12.1.06. Street Standards.

1. **Intent.** The intent of this section is to provide flexibility for the design of traditional neighborhood streets and to achieve the transportation, environmental, aesthetic, economic, safety, and maintenance objectives for each street and neighborhood. These streets expand options for vehicular, pedestrian, and bicycle access through an integrated network of narrow streets that incorporates traffic calming and often allows on-street parking.
2. **Street Layout Principles.** All development and public improvements within Redevelopment Zoning Districts shall incorporate the following street layout principles:
 - a. Street layout shall exhibit a high degree of overall connectivity, with allowances for topographic or wetlands conditions.
 - b. Cul-de-sacs are strongly discouraged, but may be used where physical barriers preclude street connectivity.
 - c. Oversized blocks shall be avoided so that neighborhoods can be traversed easily.
 - d. Shade trees shall be planted between the sidewalk and vehicles.
 - e. Wherever possible, provisions shall be made for on-street parking.
3. **Description of Street Types.** Table 12-8 describes street types that are appropriate for Redevelopment Zoning Districts. Figures 12-1.8.01 through 12-1.8.17 are illustrative examples of the street types.
4. **New Streets.** New streets or alleys or the extension of an existing street or alley, the street types in Table 12-8 and illustrated in Figures 12-1.8.01 through 12-1.8.17 shall be considered.
5. **Existing Streets.** Within a Redevelopment Zoning District, the street design standards of Section 12.1.06 should be incorporated into the construction or reconstruction of streets to the greatest extent possible, taking into account existing conditions including right-of-way constraints that may require adjustments to these standards. The abandonment of existing streets or paved or unpaved rights-of-way is strongly discouraged.
6. **Specific Standards.**
 - a. **Street Design Standards.** The standards for street designs are provided in Figures 12-1.8.01 through 12-1.8.17. Where particular elements are not required, they are not prohibited if its design is appropriate to the context and is approved by the County Engineer. The illustrative street designs address the desired street elements in a Redevelopment Zoning District:
 - i. **Travel lanes** – primarily for vehicular circulation
 - ii. **Parking lanes** – on-street parking
 - iii. **Bike facility** – may be the shared use of a travel lane or a separate bicycle lane; bicycle lanes are always required if included among the "Top 20 Priorities" of the latest *Martin County Bicycle and Pedestrian Action Plan* or identified as a project recommendation in the latest Metropolitan Planning Organization (MPO) bicycle, pedestrian and trails master plan

- iv. **Pavement width** – width of pavement from edge of pavement or curb which is dedicated for vehicular travel, but could include bike lanes. Where appropriate, pavement may include pervious areas to manage stormwater
- v. **Sidewalk** – A sidewalk shall be at least six feet (6') wide and be provided on both sides of all the streetscapes
- vi. **Pedestrian zone** – A pedestrian zone is free of any street furnishings or utilities and allows the clear passage of pedestrians. A six feet (6') wide pedestrian zone is preferred. Any portion of the pedestrian zone within the front setback area shall be improved as an extension of the public sidewalk and shall match the public sidewalk in design and material, providing a seamless physical transition
- vii. **Furnishing zone** – paved area adjacent to the sidewalk for street furniture, tree wells, and extra sidewalk width
- viii. **Median** – vegetated area between travel lanes of opposing direction (required only where indicated) Medians, when present, should be used to integrate stormwater management
- ix. **Edge of pavement** – curb and gutter may be required
- x. **Planting strip or planting area** – vegetated area between a sidewalk and vehicles. Planting strips are encouraged to integrate stormwater management
- xi. **Street trees** – required type and placement of street trees

Figure 12-8 - Streetscapes Diagrams



Street Standards

12.1.06

- b. **Deviation from Street Design Standards.**
 - i. The County Engineer after consulting with the Office of Community Development may allow deviations from the standards contained in Figures **12-1.8.01** through **12-1.8.17** when necessary due to the location of existing buildings, constrained right-of-way, or to meet other community needs or goals for the particular street segment. Such deviations may include, but are not limited to, the width of a furnishings zone, sidewalk, median, or bike facility that is greater or less than that provided in Figures **12-1.8.01** through **12-1.8.17**.
 - ii. These street design standards may also be modified by provisions specific to a particular Redevelopment Zoning District.
 - c. **Block standards.** Blocks created by new streets shall not exceed 660 feet on any side of the block. New block perimeters shall not exceed 2,000 feet.
 - d. **Gates and guardhouses.** Private gated communities are not permitted within the Redevelopment Zoning Districts. Gates and guardhouses may not be installed on public or private streets or alleys in Redevelopment Zoning Districts. This prohibition does not preclude gates that control access to a single parking lot.
 - e. **Stormwater and landscape.** The recommended filtration strategies from the *Stormwater Design Toolkit* (Martin County CRA, January 2012) shall be used whenever feasible. Green infrastructure stormwater best practices, such as pervious paving, bioretention systems, rain gardens, bioswales, and stormwater planters, are encouraged to slow and treat stormwater runoff while providing additional community benefits.
7. **Conflicting standards.**
- a. The standards contained in the following sub-sections of Section 4.843, Div. 19, Article 4 do not apply to streets designed in conformity with Article 12:
 - i. Section 4.843.B (Right-of-way requirements),
 - ii. Section 4.843.C. (Lane and buffer widths), and
 - iii. Section 4.843.E. (Radius at street intersections).
 - b. Section 4.627, Div. 14, Article 4 Parking and Loading, does not apply to streets designed in conformity with Section 12.1.06.

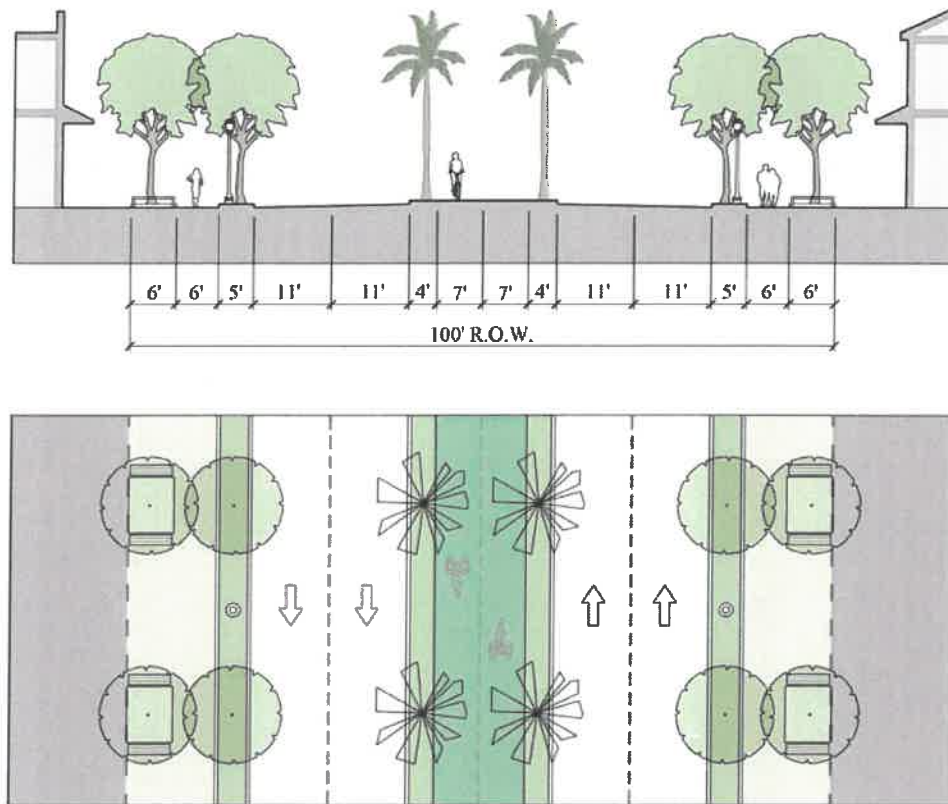
Table 12-8 - Description of Street Types

Street Type	Description	Preferred ROW (ft)
Boulevard 1	A street with four travel lanes and a center median with a two way cycle track.	100
Boulevard 2	A street with four travel lanes and a center median which allows for a turning lane where needed and a raised bike lane on each side of the street.	100
Avenue 1	A street with four travel lanes, a center median, buffered bike lanes and on-street parking.	100
Avenue 2	A street with two travel lanes, a center median, buffered bike lanes and on-street parking.	90
Avenue 3	A street with two travel lanes, a center median, raised bike lanes or multi-use path and on-street parking.	90
Main Street 1	A street with two travel lanes and a center median. A wide sidewalk accommodates a large pedestrian zone and furnishing zone or a multi-use path.	80
Main Street 2	A street with two travel lanes, buffered bike lanes and on-street parking.	80
Main Street 3	A street with two travel lanes, a center median, buffered bike lanes and on-street parking. Buildings are setback from the right-of-way.	80
Main Street 4	A street with two travel lanes, a center median, and raised bike lanes.	80
Local Street 1	A local street with two travel lanes, a center turn lane, and buffered bike lanes.	70
Local Street 2	A local street with two travel lanes, on-street parking, and wide pedestrian and furnishing zone.	70
Local Street 3	A local street with on-street parking, street trees, and sidewalks on both sides.	60
Local Street with Shared Use Path	A local street with two travel lanes, and a wide pedestrian and furnishing zone on one side and a shared use path on the other side of the roadway.	50
Neighborhood 1	A local street with on-street parking, street trees, and sidewalks on both sides.	50
Neighborhood 2	A local street with on-street parking on one side of the roadway, street trees, and sidewalks on both sides.	50
Yield Street	A narrow local street that slows vehicular travel with on-street parking, street trees, and sidewalks on both sides.	44
Alley	A roadway which provides a secondary means of access to abutting properties, and not intended for general traffic circulation.	15

Street Standards

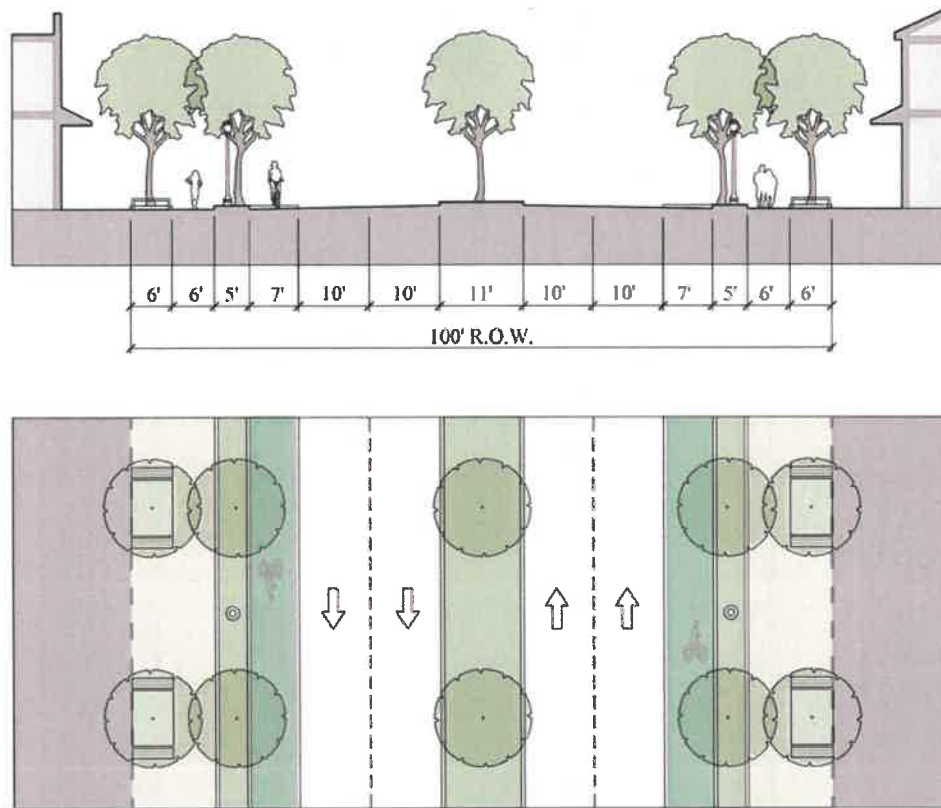
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Figure 12-8.01 - Boulevard 1



Type	Boulevard 1
Traffic Lanes	11 feet
Parking Lanes	Not required
Bike Facility	2-way cycle track 7 feet each lane
Preferred R.O.W.	100 feet
Pavement Width	22 feet and 22 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet
Furnishing Zone	6 feet
Median	22 feet with cycle track
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.02 - Boulevard 2

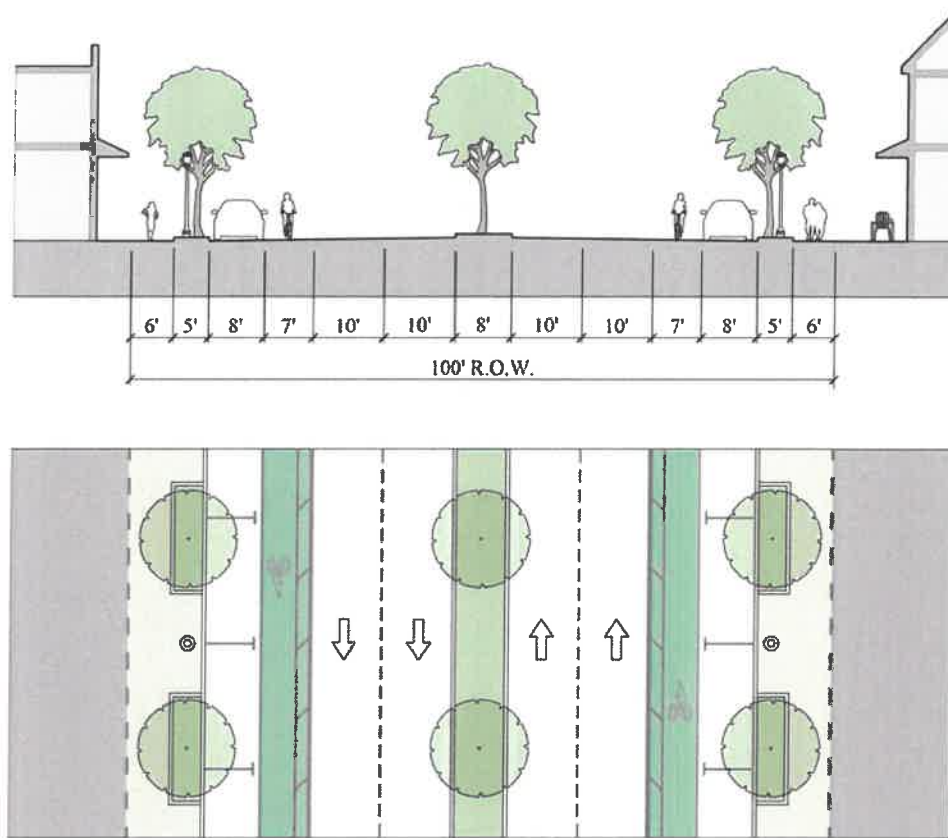


Type	Boulevard 2
Traffic Lanes	10 feet
Parking Lanes	Not required
Bike Facility	7 feet raised bike lane
Preferred R.O.W.	100 feet
Pavement Width	20 feet and 20 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet
Furnishing Zone	6 feet
Median	12 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Street Standards

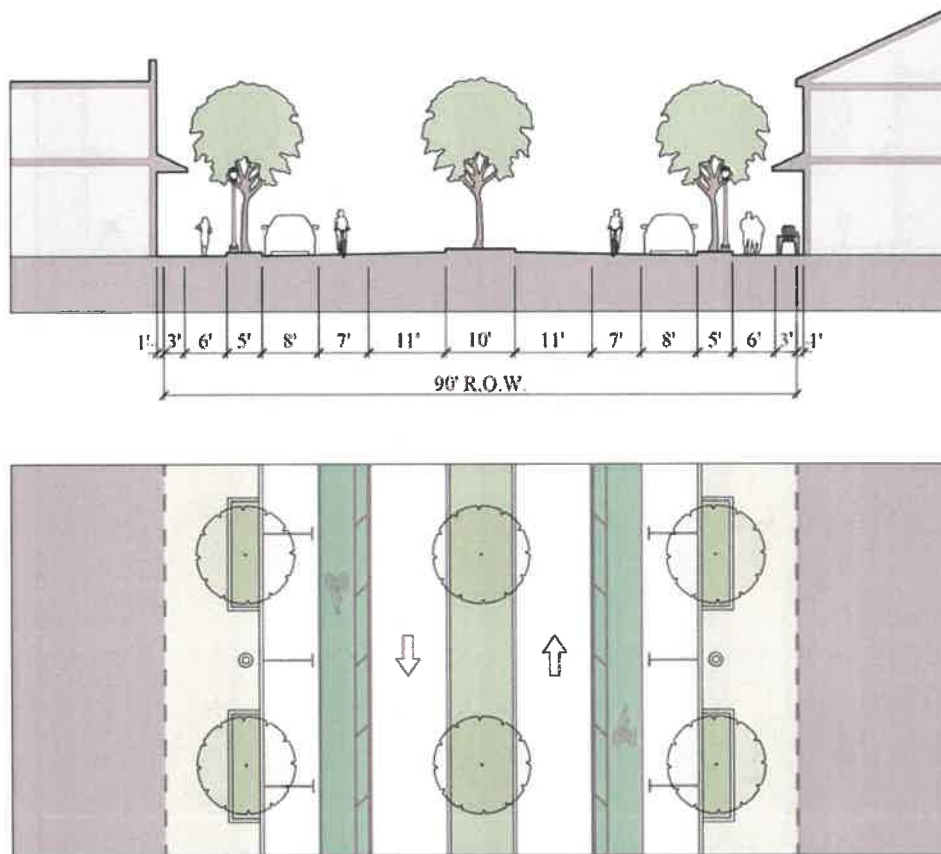
12.1.06

Figure 12-8.03 - Avenue Street 1



Type	Avenue 1
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	100 feet
Pavement Width	35 feet and 35 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	8 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.04 - Avenue Street 2

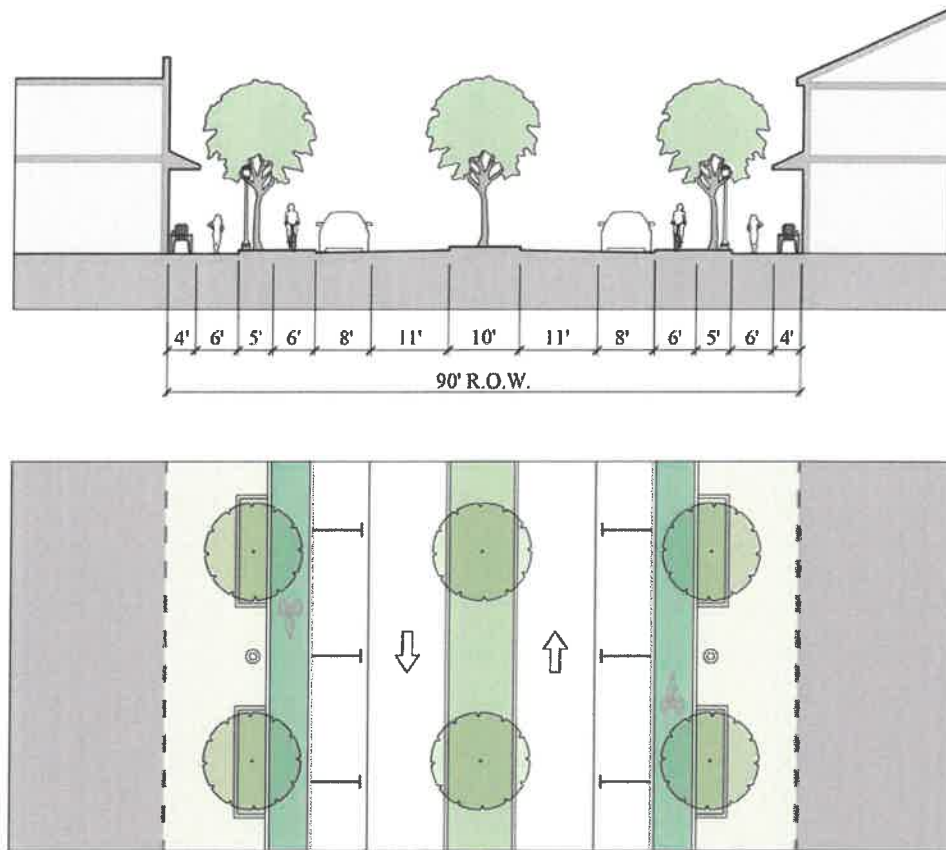


Type	Avenue 2
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	90 feet
Pavement Width	26 feet and 26 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Street Standards

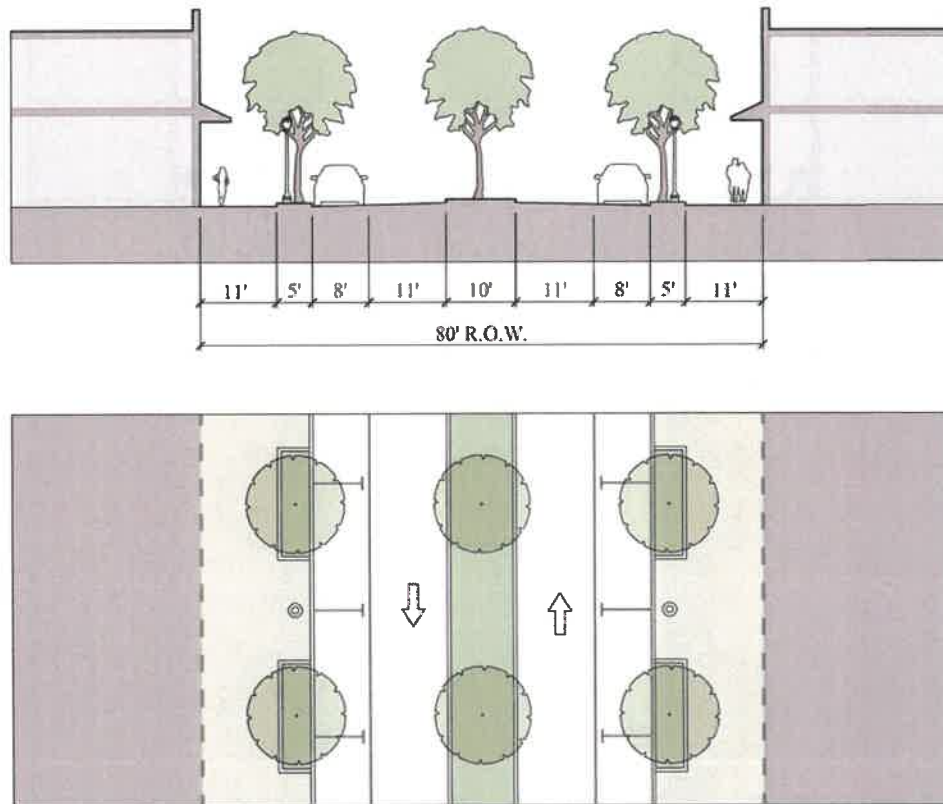
12.1.06

Figure 12-8.05 - Avenue Street 3



Type	Avenue 3
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	6 feet raised bike lane
Preferred R.O.W.	90 feet
Pavement Width	19 feet and 19 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.06 - Main Street 1



Type	Main Street 1
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	Shared lane
Preferred R.O.W.	80 feet
Pavement Width	19 feet and 19 feet
Sidewalk	16 feet
Pedestrian Zone	11 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center