



Inst. # 2844340
Bk: 3166 Pg: 1434 Pages: 1 of 1
Recorded on: 10/19/2020 9:25 AM Doc: GOV
Carolyn Timmann
Clerk of the Circuit Court & Comptroller
Martin County, FL
Rec Fees: \$10.00

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**BEFORE THE BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA**

RESOLUTION NO. 20-9.58

WHEREAS, Martin County needs a Utility Easement from Jensen Cap Investments, LLC, a Florida limited liability company, to allow a water and sewer service and the maintenance of certain utility facilities on the east side Savannah Road; and

WHEREAS, by document entitled "Utility Easement" executed on August 26, 2020, grants to Martin County a perpetual Utility Easement; and

WHEREAS, Sec. 139.31 and 139.32, General Ordinances, Martin County Code require that any conveyance of an interest in land to Martin County for any public purpose shall be accepted and approved by resolution by the Board of County Commissioners of Martin County.

NOW, THEREFORE, BE IT RESOLVED BY THE MARTIN COUNTY BOARD OF COUNTY COMMISSIONERS, THAT:

Martin County hereby accepts and approves the Utility Easement conveyed by Jensen Cap Investments, LLC, a Florida limited liability company.

DULY PASSED AND ADOPTED THIS 29TH DAY OF SEPTEMBER, 2020.

ATTEST:

CAROLYN TIMMANN, CLERK OF THE
CIRCUIT COURT AND COMPTROLLER

BOARD OF COUNTY COMMISSIONERS
MARTIN COUNTY, FLORIDA

HAROLD E. JENKINS II, CHAIRMAN

APPROVED AS TO FORM & LEGAL SUFFICIENCY:

SARAH W. WOODS, COUNTY ATTORNEY



This instrument prepared by:
Brigitte Wantz for
Martin County
2401 SE Monterey Road
Stuart, FL 34996

Project Name: The Reserve (fka Savanna Apt.)
Project No: RPM #3476
PCN: 27-37-41-007-000-00161-0

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UTILITY EASEMENT

THIS EASEMENT granted and executed this 26 day of August, 2020, by JENSEN CAP INVESTMENTS, LLC, a Florida limited liability company, whose mailing address is 105 Foulk Road, Wilmington, DE 19803, Grantor, to MARTIN COUNTY, a political subdivision of the State of Florida, whose address is 2401 SE Monterey Road, Stuart, Florida 34996, Grantee.

(Wherever used herein the terms "Grantor" and "Grantee" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, that the Grantor, for and in consideration of the sum of \$1.00 and other good and valuable considerations, in hand paid by the Grantee, the receipt and sufficiency whereof is hereby acknowledged, does hereby grant unto the Grantee forever, an easement for the construction, reconstruction, replacement, operation, maintenance, and repair of utility related equipment, including, but not limited to lift stations, pumps, pipelines, fences, structures, and powerline hookups, if required, in, under, over, across, and through the following described land, situate, lying and being in the County of Martin, State of Florida, to-wit:

See Exhibit "A" attached hereto and made a part hereof.

The Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good and lawful authority to grant and convey this easement; that Grantor fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever and that there are no mortgages encumbering the Easement Premises.

The Grantor agrees that it will not alter or obstruct or allow the alteration or obstruction of the Easement Premises in any way without the express written consent of the Grantee. Grantee, its contractors, agents and employees shall have free access to the Easement Premises and every part thereof, at all times, for the purpose of exercising the rights granted herein; provided however in making any excavations on the Easement Premises, Grantee shall make the same in such manner as will cause the least injury to the surface of the ground and restore any improvements within such excavation to as near the same condition as it was prior to such excavation as soon as is practicable.

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

WITNESSES:

JENSEN CAP INVESTMENTS, LLC,
a Florida limited liability company


Print Name: Laura Fajardo

By: 
Print Name: Stephen Cohen
Title: Authorized Representative


Print Name: Stephen Cohen

State of Florida
County of Palm Beach

The foregoing Utility Easement was acknowledged before me this 26th day of August, 2020 by Stephen Cohen, as the Authorized Rep. of Jensen CAP Investments, LLC, a Florida limited liability company, on behalf of the corporation (☒) by means of physical presence or () online notarization. He/she is (☒) personally known to me or has produced _____ as identification.



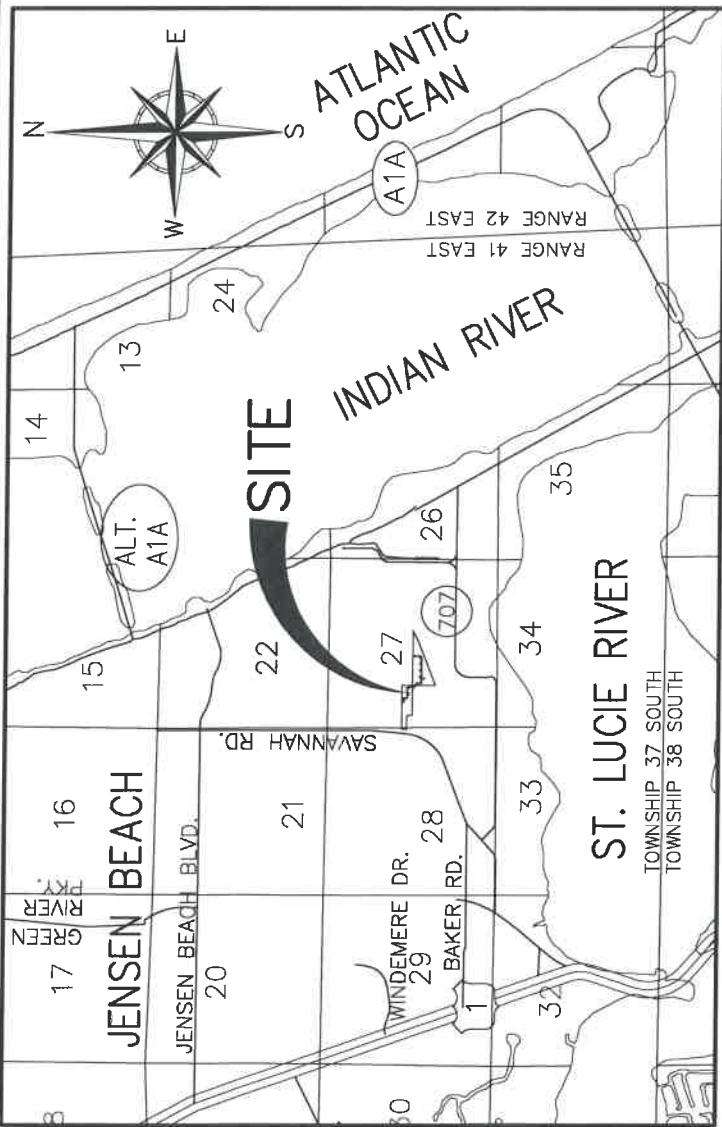

Notary Public
Print Name: Laura Fajardo
My Commission Expires: July 11th, 2021

SURVEYOR'S NOTES

1. THE AS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES, NORTH AMERICAN DATUM OF 1983/1990 (N.A.D. 83/90), FLORIDA EAST ZONE, REFERENCE A BEARING OF S89°53'38"E ALONG THE SOUTH LINE OF LOT 16, MARY J. DESTEUBEN'S SUBDIVISION, MARTIN COUNTY, FLORIDA.
2. THIS IS NOT A BOUNDARY SURVEY.
3. THIS SKETCH AND LEGAL DESCRIPTION SHALL NOT BE VALID UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1 THROUGH 5.

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT

www.martin.fl.us/accessibility-feedback



LOCATION MAP
(NOT TO SCALE)

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" AS SHOWN HEREON WAS PREPARED UNDER MY DIRECTION AND CHARGE ON MAY 13, 2020, AND THAT SAID "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. IT IS FURTHER CERTIFIED THAT THIS "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" COMPLIES WITH THE STANDARDS OF PRACTICE FOR "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 50A-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BETSY LINDSAY, INC.
SURVEYORS AND MAPPERS

ELIZABETH A. LINDSAY, P.L.S.
FLORIDA REGISTRATION NO. 4726
NOT VALID WITHOUT THE SIGNATURE
AND ORIGINAL RAISED SEAL OF FLORIDA
LICENSED SURVEYOR AND MAPPER
UNLESS DIGITALLY SIGNED

EXHIBIT "A"

SHEET NO. 1
OF 5 SHEETS
PROJECT NO.
05-80 D

DATE 05/25/20
REVISIONS
05/25/20 ADD EXHIBIT LETTER

A PORTION OF LOTS 15 & 16, MARY J. DESTEUBEN'S
SUBDIVISION & LOTS 6, 7 & 8, CLEVELAND'S SUBDIVISION
MARTIN COUNTY, FLORIDA

SKETCH AND LEGAL DESCRIPTION
WATER MAIN EASEMENT

B BETSY LINDSAY, INC.
SURVEYING AND MAPPING
7907 SW JACK JAMES DRIVE STUART, FLORIDA 34907
0772288-5783 0772288-5043 FAX
LICENSED BUSINESS NO. 6852

LEGAL DESCRIPTION

WATER MAIN EASEMENT

A 10.00 FOOT WIDE STRIP OF LAND BEING A PORTION OF LOTS 15 AND 16 OF THE PLAT OF MARY J. DESTEBEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 13, PUBLIC RECORDS OF ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA AND LOTS 6, 7 AND 8 OF THE PLAT OF CLEVELAND'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 213, PUBLIC RECORDS OF ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA. THE CENTER LINE OF SAID 10.00 FOOT WIDE STRIP OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 37 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, SAID POINT LYING AND BEING ON THE SOUTH LINE OF SAID LOT 16, MARY J. DESTEBEN'S SUBDIVISION; THENCE SOUTH 89°53'38" EAST ALONG SAID SOUTH LINE OF LOT 16, 795.34 FEET; THENCE, DEPARTING SAID SOUTH LINE, NORTH 0°29'46" EAST, 280.51 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 44°28'05" EAST, 15.47 FEET; THENCE NORTH 88°15'06" EAST, 106.89 FEET; THENCE SOUTH 39°32'14" EAST, 14.13 FEET; THENCE SOUTH 0°07'43" WEST, 10.25 FEET TO POINT 1; THENCE CONTINUE SOUTH 0°07'43" WEST, A DISTANCE OF 14.96 FEET TO POINT 2; THENCE CONTINUE SOUTH 0°07'43" WEST, A DISTANCE OF 62.32 FEET; THENCE SOUTH 39°32'18" EAST, 16.13 FEET; THENCE SOUTH 89°56'35" EAST, 113.25 FEET TO POINT 3; THENCE CONTINUE SOUTH 89°56'35" EAST, A DISTANCE OF 29.87 FEET TO POINT 4; THENCE CONTINUE SOUTH 89°56'35" EAST, A DISTANCE OF 130.83 FEET; THENCE SOUTH 44°30'09" EAST, 20.14 FEET TO POINT 5; THENCE CONTINUE SOUTH 44°30'09" EAST, A DISTANCE OF 79.92 FEET; THENCE SOUTH 0°03'42" WEST, 113.73 FEET; THENCE SOUTH 44°23'10" EAST, 167.63 FEET; THENCE SOUTH 0°15'18" EAST, 98.65 FEET; THENCE SOUTH 51°34'08" EAST, 23.50 FEET TO POINT 6; THENCE CONTINUE SOUTH 51°34'08" EAST, A DISTANCE OF 18.09 FEET; THENCE SOUTH 89°53'16" EAST, 103.28 FEET TO POINT 7; THENCE CONTINUE SOUTH 89°53'16" EAST, A DISTANCE OF 59.77 FEET TO POINT 8; THENCE CONTINUE SOUTH 89°53'16" EAST, A DISTANCE OF 159.28 FEET TO POINT 9; THENCE CONTINUE SOUTH 89°53'16" EAST, A DISTANCE OF 46.95 FEET TO POINT 10; THENCE CONTINUE SOUTH 89°53'16" EAST, A DISTANCE OF 206.69 FEET TO POINT 11; THENCE CONTINUE SOUTH 89°53'16" EAST, A DISTANCE OF 140.27 FEET TO POINT 12; THENCE CONTINUE SOUTH 89°53'16" EAST, A DISTANCE OF 42.78 FEET TO POINT 13; THENCE CONTINUE SOUTH 89°53'16" EAST, A DISTANCE OF 5.58 FEET; THENCE NORTH 50°16'01" EAST, 67.29 FEET; THENCE NORTH 0°05'39" EAST, 223.62 FEET TO AN INTERSECTION WITH THE SOUTH LINE OF SAID LOT 6, CLEVELAND'S SUBDIVISION AND THE POINT OF TERMINUS.

(CONTINUED ON SHEET 3)

ABBREVIATIONS

CL	CENTER LINE	P.O.B.	POINT OF BEGINNING
FP&L	FLORIDA POWER & LIGHT COMPANY	P.O.C.	POINT OF COMMENCEMENT
NO.	NUMBER	P.O.T.	POINT OF TERMINUS
O.R.B.	OFFICIAL RECORDS BOOK	RNG.	RANGE
PCN	PARCEL CONTROL NUMBER	SEC.	SECTION
PG.	PAGE	TWP.	TOWNSHIP
P.L.S.	PROFESSIONAL LAND SURVEYOR	WM	WATER MAIN
PNT.	POINT		

SHEET NO. 2
OF 5 SHEETS
PROJECT NO.
05-80 D

DATE	REVISIONS

A PORTION OF LOTS 15 & 16, MARY J. DESTEBEN'S SUBDIVISION & LOTS 6, 7 & 8, CLEVELAND'S SUBDIVISION MARTIN COUNTY, FLORIDA
SKETCH AND LEGAL DESCRIPTION
WATER MAIN EASEMENT

DATE 05/13/2020
SCALE NOT TO SCALE
FIELD BK.
DRAWING BY D.B.
CHECKED BY E.A.L.

B

BETSY LINDSAY, INC.
SURVEYING AND MAPPING
7997 S.W. JACK JAMES DRIVE STUART, FLORIDA 34987
0772286-6763 0772286-8638 FAX
LICENSED BUSINESS NO. 6852

LEGAL DESCRIPTION

WATER MAIN EASEMENT

(CONTINUED FROM SHEET 2)

AND:

BEGINNING AT SAID POINT 1; THENCE NORTH 89°21'10" WEST, 16.00 FEET TO THE POINT OF TERMINUS 1.

AND:

BEGINNING AT SAID POINT 2; THENCE SOUTH 89°59'29" WEST, 37.95 FEET TO THE POINT OF TERMINUS 2.

AND:

BEGINNING AT SAID POINT 3; THENCE SOUTH 0°07'36" WEST, 52.22 FEET TO THE POINT OF TERMINUS 3.

AND:

BEGINNING AT SAID POINT 4; THENCE SOUTH 0°07'36" WEST, 52.26 FEET TO THE POINT OF TERMINUS 4.

AND:

BEGINNING AT SAID POINT 5; THENCE NORTH 45°22'34" EAST, 29.31 FEET; THENCE NORTH 0°37'48" WEST, 10.24 FEET TO THE POINT OF TERMINUS 5.

AND:

BEGINNING AT SAID POINT 6; THENCE SOUTH 38°10'16" WEST, 13.94 FEET; THENCE SOUTH 0°15'54" WEST, 11.07 FEET TO THE POINT OF TERMINUS 6.

AND:

BEGINNING AT SAID POINT 7; THENCE SOUTH 0°11'39" WEST, 103.51 FEET TO THE POINT OF TERMINUS 7.

AND:

BEGINNING AT SAID POINT 8; THENCE NORTH 0°07'36" EAST, 57.42 FEET TO THE POINT OF TERMINUS 8.

AND:

BEGINNING AT SAID POINT 9; THENCE SOUTH 0°06'22" WEST, 12.26 FEET TO THE POINT OF TERMINUS 9.

AND:

BEGINNING AT SAID POINT 10; THENCE NORTH 0°07'36" EAST, 57.02 FEET TO THE POINT OF TERMINUS 10.

AND:

BEGINNING AT SAID POINT 11; THENCE NORTH 0°07'36" EAST, 56.65 FEET TO THE POINT OF TERMINUS 11.

AND:

BEGINNING AT SAID POINT 12; THENCE SOUTH 0°06'44" WEST, 11.53 FEET TO THE POINT OF TERMINUS 12.

AND:

BEGINNING AT SAID POINT 13; THENCE NORTH 0°13'09" EAST, 56.30 FEET TO THE POINT OF TERMINUS 13.

SAID PARCEL CONTAINING 26,039 SQUARE FEET OR 0.60 MORE OR LESS.

SAID PARCEL BEING SUBJECT TO ANY/ALL EASEMENTS, RESERVATIONS, DEDICATIONS OR RESTRICTIONS.

SHEET NO. 3
OF 5 SHEETS
PROJECT NO.
05-80 D

DATE _____ REVISIONS _____

A PORTION OF LOTS 15 & 16, MARY J. DESTIEUBEN'S
SUBDIVISION & LOTS 6, 7 & 8, CLEVELAND'S SUBDIVISION
MARTIN COUNTY, FLORIDA

SKETCH AND LEGAL DESCRIPTION
WATER MAIN EASEMENT

DATE 05/13/2020
SCALE NOT TO SCALE
FIELD BK. _____
DRAWING BY D.B.
CHECKED BY E.A.L.

B BETSY LINDSAY, INC.
SURVEYING AND MAPPING
7997 S.W. JACK JAMES DRIVE STUART, FLORIDA 34997
0772286-6783 0772286-6635 FAX
LICENSED BUSINESS NO. 6852

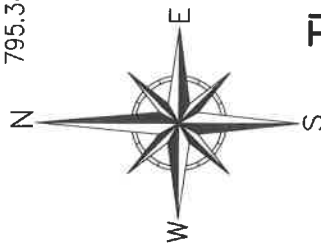
N88°15'06"E
106.89'
S44°28'05"E
Q 10' W
EASEMENT
N89°21'10"W
16.00'

P.O.C.

FOUND 4"x4" CONCRETE MONUMENT (BUSTED TOP)



THIS IS NOT A SURVEY



SCALE: 1" = 100'

10' WM EASEMENT - 0.60 ACRES±

USIVE ACCESS EASEMENT
O.R.B. 2107, PG. 1544 &
O.R.B. 2128, PG. 1845

THE ORIGINAL HOMESTEAD OF ED. F.

GLUTSCH SUBDIVISION

ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA

Q 10' WM
EASEMENT
S44°23'10"E
167.63'
25' WELL EASEMENT
(O.R.B. 362, PG. 319)

10.0' FP&L EASEMENT
(O.R.B. 426, PG. 2045)

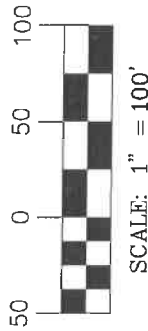
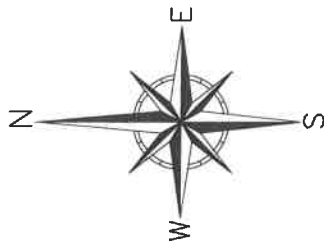
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SHEET NO. 4
OF 5 SHEETS
PROJECT NO.
05-80 D

A PORTION OF LOTS 15 & 16, MARY J. DESTEBEN'S
SUBDIVISION & LOTS 6, 7 & 8, CLEVELAND'S SUBDIVISION
MARTIN COUNTY, FLORIDA

SKETCH AND LEGAL DESCRIPTION
WATER MAIN EASEMENT

B **BETSY LINDSAY, INC.**
SURVEYING AND MAPPING
7997 S.W. JACK JAMES DRIVE STUART, FLORIDA 34997
(772) 288-5783 (772) 288-5833 FAX
LICENSED BUSINESS NO. 6652

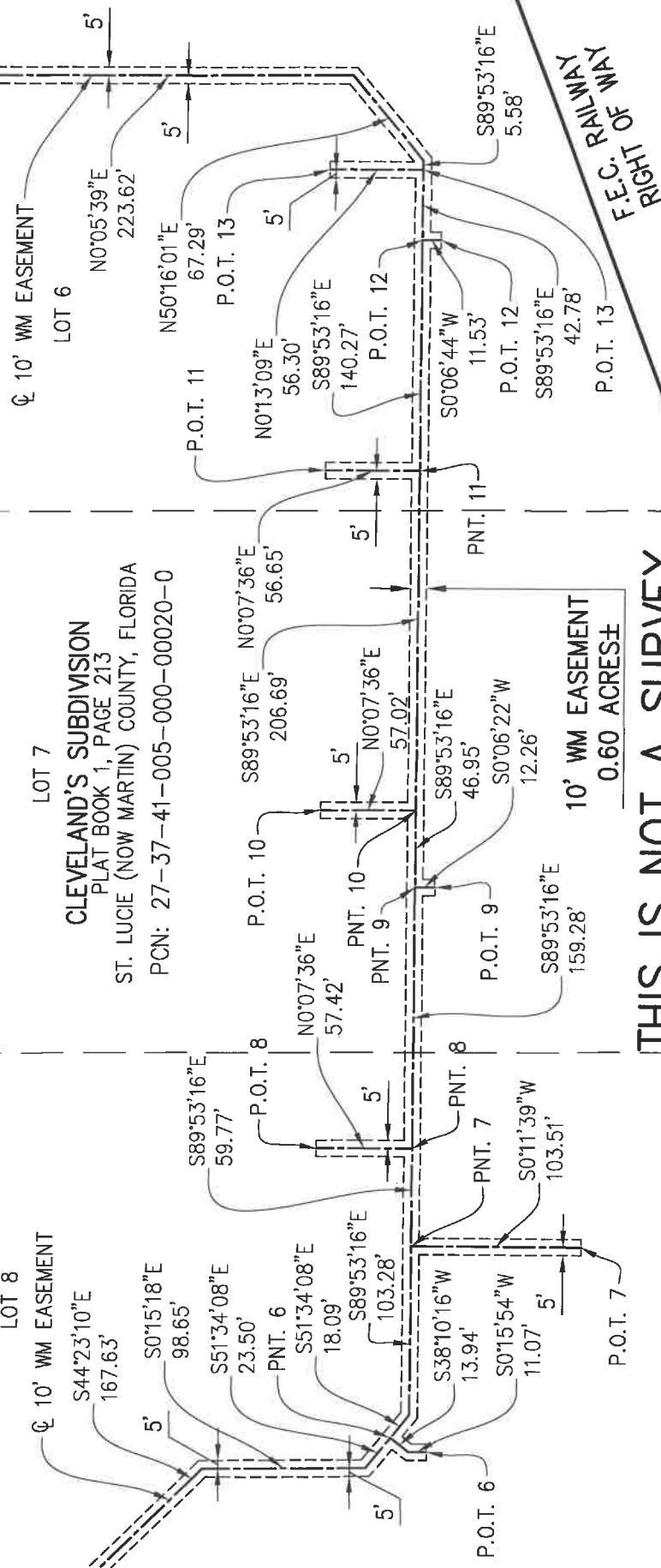


UNPLATTED LANDS

SEC. 28, TWP. 37 S., RING. 41 E
(PINE LAKE VILLAGE -
MANUFACTURED HOUSING COMMUNITY)

LOT 8
10' WM EASEMENT

LOT 7
CLEVELAND'S SUBDIVISION
PLAT BOOK 1, PAGE 213
ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA
PCN: 27-37-41-005-000-00020-0



THIS IS NOT A SURVEY

SHEET NO. 5
OF 5 SHEETS
PROJECT NO.
05-80 D

DATE REVISIONS

A PORTION OF LOTS 15 & 16, MARY J. DESTIEUBEN'S
SUBDIVISION & LOTS 6, 7 & 8, CLEVELAND'S SUBDIVISION
MARTIN COUNTY, FLORIDA

SKETCH AND LEGAL DESCRIPTION
WATER MAIN EASEMENT

DATE 05/13/2020
SCALE 1" = 100'
FIELD BK.
DRAWING BY D.B.
CHECKED BY E.A.L.

B BETSY LINDSAY, INC.
SURVEYING AND MAPPING
7987 S.W. JACK JAMES DRIVE STUART, FLORIDA 34987
0772286-5753 0772286-5935 FAX
LICENSED BUSINESS NO. 6852

This instrument prepared by: Colleen J. Holmes
Real Property Coordinator Martin County
2401 SE Monterey Road Stuart, FL 34996

Project Name: The Reserve at Jensen Beach
Address: Unassigned
PCN: 27-37-41-007-000-00150-0



Inst. # 2844343
Bk: 3166 Pg: 1444 Pages: 1 of 6
Recorded on: 10/19/2020 9:25 AM Doc: EAS
Carolyn Timmann
Clerk of the Circuit Court & Comptroller
Martin County, FL
Rec Fees: \$52.50

SPACE ABOVE THIS LINE FOR PROCESSING DATA

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UTILITY, DRAINAGE, ACCESS, AND MAINTENANCE EASEMENT

THIS UTILITY, DRAINAGE, ACCESS, AND MAINTENANCE EASEMENT granted and executed this 24 day of August 2020, by **Jensen CAP Investments, LLC, a Florida limited liability company**, whose address is 105 Foulk Road, Wilmington, DE 19803, Grantor, to **MARTIN COUNTY, a political subdivision of the State of Florida**, whose address is 2401 S.E. Monterey Road, Stuart, Florida 34996, Grantee,

(Wherever used herein the terms "Grantor" and "Grantee" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH that the Grantor, for and in consideration of the sum of \$10.00 in hand paid by the Grantee, the receipt and sufficiency of which is hereby acknowledged, does hereby grant unto the Grantee forever, a perpetual utility, drainage, access, and maintenance easement on, over, under, across and through the land described and depicted on **Exhibit "A"** attached hereto and made a part hereof (the "Easement Premises") for the construction, reconstruction, replacement, operation, maintenance, and repair of utility-related equipment, including, but not limited to lift stations, pumps, pipelines, structures, and powerline hookups, if required, in, under, over, across, and through the Easement Premises and for access to and maintenance of Warner Creek and construction, installation and use of any surface and sub-surface drainage system necessary to ensure proper drainage, and the repair, maintenance, replacement thereof, and for ingress and egress across, over, and upon the Easement Premises as may be reasonably necessary, to carry out the purposes of this easement conditioned upon same not unreasonably obstructing the ingress or egress of vehicular traffic and vehicular parking, to, from, across, through and over the Easement Premises including the roads, driveways and parking areas on the Easement Premises at any time including during the maintenance, operation, reconstruction or replacement of the facilities in the Easement Premises.

And the Grantor hereby covenants with Grantee that Grantor is lawfully seized of said land in fee simple, that Grantor has good and lawful authority to grant and convey this Easement; that the land is not the homestead property of the Grantor; that Grantor fully warrants the title to the Easement Premises, and will defend the same against the lawful claims of all persons claiming by, through, and under Grantor.

Grantor further warrants that there are no mortgages encumbering the Easement Premises.

In the exercise of the rights granted herein to Grantee, Grantee shall perform same so

as to minimize to the extent possible the impact to the use of the roads, driveways, and parking areas used by Grantor's employees, contractors, tenants, and their employees, invitees, and contractors and/or any improvements thereon of Grantor. Subject to the foregoing, if the exercise of the rights granted herein to Grantee results in the disturbance of the surface of any lands, said disturbance shall be repaired, and the surface of such property and any improvements thereon shall be restored to the extent reasonably practical to their condition existing prior to the exercise of such rights to the reasonable satisfaction of Grantor, at Grantee's sole cost and expense. For example, in the event any opening is made in the ground in connection with the purposes permitted hereunder, said opening shall be backfilled and resurfaced with the same type of material and to, as nearly as possible, the same condition as existed when said opening was made, and Grantee shall be obligated to restore landscaping as nearly as possible to its original condition, including seeding any grass or landscaping which was removed upon entry. Grantee shall remove all debris from the Easement Premises and all surrounding property which results from its permitted work hereunder.

All work performed by any party hereunder, and its employees, agents or contractors hereunder, shall be done in a workmanlike and diligent manner and shall be performed at reasonable times.

Grantor for themselves and their successors and assigns reserves the right to use said Easement Premises for any purposes not inconsistent with the use of the Easement Premises provided same does not materially interfere with or prevent the use of the Easement Premises for the purposes intended herein and provided further that nothing contained herein, nor the exercise of any rights granted to Grantee hereunder, shall unreasonably interfere with Grantor's reasonable use of the Easement Premises.

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

WITNESSES:

Print


Laura Fagardo

Print


Ross Weiss

GRANTOR:

Jensen CAP Investments, LLC, a Florida limited liability company

By:

Print

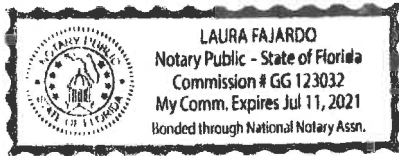
Its:


Stephen Cohen
Authorized Representative

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me by means of ☒ physical presence or
☐ online notarization, this 24th day of August, 2020, by
Stephen Cohen, as Authorized Representative of Jensen CAP Investments,
LLC, a Florida limited liability company, on behalf of the Company.

(SEAL)




Notary Public - State of Florida

Printed Name: Laura Fajardo

Personally Known OR Produced Identification
Type of Identification Produced: _____

SURVEYOR'S NOTES

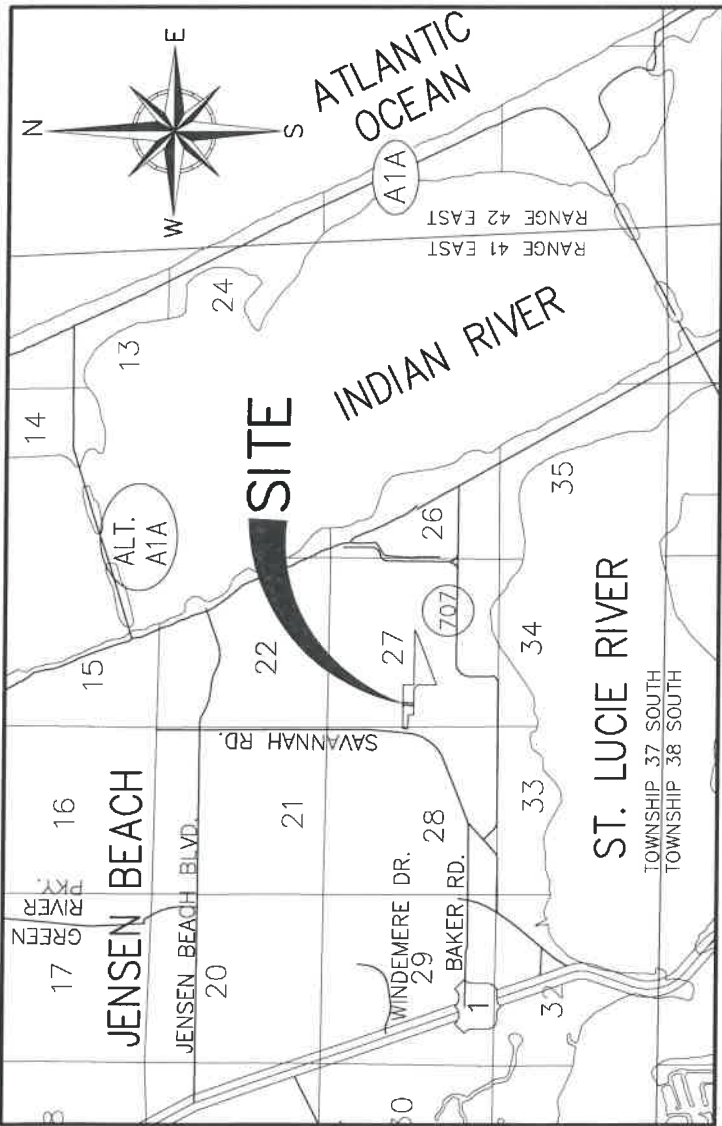
1. THE BEARINGS AS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES, NORTH AMERICAN DATUM OF 1983/1990 (N.A.D. 83/90), FLORIDA EAST ZONE, REFERENCE A BEARING OF N89°53'11"W ALONG THE SOUTH LINE OF LOT 15, MARY J. DESTEBEN'S SUBDIVISION, MARTIN COUNTY, FLORIDA.

2. THIS IS NOT A BOUNDARY SURVEY.

3. THIS SKETCH AND LEGAL DESCRIPTION SHALL NOT BE VALID UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1 THROUGH 3.

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT

www.martin.fl.us/accessibility-feedback



LOCATION MAP
(NOT TO SCALE)

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" AS SHOWN HEREON WAS PREPARED UNDER MY DIRECTION AND CHARGE ON JUNE 12, 2019, AND THAT SAID "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. IT IS FURTHER CERTIFIED THAT THIS "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" COMPLIES WITH THE STANDARDS OF PRACTICE FOR "SKETCH TO ACCOMPANY LEGAL DESCRIPTION" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BETSY LINDSAY, INC.
SURVEYORS AND MAPPERS

ELIZABETH A. LINDSAY, P.L.S.
FLORIDA REGISTRATION NO. 4724

NOT VALID WITHOUT THE SIGNATURE
AND ORIGINAL RAISED SEAL OF FLORIDA
LICENSED SURVEYOR AND MAPPER
UNLESS DIGITALLY SIGNED

SHEET NO. <u>1</u> OF <u>3</u> SHEETS PROJECT NO. <u>05-80 D</u>		DATE <u>06/12/2019</u> SCALE <u>NOT TO SCALE</u> FIELD BK. <u>DLB</u> DRAWING BY <u>DLB</u> CHECKED BY <u>EAL</u>		B BETSY LINDSAY, INC. SURVEYING AND MAPPING 7007 S.W. JACK JAMES DRIVE, SUITE 100, FLORIDA 34087 (772) 288-5753 (772) 288-5835 FAX LICENSED BUSINESS NO. 6852	
A PORTION OF THE S.E. 1/4 OF THE N.E. 1/4 OF SEC. 28, TWP. 37 S., RNG. 41 E. & LOTS 15 & 16, MARY J. DESTEBEN'S SUBDIVISION - MARTIN COUNTY, FLORIDA		SKETCH AND LEGAL DESCRIPTION DRAINAGE, ACCESS & UTILITY EASEMENT			
DATE <u>12/06/19</u> REVISIONS 01/20/20 REVISED LEGAL DESCRIPTION 03/10/20 REVISE DRAWING PER MARTIN CO.					

DRAINAGE, ACCESS AND UTILITY EASEMENT

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 37 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA AND LOTS 15 AND 16 OF THE PLAT OF MARY J. DESTUBEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 13, OF THE PUBLIC RECORDS OF ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS;

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 28; THENCE NORTH 00°07'48" WEST ALONG THE EAST LINE OF SAID SECTION 28, 193.24 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°49'16" WEST, 44.98 FEET TO AN INTERSECTION WITH A LINE BEING 7.50 FEET EASTERLY OF AND PARALLEL WITH THE EASTERLY RIGHT OF WAY LINE OF N.E. SAVANNAH ROAD (STATE ROAD 723), A 100.00 FOOT RIGHT OF WAY PER OFFICIAL RECORDS BOOK 197, PAGE 407, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, SAID POINT ALSO BEING THE POINT OF A NON TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 1,490.19 FEET, WHICH THE RADIAL LINE BEARS SOUTH 84°26'38" EAST FROM THE CENTER OF SAID CURVE; THENCE NORTHERLY ALONG SAID CURVE, ALONG SAID PARALLEL LINE, AN ARC DISTANCE OF 13.72 FEET THROUGH A CENTRAL ANGLE OF 00°31'40"; THENCE CONTINUE ALONG SAID PARALLEL LINE NORTH 05°01'43" EAST, 126.29 FEET; THENCE, DEPARTING SAID PARALLEL LINE, SOUTH 50°45'25" EAST, 23.77 FEET; THENCE SOUTH 89°52'34" EAST, 640.72 FEET; THENCE NORTH 00°37'09" EAST, 15.03 FEET TO AN INTERSECTION WITH THE NORTH LINE OF SAID LOT 15; THENCE SOUTH 89°52'46" EAST ALONG SAID NORTH LINE, 172.00 FEET; THENCE SOUTH 00°29'46" WEST, 332.32 FEET TO AN INTERSECTION WITH THE SOUTH LINE OF SAID LOT 16; THENCE NORTH 89°53'38" WEST ALONG SAID SOUTH LINE, 172.00 FEET; THENCE NORTH 00°29'46" EAST, 206.59 FEET; THENCE NORTH 89°52'53" WEST, 87.33 FEET; THENCE SOUTH 00°07'07" WEST, 10.00 FEET; THENCE NORTH 89°52'53" WEST, 12.00 FEET; THENCE SOUTH 89°52'53" EAST, 12.00 FEET; THENCE SOUTH 00°07'07" WEST, 165.85 FEET; THENCE NORTH 89°53'38" WEST, 71.29 FEET; THENCE NORTH 00°06'22" EAST, 155.39 FEET; THENCE NORTH 89°52'46" WEST, 12.00 FEET; THENCE NORTH 00°06'22" EAST, 17.00 FEET; THENCE SOUTH 89°52'46" EAST, 12.00 FEET; THENCE NORTH 00°06'22" EAST, 50.00 FEET; THENCE NORTH 89°52'46" WEST, 114.63 FEET; THENCE SOUTH 45°07'14" WEST, 7.95 FEET; THENCE SOUTH 00°15'15" WEST, 41.83 FEET; THENCE SOUTH 89°49'16" WEST, 346.52 FEET TO THE POINT OF BEGINNING.

CONTAINING 145,258 SQUARE FEET OR 3.33 ACRES, MORE OR LESS.

SAID PARCEL BEING SUBJECT TO ANY/ALL EASEMENTS, RESERVATIONS, DEDICATIONS OR RESTRICTIONS.

ABBREVIATIONS

NO.	NUMBER
O.R.B.	OFFICIAL RECORDS BOOK
P.L.S.	PROFESSIONAL LAND SURVEYOR
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
RNG.	RANGE
SEC.	SECTION
TWP.	TOWNSHIP

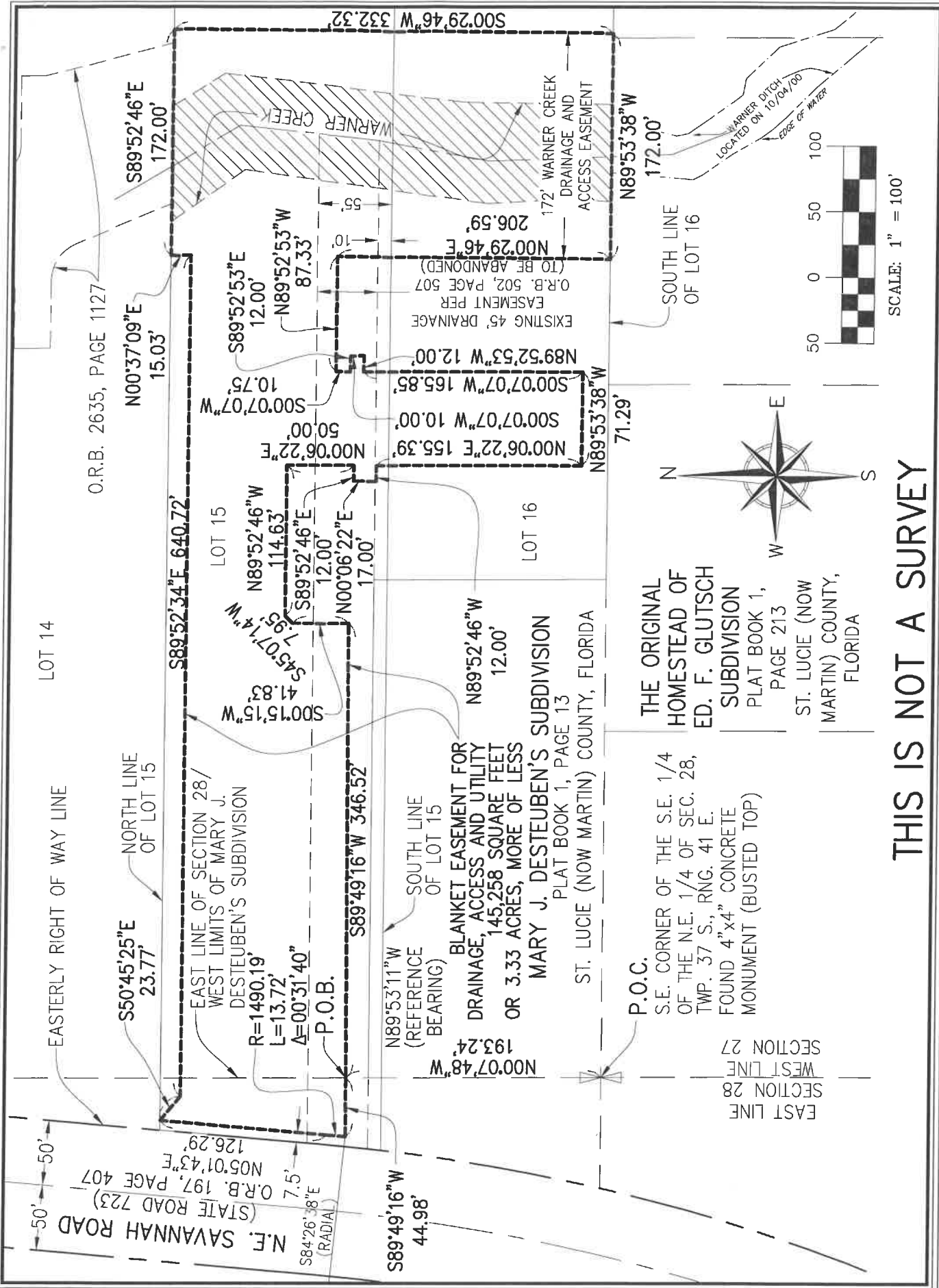
SHEET NO. <u>2</u>
OF <u>3</u> SHEETS
PROJECT NO. <u>05-80 D</u>

DATE	REVISIONS
12/06/19	REVISED PER CLIENT
01/20/20	REVISED LEGAL DESCRIPTION
03/10/20	REVISE DRAWING PER MARTIN CO.

A PORTION OF THE S.E. 1/4 OF THE N.E. 1/4 OF SEC. 28, TWP. 37 S., RNG. 41 E. & LOTS 15 & 16, MARY J. DESTUBEN'S SUBDIVISION - MARTIN COUNTY, FLORIDA
SKETCH AND LEGAL DESCRIPTION DRAINAGE, ACCESS & UTILITY EASEMENT

DATE <u>06/12/2019</u>
SCALE <u>NOT TO SCALE</u>
FIELD BK. <u> </u>
DRAWING BY <u>D.B.</u>
CHECKED BY <u>E.A.L.</u>

B **BETSY LINDSAY, INC.**
SURVEYING AND MAPPING
7997 S.W. JACK JAMES DRIVE SUITE 101, FLORIDA 34987
(772)286-5753 (772)286-5833 FAX
LICENSED BUSINESS NO. 6852



THIS IS NOT A SURVEY

B BETSY LINDSAY, INC.
SURVEYING AND MAPPING
7987 S.W. JACK JAMES DRIVE, SUITE 100, FLORIDA 34957
(772) 268-5723 (772) 268-5335 FAX
LICENSED BUSINESS NO. 6882

DATE 06/12/2019
SCALE 1" = 100'
FIELD BK.
DRAWING BY D.B.
CHECKED BY E.A.L.

A PORTION OF THE S.E. 1/4 OF THE N.E. 1/4 OF SEC. 28,
TWP. 37 S., RING. 41 E. & LOTS 15 & 16, MARY J.
DESTEBUEN'S SUBDIVISION - MARTIN COUNTY, FLORIDA
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DATE	REVISIONS
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SHEET NO. 3
OF 3 SHEETS
PROJECT NO.
05-80 D