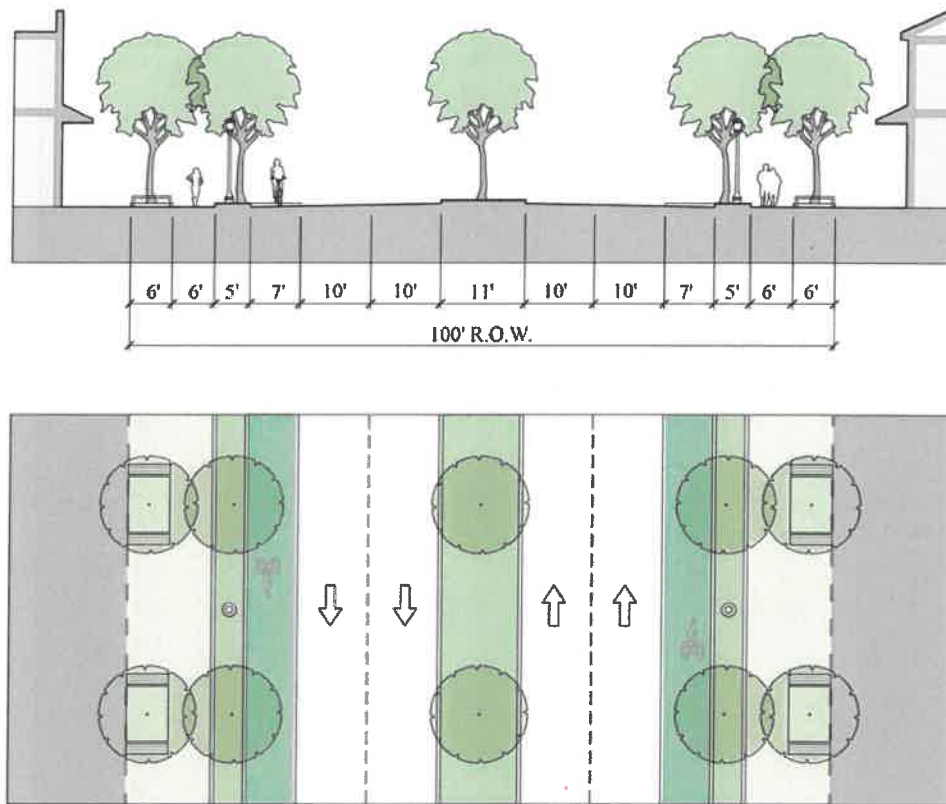


Figure 12-8.02 - Boulevard 2



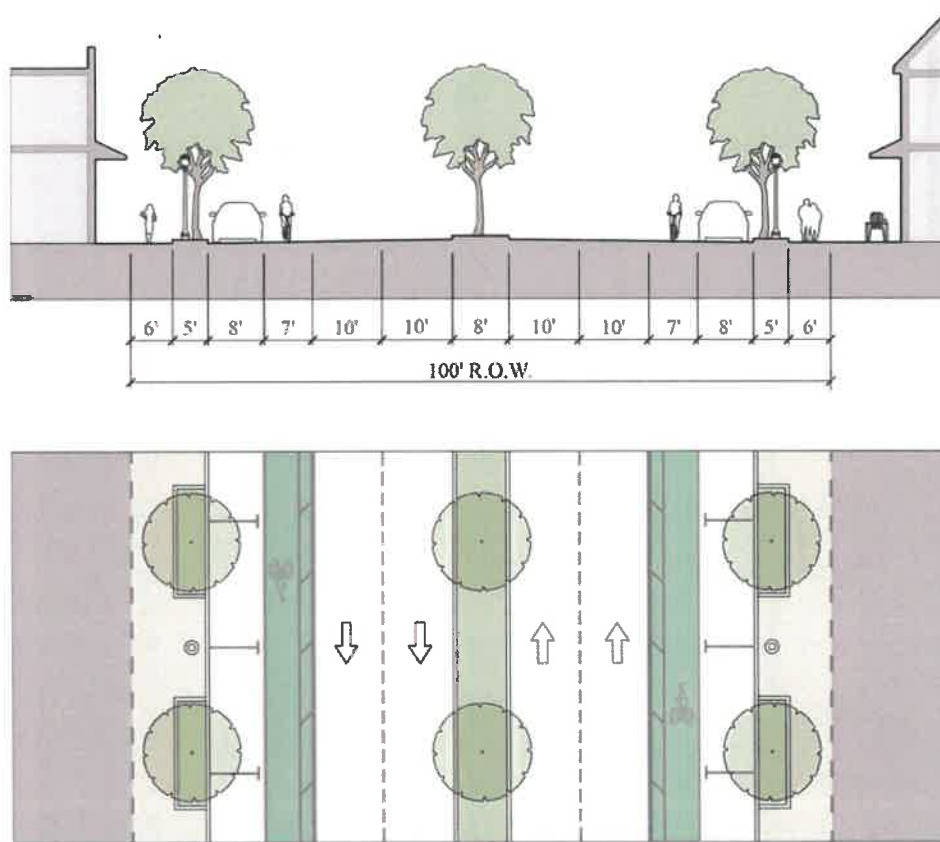
Type	Boulevard 2
Traffic Lanes	10 feet
Parking Lanes	Not required
Bike Facility	7 feet raised bike lane
Preferred R.O.W.	100 feet
Pavement Width	20 feet and 20 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet
Furnishing Zone	6 feet
Median	12 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

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Street Standards

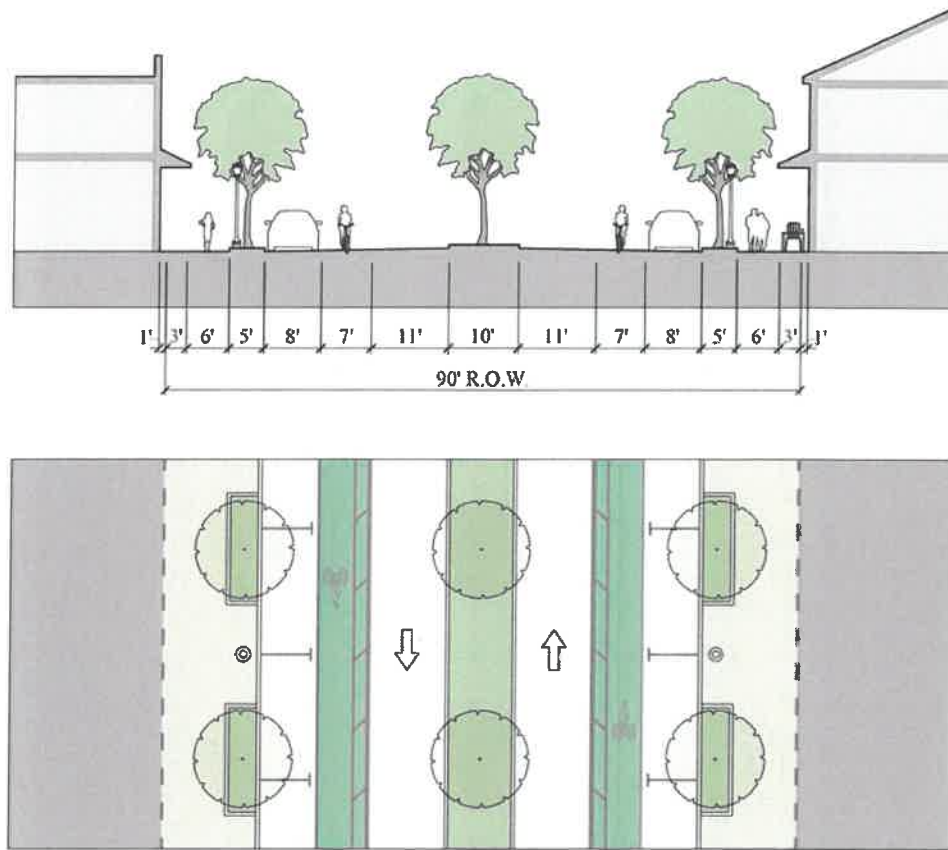
12.1.06

Figure 12-8.03 - Avenue Street 1



Type	Avenue 1
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	100 feet
Pavement Width	35 feet and 35 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	8 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.04 - Avenue Street 2



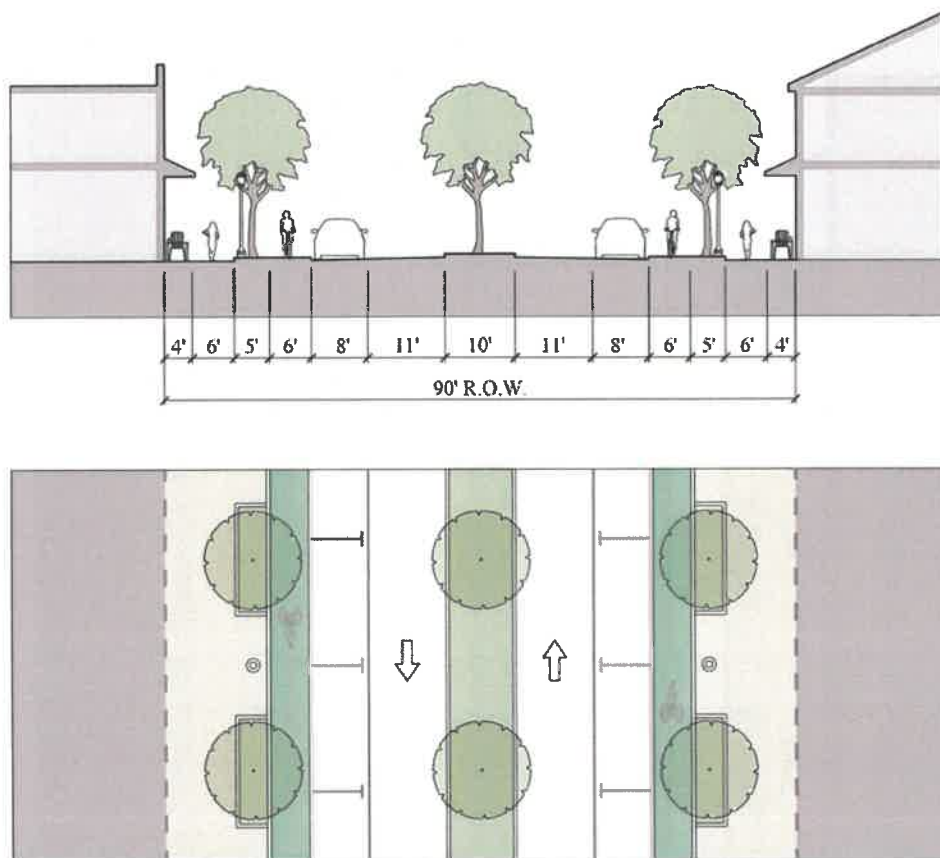
Type	Avenue 2
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	90 feet
Pavement Width	26 feet and 26 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

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Street Standards

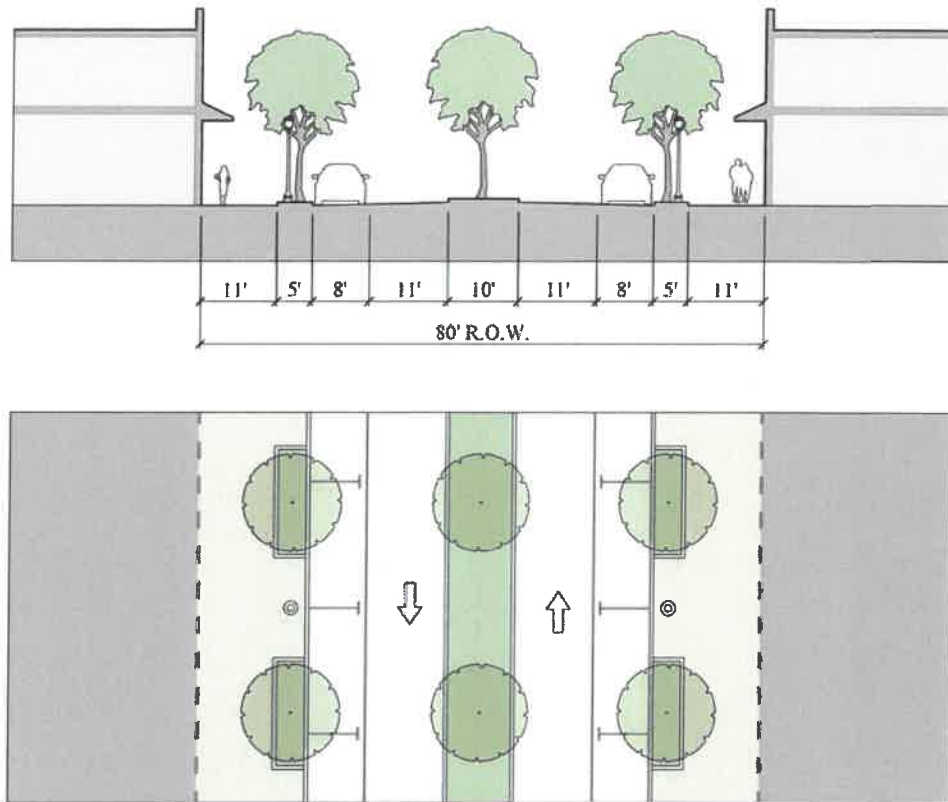
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Figure 12-8.05 - Avenue Street 3



Type	Avenue 3
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	6 feet raised bike lane
Preferred R.O.W.	90 feet
Pavement Width	19 feet and 19 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.06 - Main Street 1

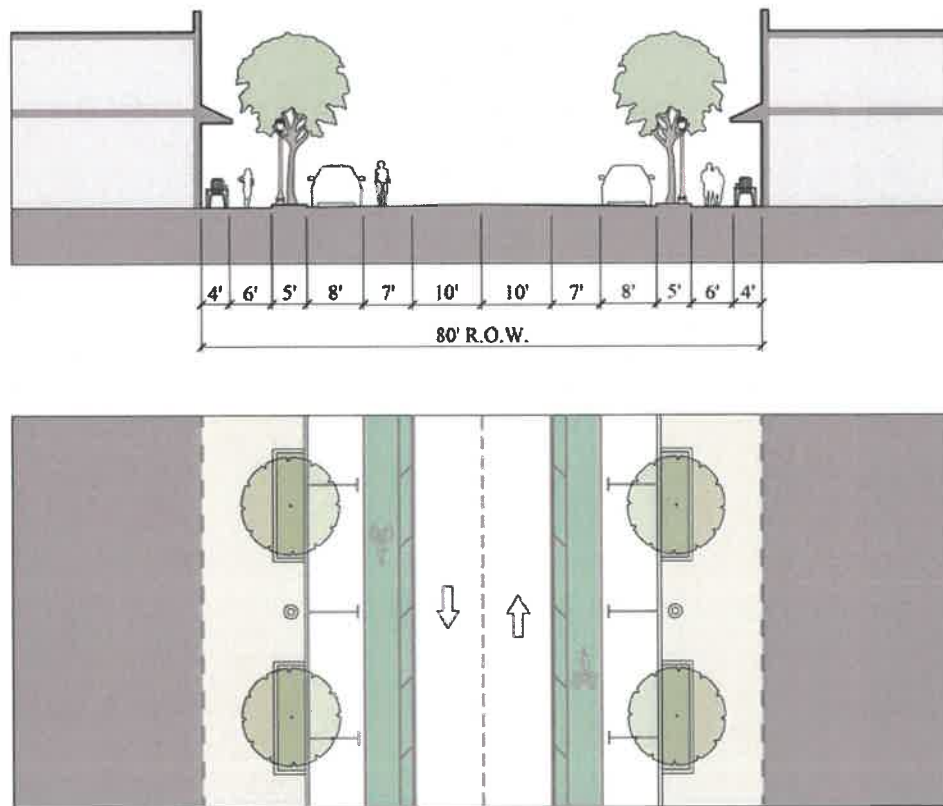


Type	Main Street 1
Traffic Lanes	11 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	Shared lane
Preferred R.O.W.	80 feet
Pavement Width	19 feet and 19 feet
Sidewalk	16 feet
Pedestrian Zone	11 feet
Furnishing Zone	5 feet
Median	10 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Street Standards

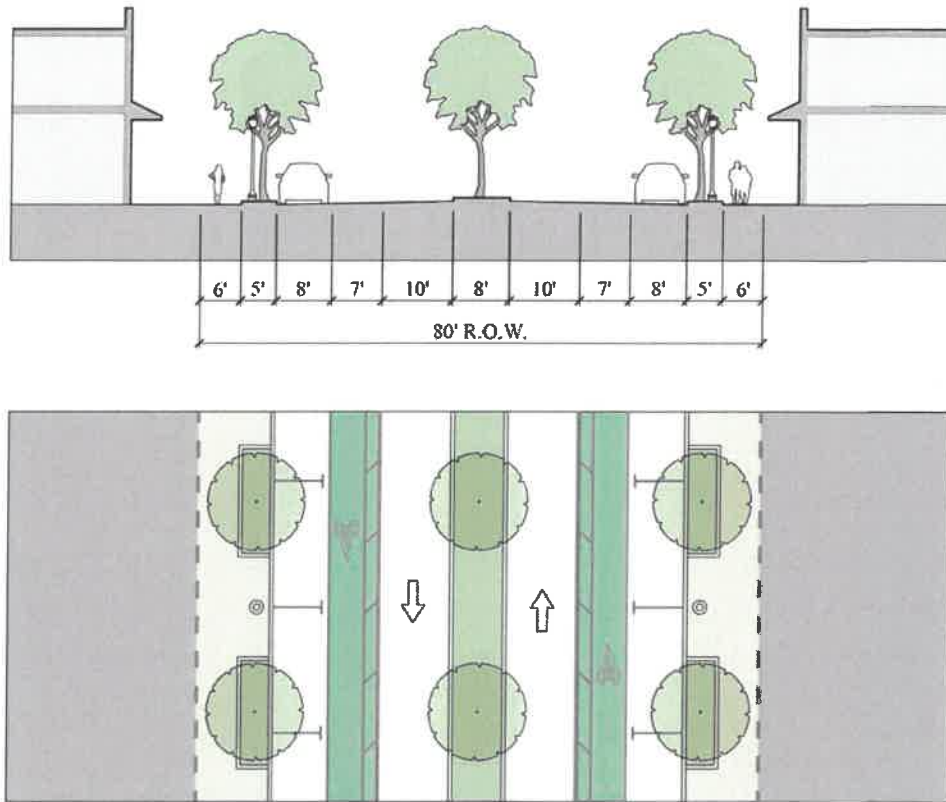
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Figure 12-8.07 - Main Street 2



Type	Main Street 2
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	80 feet
Pavement Width	50 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	Not required
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Figure 12-8.08 - Main Street 3

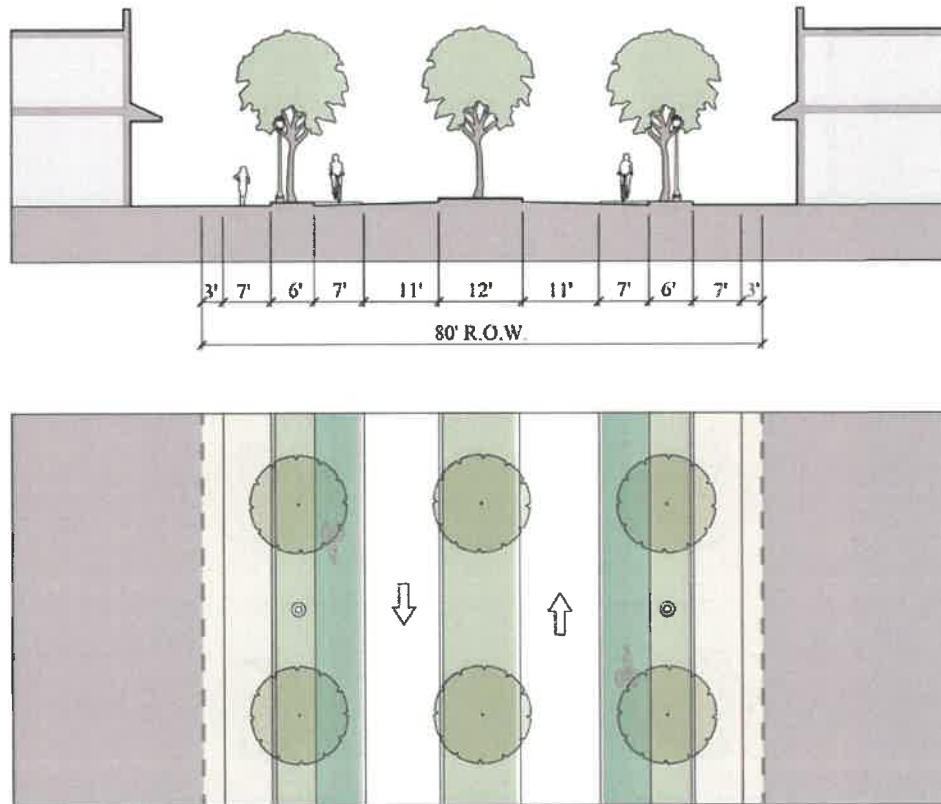


Type	Main Street 3
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	7 feet buffered lane
Preferred R.O.W.	80 feet
Pavement Width	25 feet and 25 feet
Sidewalk	11 feet
Pedestrian Zone	6 feet
Furnishing Zone	5 feet
Median	8 feet
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip with shade trees 30 feet on center

Street Standards

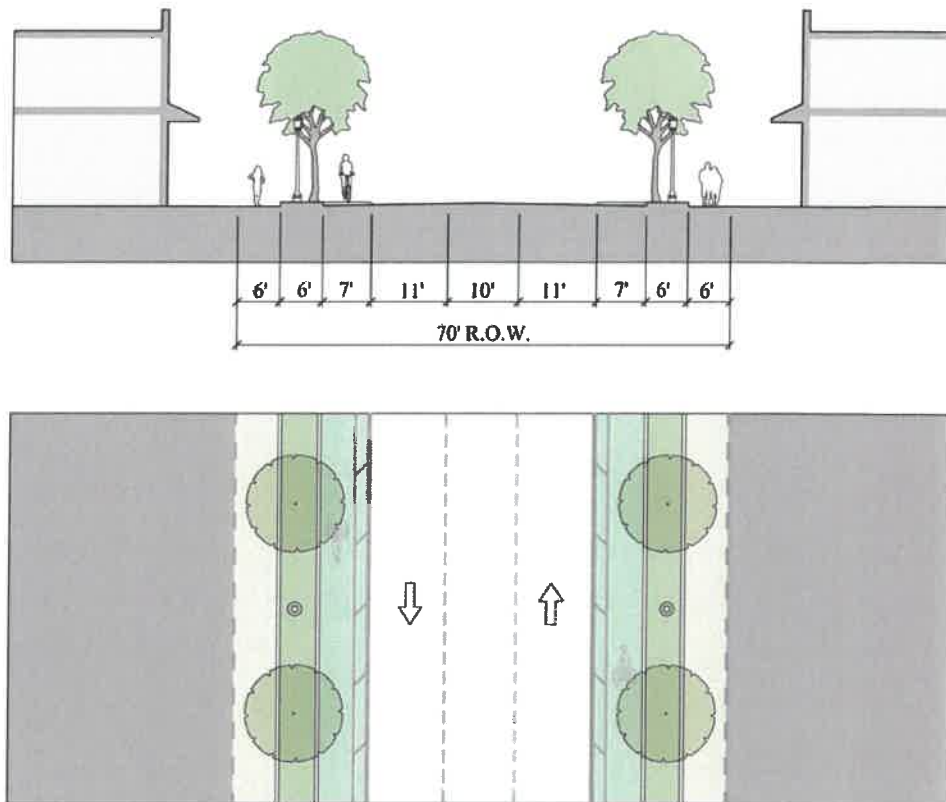
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Figure 12-8.09 - Main Street 4



Type	Main Street 4
Traffic Lanes	11 feet
Parking Lanes	Not required
Bike Facility	7 feet raised bike lane
Preferred R.O.W.	80 feet
Pavement Width	11 feet and 11 feet
Sidewalk	13 feet
Pedestrian Zone	7 feet
Furnishing Zone	6 feet
Median	12 feet
Road Edge Treatment	Curb & gutter
Planting	6 feet planting strip with shade trees 30 feet on center

Figure 12-8.10 - Local Street 1

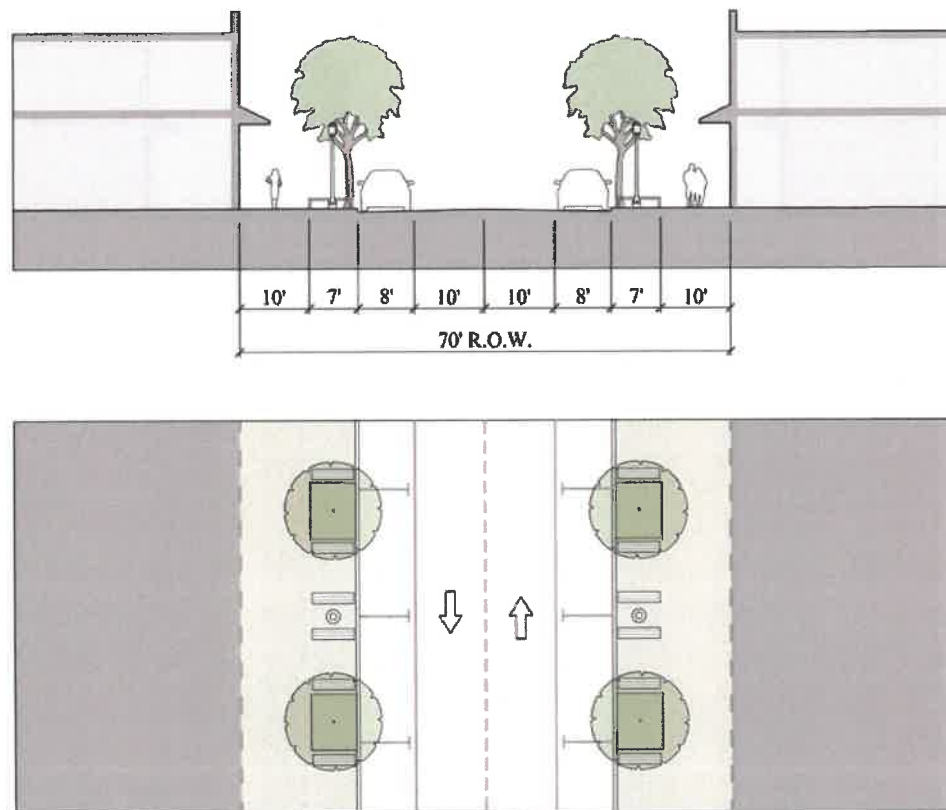


Type	Local Street 1
Traffic Lanes	11 feet
Parking Lanes	Not required
Bike Facility	7 feet buffered lane
Preferred R.O.W.	70 feet
Pavement Width	46 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet
Furnishing Zone	6 feet
Median	Not required
Road Edge Treatment	Curb & gutter
Planting	6 feet planting strip with shade trees 30 feet on center

Street Standards

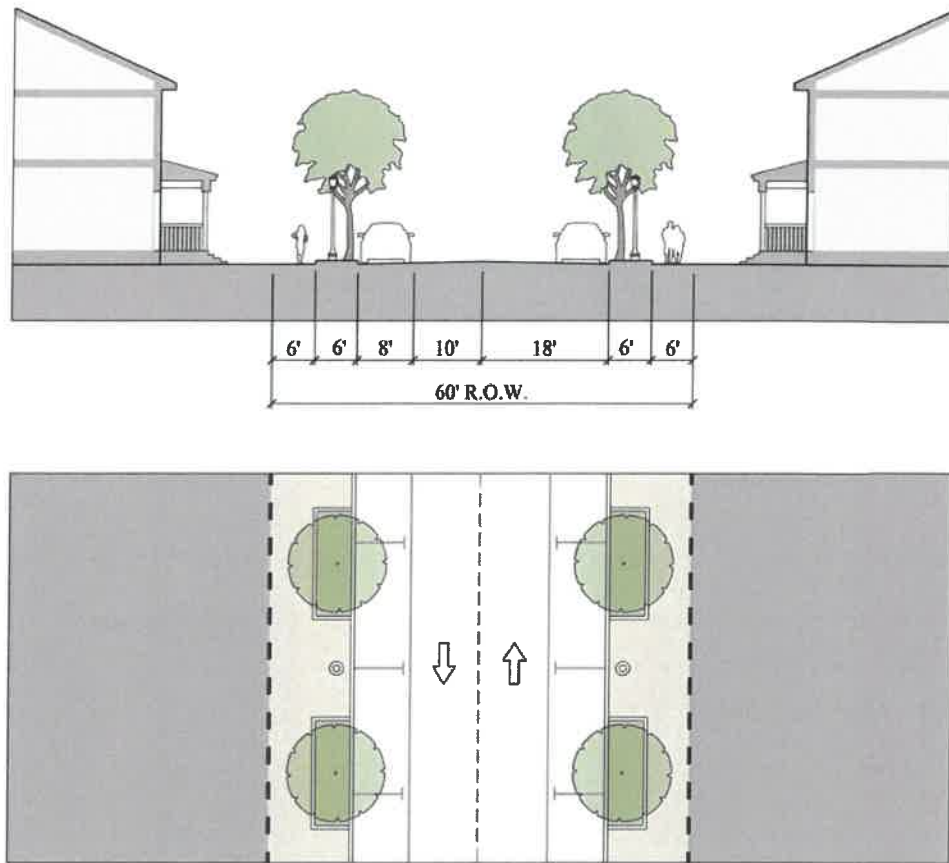
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Figure 12-8.11 - Local Street 2



Type	Local Street 2
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	Not required
Preferred R.O.W.	70 feet
Pavement Width	36 feet
Sidewalk	17 feet
Pedestrian Zone	10 feet
Furnishing Zone	7 feet
Median	Not required
Road Edge Treatment	Curb & gutter
Planting	7 feet planting box or tree well with shade trees 30 feet on center

Figure 12-8.12 - Local Street 3



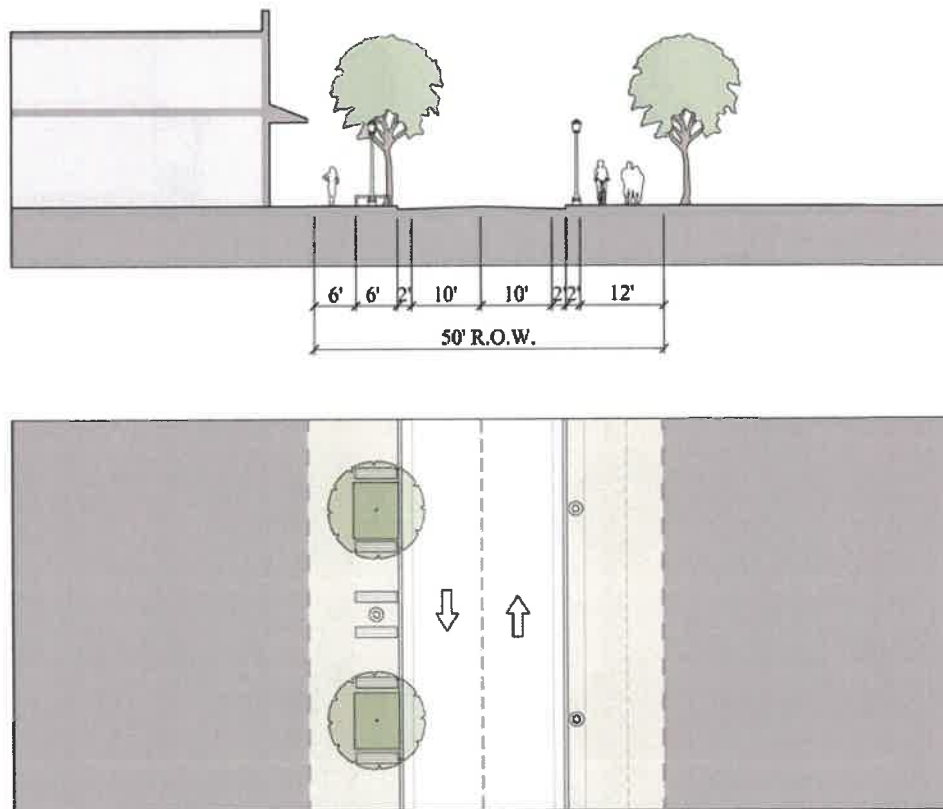
Type	Local Street 3
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	Shared lane
Preferred R.O.W.	60 feet
Pavement Width	36 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet
Furnishing Zone	6 feet
Median	Not required
Road Edge Treatment	Curb & gutter
Planting	6 feet planting strip with shade trees 30 feet on center

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Street Standards

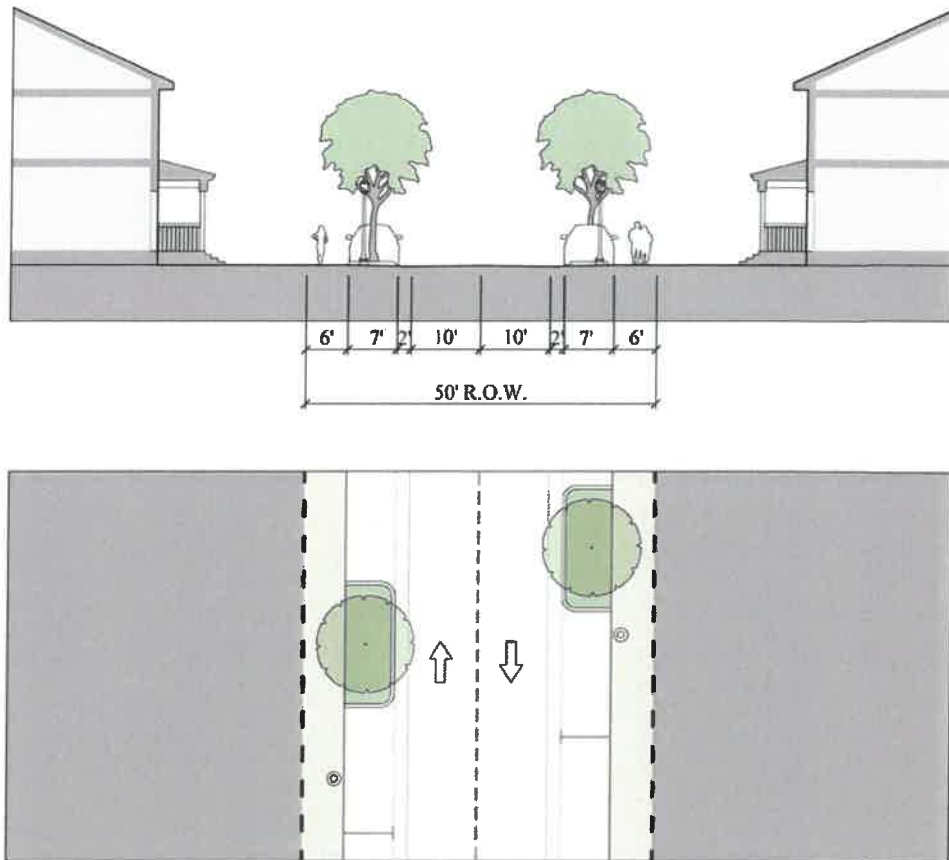
12.1.06

Figure 12-8.13 - Local Street with Shared Use Path



Type	Local Street with Shared Use Path
Traffic Lanes	10 feet
Parking Lanes	Not required
Bike Facility	Not required
Preferred R.O.W.	50 feet
Pavement Width	20 feet
Sidewalk	12 feet
Pedestrian Zone	6 feet one side, 12 feet shared path other side
Furnishing Zone	6 feet one side
Median	Not required
Road Edge Treatment	Curb & gutter
Planting	6 feet planting box or tree well with shade trees 30 feet on center

Figure 12-8.14 - Neighborhood Street 1

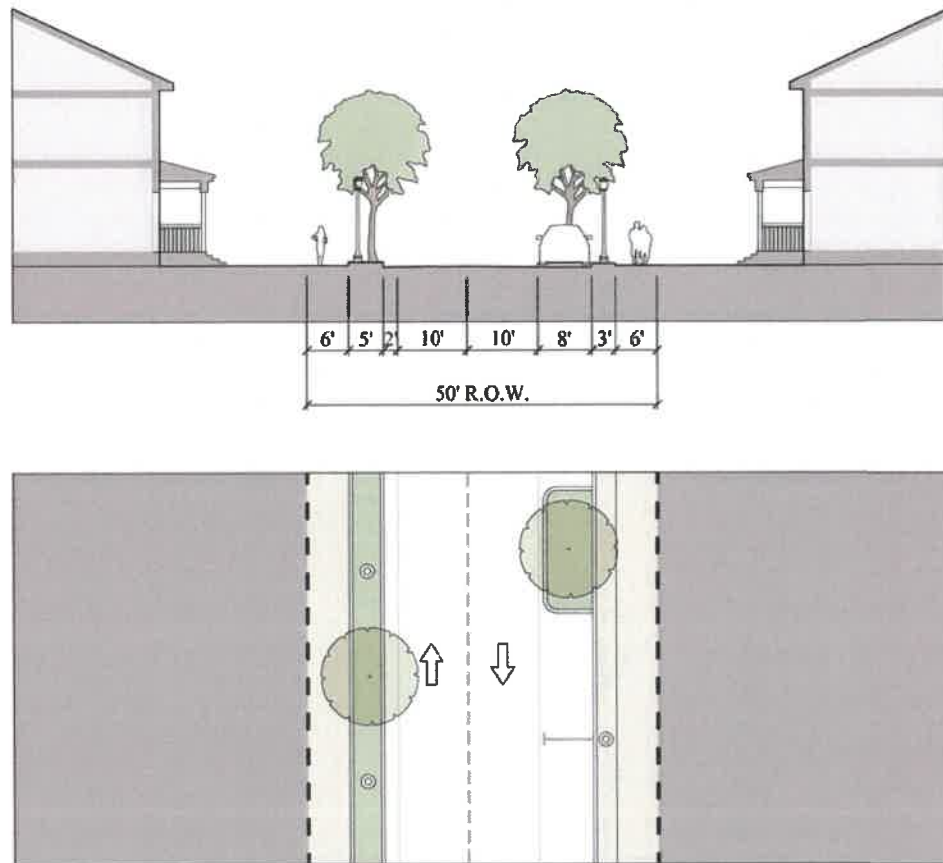


Type	Neighborhood Street 1
Traffic Lanes	10 feet
Parking Lanes	7 feet parallel on either or both sides
Bike Facility	Shared lane
Preferred R.O.W.	50 feet
Pavement Width	38 feet with valley gutters
Sidewalk	6 feet
Pedestrian Zone	4 feet (6 feet sidewalk with furnishing zone)
Furnishing Zone	2 feet
Median	Not required
Road Edge Treatment	Valley gutter
Planting	7 feet bulb-outs with shade trees 30 feet on center

Street Standards

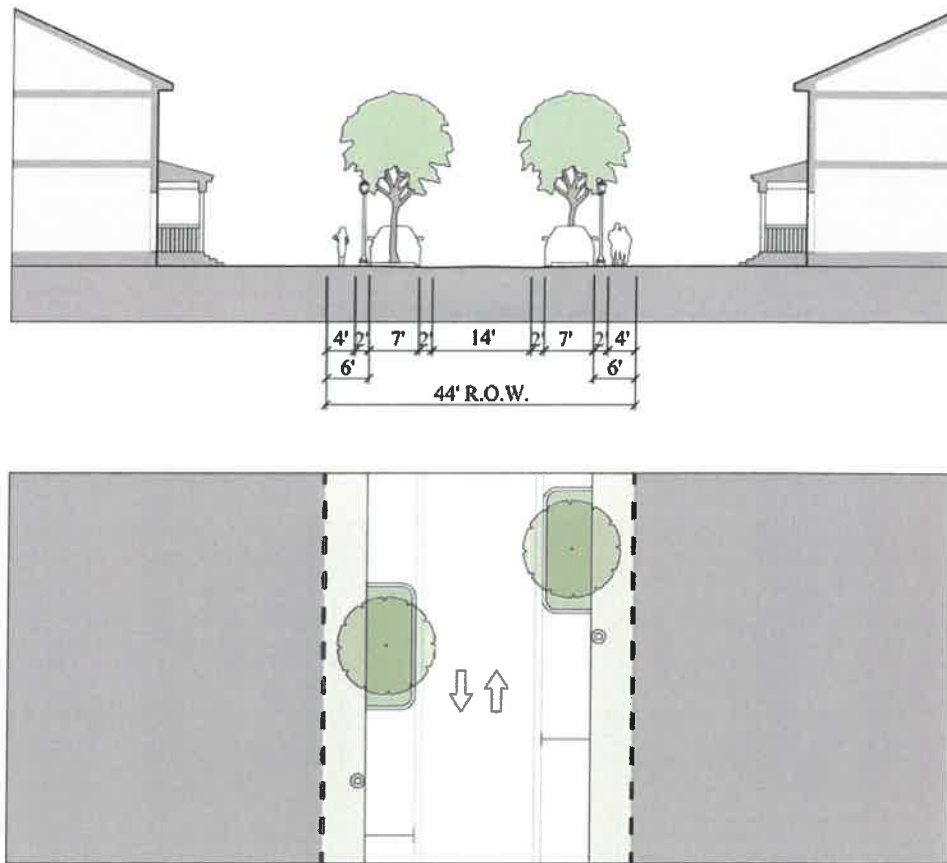
12.1.06

Figure 12-8.15 - Neighborhood Street 2



Type	Neighborhood Street 2
Traffic Lanes	10 feet
Parking Lanes	8 feet parallel one side
Bike Facility	Shared lane
Preferred R.O.W.	50 feet
Pavement Width	30 feet
Sidewalk	9 feet
Pedestrian Zone	6 feet
Furnishing Zone	3 feet
Median	Not required
Road Edge Treatment	Curb & gutter
Planting	5 feet planting strip and 7 feet bulb-outs with shade trees 30 feet on center

Figure 12-8.16 - Yield Street



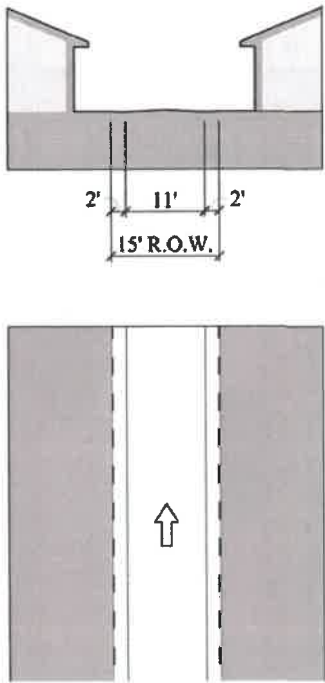
Type	Yield Street
Traffic Lanes	Shared 14 feet
Parking Lanes	8 feet parallel on either or both sides
Bike Facility	Shared lane
Preferred R.O.W.	44 feet
Pavement Width	32 feet
Sidewalk	6 feet
Pedestrian Zone	4 feet
Furnishing Zone	2 feet
Median	Not required
Road Edge Treatment	2 feet valley gutter
Planting	7 feet bulb-outs with shade trees at bulb-outs



Street Standards

12.1.06

Figure 12-8.17 - Alley



Type	Alley
Traffic Lanes	11 feet paved 1-way traffic
Parking Lanes	Not required
Bike Facility	Shared lane
Preferred R.O.W.	15 feet
Pavement Width	11 feet
Sidewalk	Not required
Road Edge Treatment	Valley gutter
Planter Strip	Not required
Planting	Not required

Section 12.1.07. Parking Standards.

- Parking rates.** Table 12-9.1 provides the minimum parking rates in Redevelopment Zoning Districts, unless specifically modified further in a Redevelopment Zoning District. Parking rates in Table 4.14.1, Section 4.624, Div. 14, Article 4 do not apply in Redevelopment Zoning Districts where modified in Table 12-9.1.

Table 12-9.1 - Minimum Parking Rates for Each Use Group

Residential Use Groups	Parking Rate
Accessory dwelling units	1 space per unit
Mobile homes	1 space per unit
Other dwelling types	1 space per unit
Single-family dwellings	2 spaces per unit
Bed and breakfast inns	0.5 space per guest room
Commercial & Business Use Groups	
Business & professional offices	1 space per 500 sf
Construction services, limited & extensive impacts	1 space/300 sf gross floor area plus 1 space/company vehicle (see 4.624)
Convenience store with fuel	1 space per 300 sf
Drive-through facility	Refer to primary use.
Drive-through restaurant	Refer to primary use.
Hotels, motels, resorts & spas	1 space per unit
Marinas	1 space/5 wet or dry slips plus 1 space/employee (see 4.624)
Medical offices	1 space per 250 sf
Parking lots & garages	-
Restaurants	1 space per 200 sf
Retail & services, limited impact	1 space per 350-sf
Retail & services, general impact	1 space per 350-sf
Retail & services, extensive impact	1 space per 250-sf
Recreational vehicle parks	(see parking rates in section 4.624)
Vehicular service & maintenance	2 spaces/3 employees plus 1 space/150 sf repair/service area (see 4.624)
Wholesale trades & services	1 space per 2,000 sf

Note: Square footages refer to gross floor area unless otherwise noted.

- Loading standards.** The loading standards in Section 4.626.4, Div. 14, Article 4 do not apply in Redevelopment Zoning Districts, unless specifically included or modified further in a particular Redevelopment Zoning District.
- Parking design standards.** The parking design standards in Section 4.627, Div. 14, Article 4 include certain modifications that apply in all Redevelopment Zoning Districts, unless specifically modified further in a particular Redevelopment Zoning District.
- On-street parking.** On-street parking within a public right-of-way along the lot frontage can be counted towards on-site parking requirements.
- Combined parking lot.** Where feasible, combined parking lots or continuous parking lots are encouraged.

Parking Standards

12.1.07

6. **Bicycle and Pedestrian Standards.** Commercial and mixed-use development shall provide bicycle parking in accordance with Table 12-9.2 and below standards. Redevelopment Zoning Districts may require additional bicycle parking as described in a particular Redevelopment Zoning District.

Table 12-9.2 - Minimum Bicycle Parking & Pedestrian Amenity

Gross Floor Area of Commercial Development	Required Bicycle or Pedestrian Amenity
0—9,999 square feet	0—9,999 square feet
0—9,999 square feet	1 bike rack, 1 bench
50,001—100,000 square feet	2 bike racks, 2 benches
100,001+ square feet	4 bike racks, 4 benches, outdoor water fountain

- a. **Pedestrian Access.** Parking lots and structures shall provide pedestrian and bicycle access directly from a street. In addition, pedestrian access shall also be provided directly from a building. Pedestrian access shall be separated from the vehicular travel path. All development should be designed to provide safe opportunities for alternative modes of transportation by connecting with existing and future pedestrian and bicycle ways and to provide safe passage from public rights-of-way to the building(s) within the commercial development, between adjoining developments, and between alternative modes of transportation. Wherever possible, pedestrian ways should be constructed of paver blocks, stamped or colored concrete or similar materials that clearly distinguish them from vehicular use areas and promote traffic calming.
- b. Structural or vegetative shading shall be provided along pedestrian ways at intervals of no greater than 70 feet.
- c. **Bicycle and pedestrian amenities.** Bicycle and pedestrian amenities shall be provided as determined by the square footage of buildings on the site as indicated in the Table 12-9.2. These amenities may be incorporated into a pedestrian arcade or similar feature that otherwise meets the requirements of this Article 12. Bicycle racks shall be provided within 50 feet of any customer entrance. The design of all amenities shall be of durable, long-lasting materials, consistent with the design of the principal structures on site and principles found in *Bicycle Facilities Planning and Design Handbook* (State of Florida, Department of Transportation, 1997). Benches shall not be less than six feet in length and shall have either structural or vegetative shading. Required bike racks shall be the inverted “U” type and shall be designed to store a minimum of six bicycles each.
- d. **Lighting.** Lighting fixtures shall be a maximum of 30 feet in height within a parking lot and shall be a maximum of 20 feet in height within non-vehicular pedestrian areas.
- e. **Public transit stops.** Any development providing more than 200 parking spaces and located adjacent to any arterial or collector street shall designate a minimum 100 square foot area on the site plan as a future public transit stop. The future public transit stop shall be located immediately adjacent to the right-of-way line of the arterial or collector street. The future transit stop area may be landscaped or used for overflow parking but shall not be used to comply with the minimum landscape, buffer, open

space or similar requirements. The landowner shall execute an easement authorizing the County to construct and maintain a transit stop at that location.

7. **Special Parking Alternatives for Redevelopment Centers (SPARC) program.** This program provides a mechanism for landowners to satisfy all or part of their on-site parking requirement by paying for a proportionate share of the cost of providing public or other off-site parking.
 - a. **Establishment of SPARC fund accounts.** Martin County shall establish SPARC fund accounts for each CRA participating in the program, into which shall be deposited all payments made pursuant to this program. Monies deposited into said accounts shall be used by the Martin County Board of County Commissioners, or their assigns, for the exclusive purpose of developing public parking within the particular CRA. Appropriate uses of SPARC funds include, but is not limited to, the cost associated with land acquisition, design and permitting, lease payments, construction, reconstruction, and signage. Said cost shall include the cost of all labor and materials, the cost to acquire all lands, property, rights, easements, and franchises acquired, the cost of financing, the cost of interest prior to and during construction and, for one year after completion of construction, discount on the sale of municipal bonds, the cost of plans and specifications, surveys of estimates of costs and of revenues, the costs of engineering and legal services, and such other costs and expenses necessary or incident to determining the feasibility or practicability of such construction or reconstruction, administrative expenses, and such other expenses as may be necessary or incident, to the construction or reconstruction of its financing.
 - b. **Provision of public or other common parking facilities.** The master plan for each CRA that authorizes the use of the SPARC program shall include provisions for the development of the public or other common parking facilities to be developed with SPARC funds, such as, but not limited to, potential locations for common parking, the preferred form of parking (e.g., elevated parking structures or on-street parking) and the maximum number of spaces likely to be developed at each location.
 - c. **Tracking and management of parking spaces.** Prior to the acceptance of contributions for a given SPARC fund, the County shall develop a system for documenting the number of off-site parking spaces for which each development has contributed funds and for ensuring that the public or other common parking facilities will be sufficient to provide all committed spaces.
 - d. The County shall use professionally accepted methods to determine the proportionate share of the cost of providing public or other off-site parking within each of the participating CRAs and shall adopt such fees by resolution.

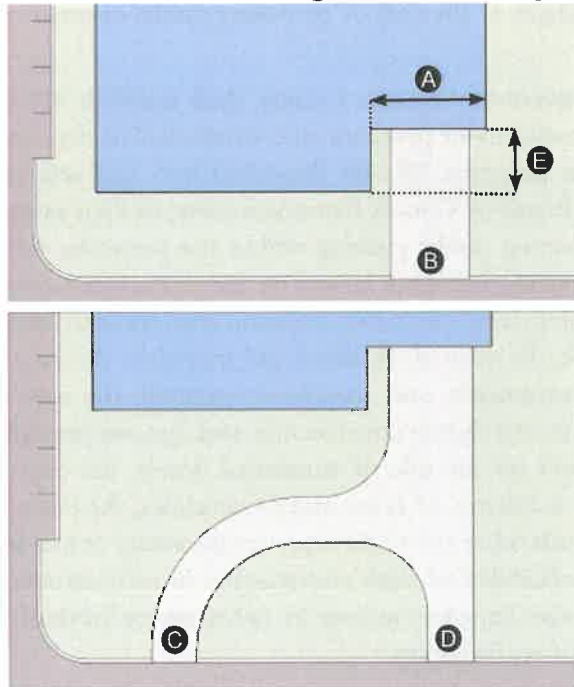
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Parking Standards

12.1.07

8. **Garage & Driveway.** Garages shall not be the principal element of the front facade. Garages shall be set back from the front facade as described in Figure 12-9.01 or configured with a side entry, shown in Figure 12-9.02. The total driveway width at the property line shall not exceed 20 feet.

Figure 12-9.01 - Single Family Dwelling - Front Loaded



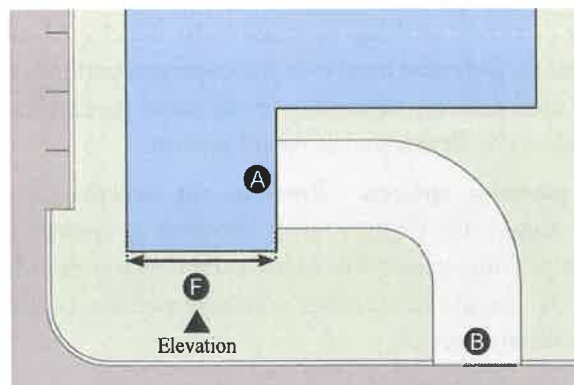
Description

Setting the garage back from the primary façade emphasizes the building entrance and living spaces.

Dimensions

Garage	40% max front elevation 2 car garage max.	A
Width of Driveway	20' max. total width at property line or 20' max. total width (C+D) at property line	B C D
Setback from Front Facade	5' min. (1 car garage) 10' min. (2 car garage)	E

Figure 12-9.02 - Single Family Dwelling - Front Loaded - Side Entry

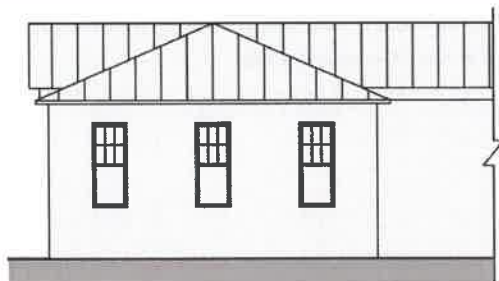


Description

Side entry garage continues the character of the home and diminishes the appearance of non-livable space to the street.

Dimensions

Garage	2 car garage max.	A
Width of Driveway	20 feet max.	B
Building Width	40% max. front elevation must be in character of main house and have operable windows.	F



Garage Elevation with Operable Windows

Section 12.1.08. Stormwater Standards.

1. Flood protection standards are provided in Div. 10, Article 4. Flood protection standards apply in all Redevelopment Zoning Districts and cannot be modified or exempted.
2. Stormwater management standards provided in Div. 9, Article 4 apply in Redevelopment Zoning Districts except as modified in this section for Small Sites. A Small Site is defined as the construction or expansion of a principal building or accessory structures on a lawful parcel, provided the parcel being developed is less than one-half acre.
3. The stormwater management requirements identified in Sections 4.384, 4.385.B.6, 4.385.C, 4.385.D, and 4.385.F.4, Div. 9, Article 4 are not applicable to Small Sites. Development on Small Sites shall be designed to control stormwater runoff, retain or detain stormwater runoff, and clean stormwater runoff by using one or more strategies from each Stormwater Strategy Category (pavement, storage and filtration) listed below in Table 12-10. The following strategies are recommended in the *Stormwater Design Toolkit* (Martin County CRA, January 2012).

Table 12-10 Stormwater Strategies for Small Sites

Pavement Strategies	Storage Strategies	Filtration Strategies
Concrete Grid Pavers	Cisterns	Bio-Retention Swales
Flexible Pervious Pavement	Concrete Chambers	Ex-filtration Trench
Plastic Grid Systems	Dry Retention / Detention	Green Roofs
Pervious Asphalt	Plastic Arch Chambers	Natural Wetlands
Pervious Concrete	Plastic Cellular Chambers	Rain Gardens
Pervious Pavers	Stormwater Harvesting	Rock Soaking Area
Rock Surfaces	Under Drains	Sand Filters
Unpaved Surfaces	Under-Ground Storage	Stormwater Filters
Wooden Walkways		Vegetated Wall

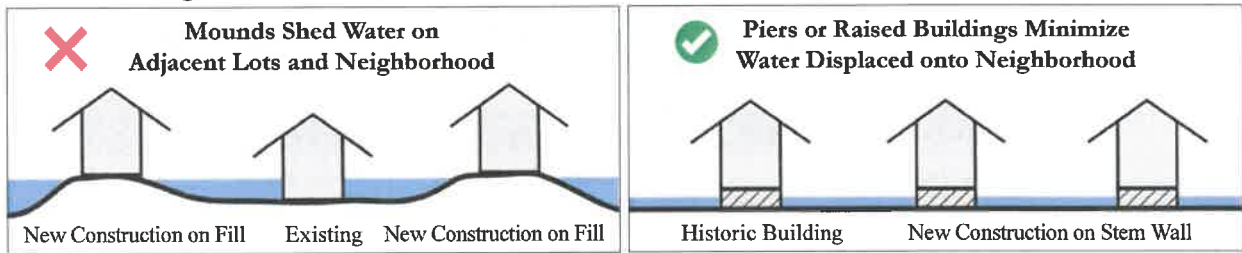
4. The application requirements for single family residential development found in the *Martin County Stormwater Management and Flood Protection Standards* shall also apply to Small Sites.
 - a. Topographic map with one foot contour lines extending a minimum of 25 feet off of the project site.
 - b. A plan showing existing adjacent development, FEMA flood zones, location relative to the Coastal High Hazard Area, or any other significant onsite features.
 - c. A drawing or map showing proposed alterations of the site including proposed excavations, dredging, grading, filling or clearing, impervious surfaces and water management facilities and the location, dimensions and the elevations of the first finished floor of all buildings to be constructed including:
 - i. A detail on the plan for the control of erosion and sedimentation at the perimeter of the area disturbed by construction which describes in detail the type and location of control measures.
 - ii. A detail on the plan of any temporary culverts that may be necessary to maintain the flow through roadside swales during construction.

Stormwater Standards

12.1.08

- iii. Cross section details of the fill to be placed on the lot.
 - iv. Cross section details of swales that are required to direct runoff to the street or other approved outfall.
 - v. Cross section detail with elevations of the driveway and driveway culvert (if applicable) where the driveway crosses a roadside swale.
5. Small Sites shall be developed in accordance with Section 4.389.B, Div. 9, Article 4 to ensure absolute minimal impact on adjacent property; however the use of perimeter berms is discouraged. Approaches on Small Sites shall be stem wall foundations, extended footers, concrete piers, or treated wood pilings to achieve required finished floor elevations while avoiding the need for excessive fill and perimeter berms. Within Redevelopment Zoning Districts the maximum slope of fill on the lot must not exceed 10:1 for structures (H:V). See Figure 12-11 and Figure 12-5 in Section 12.1.04 for reference.

Figure 12-11 - Impact of Foundation Types on Neighborhood Resiliency



Section 12.1.09. Landscape Standards.

1. Landscape, buffering, and tree protection standards are provided in Sections 4.661 through 4.668, Div. 15, Article 4. Each Redevelopment Zoning District shall specify which provisions apply in that Redevelopment District.

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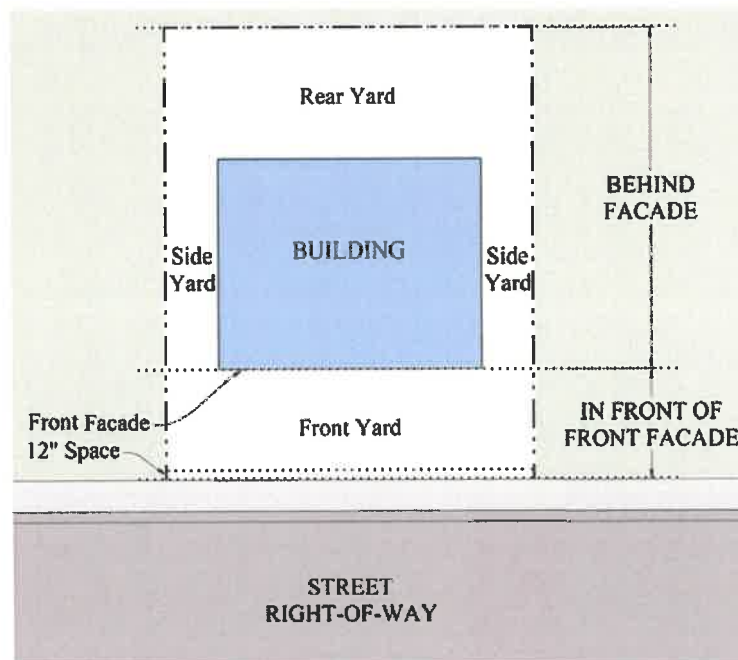
Wall & Fence Standards

12.1.10

Section 12.1.10. Wall & Fence Standards.

1. Fence and wall standards provided in Div. 4, Article 3 do not apply in Redevelopment Zoning Districts. Fences and walls in Redevelopment Zoning Districts must comply with the following standards, except as may be modified in a particular Redevelopment Zoning District.
2. **Location.**
 - a. Figure 12-12 illustrates how these fence and wall standards are applied on different portions of a lot.
 - b. Fences and walls adjoining a sidewalk on public property must allow no less than 12" of open space from the sidewalk.

Figure 12-12 - Wall & Fence Locations



3. **Materials.** Fences and walls shall be constructed with one or more of the materials listed in Table 12-13.

Table 12-13 - Wall & Fence Materials

Fence Materials	
Aluminum	Stone
Brick	Wood
Painted stucco	Wrought iron
Split-face masonry block	Vinyl
Steel	

4. **Height.** Fences and walls shall not exceed the following heights as measured from the adjacent natural grade:
 - a. 42 inches tall in front yards and in portions of side yards that are in front of the building's front façade.
 - b. 48 inches tall only where screening is required between an allowable Vehicular Use Area and a street.
 - c. 72 inches tall in rear yards and in portions of side yards that are behind or in line with the building's front façade.
 - d. Along the side or rear setback where commercial, multifamily, or mixed-use construction directly abuts a residential zoning district or an existing single family home without any separation between them of 30' feet or more, such as a street, alley, railroad, waterway, park, right-of-way, or other public open space, a 72 inch tall masonry wall is required. Refer to Building Transitions within Section 12.1.04 Development Standards.
 - e. Fences and walls on corner lots may be further restricted in height to maintain required site distance standards.
5. **Types.** Fences and walls must comply with these additional restrictions:
 - a. Chain link fences are permitted only in rear yards, and in side yards behind the façade of a building. Chain link fences must have vegetative screening where visible from a street or public park.
 - b. Dangerous fences, such as electrically charged fences or fences topped with barbed wire or other sharp objects, are not permitted unless approved as necessary to protect the public from hazardous conditions.
 - c. When one side of a fence or wall is finished to a higher standard than the other, the finished side must face outwards, except when abutting an existing fence or wall on the adjoining property.



Sign Standards

12.1.11

Section 12.1.11. Sign Standards

1. Sign standards as provided in Sections 4.691 through 4.709, Div. 16, Article 4 apply in Redevelopment Zoning Districts. However, as stated in Section 4.709, Div. 16, Article 4: “To the extent any sign regulations in any ordinances governing Community Redevelopment Areas in the County conflict with this ordinance, the regulations in the ordinances governing the Community Redevelopment Areas shall control unless otherwise provided by law.”
2. **Clear Height.** All **projecting** and **under canopy signs** shall be 9’ minimum above sidewalk.
3. **Window Signs.** Window signs shall not exceed 20 percent of the window area.
4. **Prohibited signs.** The list of prohibited signs in Section 4.695, Div. 16, Article 4 is adjusted for the Redevelopment Zoning District by adding the following prohibited signs:
 - a. **Back-lit awning signs** (signs affixed to awnings that have a translucent covering material that is illuminated from behind)
 - b. **Billboards and off premises signs** of any kind.
5. **Maintenance.** Signs shall be kept clean, painted and free from all hazards such as, but not limited to, faulty wiring and loose fastenings. Weeds shall be cut underneath and around the base of ground signs and no rubbish or debris shall be permitted that would constitute a fire hazard or be detrimental to the public health and safety. All signs shall be maintained in a manner which will withstand hurricane wind load requirements.
6. **Nonconformities.** Nonconforming signs shall not be structurally modified. Any nonconforming sign damaged in excess of 50 percent of the integrity of the structure as determined by the Building Official shall only be repaired in full compliance with the requirements of this section.
7. Certain sign standards may be modified in individual Redevelopment Zoning Districts to reflect the local character of an individual CRA. This character is a reflection of historic platting patterns, the greater mix of uses and stronger pedestrian orientation in older communities, and the evidence of blight that is being overcome through efforts of the Community Redevelopment Agency.



Section 12.1.12. Applicability.

1. **Nonconforming uses, structures, and lots.** All legally permitted uses, structures, and lots that are existing on the effective date of Article 12 that do not comply with Article 12 shall comply with Article 8, Nonconformities. Additionally, an existing structure in a special flood hazard area that does not comply with the base flood elevation requirements in Article 4, Div. 10. may be subject to Division 10 restrictions on substantial improvements to the structure.
2. **Alternative compliance.** An applicant for development approval may propose a site, landscape, or architectural plan which varies from the requirements of Article 12 in order to accommodate unique circumstances of the proposed development site or to propose a different but comparable design solution. Such alternative plan may include offers by the applicant to mitigate or offset the impacts of the alternative design. Such alternative plan may be approved only after review by the appropriate Neighborhood Advisory Committee and upon a finding by the Growth Management Director that the alternative plan fulfills the purpose and intent of Article 12 as well as, or more effectively than, adherence to the strict requirements of Article 12 and/or would help carry out specific goals or objectives outlined in the particular CRA plan. The alternative compliance process shall not be used to increase the height of buildings beyond the limits provided in Article 12. Appropriate justifications for approving alternative plans include, but are not limited to:
 - a. The resolution of site constraints associated with the incorporation of new buildings and structures on sites developed prior to the adoption of Article 12 or the expansion of existing buildings and structures.
 - b. The utilization of existing site characteristics, such as historical or archaeological features, topography, scenic views or native vegetation.
 - c. Improve or provide integration of proposed development with the surrounding off-site development.
 - d. The preservation of the historical or archaeological features of the area.
 - e. Accepting a design solution that is comparable to, but different from a standard in Article 12.



Review Process

12.1.13

Section 12.1.13. Review Process.

1. Article 10, Development Review Procedures, LDR, Martin County Code have special provisions that apply to development applications within CRAs:
 - a. Development application within the CRA means a request for development approval for land within one of the designated CRAs within unincorporated Martin County as defined in Section 10.1.B, Article 10.
 - b. Within CRA areas, the construction or expansion of a principal building and any accessory structures on a lawfully established lot, provided the lot is less than one-half acre shall be exempt from Sections 10.2 through 10.11 (site plan review) as specified in Section 10.1.D.2.s.
 - c. A pre-application meeting shall be mandatory where the site proposed for development is located within a CRA as specified in Section 10.5.C.2.m.
 - d. Development applications for projects within a CRA area are eligible for expedited staff review as specified in Section 10.5.E.3.1.
 - e. Development applications shall be presented to the Neighborhood Advisory Committee (NAC). The initial presentation to the NAC shall occur prior to the issuance of the first staff report and shall be independent of any presentation required with regard to a request for alternative compliance, as specified in Section 10.5.F.10.

Section 12.1.14. Glossary. For purposes of this Article, the following words, terms and phrases shall have the meanings as set forth below:

A

Accessory Dwelling Unit (ADU). Accessory dwelling unit (ADU) also referred to as an accessory apartment, second unit, or granny flat — is an additional dwelling on the same lot as a single-family dwelling or a lot developed for nonresidential purposes, that is independent of the principle dwelling unit or principal use. The separate living space is equipped with kitchen and bathroom facilities, and can be either attached or detached from the main residence.

Agrihood. Agrihoods are neighborhoods organized with residential and agriculture food cultivation.

Artisan, art studio, galleries. Artisan, art studios and galleries are the location of art production or art display. They may be private or open to the public and may include retail sales.

B

Balcony. An open habitable portion of an upper floor extending beyond a building's exterior wall that is not supported from below by vertical columns or piers but is instead supported by either a cantilever or brackets. Also, an accessory area to a dwelling, with one or more sides permanently open to the exterior except for a railing or parapet not exceeding four feet in height.

Building Type. A structure defined by its configuration.

Block. A combination of private lots, alleys, and passages that are surrounded by existing or new streets or by wetlands, parks, or civic spaces.

Build-to-Zone (BTZ). The range of allowable

distances from the front property line along which the principal vertical plane of the building's primary facade shall be built in order to create a moderately uniform line of building along the street.

Building Coverage. The horizontal area measured from the exterior surface of the exterior walls of the ground floor of the principal and accessory structures on a lot.

C

Civic Open Space. A natural, landscaped, or hardscaped outdoor area provided for the purpose of active or passive public recreation. May include publicly accessible outdoor amenities such as a playground, seating area, picnic area, multi-use path and temporary or permanent small outdoor performance space.

Convenience store with fuel. An establishment that provides goods and services primarily to the motoring public such as fuel sales, car washing, or car detailing, and that may also sell merchandise including food and beverages. This definition applies to this Article only.

D

Day care, family. A residence in which child care is regularly provided for children from at least two unrelated families and receives a payment, fee, or grant for any of the children receiving care, whether or not operated for profit, as licensed by the State of Florida, pursuant to F.S. § 402.302.(8), and complying with the statutory limits on the number of children receiving care.

Drive-through facility. An establishment that provides physical facilities which allow its customers or patrons to obtain food or goods, receive services, or be entertained while remaining in their motor vehicles. This definition applies to this Article only.



Glossary

12.1.14

Dwelling, single-family detached. A dwelling unit that is not physically attached to any other dwelling by any means, which is surrounded by open space on all sides and which is the only dwelling unit on a lot (except in designated CRAs if an accessory dwelling unit is explicitly permitted on a lot). This definition specifically excludes mobile homes as defined in this section (3.3). Two or more single-family detached dwelling units placed on a single lot shall be considered a duplex or multifamily dwelling use, depending on the number of dwelling units involved.

E

Entrance, Principal. The main point of access of pedestrians into a building, facing a street or public space.

Expression Line. A horizontal line, expressed by a material change or by a continuous projection not less than two inches nor more than one foot deep.

F

Façade. The exterior wall of a building.

Façade Transparency: The amount of transparent window glass or other openings in the façade of a building, relative to the overall surface area of the façade.

Farmer's market. An establishment providing for the retail sale of agricultural products, primarily involving the sale of fresh produce, such as fruits and vegetables, but also including such products and services that are customarily provided in rural or agricultural areas.

Form based code. Form based code is a land development regulation that fosters predictable built results and a high-quality public realm by using physical form (rather than full separation of uses) as the code's primary organizing principle.

Frontage Line. The property line at the street right-of-way dividing the right-of-way from the private frontage area.

Frontage Buildout. The minimum percentage of the lot width which must be occupied by building façade along the Build-To-Zone. For example, a property which is 100 feet wide with a frontage width percentage of 60% would require that at least 60 feet of façade length be maintained in the Build-to-Zone. Any additional length of front façade would be allowed to step back further from the Frontage Line, if desired. The intent of this requirement is to encourage development to maximize their front façade exposure along the street or public space.

M

Mixed-use development pattern. A development pattern where a complementary mix of uses are located within walking distances. This pattern is allowed by the Redevelopment Zoning Districts that specify allowable uses and development standards that are appropriate for a mixed-use development pattern. These complementary uses may be, but are not required to be, within a single building or development project.

Mixed-use development project. A development project with one or more buildings that contain a mix of uses within the project that are in close proximity to each other and that are planned as a unified, complementary whole.

O

Open space. That portion of a development that is permeable and remains open and unobstructed from the ground to the sky, specifically excluding parking areas, whether permeable or impermeable.

P

Paseo. A public walk, plaza or pedestrian streetscape.



Primary Building. The building or buildings on a lot that contain the principal use or uses.

Primary Façade. The façade of a building that faces the street. In the case of a corner lot, it is the façade along the higher priority street on the street hierarchy.

Principal Building. The main building on a Lot, usually located toward the Frontage.

R

Regulating Plan. A map or set of maps in a Redevelopment Zoning District that provide details about the existing and desired character of the district, including its streets, blocks, and civic spaces, and also provides other regulatory details. See Section 12.1.02.

S

Shared Use Path. Shared use path is a multi-use trail or other path, physically separated from motorized vehicular traffic by an open space or barrier, either within a highway right-of-way or within an independent right-of-way, and usable for transportation purposes. Shared use paths may be used by pedestrians, bicyclists, skaters, equestrians, and other nonmotorized users.

Small Site. Small Site is defined as the construction or expansion of a principal building or accessory structures on a lawful parcel, provided the parcel being developed is less than one-half acre.

U

Urban Agriculture. Urban farming or community gardens which promote local food production. Livestock is prohibited. Private residential gardens are excluded and do not apply.

Use groups. Use groups combine individual uses described in the LDR into groups of uses with similar impacts. Use groups are used in Redevelopment

Zoning Districts. Individual uses are defined in the glossary in Section 3.3, Div. 1, Article 3.

W

Working waterfront. The use of waterfront land for commercial fishing and related activities including fuel sales; marine manufacturing, repair, and storage facilities; public access including launching facilities, and compatible supporting uses. This definition applies in Redevelopment Zoning Districts.

1. Additional definitions are found in these sections of the LDR:
 - a. Sec. 3.3 Zoning District General Provisions
 - b. Sec. 3.403 Category 'C' Zoning District Terms Defined
 - c. Sec. 4.141 Wellfield Protection
 - d. Sec. 4.31 Upland Protection
 - e. Sec. 4.382 Stormwater Management
 - f. Sec. 4.661 Landscaping, Buffering and Tree Protection
 - g. Sec. 4.73 Mangrove Protection
 - h. Sec. 4.842 Roadways
 - i. Sec. 7.3 Development Agreements

Article 12, Division 7, Golden Gate Community Redevelopment Code, and amendment of the Zoning Atlas

Public Comment

None received as of October 1, 2020.

Article 12, Division 7, Golden Gate Community Redevelopment Code, and amendment of the Zoning Atlas

Public Notice

- a. Certification of mailing
- b. Sign Certification
- c. Published Advertisement

D-Signs, LLC
911 S.E. Hillcrest Ave.
Stuart, FL 34994

May. 7, 2020


Martin County Growth Management
2401 SE Monterey Rd.
Stuart, FL 34996

REF: CPA 19-28
Goldern Gate CRA

Attn::

This Letter is to Certify that the above referenced sign(s) were installed per Martin County requirements. This sign was posted on _____ according to and complies with the standards of the notice provisions of Article 10, Section 10:6 Development Review Procedures.

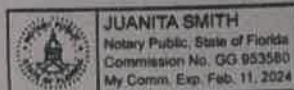
Sign 1: Iris st.
Sign 2: Dixie Hwy
Sign 3: Clayton & St. Lucie

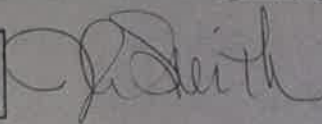

Kurt C. Larsen

5/7/20
Date

State of Florida
County of Martin

Kurt C. Larsen, who is personally known to me, who did not take an oath, acknowledged the foregoing instrument before me on 5-7-2020.











The locations for the three signs:

1. -80.214477, 27.162718 - On Iris St and the Camino ROW



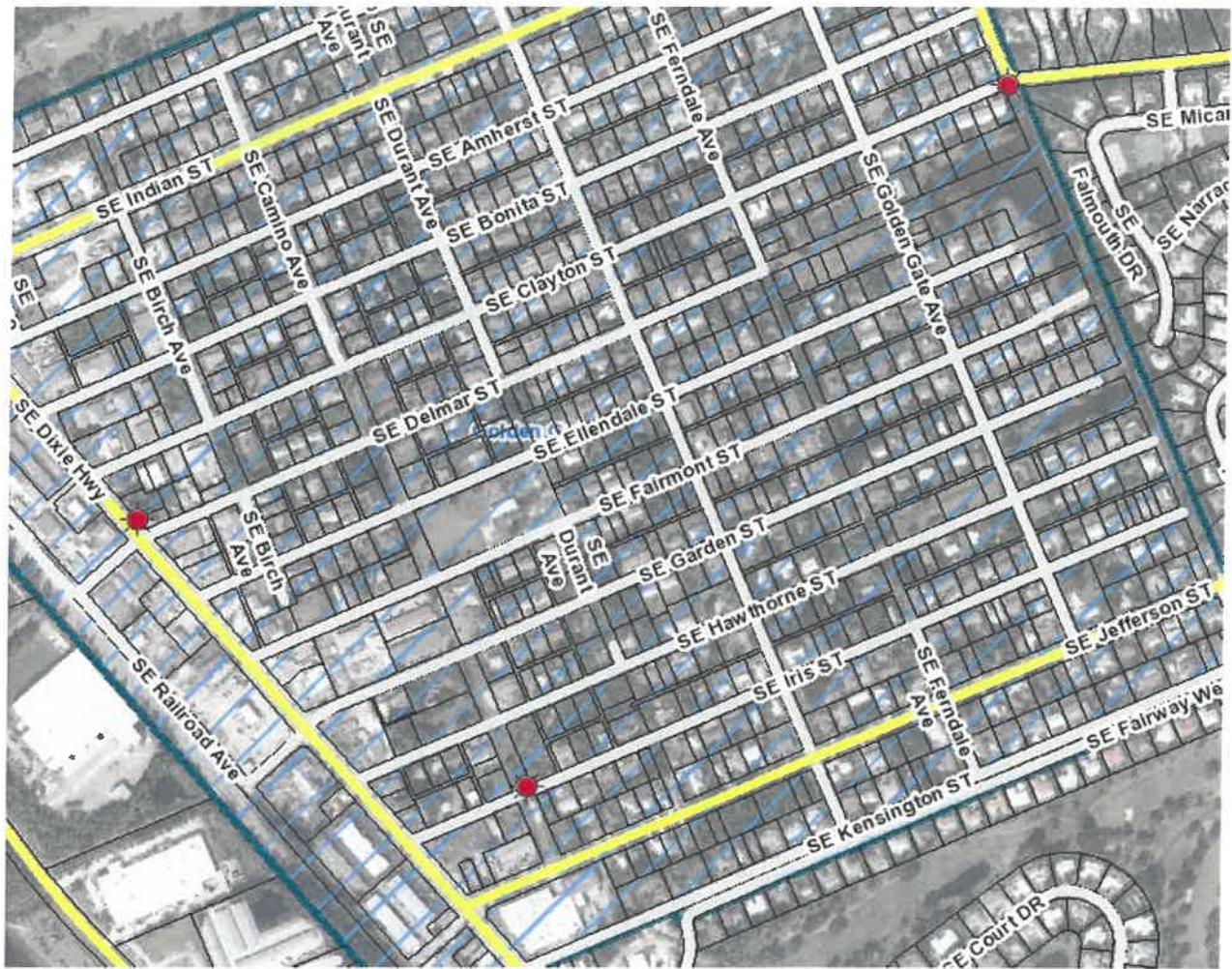
2. -80.219139, 27.165535 – Off Dixie Hwy next to the Golden Gate Center



3. -80.208828, 27.170164 – Corner of Clayton St and St. Lucie Blvd (right at the CRA Boundary)



Overview of the sign locations (3 red stars) – Yellow star is where the electronic message board will be located.



FDA warns Ohio research institute about sanitizing

Max Filby
The Columbus Dispatch
USA TODAY NETWORK

COLUMBUS, Ohio – The Food and Drug Administration criticized a Columbus, Ohio-based research institute this week for failing to track issues with its mask decontamination units.

Battelle received a letter from the FDA on Wednesday warning that it did not have proper protocols in place to report adverse events that occur when people use masks cleaned by the nonprofit research institute's Critical Care Decontamination System units.

Battelle's decontamination technology, which the company says can sanitize 80,000 N95 masks per day per unit, was approved for use as a shortage of the masks hit the U.S. when the COVID-19 pandemic began in March.

Adverse events questioned by the FDA include, but are not limited to, allergic reactions, shrunk or misshapen respirators, a poor fit or seal of N95 masks, shredding, peeling, or discoloration of the respirator, mask straps breaking, odor issues, infection in wearers of decontaminated masks and skin irritation, the letter says.

"When there is an inadequate adverse event reporting process, the ability to detect problems and address them in order to assure the safety and performance of decontaminated respirators is compromised," Dr. Binita Ashar, director of the FDA's Office of Surgical and Infection Control Devices in the Center for Devices and Radiological Health, said in a news release. "We will hold companies accountable if they fail to fulfill their regulatory obligations."

Battelle is required to respond within the next 15 days, according to the FDA. "We appreciate the clarity that the FDA's letter has provided, and we will be submitting our response in the coming days to continue to meet their requirements," Battelle spokesman T.R. Massey told The Columbus Dispatch.

"We are appreciative of the FDA's work early in the pandemic to get this capability fielded, including Dr. Binita Ashar's personal involvement in mak-



Workers at Battelle's West Jefferson facility build one of its Critical Care Decontamination Systems. COURTESY OF BATTELLE

ing this technology available to nurses, doctors and other health care professionals."

Massey said the nonprofit research institute has been in touch with the FDA as "reporting obligations have evolved during the pandemic."

The FDA wrote to Battelle in August requesting information about the institute's processes for reporting adverse events to the FDA after the agency became aware that there may be deficiencies in the sanitization process.

Battelle's mask-cleaning technology was used at some Columbus-area hospitals, including Ohio State University's Wexner Medical Center and OhioHealth facilities.

While the reused masks were sometimes damaged, OhioHealth spokesman Colin Yoder said Battelle's cleaning system ensured every person who entered the room of a COVID-19 patient at OhioHealth's hospitals was wearing an N95 mask.

"We did not experience widespread mask degradation, but did occasionally have a mask that changed shape enough to not fit well and, in those situations, we'd simply discard the mask and grab another mask," Yoder said.

"This was a temporary solution for OhioHealth, and we continue to source new, disposable N95 masks as our ideal and primary solution."

Shutdowns spark Jewish community protests

Ryan W. Miller
USA TODAY

NEW YORK – Protesters gathered for a second night in New York on Wednesday in defiance of new shutdown orders in some of the city's neighborhoods that have seen concerning spikes in new COVID-19 cases in recent weeks.

Orthodox Jewish protesters gathered en masse in Brooklyn, some with masks and others without, decrying new restrictions from Gov. Andrew Cuomo that would close nonessential businesses and schools and limit the size of religious gatherings.

The new lockdown orders were issued for parts of Queens, Brooklyn and the city's suburbs that have disproportionately contributed to new virus cases in recent weeks, and some of those areas are home to large populations of the Orthodox Jewish community.

The new measures also come amid the Jewish holiday of Sukkot, contributing to the anger from some of those in the Orthodox community.

Photos and videos of the Wednesday night protest showed crowds dancing in the street and waving campaign flags for President Donald Trump.

However, a reporter, Jacob Kornbluh of Jewish Insider, said he was "brutally assaulted" after being targeted in the protest by a critic of the lockdown.

Kornbluh said he was "hit in the head, and kicked at by an angry crowd of hundreds of community members." Kornbluh, who is Jewish, said he was also called "Nazi" and "Hitler."

New York Police Department said in an email to USA TODAY that no arrests were made or summonses issued for violations of COVID-19 restrictions.

Crowds also gathered Tuesday to protest the new restrictions. Fires were lit to burn masks and at least two people were injured, according to local news outlet Gothamist.

Addressing concerns that the lockdown restrictions were singling out the Orthodox community, Cuomo said earlier Wednesday that the cluster boundaries were driven entirely by data.



Members of the Orthodox community speak with NYPD officers Wednesday in the Borough Park neighborhood of Brooklyn. JOHN MINICILLO/AP

However, he acknowledged that some were critical of his decision.

Mayor Bill de Blasio, who had proposed new shutdowns to the state on Sunday based on ZIP codes, defended the governor's plan to limit gatherings in houses of worship.

"We know that we've got to get out of this and we've got to get out of it quickly. No one wants to see a full resurgence, a second wave in New York City. If we get a second wave, then a lot more will be shut down for a lot longer," de Blasio told reporters Wednesday.

Nine ZIP codes have seen test positivity levels rise above 3% on a seven-day average, de Blasio said. The city is also watching a dozen other ZIP codes that are nearing that number, too. The mayor proposed shutdowns based on those ZIP codes, but Cuomo instead issued the orders on a tiered cluster system. The closer to the center of the cluster, the tougher the restrictions.

In "red" zones, the areas with the highest levels of the virus, houses of worship will be limited to 25% capacity or 10 people maximum; mass gatherings prohibited; no nonessential businesses; dining can be takeout only; schools would be online only.

Those new restrictions will apply to five COVID-19 clusters across the state.

Contributing: Joseph Spector and Jon Campbell, New York State Team

Martin County - Growth Management
N/A
A-14-A11
Notice of Public Hearings

Advertiser: GC10508127-01
Agency: N/A
Section-Page-Zone(s): 3 Col x 10 in
Description: N/A

The Stuart News
TREASURE COAST NEWSPAPERS
PART OF THE USA TODAY NETWORK

Friday, October 9, 2020

NOTICE OF PUBLIC HEARINGS

The Martin County Board of County Commissioners will conduct public hearings on October 27, 2020, beginning at 9:00 A.M., or as soon thereafter as the items may be heard, to review the following items:

1. AN ORDINANCE OF MARTIN COUNTY, FLORIDA, REGARDING COMPREHENSIVE PLAN AMENDMENT 19-28, GOLDEN GATE, AMENDING THE FUTURE LAND USE MAP OF THE MARTIN COUNTY COMPREHENSIVE GROWTH MANAGEMENT PLAN; PROVIDING FOR CONFLICTING PROVISIONS, SEVERABILITY, AND APPLICABILITY; PROVIDING FOR FILING WITH THE DEPARTMENT OF STATE, AND AN EFFECTIVE DATE.
2. AN ORDINANCE OF MARTIN COUNTY, FLORIDA, CREATING DIVISION 7, GOLDEN GATE COMMUNITY REDEVELOPMENT CODE OF ARTICLE 12, REDEVELOPMENT CODE, LAND DEVELOPMENT REGULATIONS, MARTIN COUNTY CODE; REPEALING SECTION 3.267, GOLDEN GATE COMMUNITY REDEVELOPMENT AREA, LAND DEVELOPMENT REGULATIONS, MARTIN COUNTY CODE; AMENDING THE ZONING ATLAS TO ASSIGN THE GOLDEN GATE REDEVELOPMENT ZONING DISTRICT AND MAKE OTHER CHANGES FOR CONSISTENCY WITH THE FUTURE LAND USE MAP; PROVIDING FOR APPLICABILITY, CONFLICTING PROVISIONS, SEVERABILITY, FILING WITH THE DEPARTMENT OF STATE, COORDINATION, AND AN EFFECTIVE DATE.
3. AN ORDINANCE OF MARTIN COUNTY, FLORIDA, REGARDING COMPREHENSIVE PLAN AMENDMENT 20-02, MARTINEZ COVE ROAD, AMENDING THE FUTURE LAND USE MAP OF THE MARTIN COUNTY COMPREHENSIVE GROWTH MANAGEMENT PLAN; PROVIDING FOR CONFLICTING PROVISIONS, SEVERABILITY, AND APPLICABILITY; PROVIDING FOR FILING WITH THE DEPARTMENT OF STATE, AND AN EFFECTIVE DATE.

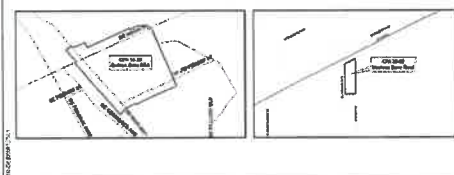
In conjunction with:

4. A RESOLUTION OF MARTIN COUNTY, FLORIDA, REGARDING AN APPLICATION TO CHANGE THE ZONING DISTRICT FROM A-1, SMALL FARMS DISTRICT TO RE-1/2, A, RESIDENTIAL ESTATE DISTRICT OR THE MOST APPROPRIATE ZONING DISTRICT ON 2.38 ACRES AT 1500 S.E. COVE ROAD, WEST OF S.E. GRACE LANE.

All interested persons are invited to attend and be heard. The meeting will be held in the John F. and Rita M. Armstrong Wing of the Blake Library, 2351 SE Monterey Road, Stuart, Florida 34996. Written comments may be mailed to: Paul Schilling, Director, Martin County Growth Management Department, 2401 S.E. Monterey Road, Stuart, Florida 34996. Copies of the items will be available from the Growth Management Department. For more information, contact the Growth Management Department at (772) 288-5495.

Persons with disabilities who need an accommodation in order to participate in this proceeding are entitled, at no cost, to the provision of certain assistance. This does not include transportation to and from the meeting. Please contact the Office of the ADA Coordinator at (772) 320-3131, or the Office of the County Administrator at (772) 288-5400, or in writing to 2401 SE Monterey Road, Stuart, FL, 34996, no later than three days before the hearing date. Persons using a TTY device, please call 711 Florida Relay Services.

If any person decides to appeal any decision made with respect to any matter considered at the meetings or hearings of any board, committee, agency, council, or advisory group, that person will need a record of the proceedings and, for such purpose, may need to insure that a verbatim record of the proceedings is made, which record should include the testimony and evidence upon which the appeal is to be based.



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BCC MEETING DATE: October 27, 2020
AGENDA ITEM: PHQJ-2

**MARTIN COUNTY, FLORIDA
SUPPLEMENTAL MEMORANDUM**

TO: Honorable Members of the Board of County Commissioners **DATE:** October 15, 2020

VIA: Taryn Kryzda
County Administrator

FROM: Paul Schilling
Growth Management Director

REF: 20-1121

SUBJECT: SECOND PUBLIC HEARING TO CONSIDER ADOPTION OF AN
ORDINANCE CREATING DIVISION 7, GOLDEN GATE COMMUNITY
REDEVELOPMENT CODE, IN ARTICLE 12, LDR, AND AMENDING
THE ZONING ATLAS

This Supplemental Memorandum provides Exhibit A and Exhibits B through E to the proposed ordinance amending the Zoning Atlas and enacting Article 12, Division 7, Golden Gate Community Redevelopment Code.

Exhibit A is the complete text of the proposed Article 12, Division 7 recommended for adoption. Revisions were made to Table GG-4, the Permitted Use Groups, to provide that within the Core Subdistrict *Construction services, limited* and *Wholesale trades and services* are permitted use groups if established prior to the effective date of the ordinance. The Article 12, Division 7 attached to this Supplemental Memo and dated October 13, 2020 is the version recommended for adoption by staff.

Exhibits B through E contain the *Sketch and Legals* for the zoning districts assigned by the ordinance—GGR (Golden Gate Redevelopment), PS-1 (Public Service-1), PR (Public Recreation), and PS (Public Servicing) Zoning Districts.

Reviewed by County Attorney's Office

This document may be reproduced upon request in an alternative format by contacting the County ADA Coordinator (772) 320-3131, the County Administration Office (772) 288-5400, Florida Relay 711, or by completing our accessibility feedback form at www.martin.fl.us/accessibility-feedback.



Division 7, Article 12
Golden Gate Community Redevelopment Code

Section 12.7.01. Purpose.

1. Golden Gate is one of the most historic neighborhoods in Martin County with its original platting in 1911 by Henry Sewall. In addition to the historic Golden Gate Building and several Mediterranean Revival and Mission homes from its mid-1920s development, the neighborhood contains a wide variety of housing types, job centers, commercial storefronts, and parks. It has the advantage of a grid street plan that can provide a robust system of local streets, sidewalks, and bikeways. This LDR Division seeks to strengthen the historical and cultural attributes of Golden Gate, and is intended to:
 - a. Achieve the goals, policies, and objectives of the Martin County Growth Management Plan and the Golden Gate Community Redevelopment Plan;
 - b. Strengthen Golden Gate's character and economic well-being as a vibrant neighborhood; Provide clarity and predictability in future planning and development in Golden Gate;
 - c. Provide clarity and predictability in future planning and development in Golden Gate;
 - d. Promote high-quality standards of residential and non-residential growth;
 - e. Ensure a desirable and resilient built environment for future generations.
2. **Golden Gate Redevelopment Zoning District.** This Article 12, Division 7 of the Martin County Land Development Regulations establishes the Golden Gate Redevelopment Zoning District and the permitted uses and development standards applicable therein.
3. **Organization.** How this Division is organized:

Section 12.7.01	Purpose
Section 12.7.02	Regulating Plan
Section 12.7.03	Permitted Uses
Section 12.7.04	Development Standards
Section 12.7.05	Building Type & Frontage Type Standards
Section 12.7.06	Street Standards
Section 12.7.07	Parking Standards
Section 12.7.08	Stormwater Standards
Section 12.7.09	Landscape Standards
Section 12.7.10	Wall & Fence Standards
Section 12.7.11	Sign Standards
Section 12.7.12	Architectural Standards

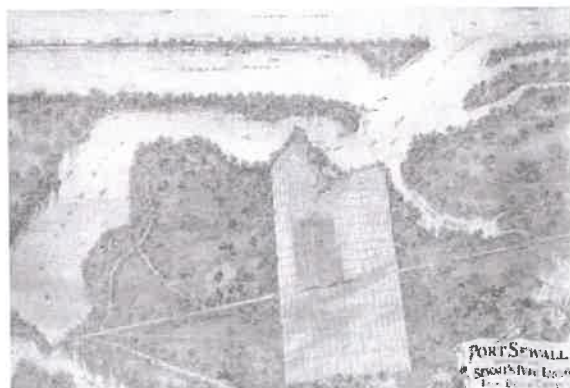


Figure GG-1 Historical Port Sewall Map of 1911 depicting the original platted Golden Gate community.



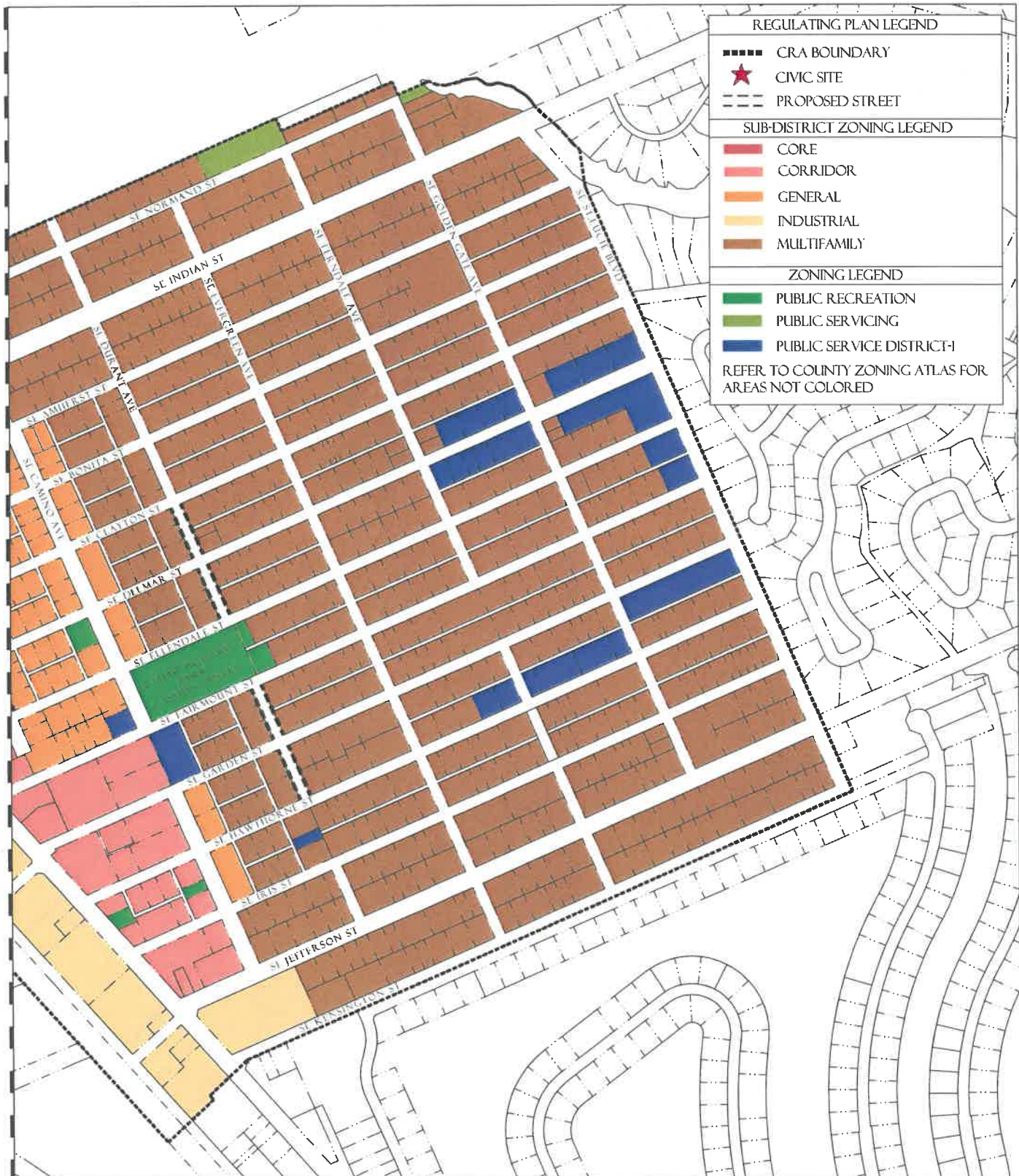
Regulating Plan

12.7.02

Section 12.7.02. Regulating plan. Figures **GG-2** and **GG-3** are the Regulating Plans that apply to the Golden Gate Redevelopment Zoning District. Section 12.1.02 describes the purpose and content of Regulating Plans.

Figure GG-2 Regulating Plan



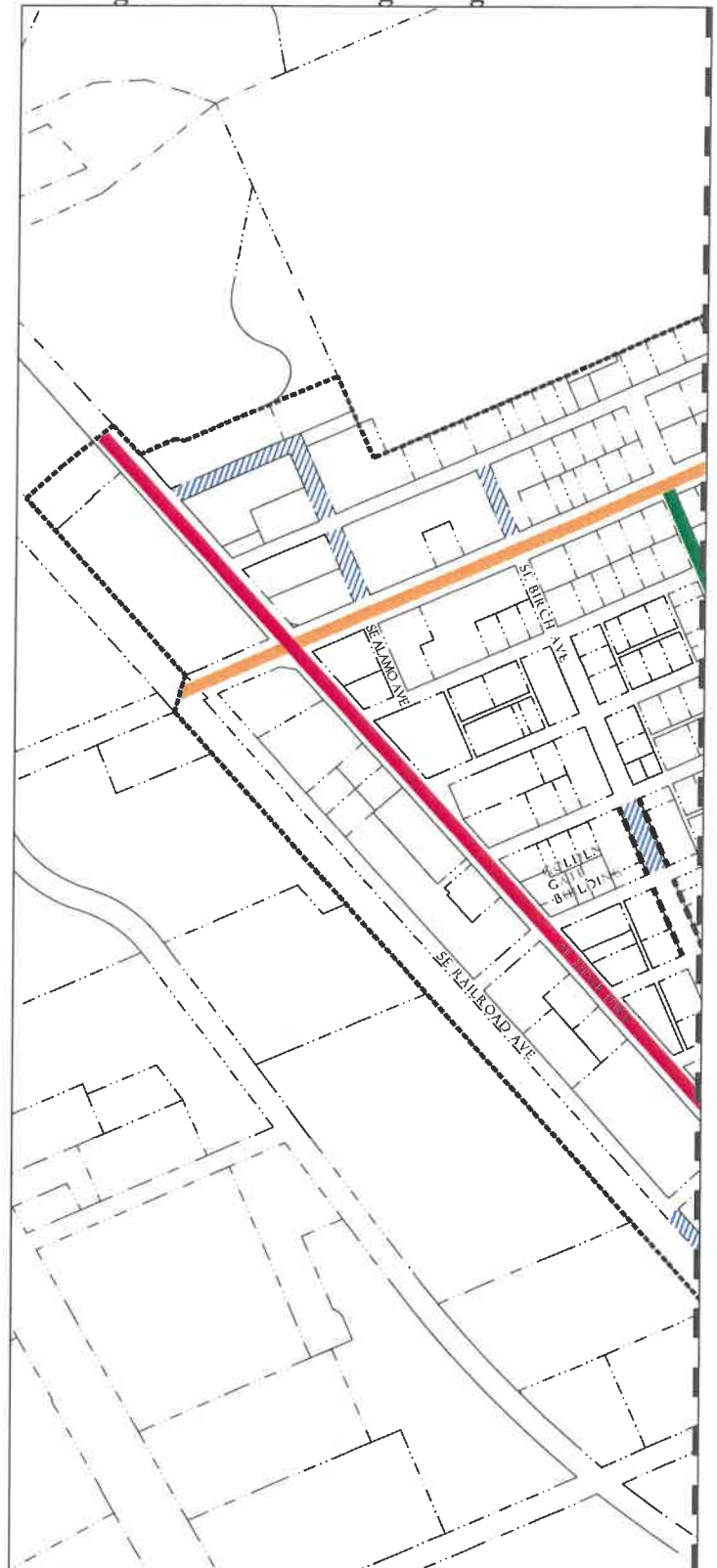




Regulating Plan

12.7.02

Figure GG-3 Street Regulating Plan





Permitted Uses

12.7.03

Section 12.7.03. Permitted Uses. Table **GG-4** identifies permitted uses in the Golden Gate Redevelopment Zoning District.

1. The use groups listed in the first column of Table **GG-4** are described in Section 12.1.03.
2. The remaining columns identify the Subdistricts shown on the Regulating Plan.
 - a. “P” in a row below a column means that any use in that use group is permitted within that Subdistrict, provided the use can be developed in accordance with all applicable requirements of the LDR.
 - b. If “P” is not shown in a row, the use group is not permitted in that Subdistrict.
3. For uses that are functionally similar but not clearly permitted in a Subdistrict see Section 12.1.03.3.



Table GG-4 Use Groups Permitted in Golden Gate Subdistricts

	Core	General	Corridor	Industrial	Multifamily
Residential Use Groups, see 12.1.03					
Accessory dwelling units	P	P	P	P ¹	P
Mobile homes	-	-	-	-	-
Other dwelling types	P	P	P	P ¹	P
Single-family dwellings	-	P	-	-	P
Bed and breakfast inns	P	P	P	-	P
Agricultural Use Groups, see 12.1.03					
Urban farming	-	-	P	P	-
Commercial & Business Use Groups, see 12.1.03					
Business & professional offices	P	P	P	P	-
Construction services, limited	P ³	-	P	P	-
Construction services, extensive	-	-	-	P	-
Convenience store with fuel	-	-	-	P	-
Drive-through facility	-	-	-	-	-
Drive-through restaurant	-	-	-	-	-
Hotels, motels, resorts spas	P	P	P	-	-
Marinas	-	-	-	-	-
Medical offices	P	P	P	P	-
Parking lots and garages	P	P	P	P	-
Restaurants	P	P	P	P	-
Retail & services, limited impact	P	P	P	P	-
Retail & services, general impact	P ²	-	P ²	P	-
Retail & services, extensive impact	-	-	-	P	-
Recreational vehicle parks	-	-	-	-	-
Vehicular service and maintenance	-	-	-	P	-
Wholesale trades and services	P ³	-	P	P	-
Working waterfront	-	-	-	-	-
Public & Institutional Use Groups, see 12.1.03					
Institutional uses, limited impact	P	P	P	P	P
Institutional uses, general impact	P	-	P	P	-
Industrial Use Groups, see 12.1.03					
Limited impact industries	-	-	P	P	-
Extensive impact industrial industries	-	-	-	P	-
Footnotes, see above					
¹ Residential development in the Industrial Subdistrict shall be within a Mixed-Use Projects.					
² No Residential storage facilities are permitted.					
³ Construction services, limited and Wholesale trades and services shall be a permitted use if established prior to the effective date of this ordinance.					



Development Standards

12.7.04

Section 12.6.04. Development Standards.

1. All new development, substantial improvements of a building, and substantial renovations of a building exterior shall comply with the Development Standards in Table **GG-5**.
2. **Existing Buildings.** Whenever substantial improvement of a building or substantial renovation of a building exterior triggers the obligation to comply with this Division, the Growth Management Director may authorize incremental compliance with its requirements proportional to the nature and scope of the existing and proposed improvements if full compliance would be unreasonable. An application for alternative compliance shall not be required, but the Growth Management Director may require that the proposal be presented to the Neighborhood Advisory Committee for review and comment. See Section 4.871.B, Div. 20, Article 4.
3. **Accessory Dwelling Units.** Standards for accessory dwelling units are provided in Development Standards Section 12.1.04.8.
4. **Building Types.** Each new building, and any substantial improvement, must meet the standards for one of the Building Types permitted in the Subdistrict where it is located, see Table **GG-5**. Building Type diagrams do not prescribe use or architectural style and are illustrative. Dimensions provided in tables are regulatory requirements.
5. **Façade Transparency.** Shopfront, Mixed-Use, Office, Apartment and Courtyard Building façades facing streets or civic open spaces at the ground level must have transparent windows which cover between 40 percent and 70 percent of the wall area. Building façades above ground level must have transparent windows which cover between 20 percent and 50 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than forty percent.
6. **Convenience store with fuel.** In addition to the standards in Section 3.106. - Vehicular service and maintenance, development shall meet the following criteria:
 - a. A ground level shop must be located along a street, with the gas pumps located to the rear or side of the lot as illustrated in Figure GG-12-9.04. No more than eight fuel positions and four fueling islands are permitted, refer to GG-12-9.05.
 - b. The shop shall have the primary entrance facing and directly accessible from the street; an additional entrance shall face the parking lot.
 - c. Gasoline Stations may be one story in height.



Table GG-5 - Development Standards in Golden Gate Subdistricts

	Core	General	Corridor	Industrial	Multifamily
Lot Size, see 12.1.04.1					
Lot area - minimum in sf	2,500	2,500	2,500	2,500	5,000
Lot width - minimum in feet	25	25	25	25	50
Height, see 12.1.04.2					
Building height, maximum in stories	3	3	3	3	2
Building height, maximum in feet	40	40	40	40	30
Ceiling height, maximum in feet	Established in 12.7.05 for certain building types				
Density, see 12.1.04.3					
Residential density, max in units/acre	15	15	15	10 ¹	8
Hotel/motel density, max in units/acre	20	20	20	-	-
Building Coverage, see 12.1.04.4					
Building coverage, maximum %	80	60	80	50	60
Open Space, see 12.1.04.5					
Open space, minimum in %	20	30	20	20	30
Building & Parking Placement, see 12.1.04.6					
Build-to Zone min/max in feet	Established in 12.7.05 for certain building types				
Side and Rear setbacks	Established in 12.7.05 for certain building types				
Frontage percentage, minimum %	Established in 12.7.05 for certain building types				
Parking setbacks, minimum in feet	Established in 12.7.05 for certain building types				
Building Types, see 12.7.05					
Shopfront Building	P	-	P	P	-
Mixed-Use Building	P	P	P	P	-
Office Building	P	-	P	P	-
Apartment Building	P	P	P	-	P
Courtyard Building	P	P	P	-	P
Townhouse	P	P	P	-	P
Live/Work Building	P	P	P	P	-
Side Yard House	-	P	-	-	P
Cottage	P	P	P	-	P
Cottage Court	P	P	P	-	P
Duplex	-	P	-	-	P
All Yard House	-	P	-	-	P
Outbuilding	P	P	P	P	P
Boat Barn	-	-	P	P	-
Industrial Building	-	-	P	P	-
Footnotes, see above					
¹ Residential development in the Industrial Subdistricts shall be within a Mixed-Use Project.					



Development Standards

12.7.04

Figure GG-12-9.04 - Fueling Stations

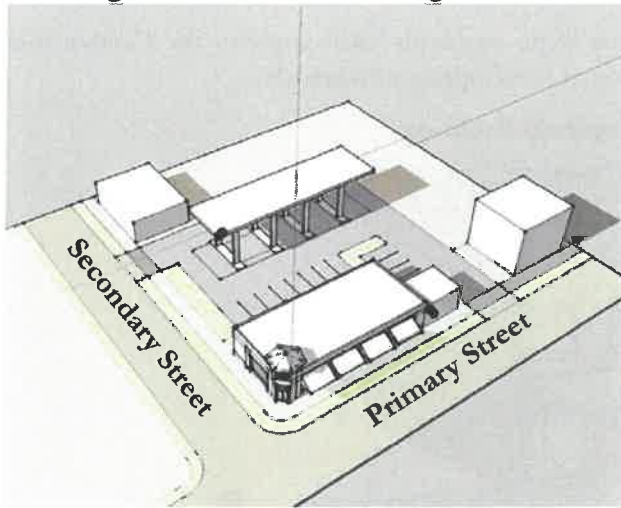
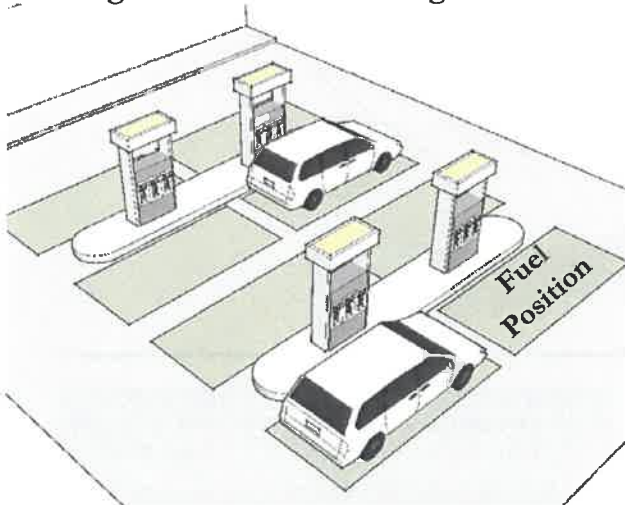


Figure GG-12-9.05 - Fueling Stations



Four fueling islands with eight fuel positions.

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Building Type & Frontage Type Standards

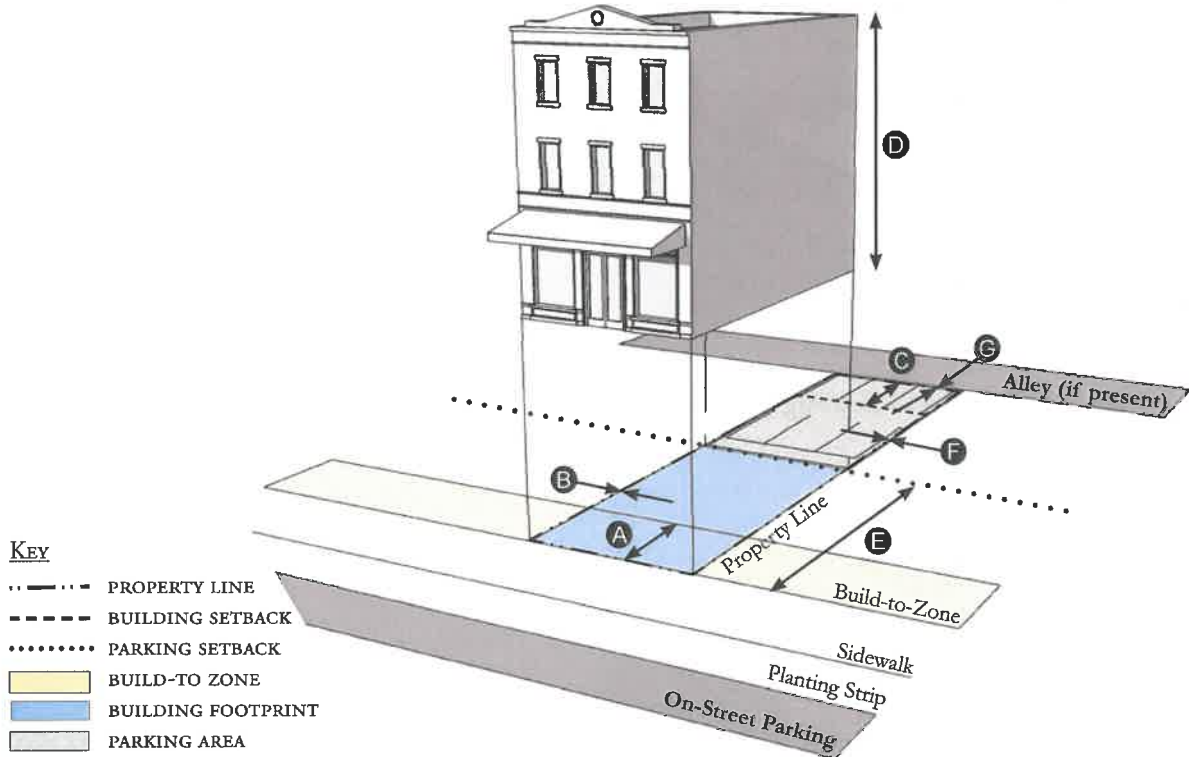
12.7.05



Section 12.7.05. Building Type & Frontage Type Standards.

- Building Types.** The following Building Type standards shall apply in the Golden Gate Subdistricts. Table **GG-5** provides additional Development Standards.

Figure GG-5.01 - Shopfront Building



Building Placement, see 12.1.04.6

Frontage	70% min.	
Front Build-to-Zone	5' min., 15' max.	(A)
Side at Street Build-to-Zone	5' min., 15' max.	
Side at Property Line Setback ¹	0' or 5'	(B)
Rear Yard Setback ¹	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	35' / 3 stories max.	(D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	0' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Permitted Subdistricts, see 12.7.02

Core	Corridor	Industrial
------	----------	------------

Description

A Shopfront Building has ground level space immediately adjoining the sidewalk that can accommodate business uses with doors and large windows facing the sidewalk.

Façade Transparency, see 12.7.04.5

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table **GG-5**.

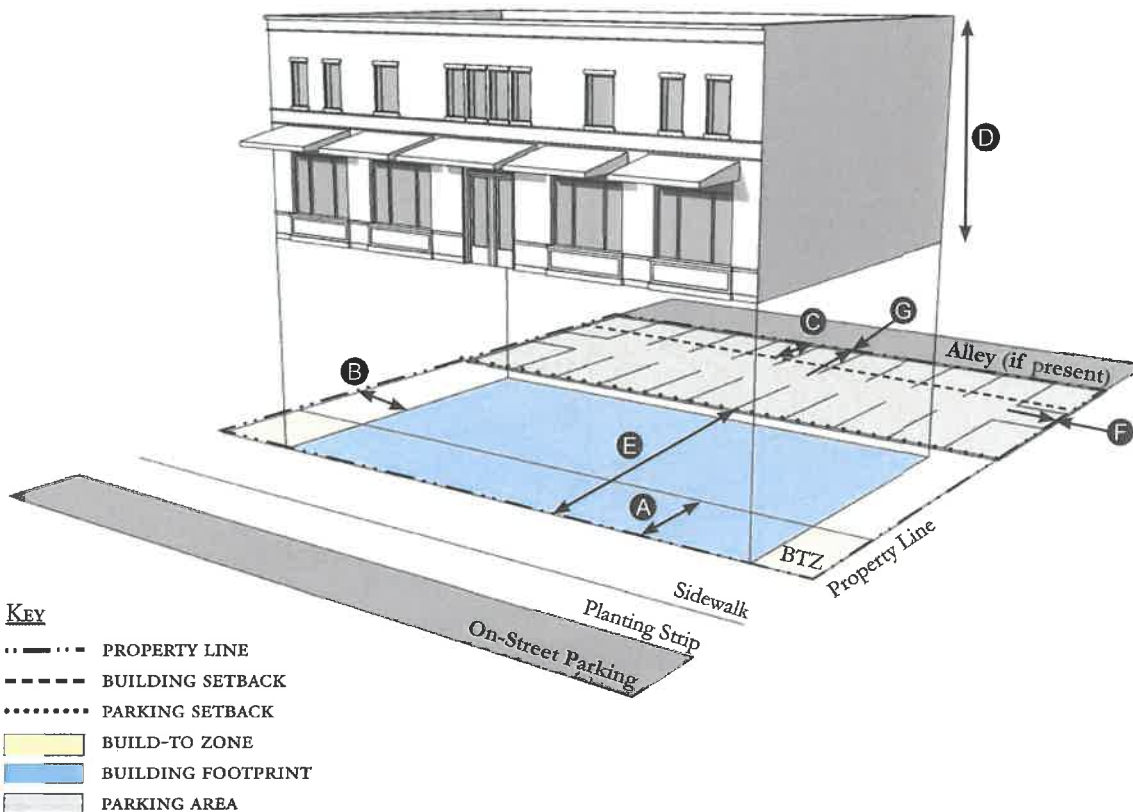


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Building Type & Frontage Type Standards

12.7.05

Figure GG-5.02 - Mixed-Use Building



Building Placement, see 12.1.04.6

Frontage	70% min.	
Front Build-to-Zone	5' min., 15' max.	A
Side at Street Build-to-Zone	5' min., 15' max.	
Side at Property Line BTZ ²	5' min., 10' max.	B
Rear Yard Setback ²	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	35' / 3 stories max.	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.7.02

Core	General	Corridor	Industrial
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Description

A Mixed-Use Building has multiple tenants or occupancies and may contain residences, lodging and/or businesses to the extent permitted in the Subdistrict.

Façade Transparency, see 12.7.04.5

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

² Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table GG-5.

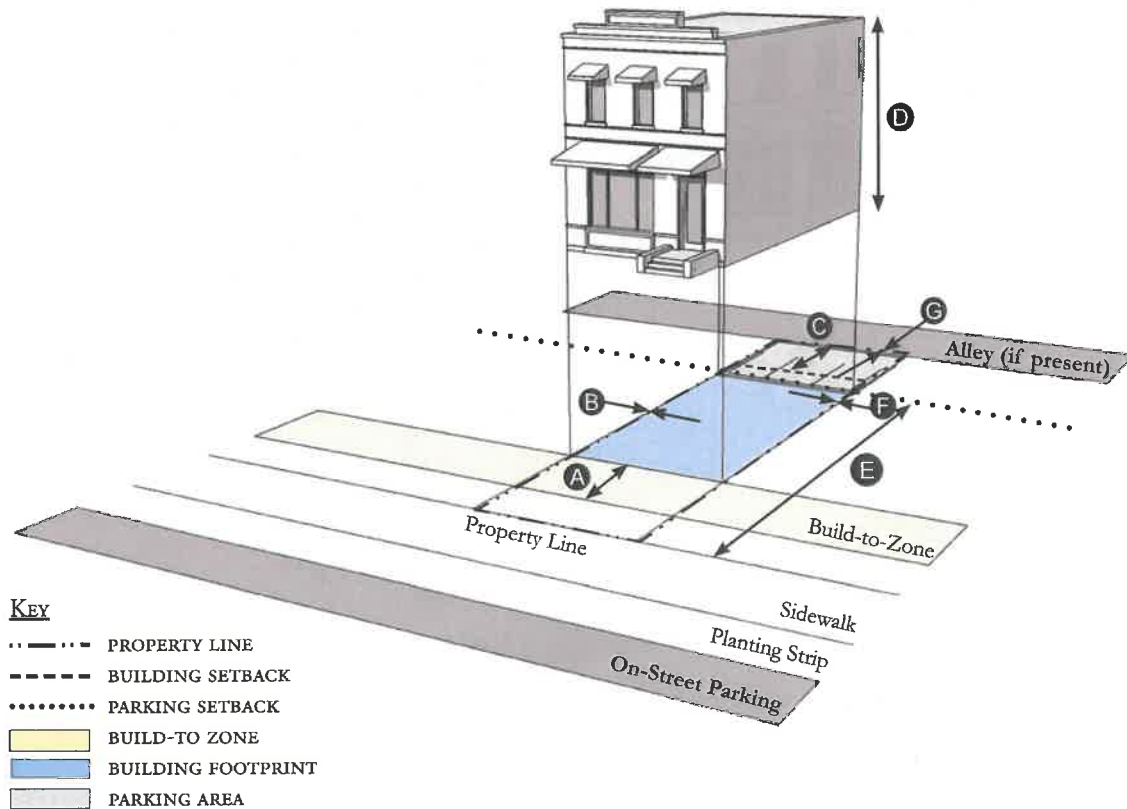
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Building Type & Frontage Type Standards

12.7.05



Figure GG-5.03 - Office Building



Building Placement, see 12.1.04.6

Frontage	70% min.	
Front Build-to-Zone	10' min., 15' max.	A
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	0' or 5'	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	35' / 3 stories max.	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.7.02

	Core	Corridor	Industrial
Description	An Office Building has a one or more commercial tenants, occupancies, or businesses. An Office Building may have a shopfront frontage on the ground level.		

Façade Transparency, see 12.7.04.5	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table GG-5.

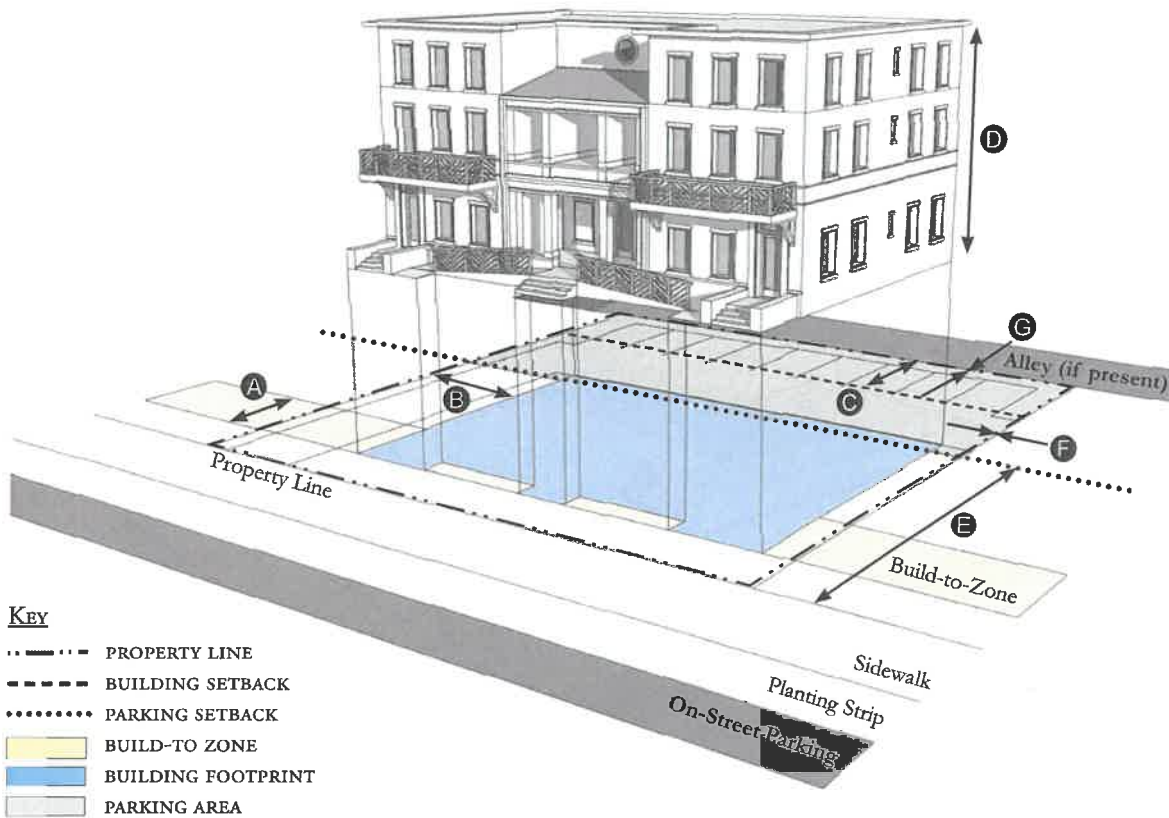


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Building Type & Frontage Type Standards

12.7.05

Figure GG-5.04 - Apartment Building



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	10' min., 25' max.	(A)
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	5' min.	(B)
Rear Yard Setback ¹	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table GG-5	(D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	5' min./0' min. with alley	(F)
Rear Setback	5' min./0' min. with alley	(G)

Permitted Subdistricts, see 12.7.02

Core	General	Corridor	Multifamily
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Description

An Apartment Building contains multiple residences above and/or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. Off-street parking is provided to the side or rear.

Façade Transparency, see 12.7.04.5

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table GG-5.

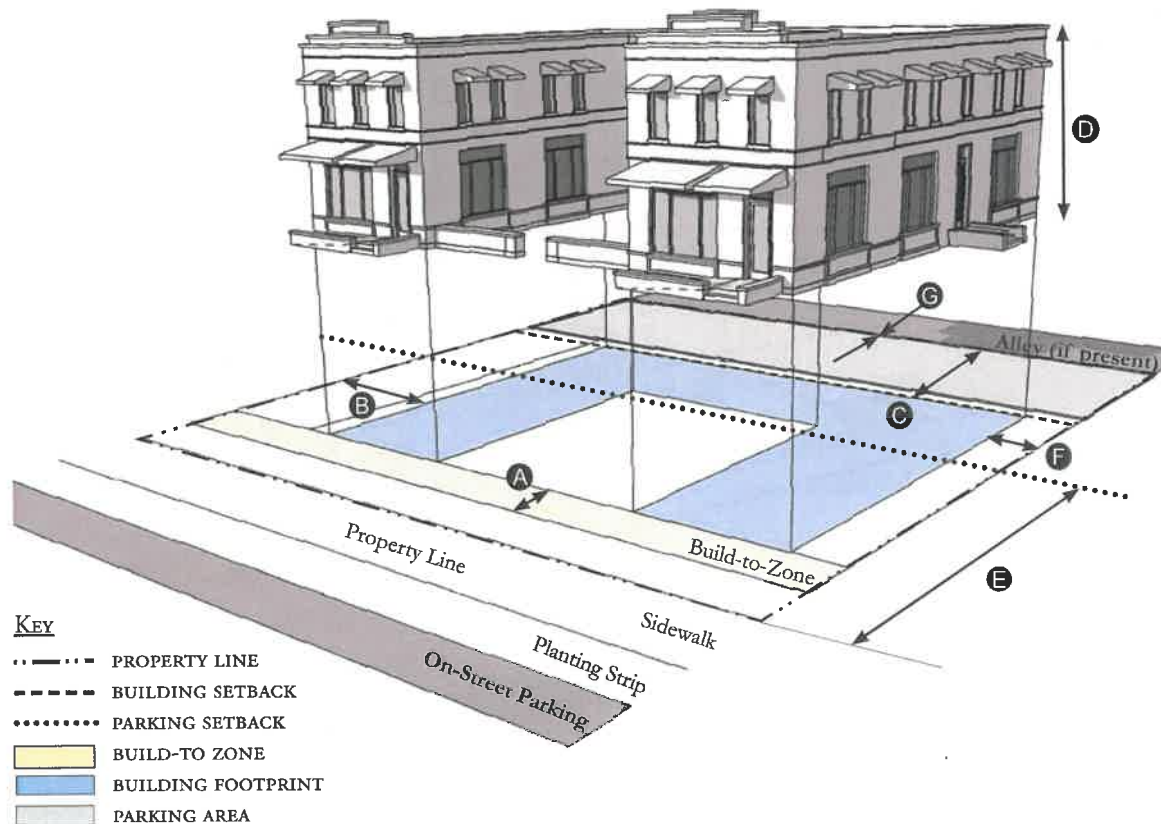
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Building Type & Frontage Type Standards

12.7.05



Figure GG-5.05 - Courtyard Building



Building Placement, see 12.1.04.6

Frontage Percentage	70% min. includes courtyard	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	5' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	D
Building Height	Refer to Table GG-5	

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min./0' min. with alley	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.7.02

Core	General	Corridor	Multifamily
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Description

A Courtyard Building accommodates multiple dwellings or businesses arranged around and fronting on a central green that may be partially or wholly open to the street.

Façade Transparency, see 12.7.04.5

	%
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes

The proportions of the courtyard space shall be at least as deep as it is wide.

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

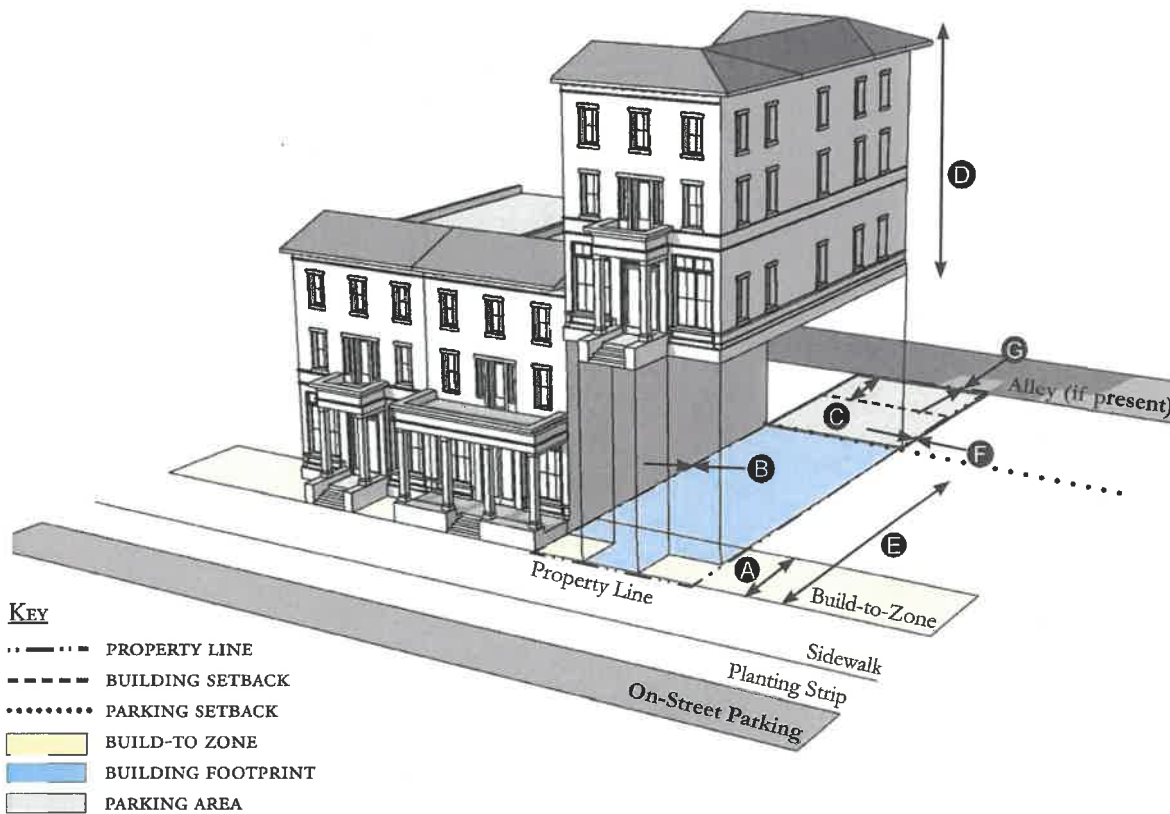
For permitted Lot Size, Density, Building Coverage, and Open Space, see Table GG-5.



Building Type & Frontage Type Standards

12.7.05

Figure GG-5.06 - Townhouse



Building Placement, see 12.1.04.6		
Frontage	70% min.	
Front Build-to-Zone	5' min., 15' max.	A
Side at Street Build-to-Zone	5' min., 15' max.	
Side at Property Line Setback ^{1,2}	0' min. or 10' min.	B
Rear Yard Setback ¹	10' min. / 5' min. with alley	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table GG-5/ 2 stories min.	D
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

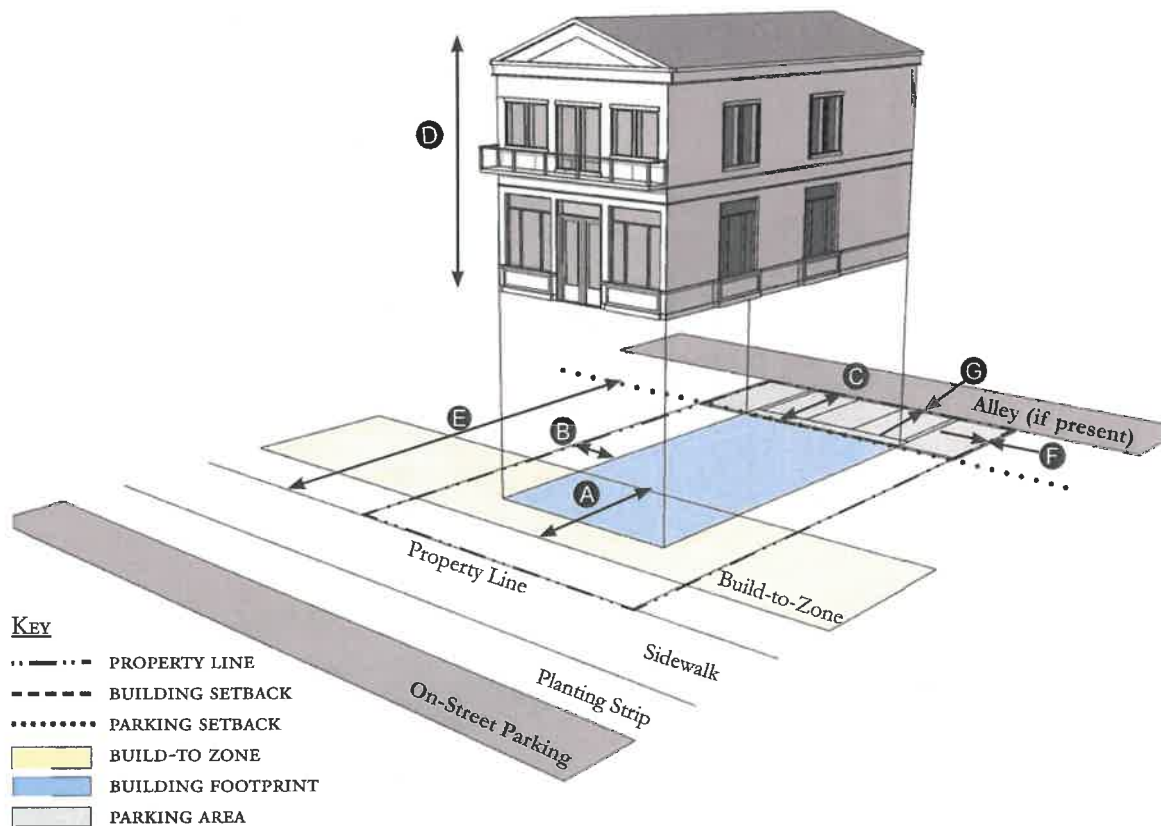
Permitted Subdistricts, see 12.7.02			
Core	General	Corridor	Multifamily
Description			
A Townhouse is a building with common walls on one or both sides and often a private garden to the rear. Service and parking access are from the rear.			
Notes			
Townhouses shall have a maximum grouping of 8 dwelling units and a minimum Setback of 15 feet between buildings.			
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.			
² When directly adjacent to another property that is not part of the townhouse development the Side Setback is 10 feet minimum from the property line.			
For permitted <i>Lot Size</i> , <i>Density</i> , <i>Building Coverage</i> , and <i>Open Space</i> , see Table GG-5 .			

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Building Type & Frontage Type Standards

12.7.05



Figure GG-5.07 - Live/Work Building



Building Placement, see 12.1.04.6

Frontage	70% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback ¹	10' min.	B
Rear Yard Setback ¹	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	35' / 3 stories max.	D

Parking Placement, see 12.1.04.6

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min./0' min. with alley	G

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Permitted Subdistricts, see 12.7.02

Core	General	Corridor	Industrial
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Description

A Live/Work Building consists of commercial and residential uses. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activities or industry.

Notes

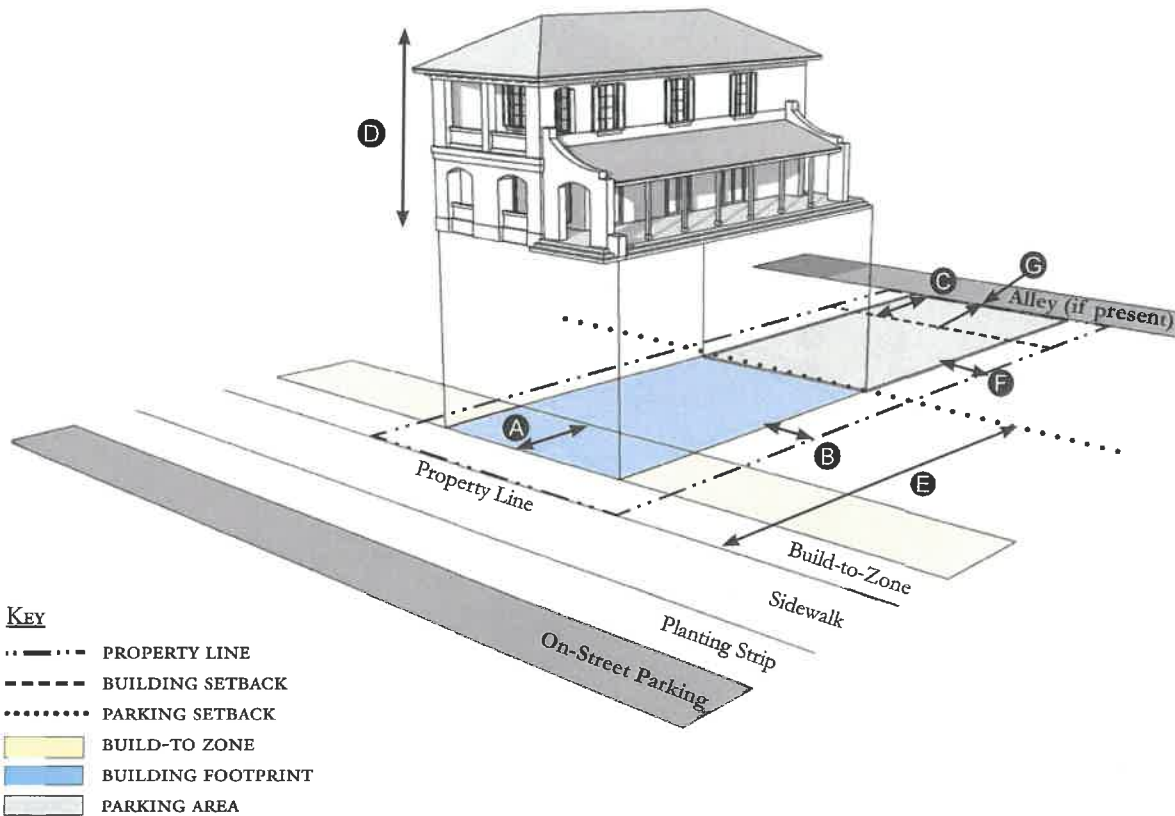
¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table GG-5.



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Building Type & Frontage Type Standards
12.7.05

Figure GG-5.08 - Side Yard House



Building Placement, see 12.1.04.6	
Frontage ¹	60% min.
Front Build-to-Zone	10' min., 25' max. (A)
Side at Street Setback	10' min.
Side at Property Line Setback	5' min., 10' min. other side (B)
Rear Yard Setback	10' min./5' min. with alley (C)
Height, see 12.1.04.2	
Ceiling at Ground Level	Not applicable (D)
Building Height	Refer to Table GG-5
Parking Placement, see 12.1.04.6 and 12.7.07.9	
Front Setback	30' min. (E)
Side at Street Setback	10' min.
Side at Property Line	5' min. (F)
Rear Setback	5' min./0' min. with alley (G)
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.	

Permitted Subdistricts, see 12.7.02	
General	Multifamily
Description	
A Side Yard House is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard type houses.	
Notes	
¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.	
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table GG-5.	

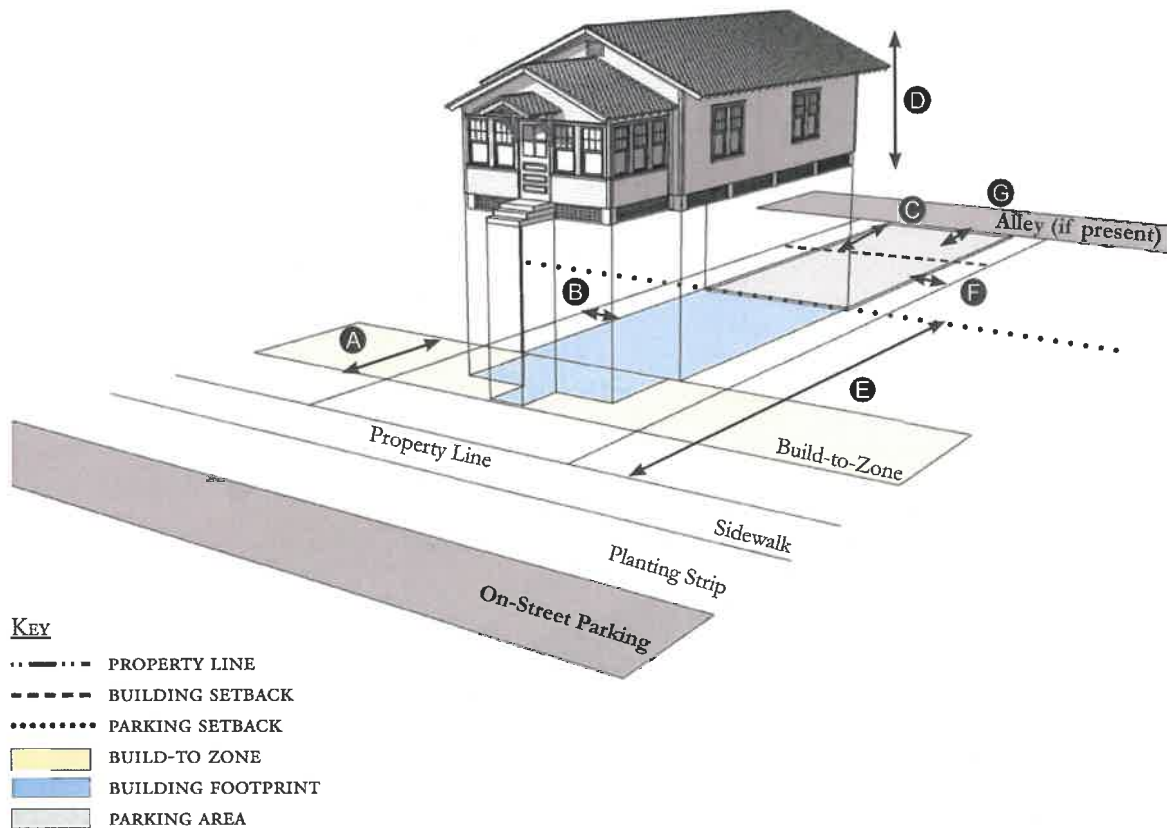
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Building Type & Frontage Type Standards

12.7.05



Figure GG-5.09 - Cottage



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	5' min., 10' max.	
Side at Property Line Setback	5' min.	B
Rear Yard Setback	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table GG-5	D

Parking Placement, see 12.1.04.6 and 12.7.07.9

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min	G

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Permitted Subdistricts, see 12.7.02

Core	General	Corridor	Multifamily
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Description

A Cottage is a detached building with a small front yard often located on a narrow lot. Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.

Notes

Cottages shall not exceed a footprint of 2,000 square feet.

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table GG-5.

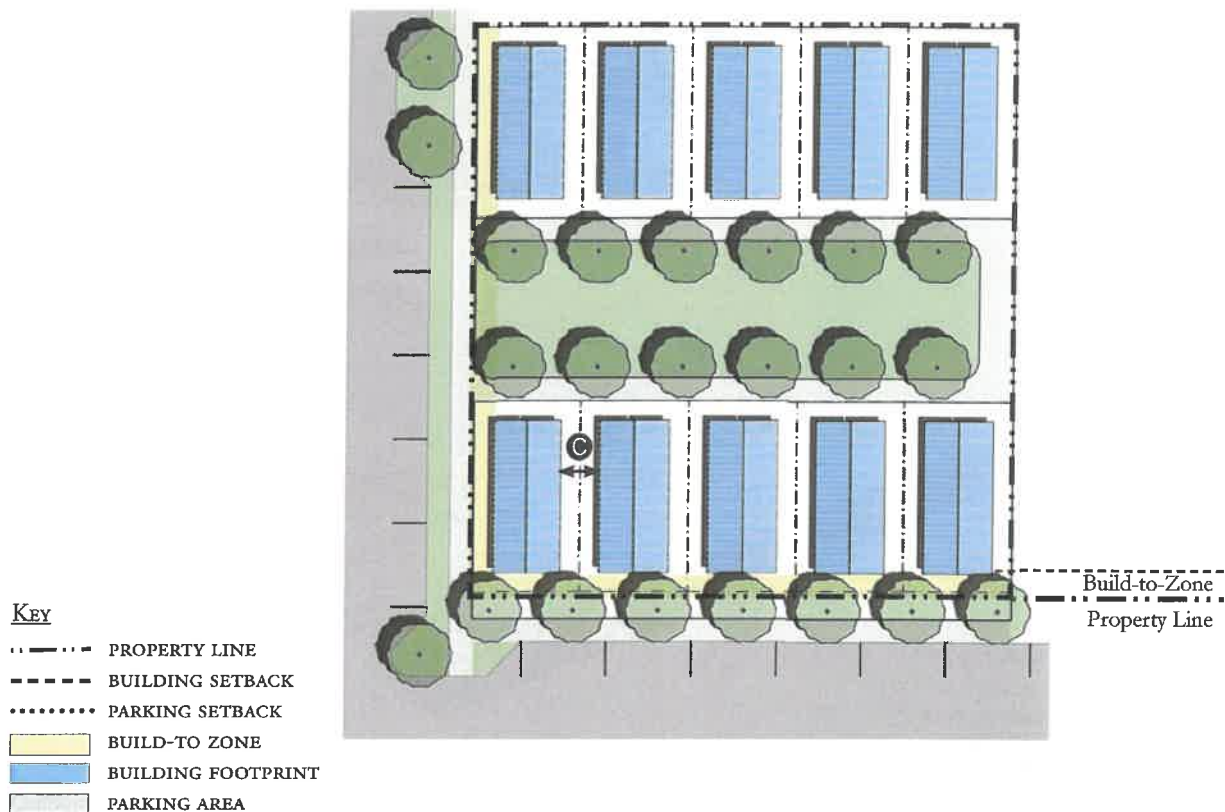


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Building Type & Frontage Type Standards

12.7.05

Figure GG-5.10- Cottage Court



Building Placement, see 12.1.04.6		
Frontage	60% min.	
Front Setback	6' min.	A
Side at Street Setback	6' min.	
Side at Property Line Setback	6' min.	B
Unit Separation	10' min.	C
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table GG-5	D
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min	G

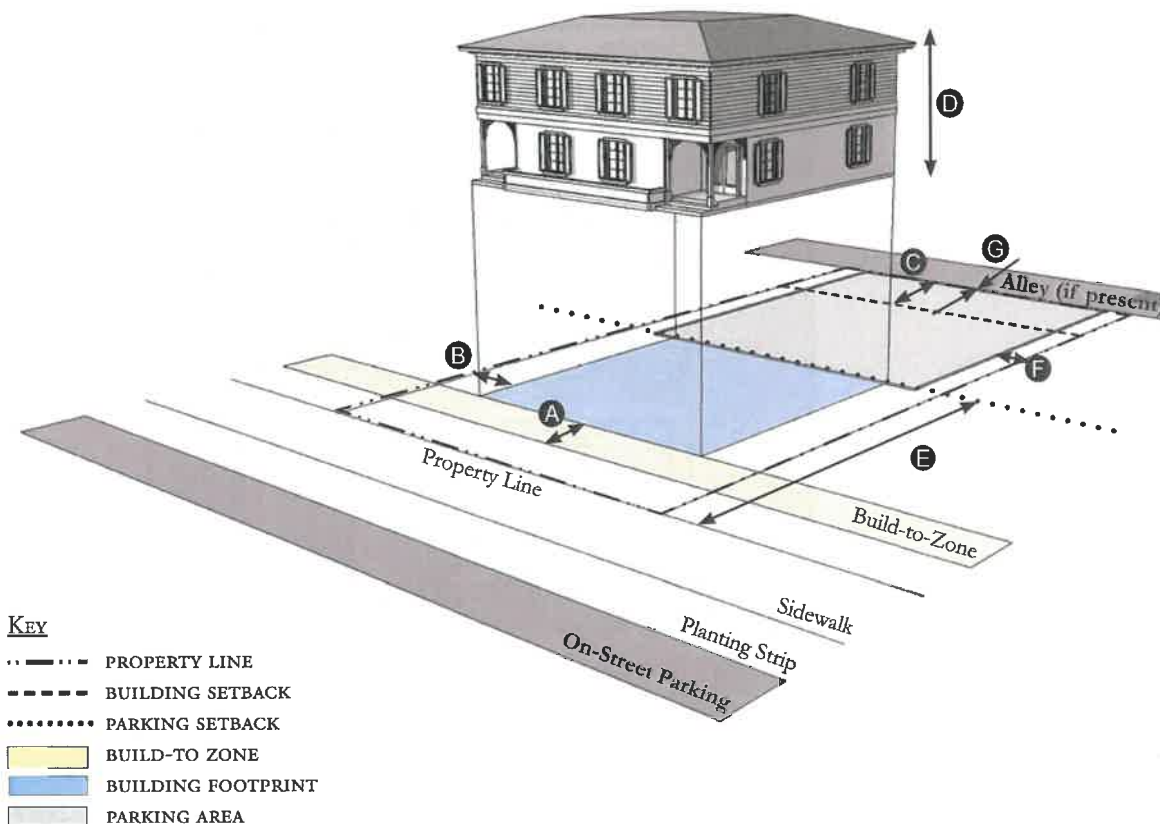
Permitted Subdistricts, see 12.7.02			
Core	General	Corridor	Multifamily
Description			
A Cottage Court is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas.			
Notes			
Cottage Courts may include duplexes.			
¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.			
For permitted <i>Lot Size, Density, Building Coverage, and Open Space</i> , see Table GG-5 .			

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12.7.05



Figure GG-5.11 - Duplex



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	B
Rear Yard Setback	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table GG-5	D

Parking Placement, see 12.1.04.6 and 12.7.07.9

Side at Property Line	5' min.	F
Rear Setback	5' min / 0' min. with alley	G

Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Permitted Subdistricts, see 12.7.02

General Multifamily

Description

A Duplex is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.

Notes

Duplexes do not permit accessory dwelling units.

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table GG-5.

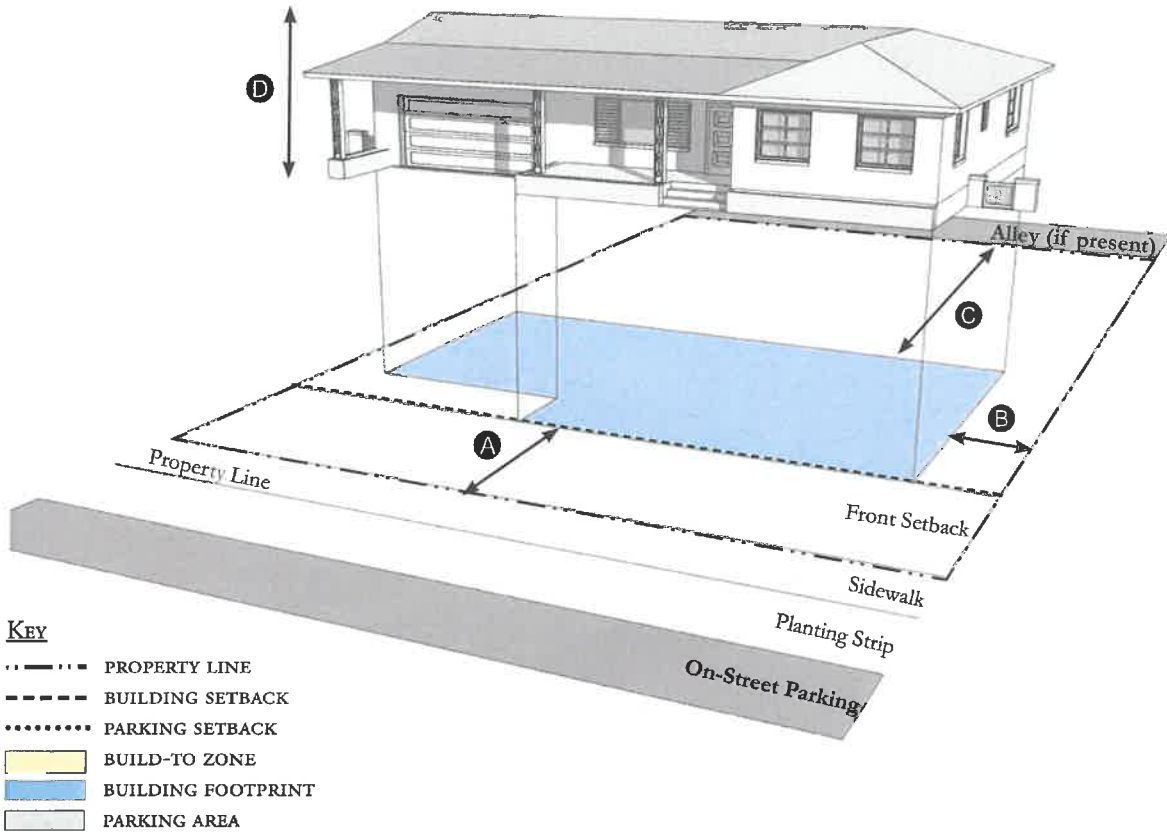


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Building Type & Frontage Type Standards

12.7.05

Figure GG-5.12 - All Yard House



Building Placement, see 12.1.04.6		
Frontage	Not Required	
Front Setback	20' min.	(A)
Side at Street Setback	6' min.	
Side at Property Line Setback	6' min.	(B)
Rear Yard Setback	10' min.	(C)

Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table GG-5	(D)

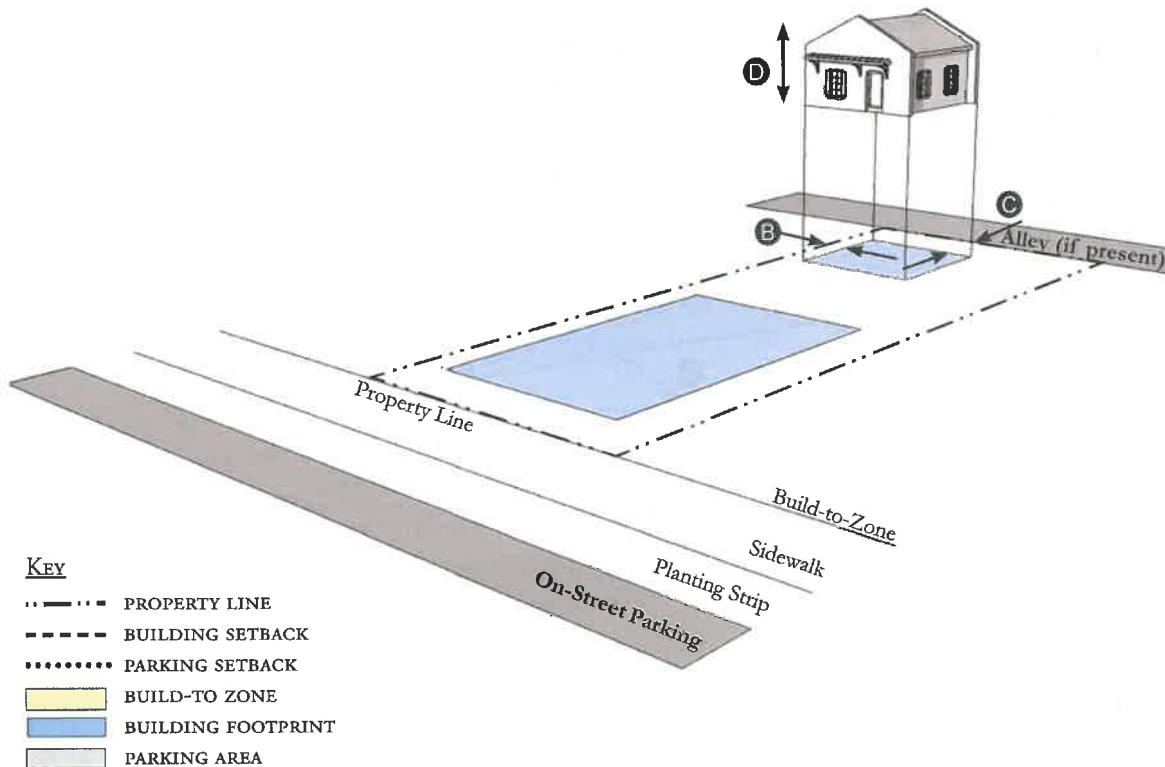
Parking Placement, see 12.1.04.6 and 12.7.07.9		
Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.		
Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.		

Permitted Subdistricts, see 12.7.02		
General	Multifamily	

Description	
An All Yard House has yards on all sides and may contain accessory structures toward the rear.	

Notes	
For permitted <i>Lot Size</i> , <i>Density</i> , <i>Building Coverage</i> , and <i>Open Space</i> , see Table GG-5.	

Figure GG-5.13 - Outbuilding



Building Placement, see 12.1.04.6

Frontage	Not applicable	
Front Build-to-Zone	Not applicable	
Side at Street Build-to-Zone	Not applicable	
Side at Property Line Setback	5' min.	(B)
Rear Yard Setback	5' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	(D)
Building Height	25' / 2 stories max.	

Parking Placement, see 12.1.04.6

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Permitted Subdistricts, see 12.7.02

Core	General	Corridor
Industrial	Multifamily	

Description

An Outbuilding is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. An Outbuilding may include a garage, shed, workshop, or accessory dwelling unit.

Notes

Outbuildings shall not exceed a footprint of 850 square feet.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table **GG-5**.

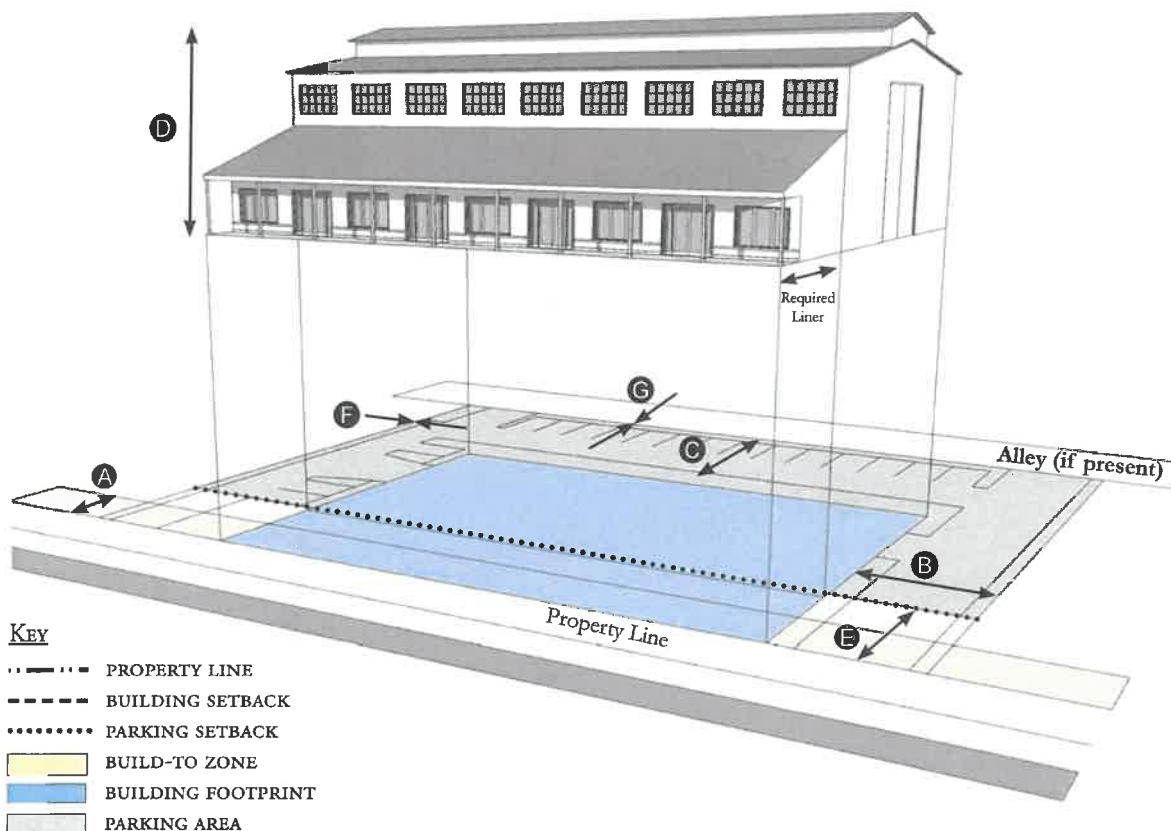


Draft 10-13-2020

Building Type & Frontage Type Standards

12.7.05

Figure GG-5.14 - Boat Barn



Building Placement, see 12.1.04.6

Frontage	60% min.	(A)
Front Build-to-Zone	5' min., 15' max.	
Side at Street Setback	10' min.	(B)
Side at Property Line Setback ¹	10' min.	(C)
Rear Yard Setback ¹	10' min./5' min. with alley	

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	(D)
Building Height	35' / 3 stories max.	

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	5' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)

Parking shall not be located between the building and the street.

Permitted Subdistricts, see 12.7.02

Corridor Industrial

Description

A Boat Barn is an indoor storage facility. A liner with habitable uses is required to avoid large blank facades visible to the public. A liner shall face all primary streets. Liners may be additional commercial space with permitted uses.

Notes

A commercial liner shall be a minimum depth of 20' feet.

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

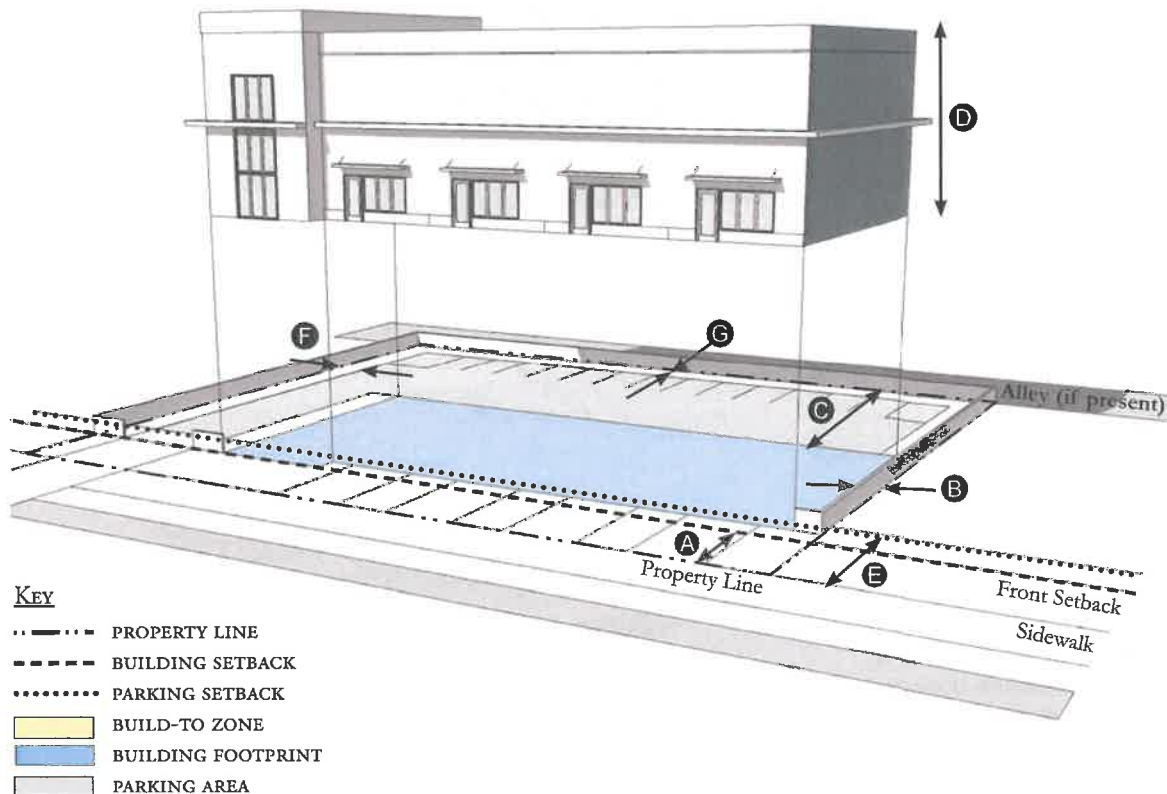
For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table GG-5.

Draft 10-13-2020
Building Type & Frontage Type Standards

12.7.05



Figure GG-5.15 - Industrial Building



KEY

- PROPERTY LINE
- BUILDING SETBACK
- PARKING SETBACK
- BUILD-TO ZONE
- BUILDING FOOTPRINT
- PARKING AREA

Building Placement, see 12.1.04.6

Frontage	Not Required	
Front Setback ²	20' min.	(A)
Side at Street Setback	5' min.	
Side at Property Line Setback ¹	5' min.	(B)
Rear Yard Setback	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	40' / 3 stories max.	(D)

Parking Placement, see 12.1.04.6

Front Setback	30' min.	(E)
Side at Street Setback	5' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min./0' min. with alley	(G)
Parking shall not be located between the building and the street.		

Permitted Subdistricts, see 12.7.02

Corridor	Industrial
-----------------	-------------------

Description

An Industrial Building will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking shall be accommodated from alleys whenever possible. Parking and loading shall be avoided on all Primary and Secondary Streets.

Notes

¹ Section 12.1.04.15 Building Transitions applies when the rear or side of a property directly abuts a residential subdistrict or an existing single family dwelling.

² Encroachment into the front setback of up to 15' is permitted when Frontage Types are utilized as described in Section 12.1.05.2.

The front setback shall be treated with Required Landscape Area & Tree Planting as described in Table GG-10 Section 12.7.09 when Frontage Types are not provided.

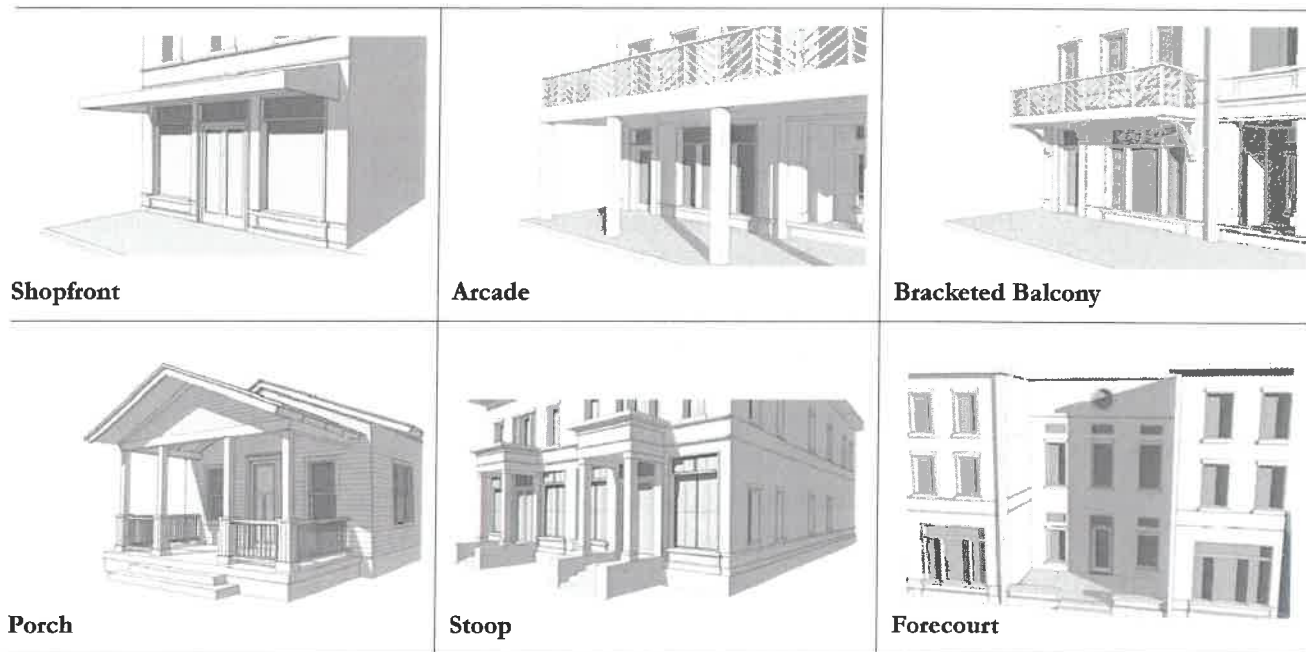
For permitted Lot Size, Density, Building Coverage, and Open Space, see Table GG-5.



Building Type & Frontage Type Standards

12.7.05

Figures GG-5.16 - Frontage Types Matrix



2. **Frontage Types.** Using one or more of the permitted frontage types indicated in Table GG-5.17 is required within the Core, General and Corridor Subdistricts. Standards for Frontages are found in Section 12.1.05. Frontage Types are encouraged in the Industrial and Multifamily Subdistrict, but are not required.

Table GG-5.17 - Permitted Frontage Types Matrix

Subdistrict	Shopfront	Arcade	Bracketed Balcony	Porch ¹	Stoop	Forecourt
Core	P	P	P	P	P	P
General	P	P	P	P	P	P
Corridor	P	P	P	P	P	P
Industrial	-	-	-	-	-	-
Multifamily	-	-	-	-	-	-

Primary Streets shall include the required Principal Entrance & Frontage Type.

¹ For implementation in the GG Redevelopment Zoning District, Figure 12-7.04-Porch Frontage is modified such that the minimum depth of a porch shall be 5 feet and the maximum depth shall be 8 feet.



Section 12.7.06. Street Standards.

1. **Applicability.** Street Standards that apply in all Redevelopment Zoning Districts are provided in Section 12.1.06. The additional street standards which apply in the Golden Gate Redevelopment Zoning District are specified in this section.
2. **Street Regulating Plan.** A Street Regulating Plan is provided in Figure **GG-3**, Section 12.7.02. That Regulating Plan identifies the following features:
 - a. **Primary Streets** allow movement through as well as within the Golden Gate Redevelopment Zoning District.
 - b. **Secondary Streets** are local streets that supplement the primary streets to provide an interconnected street network that serves users of all ages and abilities and that fully integrates residential neighborhoods with shopping, employment, and civic features. The secondary street network is priority for street improvements within the neighborhood which should include sidewalks and landscape improvements.
 - c. **Recommended Future Streets** would become additional streets to complete a highly interconnected street network.
 - d. **Recommended Future Alleys** are not required but are strongly encouraged within the blocks created by the construction of proposed streets. Alleys may be designed and constructed as the alley type in Section 12.1.06.
3. **Shade Trees.** Street trees may be incorporated into landscaped islands associated with on-street parking or to provide shade for pedestrian areas. Landscaped islands and other street tree planting areas shall be sized to support the mature size of the tree and may include shrubs and appropriate ground cover plants. Street trees from the following list are planted at a maximum of 30-foot intervals along the right-of-way:
 - a. Canopy trees (60 percent minimum):
 - i. Live or Laurel Oak
 - ii. Magnolia
 - iii. Mahogany
 - iv. Red Maple
 - v. Bald Cypress
 - vi. Buttonwood
 - vii. Gumbo Limbo
 - b. Palm Trees:
 - i. Medjool or Canary Island Date Palm
 - ii. Royal Palm
 - iii. Coconut Palm (2:1 ratio, unless 8 feet grey wood, then 1:1)
 - iv. Sabal Palm (3:1 ratio)
4. **Future Streets.**



Street Standards

12.7.06

- a. **Street Location.** The schematic location of proposed streets is shown on the Street Regulating Plan. The exact location may be adjusted during the development review process provided the new location meets these requirements:
 - i. The adjusted location does not reduce the level of connectivity with surrounding streets, both existing and proposed.
 - ii. The adjusted location does not reduce the level of street connectivity within the site or substantially increase the average block size.
 - iii. The adjusted location does not diminish or eliminate any proposed civic space, or civic building shown on the Regulating Plan.
 - iv. The adjusted location maintains or enhances pedestrian convenience and safety and does not create any traffic hazards.
 - b. **Street Types.** Proposed streets may be designed and constructed as any one of the following street types below defined in Section 12.1.06.
 - i. Local Street 2
 - ii. Local Street 3
 - iii. Neighborhood Street 1
 - iv. Neighborhood Street 2
 - v. Yield Street
 5. **Improvements To Existing Streets.** The planting of new shade trees shall be required for project approval and shall be coordinated with existing or future CRA and County streetscape improvements. As provided in Section 12.1.06, the County Engineer may allow deviations from these minimum standards when necessary due to the location of existing buildings, constrained right-of-way, or to meet other goals for the particular street section.
 - a. **A-1-A/SE Dixie Highway.** Along Dixie Highway street trees shall be a minimum height of 16 feet, with a four-foot clear trunk, and four-inch caliper at the time of planting. Dixie Highway in Golden Gate is also identified as a candidate for Complete Streets interventions in the *Martin MPO Complete Street Access to Transit Study* and is part of the East Coast Greenway in Florida.
 - b. **Indian Street.** Along Indian Street street trees shall be a minimum height of 16 feet, with a four-foot clear trunk, and four-inch caliper at the time of planting.
 - c. Along all other streets, street trees shall be a minimum height of 12 feet, with a four-foot clear trunk and two and one-half-inch caliper, at the time of planting.
 - d. **Within the Core, Corridor & Industrial Subdistricts.** The build-to-zone shall provide for a pedestrian zone, furnishing zone, and on-street parking as described in Section 12.1.06. No less than 10 feet shall be provided for the combined pedestrian zone and furnishing zone.



Section 12.7.07. Parking Standards.

1. **Applicability.** Parking Standards found in Sections 4.621 through 4.628, Div. 14, Article 4, are modified for all Redevelopment Zoning Districts in Parking Standards Section 12.1.07. Those modified Parking Standards apply in the Golden Gate Redevelopment Zoning District except as specified otherwise in this section.
2. **Parking Rates.** Refer to Section 12.1.07 for parking rates applicable to Redevelopment Zoning Districts.
3. **Off-site parking.** With the exception of parking required for residential uses in Subdistrict General, off-site parking may be used to satisfy all or part of required parking if located no further than 1,320 feet (1/4-mile) from the development site, as measured by the shortest pedestrian route of travel.
4. **Special Parking Alternatives for Redevelopment Centers (SPARC) program.** The SPARC program described in Section 12.1.07 is authorized within the Golden Gate CRA.
5. **Screening of Parking from Residential Uses.** There shall be an alley between parking areas and adjacent residential uses. Where an alley is not possible, there shall be a visual barrier between parking areas and residential uses. Refer to Landscaping Standards Section 12.7.09 Vehicular Use Areas.
6. **Parking Structures.** Whenever a parking structure or surface parking provided beneath a building is located on a Primary Street, as identified on the Street Regulating Plan, Section 12.7.02, ground level commercial space shall be provided for a depth of no less than 20 feet measured from the front of the building.
7. **Distributing Parking.** Where more than 200 parking spaces are provided on-site, such parking shall be distributed such that no more than 50 percent of the spaces are grouped in a single area of the parcel. Methods of distributing parking include locating parking adjacent to the rear or sides of a building or by physically separating parking areas with other buildings or landscaped areas.
8. **Shared Parking Lot.**
 - a. Shared parking lots must be located within 500 feet of each use. These lots may be separated from the use(s) by a street, easement, or other right-of-way.
 - b. In order to meet the parking requirements, parking shared by different uses must be supported by evidence that peak parking demands of each use occur at different times of the day or days of the week. Section 4.626.B.2, Div. 14, Article 4, Shared Parking provides the methodology to support shared parking. Mixed-use developments do not have to meet this standard.
9. **Approved parking surfaces.**
 - a. Residential-only development shall provide parking on a paved surface.
 - b. Nonresidential development shall provide the required number of parking spaces on paved surfaces; however, any overflow parking may be provided on a stabilized grassed surface. Accessible spaces and access aisles shall meet the requirements set forth in the Americans with Disabilities Act.
 - c. Existing parking surfaces shall comply with the requirements of this sub-section, no



Parking Standards

12.7.07

later than five years from the effective date of this Division.

10. For residential garages in the GG Redevelopment Zoning District, Section 12.1.07.8 and Figure 12-9.01-Single Family Dwelling-Front Loaded are modified as follows. The minimum Setback from the Front Façade for garages shall be 5' for garage doors measuring up to 16' in width and shall be 10' for garage doors exceeding 16' in width.



Section 12.7.08. Stormwater Standards.

1. Stormwater management standards are provided in Sections 4.381 through 4.390, Div. 9, Article 4 and apply in Redevelopment Zoning Districts except as modified in Section 12.1.08.



Landscape Standards

12.7.09

Section 12.7.09. Landscape Standards.

1. Table **GG-9** identifies which of the landscaping, buffering, and tree protection standards in Div. 15, Article 4 apply in the Golden Gate Redevelopment Zoning District and which standards are modified, replaced, or do not apply in this Redevelopment Zoning District.

Table GG-9 - Landscaping, Buffering, and Tree Protection Standards

Div. 15, Article 4		In Golden Gate CRA
General Requirements		
4.661.A	Purpose and intent	Applies as written
4.661.B	Applicability	Does not apply
4.661.C	Glossary	Applies as written
Application Requirement		
4.662.A	Landscape Plan	Modified by 12.7.09.2
4.662.B	Irrigation Plans	Applies as written
Landscape Design Standards		
4.663.A	General requirements	
A.1	Required landscape area	Replaced by 12.7.09.3
A.2	Landscape area credits	Applies as written
A.3	Required tree planting	Modified by 12.7.09.4
A.4-5	Vehicular use areas	Modified by 12.7.09.6
A.6	Service areas	Modified by 12.7.09.7
A.7	Commercial buildings	Does not apply
4.663.B	Buffer-yard requirements	Does not apply
4.663.B.5	Buffer-yard requirements Adjoining Conservation Land	Applies as written
4.663.C	Add't req. for landscaping	Does not apply
4.663.D	Water efficient landscaping	Applies as written
4.663.E	Preserve area interface	Applies as written
Landscape Material Standards		
4.664	(All Subsections)	Applies as written
Maintenance of Required Landscaping		
4.665	(All Subsections)	Applies as written
Tree Protection		
4.666	(All Subsections)	Applies as written
Alternative Compliance		
4.667	(All Subsections)	Replaced by 12.1.13.3
Certificate of Compliance		
4.668	(All Subsections)	Applies as written



2. **Single family dwellings or duplexes.** Single Family Dwellings and duplexes are not required to submit a Landscape Plan or comply with Vehicular Use Areas. Required tree planting and landscape area do apply to single family dwellings and duplexes.
3. **Required landscape area.**
 - a. Table **GG-10** indicates the minimum percentage of the total developed area that must be landscaped.
 - b. Landscaping shall be permitted in easements only with the written permission of the easement holder. A written agreement shall specify the party responsible for restoring disturbed landscape areas, shall be submitted to the county in a form acceptable to the County Attorney, and shall be recorded in the public records.
 - c. Exposed dirt yards are prohibited.
4. **Required tree planting.**
 - a. Table **GG-10** indicates the minimum number of trees that must be planted.
 - b. Tree species and size.
 - i. Palm trees shall have a minimum height of 12 feet at the time of planting.
 - ii. Fruit trees shall have a minimum height of five feet at the time of planting.
 - iii. Other required trees shall have a minimum height of 12 feet, with a four-foot clear trunk, and two-inch diameter at breast height (dbh), at the time of planting.
 - c. Trees planted in adjacent right-of-way in accordance with Section 12.7.06 or in other nearby public space shall be credited towards meeting the number of trees required by Table **GG-11**. Any private use of the public right-of-way requires the approval of the County Engineer, a right-of-way use permit, a construction agreement, and an indemnification agreement.
 - d. Trees planted in Vehicular Use Areas shall be credited towards meeting the number of trees required by Table **GG-10**.
 - e. FPL's *Right Tree/Right Place Guidelines* shall be considered when trees are planted near utilities.

Table GG-10 - Required Landscape Area & Tree Planting

Subdistrict	Minimum Percentage	One Tree for this Amount of Total Site Area
Core	0%	1,500 sf
General	10%	1,500 sf
Corridor	10%	1,500 sf
Industrial	10%	1,500 sf
Multifamily	Not required	3,000 sf



Table GG-11 - Landscape Plan Application Requirements

Div. 15, Article 4		In Golden Gate CRA	
		A	B
1	Property boundaries	Yes	Yes
2	Land use features	Yes	Yes ¹
3	Structures & paving	Yes	Yes ¹
4	Utilities	Yes	Yes
5	Vehicular use areas	Yes	Yes
6	Water bodies	Yes	Yes
7	Tree survey	Yes	Yes
8	Installation methods	Yes	Yes
9	Development areas	Yes	-
10	Ditches & swales	Yes	Yes
11	Tabular data	Yes	-

¹ On-site features only

5. **Landscape plan.** Development applications shall include a landscape plan prepared by a qualified professional that provides the location and type of existing and proposed features that are identified in Table **GG-11**, which are summarized from the detailed requirements in Section 4.662.A, Div. 15, Article 4.
 - a. **Column A** requirements apply to an application for a final site plan.
 - b. **Column B** requirements apply to an application for a building permit for a Small Site which is defined as the construction or expansion of a principal building or accessory structure on a lawfully established lot or adjacent lots, provided the parcel being developed is less than one-half acre.
 - c. **Column B** requirements also apply to an application for a substantial improvement or substantial renovation of a building exterior on any lot regulated by Article 12 as those terms are defined in Section 4.871.B, Div. 20, Article 4.
6. **Vehicular use areas.**
 - a. **Perimeter landscaping.** Landscaping shall be provided along the perimeter of vehicular use areas in accordance with the following standards:
 - i. The perimeter of a vehicular use area shall be planted with trees at 30-foot intervals. The trees shall be a minimum of 12 feet in height, with a four-foot clear trunk, and a three-inch dbh at the time of planting.
 - ii. If a vehicular use area abuts a residential property (existing residential use or Multifamily Subdistrict) that is not a part of the subject development, a landscaped buffer, eight-feet wide shall be provided. Trees with a minimum height of 16 feet, with a four-foot clear trunk, and four-inch dbh shall be planted at a maximum of 30-foot intervals. If palms are used, each palm must have a 12-foot minimum clear trunk and be planted at a maximum of 15-foot intervals.



- iii. A wall, fence, hedge or other durable landscape barrier shall be provided around all vehicular use areas. Between the vehicular use area and a road right-of-way, the wall, fence, or hedge shall not exceed four feet in height. For the remainder of the lot, it shall not exceed six feet in height. Walls and landscaping around vehicular use areas shall provide pedestrian access every 50 linear feet. No wall, fence, or hedge is required along the side of a parking area that abuts another parking area.
 - b. **Interior landscaping.** If a vehicular use area is larger than 15,000 square feet, landscaping shall be provided within its interior in accordance with Section 4.663.A.4, Div. 15, Article 4, except that these interior landscape areas may also be used as stormwater management and conveyance facilities. If a vehicular use area is equal to or smaller than 15,000 square feet, no interior landscaping, terminal islands, interior medians, or interior islands are required.
- 7. **Service areas.** Service function areas including dumpsters, shall be screened in accordance with Section 4.663.A.6, Div. 15, Article 4, except that landscaping shall not be required around the perimeter of the screen, and an enclosure shall be a finished masonry wall. All nonconforming enclosures shall be brought into compliance no later than two years from the effective date of this Division.



Wall & Fence Standards

12.7.10

Section 12.7.10. Wall & Fence Standards.

1. Walls and fences must comply with the Wall and Fence Standards established for all Redevelopment Zoning Districts in Section 12.1.10.



Section 12.7.11. Sign Standards.

1. Signs must comply with the Sign Standards established for all Redevelopment Zoning Districts in Section 12.1.11 except where modified below.
2. Table **GG-12** supersedes the signage-area table in Section 4.700, Div. 16, Article 4.

Table GG-12 - Sign Size Limitations

Subdistrict	Percent of Building Face Area Allowable for Wall Signs	Maximum Size Per Wall Sign	Maximum Height of Lettering and Logos for All Signs
Core	12%	50-sf	24 inches
General	6%	12-sf	18 inches
Corridor	12%	50-sf	24 inches
Industrial	12%	50-sf	24 inches
Multifamily	-	-	-

3. **Murals.** Are permitted and defined in Art. 4, Div. 16.
4. **Wall signs.** Wall signs are permitted within Core, Corridor, Industrial
 - a. Placement:
 - i. Near top of the building.
 - ii. Above upper floor windows.
 - iii. Directly on wall surface/background must be building wall.
 - iv. Must face public street.
 - v. Placed on maximum of two building sides.
 - vi. May be cut or carved.
 - b. Letter materials: Metal, stone, wood, paint, carved, plaster. No plastic letters permitted.
 - c. Lighting: Front lit, back lit, opaque lighting. No channel cut lighting permitted. (channel cut is a method of illumination that illuminates only the lettering or logo and the remaining face of the sign is not illuminated or opaque in any manner, also known as stencil-cut)
5. **Wall sign as Sign band.** Sign bands are permitted within Core, Corridor, Industrial. This type of sign is intended primarily for retail uses at street level to draw the attention of pedestrians and drivers.
 - a. Placement:
 - i. On building face between first and second floor window openings.
 - ii. Must be integrated with composition of the facade.
 - iii. Background may be building wall or "backboard."
 - iv. Minimum of ten feet above sidewalk.
 - b. Dimensions:
 - i. Backboard and overall band width limited to 12 square feet.



Sign Standards

12.7.11

- ii. Backboard may have a maximum height of 30 inches.
 - iii. Letters may have a maximum height of 24 inches.
- c. Letter or backboard materials: Metal, stone, wood, paint, carved, plaster, plastic. Cabinet signs are permitted.
- d. Lighting: Front lit and back lit permitted, channel cut is not permitted
- e. Consistency of the sign bands on a single building is required.
- 6. **Freestanding signs.** Freestanding signs are permitted within Core, Corridor, Industrial, General.
 - a. Configuration:
 - i. Double post with framed panel.
 - ii. Offset single post with bracketed or suspended panel.
 - iii. Double-sided signs are permitted.
 - iv. Single post with centered panel is not permitted.
 - v. Sign must be essentially two-dimensional. Small structures or kiosk type designs are not permitted.
 - b. Dimensions:
 - i. Sign panel is limited to a maximum of six square feet.
 - ii. Overall sign is limited to a maximum height of four feet above grade.
 - c. Materials: Metal, wood.
 - d. Lighting:
 - i. Externally projected ground lighting is permitted.
 - ii. Internally illuminated signs or signs incorporating lighting elements are not permitted.
- 7. **Swing sign, under-canopy sign & projecting signs.** Swing sign, under-canopy sign & projecting signs are permitted within Core, Corridor, Industrial, General.
 - a. Dimensions:
 - i. Maximum of six square feet.
 - ii. Bracketed signs may project a maximum of 48 inches from the building face.
 - iii. Logos or Artwork may be a maximum of 18 inches in any dimension.
 - b. Materials: Metal, wood.
 - c. Lighting: Externally projected lighting is permitted.
- 8. **Monument signs.** Monument signs are permitted within Core, Corridor, Industrial, General.
 - a. Placement:
 - i. Must be perpendicular to public road with identical graphics on each face.
 - ii. Must form a 45 percent angle to the street intersection at street corners.



- iii. Must be set back at least two feet from the public right-of-way.
 - b. Dimensions:
 - i. Height of the monument sign may not exceed five feet.
 - ii. Graphic area of the monument must not exceed 40 square feet.
 - c. Materials:
 - i. Substantial materials such as stone, concrete, brick, stucco, wood, steel, and aluminum are required.
 - ii. Letter or backboard materials: metal, stone, wood, paint, carved, plaster, plastic.
 - d. Lighting: External lighting only permitted.
- 9. **Types of signs permitted.** The list of permitted signs in Section 4.703, Div. 16, Article 4 is adjusted by adding the following type of sign:
 - a. **Sandwich or sidewalk signs** as defined in Section 4.693, Div. 16, Article 4, are permitted in the Core, Corridor and General Subdistricts, provided the signs do not exceed 6 square feet per face, do not unreasonably obstruct pedestrian or vehicular movement, and are moved off sidewalks or other public property by 9:00 PM daily.
- 10. **Prohibited signs.**
 - a. Illuminated signs behind the glass storefront that advertise on a permanent basis.
 - b. Applied window signs, such as cardboard panels.
 - c. Pennants and Banners for commercial or private use.
 - d. Pole signs.
- 11. **Lettering and logo size.** Table **GG-12** provides the maximum height of lettering and logos. Section 4.699, Div. 16, Article 4 establishes how the height of irregularly shaped features shall be measured.



Architectural Standards

12.7.12

Section 12.7.12. Architectural Standards. The following Architectural Standards are applicable within Golden Gate Redevelopment Zoning District

1. **Accessory Structures.** Materials for accessory structures shall be or have the appearance of materials from the primary structure.
2. **Building Additions.** The exterior appearance of additions to an existing building should be compatible with the overall building type. For example, exterior walls should be of the same or compatible materials and finished in the same manner as the existing structure. Windows should also be of the same type or be complementary with the existing windows.
3. **Painting of Structures.**
 - a. All exterior surfaces of buildings shall be painted except when constructed with materials not normally painted, including, but not limited to, vinyl siding or brick.
 - b. Any repairs to the exterior of any building must be painted to match the balance of the structure.
4. **Board-ups.** If a structure is boarded-up for an extended period of time for any reason, the boarding material must be, at a minimum, exterior grade plywood. If exterior grade plywood is used, it must be painted to match the balance of the structure, except for temporary boarding in the event of a natural disaster.
5. **Historic Structures.** Structures identified as historically and architecturally contributing shall be candidates for historic protection as set forth in Div.13, Article 4.
6. **Heat Island Effect.** In order to reduce urban heat islands for both roofed and non-roofed areas, the following recommendations are provided for building and site design:
 - a. Non-roofed: Provide shade on at least 30% of non roof impervious surface on the site, including parking lots, walkways, plazas, etc.; or use light-colored/high-albedo materials (reflectance of at least .3) for 30% of the site's non-roofed impervious surfaces; or, use open grid pavement system.
 - b. Roofed: Use Energy Star roof-compliant, high-reflectance and high emissivity roofing or install a "green" (vegetated) roof for at least 50% of the roof area.
 - c. Parking Garage Roofs: Provide shade on at least 30% of any exposed parking on the roof.

“Sketch and Legal Descriptions”

Exhibits B through E

to Ordinance

adopting Article 12, Division 7, LDR,

Golden Gate Community Redevelopment Code

and amending the Zoning Atlas

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 1 OF 17

SURVEYOR'S NOTES

1. THIS SKETCH AND LEGAL DESCRIPTION IS BASED ON THE ZONING DISTRICTS MAP WITHIN THE GOLDEN GATE CRA.
2. THIS LEGAL DESCRIPTION SHALL NOT BE VALID:
 - A. UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1 - 17, SHEETS 13 - 17 BEING A SKETCH.
 - B. WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR.
3. THE PURPOSE OF THIS SKETCH AND DESCRIPTION IS TO DESCRIBE THE LIMITS OF THE GOLDEN GATE REDEVELOPMENT ZONING DISTRICT AS REPRESENTED ON THE MAP OF GOLDEN GATE FLORIDA C.R.A. DISTRICT PROPOSED ZONING MAP.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
5. THIS IS NOT A SURVEY AND DOES NOT DEFINE OWNERSHIP OR ENCROACHMENTS.
6. PROPERTY, TRACT, AND PARCEL LINES SHOWN ARE APPROXIMATE IN NATURE AND NOT TO BE RELIED UPON FOR LAND POSITIONING OR DETERMINATIONS.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. LEGEND: CRA=COMMUNITY REDEVELOPMENT AGENCY, C.R.A.=COMMUNITY REDEVELOPMENT AGENCY, F.E.C.=FLORIDA EAST COAST, FT.=FEET/FOOT.

SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK.

THOMAS M. WALKER, JR., P.S.M.
MARTIN COUNTY SURVEYOR
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. P.S.M. 6875

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 2 - 17.

DATE:

SKETCH AND DESCRIPTION
GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW
DRAWN BY : JMM | SCALE : N/A
DATE : 10/9/2020
DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 2 OF 17

DESCRIPTION

A PORTION OF GOLDEN GATE PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 50, PUBLIC RECORDS, MARTIN COUNTY, FLORIDA.

BEING MORE PARTICULARLY DEFINED AS FOLLOWS:

ALL OF BLOCKS 1, 3, 5, 7, 9, 11, 13 AND 15, SAID GOLDEN GATE PARK.

AND

THE SOUTH 45 FEET OF LOTS 2, 4, 6, 8, 10, 12, 14, 16, 18 AND 20, BLOCK 45, SAID GOLDEN GATE PARK.

AND

LOTS 2, 3 AND 4, BLOCK 47, SAID GOLDEN GATE PARK.

AND

LOTS 2, 4, 6, 8, 10, 12, 14, 16, 18 AND 20, BLOCK 49, SAID GOLDEN GATE PARK.

AND

LOTS 4, 6, 8, 10, 12, 14, 16, 18 AND 20, BLOCK 51, SAID GOLDEN GATE PARK.

AND

LOTS 2, 4, 6, 8, 10, 12, 14, 18 AND 19, BLOCK 53, SAID GOLDEN GATE PARK.

AND

LOTS 14, 16, 18 AND 20, BLOCK 55, SAID GOLDEN GATE PARK.

AND

THE SOUTH 50 FEET OF LOTS 2, 4 AND 6; ALL OF LOTS 8, 10, 12 AND 14, BLOCK 57, SAID GOLDEN GATE PARK.

TOGETHER WITH

A PORTION OF GOLDEN GATE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

BEING MORE PARTICULARLY DEFINED AS FOLLOWS:

(CONTINUED ON SHEET 3)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1 AND 3 - 17.**

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT

MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 3 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 2)

ALL OF BLOCKS 1, 2, 3, 4, 6, 8, 10, 12, 14, 16, 22, 24, 26, 28, 30, 32, 34, 38, 40, 42, 46, 48, 56, 58, 60, 62, 64, 66, 70, 72, 74, 92, 94, 102, 104, 106, 110, 112, 114, 116, 138, 140, 142, 148, 150, 152, 154, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194 AND 196, SAID GOLDEN GATE.

AND

LOTS 1 - 36, 39 - 52, 98 - 133 AND 136 - 148, BLOCK 5, SAID GOLDEN GATE.

AND

LOTS 1 - 8, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41 AND 43, BLOCK 52, SAID GOLDEN GATE.

AND

LOTS 1 - 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38 AND 40, BLOCK 54, SAID GOLDEN GATE.

AND

LOTS 1 - 28 AND 34 - 38, BLOCK 68, SAID GOLDEN GATE.

AND

LOTS 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38 AND 40, BLOCK 76, SAID GOLDEN GATE.

AND

LOTS 1 - 6, 7, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28 AND 30, BLOCK 78, SAID GOLDEN GATE.

AND

LOTS 1 - 30 AND 32, BLOCK 90, SAID GOLDEN GATE.

AND

LOTS 5, 7 AND 9 - 40, BLOCK 96, SAID GOLDEN GATE.

AND

(CONTINUED ON SHEET 4)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1, 2 AND 4 - 17.**

SKETCH AND DESCRIPTION

**GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 4 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 3)

LOTS 1 - 34, BLOCK 100, SAID GOLDEN GATE.

AND

LOTS 11 - 38, BLOCK 108, SAID GOLDEN GATE.

AND

LOTS 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42 AND 44, BLOCK 132, SAID GOLDEN GATE.

AND

LOTS 1, 3, 5, 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37 AND 39, BLOCK 134, SAID GOLDEN GATE.

AND

LOTS 1 - 25, 27, 29, 31, 33, 35, 37 AND 39, BLOCK 136, SAID GOLDEN GATE.

AND

LOTS 1 - 3, 7 - 32 AND 35 - 38, BLOCK 144, SAID GOLDEN GATE.

AND

LOTS 1 - 32 AND 35 - 38, BLOCK 146, SAID GOLDEN GATE.

TOGETHER WITH

ALL OF CARIBBEAN KEY CONDOMINIUM, A CONDOMINIUM ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 1913, PAGE 1556, AND ALL EXHIBITS AND AMENDMENTS THEREOF, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

BEING MORE PARTICULARLY DESCRIBED AS:

LOTS 10, 12, 14, 16 AND THE EASTERLY 100 FEET OF LOT 5, BLOCK 15, PORT SEWALL, ACCORDING TO OFFICIAL MAP SEWALL'S POINT LAND COMPANY RECORDED IN PLAT BOOK 3, PAGE 8, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS. TOGETHER WITH THAT IRREGULAR PARCEL OF LAND LYING BETWEEN LOTS 5, 14 AND 16, BLOCK 15, PORT SEWALL AND WEST LAKE CREATED BY THE NORTHWESTERLY EXTENSION OF THE LINE BETWEEN LOTS 12 AND 14, BLOCK 15, PORT SEWALL, TO THE WATERS OF THE CREEK KNOWN AS WEST LAKE, AND (CONTINUED ON SHEET 5)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1 - 3 AND 5 - 17.

SKETCH AND DESCRIPTION GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT MARTIN COUNTY, FLORIDA	SUPERVISED BY : TMW	
	DRAWN BY : JMM	SCALE : N/A
	DATE : 10/9/2020	
	DRAWING # 20-007A	

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 5 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 4)

NORTHEASTERLY EXTENSION OF THE SOUTHERLY LOT LINES OF LOTS 10, 12, 14 AND 16, BLOCK 15, PORT SEWALL, TO THE WATERS OF THE CREEK KNOWN AS WEST LAKE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 8, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS, SAID PARCEL OF LAND BEING THAT PLATTED ROAD BETWEEN THE LOTS AND WEST LAKE AS VACATED AND ABANDONED IN COMMISSIONER'S MINUTE BOOK 4, PAGE 26, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS. TOGETHER WITH ANY AND ALL RIPARIAN RIGHTS THERETO APPERTAINING.

ALSO KNOWN AS:

LOTS 10, 12, 14, 16 AND A PORTION OF LOT 5, BLOCK 15, PORT SEWALL, ACCORDING TO THE "OFFICIAL MAP OF SEWALL'S POINT LAND COMPANY" AS RECORDED IN PLAT BOOK 3, PAGE 8, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, TOGETHER WITH THAT PORTION OF PLATTED ROAD BETWEEN SAID LOTS 5, 16, AND WEST LAKE AS VACATED AND ABANDONED IN COMMISSIONER'S MINUTE BOOK 4, PAGE 26, MARTIN COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 10, BLOCK 15; THENCE RUN NORTH 23°04'58" WEST ALONG THE WESTERLY LINE OF SAID LOT 10, AND EASTERLY LINE OF THE WESTERLY 100 FEET OF SAID LOT 5 FOR A DISTANCE OF 190 FEET MORE OR LESS TO THE APPARENT SOUTH, SOUTHWESTERLY SHORELINE OF SAID WEST LAKE: THENCE MEANDER SOUTHEASTERLY ALONG SAID SHORELINE TO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF A 100 FOOT RIGHT-OF-WAY (INDIAN STREET) AS SHOWN ON SAID "OFFICIAL MAP OF SEWALL'S POINT LAND COMPANY." THENCE RUN SOUTH 67°01'23" WEST ALONG SAID RIGHT-OF-WAY LINE FOR A DISTANCE OF 279 FEET MORE OR LESS TO THE POINT OF BEGINNING.

TOGETHER WITH

THE FIFTEEN (15) FOOT ALLEY EXISTING IN BLOCK 66 OF GOLDEN GATE, LYING BETWEEN LOTS 1, 2, 3, 4, 5, 7, 11, 12 AND 13, AS IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

TOGETHER WITH

THAT CERTAIN UNNAMED ALLEYWAY ABUTTING LOTS 1 - 12 INCLUSIVE, BLOCK 102, GOLDEN GATE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED MARCH 5, 1925 IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

TOGETHER WITH

(CONTINUED ON SHEET 6)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 4 AND 6 - 17.

SKETCH AND DESCRIPTION GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT MARTIN COUNTY, FLORIDA	SUPERVISED BY : TMW	
	DRAWN BY : JMM	SCALE : N/A
	DATE : 10/9/2020	
	DRAWING # 20-007A	

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 6 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 5)

THAT PORTION OF 2ND STREET (NOW S.E. BIRCH AVENUE) LYING BETWEEN LOTS 7, 8, 9 AND 10, BLOCK 100, GOLDEN GATE, AND LOTS 14, 16, 18 AND 20, BLOCK 102, GOLDEN GATE, ACCORDING TO THE PLAT THEREOF FILED MARCH 25, 1925, IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

TOGETHER WITH

A 15 FOOT ALLEYWAY LYING BETWEEN LOTS 1 - 10 INCLUSIVE AND LOTS 11 AND 12. ALSO A 15 FOOT ALLEYWAY LYING BETWEEN LOTS 12 - 28 INCLUSIVE AND 11 - 27 INCLUSIVE. ALSO A 15 FOOT ALLEYWAY BETWEEN LOTS 29 - 38 INCLUSIVE AND LOTS 27 AND 28. ALL OF THE ABOVE IN BLOCK 100, GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

LESS

THE EAST HALF OF A 15 FOOT ALLEYWAY BETWEEN LOTS 35 - 38 AND 28, BLOCK 100, GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

TOGETHER WITH

SOUTHEAST BIRCH AVENUE BETWEEN PARCEL 1 - LOTS 1 THROUGH 10, BLOCK 104, AND PARCEL 2 - LOTS 1 THROUGH 10, BLOCK 106, GOLDEN GATE.

TOGETHER WITH

THAT PART OF SECOND STREET AS LIES WEST OF BLOCK 142, A CERTAIN DEDICATED STREET IN GOLDEN GATE SUBDIVISION, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 11 AT PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

TOGETHER WITH

THE FOLLOWING DESCRIBED ALLEYWAY LYING BETWEEN LOTS 1 THRU 10 AND LOTS 11 AND 12 OF BLOCK 142, OF GOLDEN GATE SUBDIVISION, PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

TOGETHER WITH

THOSE ALLEYWAYS OR ROAD RIGHT OF WAYS WITHIN THE BOUNDARIES OF BLOCK 106, GOLDEN GATE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS OF PALM BEACH COUNTY (NOW MARTIN COUNTY), FLORIDA.

(CONTINUED ON SHEET 7)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 5 AND 7 - 17.**

SKETCH AND DESCRIPTION

**GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 7 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 6)
TOGETHER WITH

THE FOLLOWING PORTIONS OF THOSE CERTAIN RIGHTS-OF-WAY LYING WITHIN GOLDEN GATE
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 41, OF THE PUBLIC
RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

THE WEST HALF OF THAT PORTION OF 3RD ST. (NOW S.E. CAMINO AVE.) 75' WIDE, LYING
BETWEEN BLOCK 106 AND 108, AND ALSO LYING BETWEEN FAIRMONT AVE. (NOW S.E. FAIRMONT
ST.) AND GARDEN AVE. (NOW S.E. GARDEN ST.).

AND

THAT PORTION OF 6TH ST. (NOW S.E. FERNDAL AVE.) 50' WIDE, LYING BETWEEN BLOCKS 112
AND 114, AND ALSO LYING BETWEEN FAIRMONT AVE. (NOW S.E. FAIRMONT ST.) AND GARDEN
AVE. (NOW S.E. GARDEN ST.);

LESS

THAT PORTION LYING BETWEEN THE EXTENSIONS OF THE NORTHERLY AND SOUTHERLY LINES OF
THE 15' ALLEYWAYS IN BLOCKS 112 AND 114.

AND

THAT PORTION OF 4TH ST. (NOW S.E. DURANT AVE.) 50' WIDE, LYING BETWEEN BLOCKS 188 AND
190, AND ALSO LYING BETWEEN JEFFERSON AVE. (NOW S.E. JEFFERSON ST.) AND KENSINGTON
AVE. (NOW S.E. KENSINGTON ST.)

AND

THAT PORTION OF 4TH ST. (NOW S.E. DURANT AVE.) 50' WIDE, LYING BETWEEN LOTS 29 - 32,
BLOCK 146 AND LOT 1, BLOCK 148, AND SOUTH OF HAWTHORNE AVE. (NOW S.E. HAWTHORNE
ST).

AND

THAT PORTION OF 4TH ST. (NOW S.E. DURANT AVE.) 50' WIDE, LYING BETWEEN LOTS 35 - 38,
BLOCK 146 AND LOT 2, BLOCK 148, AND NORTH OF IRIS AVE. (NOW S.E. IRIS ST.).

TOGETHER WITH

(CONTINUED ON SHEET 8)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 6 AND 8 - 17.

SKETCH AND DESCRIPTION
GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 8 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 7)

FIFTEEN FOOT (15) ALLEY 117.5 FT. LONG, LYING WEST OF LOT 12, RUNNING NORTH AND SOUTH IN BLOCK 144, GOLDEN GATE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

TOGETHER WITH

A PART OF THIRD STREET, A CERTAIN DEDICATED STREET IN GOLDEN GATE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

TOGETHER WITH

WHEREAS, ON THE 24TH OF JUNE 1953 A PETITION, SIGNED BY ALLAN N. DECKER AND EDNA DECKER, OWNERS OF PROPERTY ABUTTING UPON THAT CERTAIN ALLEY RUNNING EAST AND WEST, APPROXIMATELY, THROUGH THE CENTER OF BLOCK 138 OF GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF FILE MARCH 5TH, 1925, AND RECORDED IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS, WAS PRESENTED TO THE BOARD OF COUNTY COMMISSIONERS, REQUESTING IT TO CLOSE, VACATE AND ABANDON SAID ALLEY, AND, THAT PURSUANT TO SECTION 343.43, FLORIDA STATUTES OF 1951, THE ALLEY THAT RUNS APPROXIMATELY EAST AND WEST THROUGH THE CENTER OF BLOCK 138 OF GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF FILED 5 MARCH 1925, AND RECORDED IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS, BE, AND THE SAME IS HEREBY CLOSED, VACATED AND ABANDONED.

TOGETHER WITH

THAT PIECE OF THE RIGHT-OF-WAY KNOWN AS 7TH STREET, AS RECORDED ON PLAT OF GOLDEN GATE, AS RECORDED IN PLAT BOOK 11, PAGE 41 OF THE PUBLIC RECORDS OF PALM BEACH (NOW MARTIN COUNTY), FLORIDA, LYING SOUTH OF JEFFERSON STREET AND NORTH OF KENSINGTON STREET.

TOGETHER WITH

THAT CERTAIN ALLEY, RUNNING FROM EAST TO WEST, BETWEEN 5TH AND 6TH STREETS IN BLOCK 74 OF GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

TOGETHER WITH

FIFTEEN FOOT (15') ALLEY RUNNING EAST TO WEST THROUGH THE CENTER OF BLOCK 78, GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF FILED MARCH 5, 1925 IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

(CONTINUED ON SHEET 9)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 7 AND 9 - 17.**

SKETCH AND DESCRIPTION

**GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 9 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 8)
LESS

THE NORTH 7.5 FEET LYING SOUTH OF LOTS 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27 AND 29, BLOCK 78, SAID GOLDEN GATE SUBDIVISION.

AND LESS

THAT PORTION LYING BETWEEN LOTS 31, 33, 35, 37, 39, 41, 43, 32, 34, 36, 38, 40, 42 AND 44, BLOCK 78, SAID GOLDEN GATE SUBDIVISION.

TOGETHER WITH

ALL OF THAT CERTAIN ALLEYWAY AS SHOWN ON THE PLAT OF GOLDEN GATE, FILED MARCH 5, 1925, AND RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, WHICH IS BOUNDED ON THE NORTH BY THE SOUTH OR REAR LINES OF ALL THE ODD-NUMBERED LOTS IN BLOCK 52, GOLDEN GATE; BOUNDED ON THE SOUTH BY THE NORTH OR REAR LINES OF ALL THE EVEN-NUMBERED LOTS IN BLOCK 52, GOLDEN GATE; BOUNDED ON THE WEST BY 7TH STREET AND BOUNDED ON THE EAST BY 8TH STREET, AS SHOWN ON SAID PLAT.

LESS

THE SOUTHERLY 7.5 FEET LYING NORTHERLY OF LOTS 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42 AND 44, BLOCK 52, SAID GOLDEN GATE.

TOGETHER WITH

ALL OF THAT PART OF 8TH STREET THAT LIES BETWEEN BLOCKS 43 AND 45 AS SHOWN ON THE PLAT OF PORT SEWALL AS RECORDED IN PLAT BOOK 3, PAGE 8, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA RECORDS, AND THAT LIES SOUTH OR SOUTHERLY OF A COUNTY DRAINAGE CANAL. SAID STREET BEING FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT THE S.E. CORNER OF THE ABOVE DESCRIBED BLOCK 45, THENCE NORTHERLY ALONG THE EASTERLY BOUNDARY OF BLOCK 45 FOR 65 FEET MORE OR LESS TO A COUNTY DRAINAGE DITCH, THENCE EASTERLY ALONG SAID DRAINAGE DITCH FOR 50 FEET MORE OR LESS TO A POINT ON THE WESTERLY BOUNDARY OF BLOCK 43, THENCE SOUTHERLY ALONG THE WESTERLY BOUNDARY OF BLOCK 43 FOR 65 FEET MORE OR LESS TO S.W. CORNER OF BLOCK 43, THENCE WESTERLY FOR 50 FEET TO THE POINT OR PLACE OF BEGINNING.

TOGETHER WITH

(CONTINUED ON SHEET 10)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 8 AND 10 - 17.

SKETCH AND DESCRIPTION GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT MARTIN COUNTY, FLORIDA	SUPERVISED BY : TMW	
	DRAWN BY : JMM	SCALE : N/A
	DATE : 10/9/2020	
	DRAWING # 20-007A	

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 10 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 9)

THAT CERTAIN ALLEY WHICH BISECTS BLOCK 24, GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF FILED MARCH 5, 1925 AND RECORDED IN PLAT BOOK 11 AT PAGE 41, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS.

TOGETHER WITH

FROM THE NORTHEASTERLY CORNER OF LOT 17, BLOCK 11, GOLDEN GATE PARK, ACCORDING TO THE PLAT THEREOF FILED APRIL 29, 1926, RECORDED IN PLAT BOOK 1, PAGE 50, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS, RUN SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 17 TO THE NORTHERLY LINE OF LOT 20; THENCE RUN EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 20 FOR A DISTANCE OF 25 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 29; THENCE RUN NORTHWESTERLY ALONG A LINE PARALLEL TO THE EASTERLY LINE OF LOT 17 FOR A DISTANCE OF 125 FEET TO A POINT; THENCE RUN WESTERLY FOR A DISTANCE OF 25 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH

THAT PORTION OF S.E. EVERGREEN AVENUE (FORMERLY 5TH STREET) LYING BETWEEN LOT 2, BLOCK 47, AND LOT 20, BLOCK 49, GOLDEN GATE PARK SUBDIVISION, AS RECORDED IN PLAT BOOK 1, PAGE 50, SHEET 3 OF 4, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS. (SAID ROAD BEING 50 FEET BY 125 FEET, MORE OR LESS.)

TOGETHER WITH

PETITION OF ROSE R. WALTON, LEGAL DESCRIPTION OF ROAD RIGHT-OF-WAY SOUGHT TO BE ABANDONED:

THAT PART OF 3RD STREET, NOW KNOWN AS S.E. CAMINO AVENUE, LYING BETWEEN LOT 4, BLOCK 51, AND THE EAST ONE-HALF OF LOT 18 AND 19, BLOCK 53, AS SHOWN ON THE PLAT OF GOLDEN GATE PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 50, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: START AT THE SOUTHEAST CORNER OF LOT 19, BLOCK 53, FOR A POINT OF BEGINNING; THENCE RUN EASTERLY TO THE SOUTHWEST CORNER OF LOT 4, BLOCK 51; THENCE RUN NORTHERLY ALONG THE WESTERLY BOUNDARY LINE OF SAID LOT 4 TO THE NORTHWEST CORNER OF SAID LOT 4; THENCE RUN WESTERLY ALONG THE WESTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 4 TO THE CENTERLINE OF 3RD STREET; THENCE RUN SOUTHERLY ALONG THE CENTERLINE OF 3RD STREET TO A POINT WHERE THE EASTERLY EXTENSION OF THE NORTH LINE OF LOT 18, BLOCK 53, INTERSECTS THE CENTERLINE OF 3RD STREET; THENCE RUN WESTERLY ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 18 TO THE NORTHEAST CORNER OF SAID LOT 18; THENCE RUN SOUTHERLY ALONG THE EASTERLY BOUNDARY LINES OF SAID LOTS 18 AND 19, BLOCK 53, TO THE SOUTHEAST CORNER OF SAID LOT 19, THE POINT OF BEGINNING.

(CONTINUED ON SHEET 11)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 9 AND 11 - 17.**

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT

MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 11 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 10)
TOGETHER WITH

THAT PORTION OF THIRD STREET (NOW KNOWN AS SOUTHEAST CAMINO AVENUE) IN GOLDEN GATE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 50, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS, LYING EASTERLY OF SOUTH ONE HALF OF LOT 17, BLOCK 53, OF SAID PLAT.

TOGETHER WITH

ALL ALLEYWAYS APPEARING IN BLOCK 64, GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF FILED IN OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, IN PLAT BOOK 11, PAGE 41. (TRANSCRIPT OF SAID PLAT NOW FILED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA).

TOGETHER WITH

ALL ALLEYWAYS LOCATED WITHIN BLOCK 36, GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF FILED ON MARCH 5, 1925 AND RECORDED IN PLAT BOOK 11, PAGE 41, OF THE PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

TOGETHER WITH

A PART OF FIRST STREET, A CERTAIN DEDICATED STREET IN GOLDEN GATE SUBDIVISION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 11, AT PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

TOGETHER WITH

A FIVE FOOT (5') EASEMENT NOTED ON THE PLAT OF GOLDEN GATE PARK, RECORDED IN PLAT BOOK 1, PAGE 50, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, AND WHICH IS LOCATED AT THE FOLLOWING DESCRIBED PLACE: THE FIVE FOOT EASEMENT LYING AT THE REAR OF LOTS 1, 3, 5, 7, 9 AND 11, BLOCK 1, GOLDEN GATE PARK.

TOGETHER WITH

THAT PART OF 2ND STREET, NOW KNOWN AS S.E. BIRCH AVENUE, LYING WEST OF LOT 2, BLOCK 53, AND EAST OF LOT 20, BLOCK 55, AS SHOWN ON THE PLAT OF GOLDEN GATE PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 50, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: START AT THE SOUTHEAST CORNER OF LOT 20, BLOCK 55, FOR A POINT OF BEGINNING;

(CONTINUED ON SHEET 12)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 10 AND 12 - 17.**

SKETCH AND DESCRIPTION

**GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 12 OF 17

DESCRIPTION

(CONTINUED FROM SHEET 11)

THENCE RUN EASTERLY ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 20 TO THE SOUTHWEST CORNER OF LOT 2, BLOCK 53; THENCE RUN NORTHERLY ALONG THE WESTERLY BOUNDARY LINE OF SAID LOT 2 TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE RUN WESTERLY ALONG THE WESTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 2 TO THE NORTHEAST CORNER OF SAID LOT 20; THENCE RUN SOUTHERLY ALONG THE EASTERLY BOUNDARY LINE OF SAID LOT 20, BLOCK 55, TO THE SOUTHEAST CORNER OF SAID LOT 20, THE POINT OF BEGINNING. PARCEL IS 50 FEET WIDE BY 125 FEET DEEP.

LESS

ANY ROAD RIGHT-OF-WAY.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT
VALID WITHOUT SHEETS 1 - 11 AND 13 - 17.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT

MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

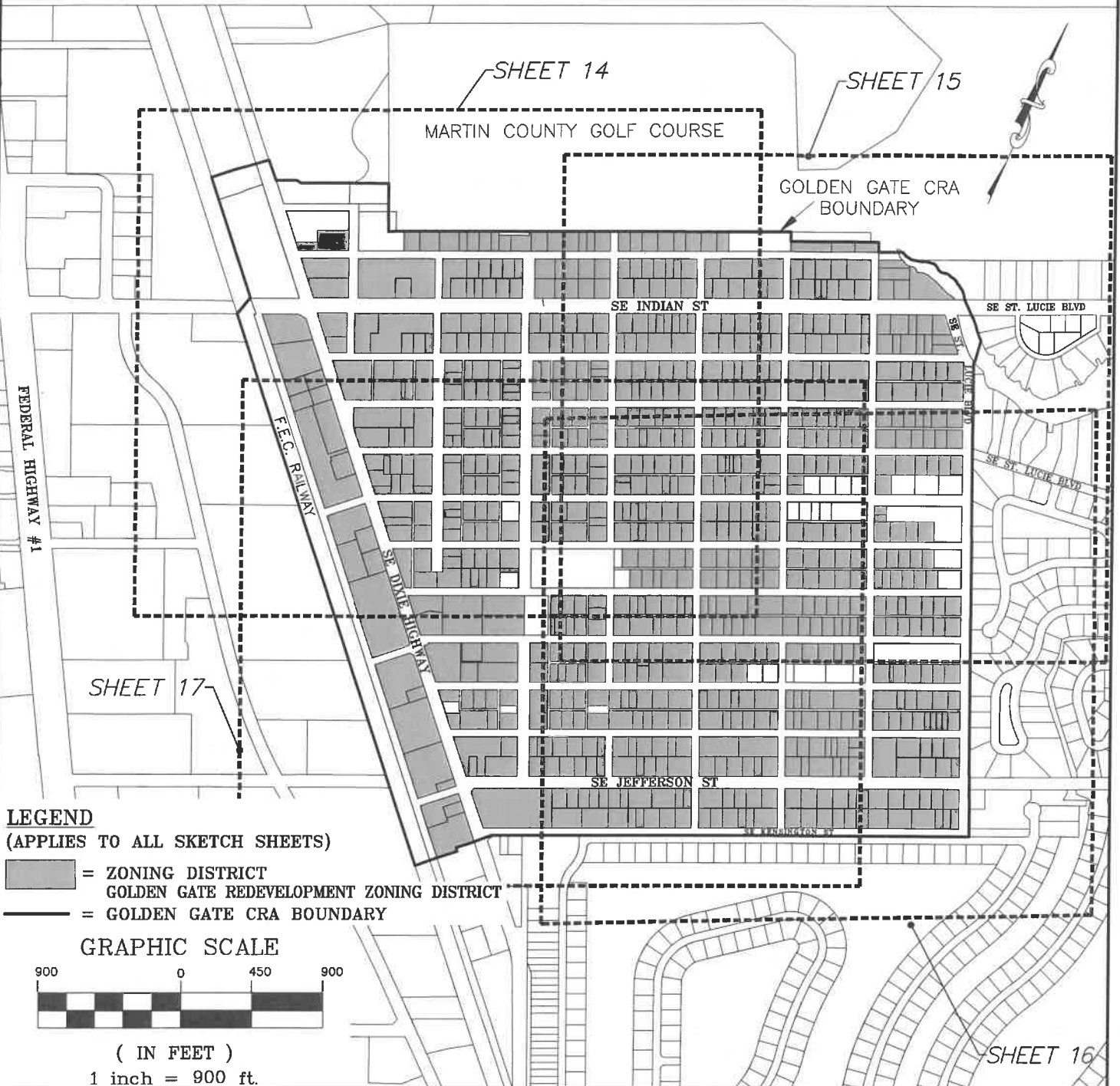
MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 13 OF 17

REDEVELOPMENT ZONING DISTRICT



NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 12 AND 14 - 17.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=900' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=900'

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A


SHEET NO. 14 OF 17

REDEVELOPMENT ZONING DISTRICT



LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
GOLDEN GATE REDEVELOPMENT ZONING DISTRICT
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 500 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 13 AND 15 - 17.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=500' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=500'

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME :20-007A.DWG| M.C. PROJ. NO. 20-007A

SHEET NO. 15 OF 17

REDEVELOPMENT ZONING DISTRICT

MARTIN COUNTY GOLF COURSE

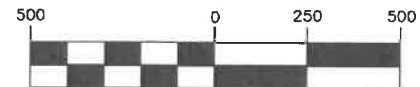


LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
-  = GOLDEN GATE REDEVELOPMENT ZONING DISTRICT
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 500 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 14, 16 AND 17.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=500' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM SCALE : 1"=500'

DATE : 10/9/2020

DRAWING # 20-007A

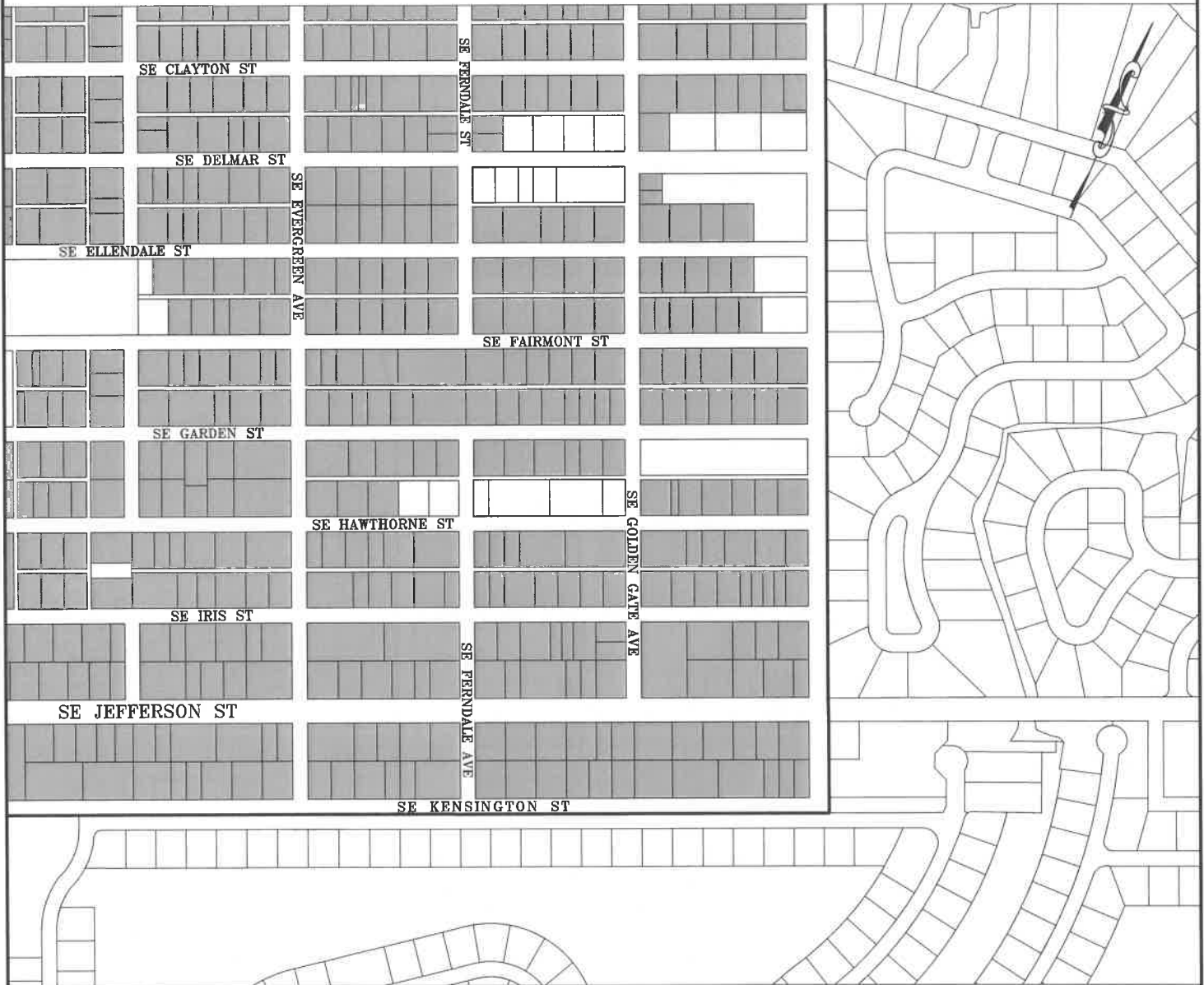
MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A



SHEET NO. 16 OF 17

REDEVELOPMENT ZONING DISTRICT

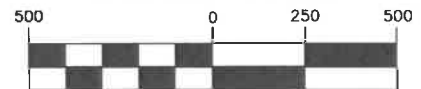


LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
GOLDEN GATE REDEVELOPMENT ZONING DISTRICT
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 500 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 15 AND 17.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=500' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=500'

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 17 OF 17

REDEVELOPMENT ZONING DISTRICT



LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 500 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 16.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=500' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - REDEVELOPMENT ZONING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=500'

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 1 OF 4

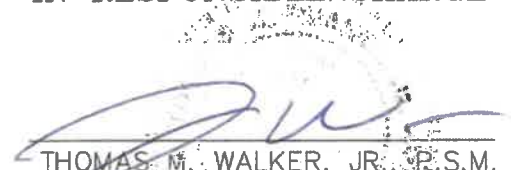
SURVEYOR'S NOTES

1. THIS SKETCH AND LEGAL DESCRIPTION IS BASED ON THE ZONING DISTRICTS MAP WITHIN THE GOLDEN GATE CRA.
2. THIS LEGAL DESCRIPTION SHALL NOT BE VALID:
 - A. UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1, 2, 3 AND 4, SHEETS 3 AND 4 BEING A SKETCH.
 - B. WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR.
3. THE PURPOSE OF THIS SKETCH AND DESCRIPTION IS TO DESCRIBE THE LIMITS OF THE GOLDEN GATE CRA ZONING DISTRICTS DESIGNATION OF PUBLIC RECREATION DISTRICT.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
5. THIS IS NOT A SURVEY AND DOES NOT DEFINE OWNERSHIP OR ENCROACHMENTS.
6. PROPERTY, TRACT, AND PARCEL LINES SHOWN ARE APPROXIMATE IN NATURE AND NOT TO BE RELIED UPON FOR LAND POSITIONING OR DETERMINATIONS.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. LEGEND: CRA=COMMUNITY REDEVELOPMENT AGENCY, F.E.C.=FLORIDA EAST COAST.

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 2, 3 AND 4.

SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE



THOMAS M. WALKER, JR., P.S.M.
MARTIN COUNTY SURVEYOR
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. P.S.M. 6875

DATE: 10/15/2020

SKETCH AND DESCRIPTION
GOLDEN GATE CRA ZONING - PUBLIC RECREATION DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME :20-007A.DWG M.C. PROJ. NO. 20-007A SHEET NO. 2 OF 4

DESCRIPTION

A PORTION OF GOLDEN GATE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

BEING MORE PARTICULARLY DEFINED AS FOLLOWS:

LOTS 29 – 33, BLOCK 68, SAID GOLDEN GATE.

AND

LOTS 1 – 4, 6 AND 8, BLOCK 96, SAID GOLDEN GATE.

AND

ALL OF BLOCK 98, SAID GOLDEN GATE.

AND

LOTS 4 – 6, 33 AND 34, BLOCK 144, SAID GOLDEN GATE.

TOGETHER WITH

THAT PORTION OF THE 4TH STREET LYING BETWEEN FAIRMONT AVENUE (NOW KNOWN AS SOUTHEAST FAIRMONT STREET) AND ELLENDALE AVENUE (NOW KNOWN AS SOUTHEAST ELLENDALE STREET) AND ALSO LYING BETWEEN BLOCKS 96 AND 98, ALL IN GOLDEN GATE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

AND

ALL ALLEYWAYS IN BLOCK 98, SAID GOLDEN GATE SUBDIVISION.

LESS

ANY ROAD RIGHT-OF-WAY.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1, 3 AND 4.

SKETCH AND DESCRIPTION
GOLDEN GATE CRA ZONING – PUBLIC RECREATION DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW
DRAWN BY : JMM SCALE : N/A
DATE : 10/9/2020
DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 3 OF 4

PUBLIC RECREATION DISTRICT



NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1, 2 AND 4.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=900' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING – PUBLIC RECREATION DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=900'

DATE : 10/9/2020

DRAWING # 20-007A

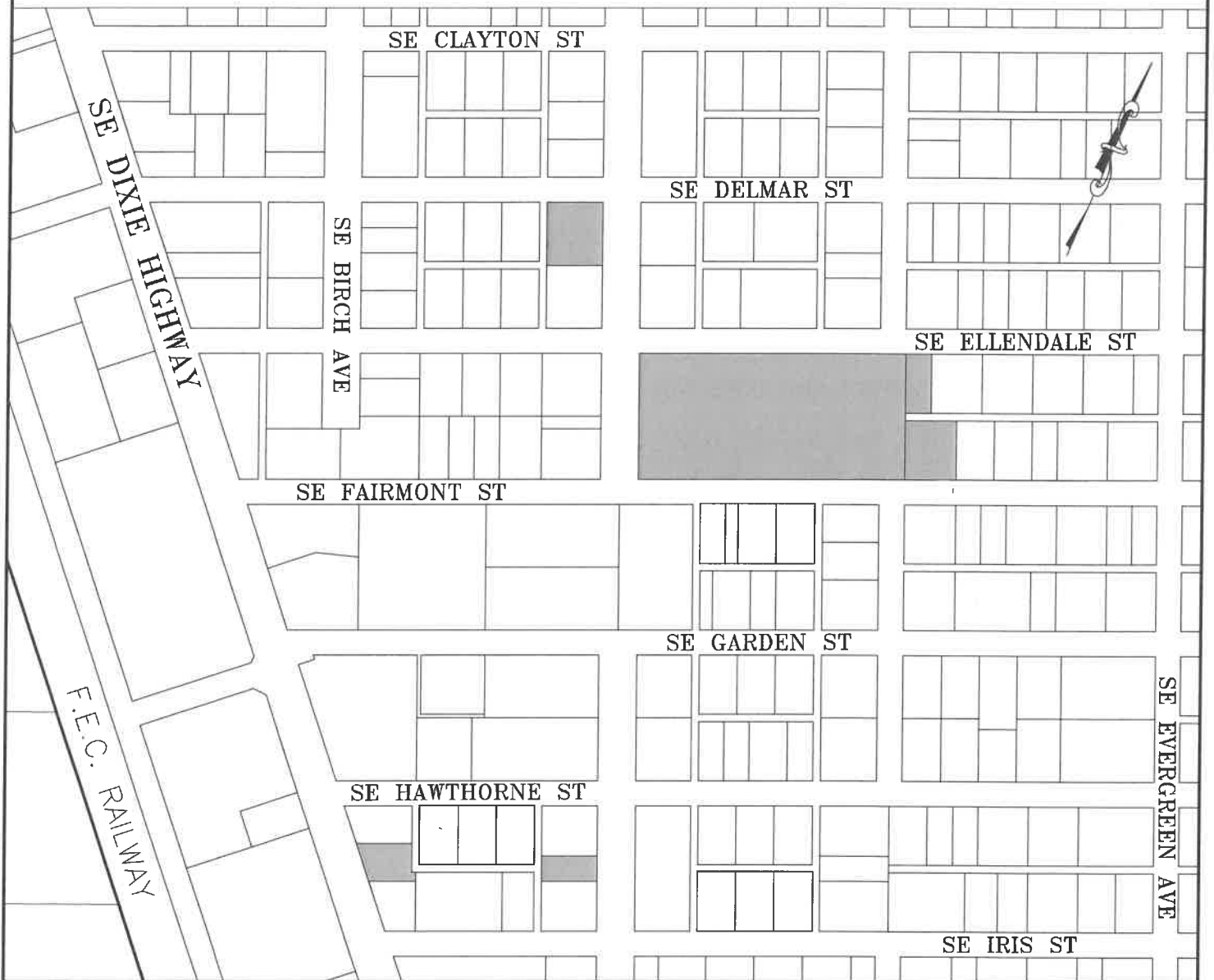
MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A




SHEET NO. 4 OF 4

PUBLIC RECREATION DISTRICT

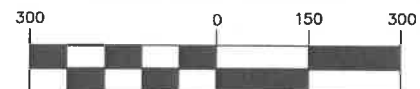


LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
-  = PUBLIC RECREATION DISTRICT
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 300 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1, 2 AND 3.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=300' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING – PUBLIC RECREATION DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=300'

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 1 OF 7


SURVEYOR'S NOTES

1. THIS SKETCH AND LEGAL DESCRIPTION IS BASED ON THE ZONING DISTRICTS MAP WITHIN THE GOLDEN GATE CRA.
2. THIS LEGAL DESCRIPTION SHALL NOT BE VALID:
 - A. UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1 - 7, SHEETS 5 - 7 BEING A SKETCH.
 - B. WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR.
3. THE PURPOSE OF THIS SKETCH AND DESCRIPTION IS TO DESCRIBE THE LIMITS OF THE GOLDEN GATE CRA ZONING DISTRICTS DESIGNATION OF PUBLIC SERVICE DISTRICT-1.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
5. THIS IS NOT A SURVEY AND DOES NOT DEFINE OWNERSHIP OR ENCROACHMENTS.
6. PROPERTY, TRACT, AND PARCEL LINES SHOWN ARE APPROXIMATE IN NATURE AND NOT TO BE RELIED UPON FOR LAND POSITIONING OR DETERMINATIONS.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. LEGEND: CRA=COMMUNITY REDEVELOPMENT AGENCY, F.E.C.=FLORIDA EAST COAST,

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 2, 3, 4, 5, 6 AND 7.

SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE


THOMAS M. WALKER, JR., P.S.M.
MARTIN COUNTY SURVEYOR
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. P.S.M. 6875

DATE: 10/15/2020

SKETCH AND DESCRIPTION
GOLDEN GATE CRA ZONING - PUBLIC SERVICE DISTRICT-1
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW
DRAWN BY : JMM | SCALE : N/A
DATE : 10/14/2020
DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA
2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 2 OF 7

DESCRIPTION

A PORTION OF GOLDEN GATE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

BEING MORE PARTICULARLY DEFINED AS FOLLOWS:

LOTS 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42 AND 44, BLOCK 52, SAID GOLDEN GATE.

AND

LOTS 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37 AND 39, BLOCK 54, SAID GOLDEN GATE.

AND

LOTS 1, 3, 5, 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37 AND 39, BLOCK 76, SAID GOLDEN GATE.

AND

LOTS 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31 AND 33 - 44, BLOCK 78, SAID GOLDEN GATE.

AND

LOTS 31 AND 33 - 34, BLOCK 90, SAID GOLDEN GATE.

AND

LOTS 35 - 38, BLOCK 100, SAID GOLDEN GATE.

TOGETHER WITH

LOTS 1 - 10, BLOCK 108, SAID GOLDEN GATE.

AND

LOTS 1, 3, 5, 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37 AND 39, BLOCK 132, SAID GOLDEN GATE.

AND

LOTS 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38 AND 40, BLOCK 134, SAID GOLDEN GATE.

(CONTINUED ON SHEET 3)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1 AND 3 - 7.**

SKETCH AND DESCRIPTION

**GOLDEN GATE CRA ZONING - PUBLIC SERVICE DISTRICT-1
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/14/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 3 OF 7

DESCRIPTION

(CONTINUED FROM SHEET 2)
AND

LOTS 26, 28, 30, 32, 34, 36, 38 AND 40, BLOCK 136, SAID GOLDEN GATE.

AND

LOTS 33 AND 34, BLOCK 146, SAID GOLDEN GATE.

TOGETHER WITH

THE FOLLOWING PORTIONS OF THOSE CERTAIN RIGHTS-OF-WAY LYING WITHIN GOLDEN GATE
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 11, PAGE 41, OF THE PUBLIC
RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

THE EAST HALF OF THAT PORTION OF 3RD ST. (NOW S.E. CAMINO AVE.) 75' WIDE, LYING
BETWEEN BLOCK 106 AND 108, AND ALSO LYING BETWEEN FAIRMONT AVE. (NOW S.E. FAIRMONT
ST.) AND GARDEN AVE. (NOW S.E. GARDEN ST.).

AND

THE WESTERLY ONE HALF OF THAT PORTION OF 4TH ST. (NOW S.E. DURANT AVE.) 50' WIDE,
LYING EASTERLY OF LOTS 33 AND 34, BLOCK 146, AND ALSO LYING BETWEEN HAWTHORNE AVE.
(NOW S.E. HAWTHORNE ST.) AND IRIS AVE. (NOW S.E. IRIS ST.).

TOGETHER WITH

FIFTEEN FOOT (15') ALLEY RUNNING EAST TO WEST THROUGH THE CENTER OF BLOCK 78,
GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF FILED MARCH 5, 1925 IN PLAT
BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS.

LESS

THE SOUTH 7.5 FEET LYING NORTH OF LOTS 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28 AND 30,
BLOCK 78, SAID GOLDEN GATE SUBDIVISION.

AND

THAT PORTION LYING IN-BETWEEN LOTS 1, 3, 5 AND 2, 4, 6, BLOCK 78, SAID GOLDEN GATE
SUBDIVISION.

TOGETHER WITH

(CONTINUED ON SHEET 4)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1, 2 AND 4 - 7.**

SKETCH AND DESCRIPTION

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/14/2020

DRAWING # 20-007A

GOLDEN GATE CRA ZONING - PUBLIC SERVICE DISTRICT-1

MARTIN COUNTY, FLORIDA

MARTIN COUNTY, STUART, FLORIDA
2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 4 OF 7

DESCRIPTION

(CONTINUED FROM SHEET 3)

ALL OF THAT CERTAIN ALLEYWAY AS SHOWN ON THE PLAT OF GOLDEN GATE, FILED MARCH 5, 1925, AND RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, WHICH IS BOUNDED ON THE NORTH BY THE SOUTH OR REAR LINES OF ALL THE ODD-NUMBERED LOTS IN BLOCK 52, GOLDEN GATE; BOUNDED ON THE SOUTH BY THE NORTH OR REAR LINES OF ALL THE EVEN-NUMBERED LOTS IN BLOCK 52, GOLDEN GATE; BOUNDED ON THE WEST BY 7TH STREET AND BOUNDED ON THE EAST BY 8TH STREET, AS SHOWN ON SAID PLAT.

LESS

THAT PORTION IN-BETWEEN LOTS 1, 3, 5, 7 AND 2, 4, 6, 8, BLOCK 52, SAID GOLDEN GATE.

AND LESS

THE NORTH 7.5 FEET LYING SOUTHERLY OF LOTS 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41 AND 43, BLOCK 52, SAID GOLDEN GATE.

TOGETHER WITH

THE EAST HALF OF A 15 FOOT ALLEYWAY BETWEEN LOTS 35 - 38 AND 28, BLOCK 100, GOLDEN GATE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 41, PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

LESS

ANY ROAD RIGHT-OF-WAY.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1 - 3 AND 5 - 7.

SKETCH AND DESCRIPTION
GOLDEN GATE CRA ZONING - PUBLIC SERVICE DISTRICT-1
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW	
DRAWN BY : JMM	SCALE : N/A
DATE : 10/14/2020	
DRAWING # 20-007A	

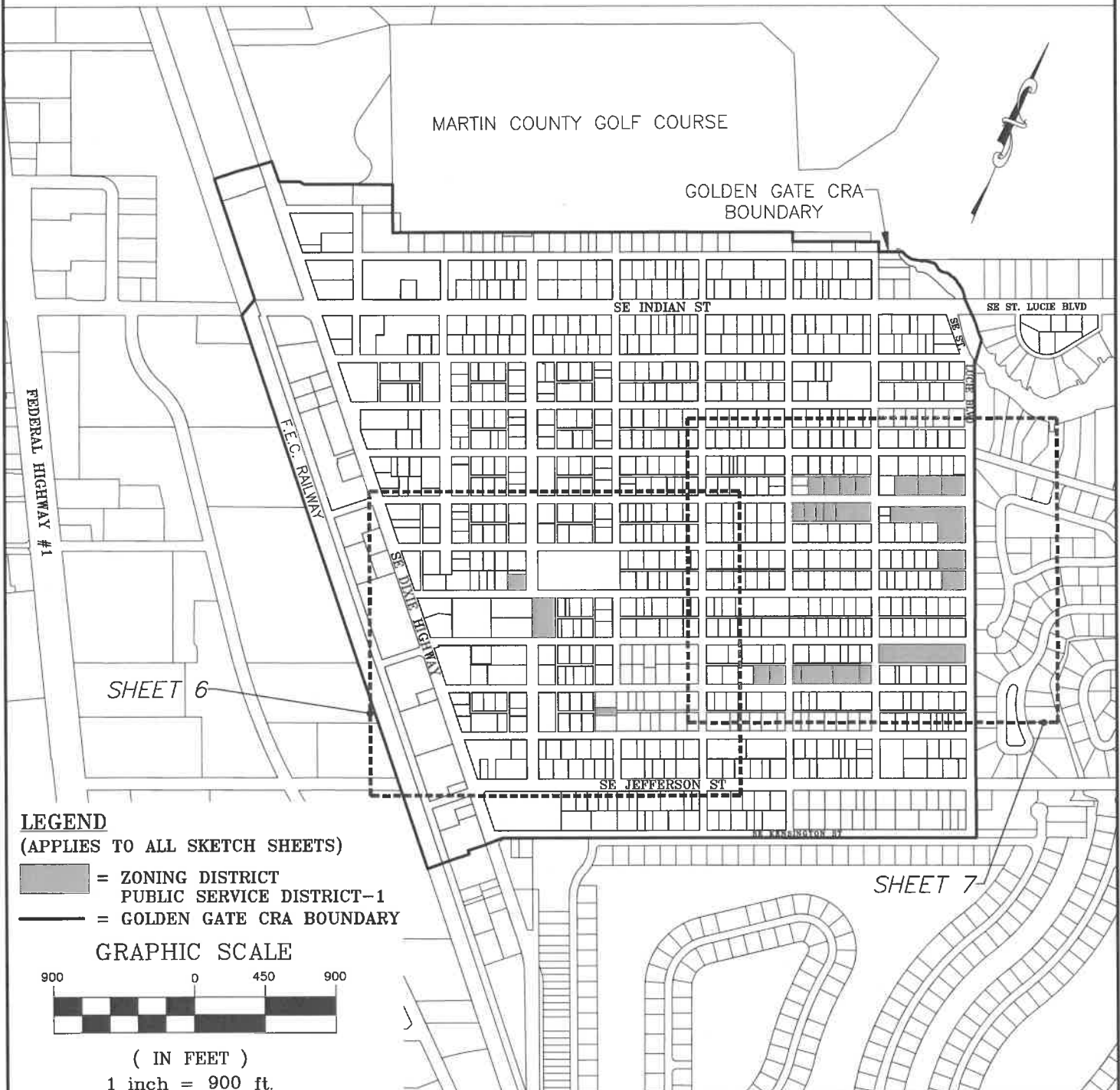
MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 5 OF 7

PUBLIC SERVICE DISTRICT-1



NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 4, 6 AND 7.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=900' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - PUBLIC SERVICE DISTRICT-1
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=900'

DATE : 10/14/2020

DRAWING # 20-007A

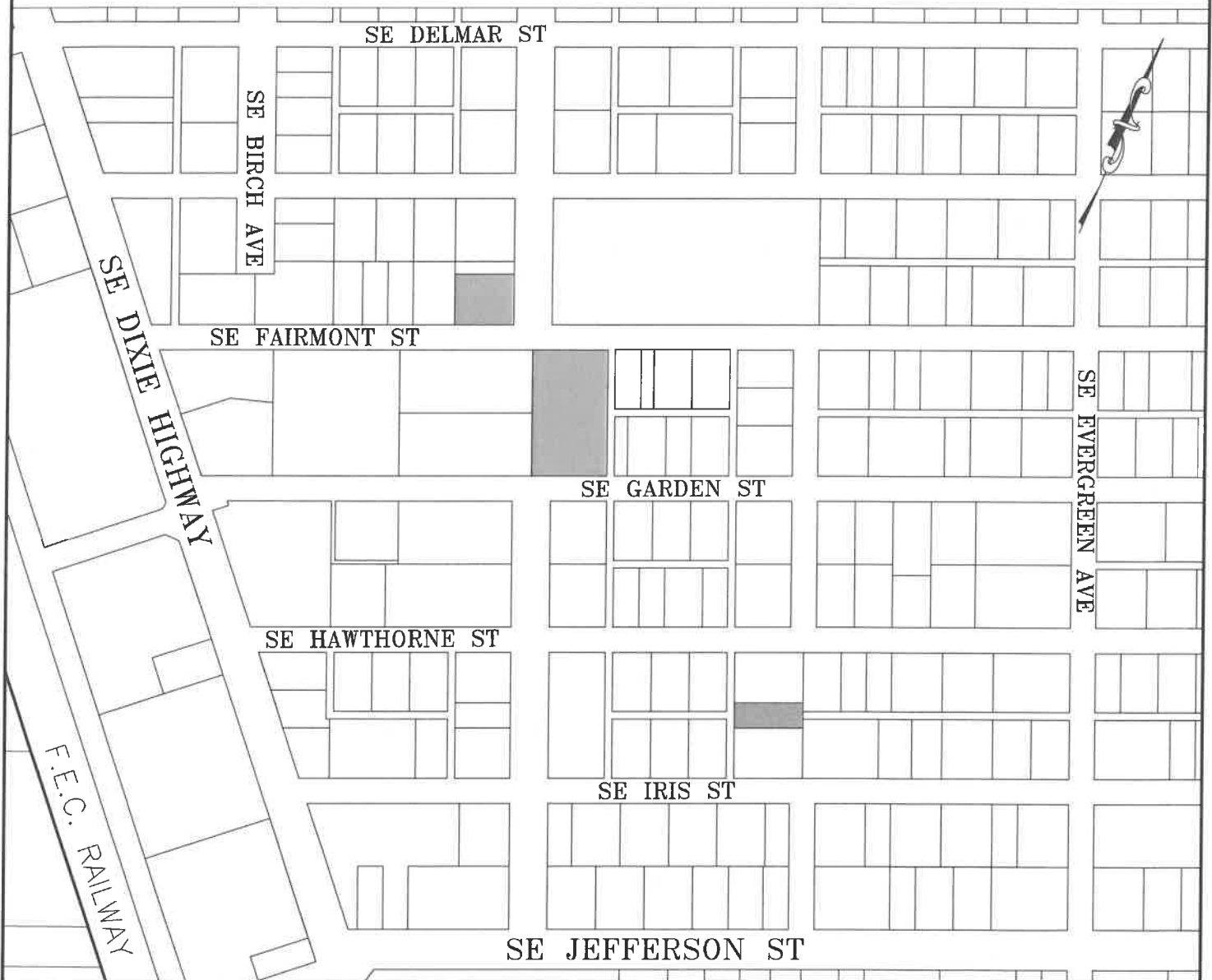
MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A




SHEET NO. 6 OF 7

PUBLIC SERVICE DISTRICT-1

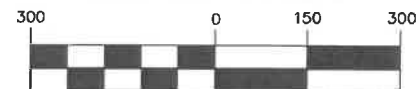


LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
-  = PUBLIC SERVICE DISTRICT-1
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 300 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 5 AND 7.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=300' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - PUBLIC SERVICE DISTRICT-1
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=300'

DATE : 10/14/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A



SHEET NO. 7 OF 7

PUBLIC SERVICE DISTRICT-1

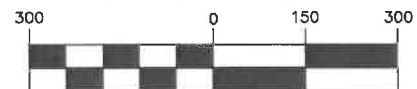


LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
PUBLIC SERVICE DISTRICT-1
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 300 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 6.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=300' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - PUBLIC SERVICE DISTRICT-1
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=300'

DATE : 10/14/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 1 OF 6


SURVEYOR'S NOTES

1. THIS SKETCH AND LEGAL DESCRIPTION IS BASED ON THE ZONING DISTRICTS MAP WITHIN THE GOLDEN GATE CRA.
2. THIS LEGAL DESCRIPTION SHALL NOT BE VALID:
 - A. UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1 - 6, SHEETS 4 - 6 BEING A SKETCH.
 - B. WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR.
3. THE PURPOSE OF THIS SKETCH AND DESCRIPTION IS TO DESCRIBE THE LIMITS OF THE GOLDEN GATE CRA ZONING DISTRICTS DESIGNATION OF PUBLIC SERVICING DISTRICT.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
5. THIS IS NOT A SURVEY AND DOES NOT DEFINE OWNERSHIP OR ENCROACHMENTS.
6. PROPERTY, TRACT, AND PARCEL LINES SHOWN ARE APPROXIMATE IN NATURE AND NOT TO BE RELIED UPON FOR LAND POSITIONING OR DETERMINATIONS.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. LEGEND: CRA=COMMUNITY REDEVELOPMENT AGENCY, F.E.C.=FLORIDA EAST COAST.

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 2, 3, 4, 5 AND 6.

SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE


THOMAS M. WALKER, JR., P.E.S.M.
MARTIN COUNTY SURVEYOR
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. P.S.M. 6875

DATE: 10/15/2020

SKETCH AND DESCRIPTION
GOLDEN GATE CRA ZONING - PUBLIC SERVICING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW
DRAWN BY : JMM | SCALE : N/A
DATE : 10/9/2020
DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A | SHEET NO. 2 OF 6

DESCRIPTION

A PORTION OF GOLDEN GATE PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 50, PUBLIC RECORDS, MARTIN COUNTY, FLORIDA.

BEING MORE PARTICULARLY DEFINED AS FOLLOWS:

THE SOUTH 125 FEET OF BLOCK 47, LESS LOTS 2, 3 AND 4 THEREOF, SAID GOLDEN GATE PARK.

AND

ALL OF BLOCK 47A, LESS THE NORTH 125 FEET THEREOF, SAID GOLDEN GATE PARK.

AND

THE SOUTH HALF OF LOT 17, BLOCK 53, SAID GOLDEN GATE PARK.

AND

LOTS 1 - 8, 10 AND 12, BLOCK 55, SAID GOLDEN GATE PARK.

AND

LOTS 1 - 7, 9, 11, 13 AND 15, BLOCK 57, THE SOUTH 50 FEET OF LOTS 2, 4 AND 6 THEREOF, SAID GOLDEN GATE PARK.

AND

LOTS 5 - 10 AND 25 - 35, BLOCK 59, SAID GOLDEN GATE PARK.

AND

LOTS 2 - 8, BLOCK 61, SAID GOLDEN GATE PARK.

AND

ALL OF BLOCK 225, SAID GOLDEN GATE PARK.

TOGETHER WITH

THE FOLLOWING ROADS AS SHOWN ON THE PLAT OF GOLDEN GATE PARK FILED IN PLAT BOOK 1, PAGE 50, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS:

(CONTINUED ON SHEET 3)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1 AND 3 - 6.**

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - PUBLIC SERVICING DISTRICT

MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG M.C. PROJ. NO. 20-007A SHEET NO. 3 OF 6

DESCRIPTION

(CONTINUED FROM SHEET 2)

THE PORTION OF FIRST (1ST) STREET LYING NORTH OF TAYLOR AVENUE, LYING IN-BETWEEN LOT 25, BLOCK 59, AND LOT 2, BLOCK 61, SAID GOLDEN GATE PARK.

AND

THE SOUTHERLY 125 FEET OF A PORTION OF SIXTH STREET LYING NORTH OF NORMAND AVENUE.

AND

THE SOUTHERLY 125 FEET OF PICKFORD AVENUE LYING IN-BETWEEN LOTS 2 AND 6, BLOCK 47, SAID GOLDEN GATE PARK.

AND

ALLEYWAY IN BLOCK 59, BOUNDED BY LOTS 11 - 24 AND LOTS 25 - 35, SAID GOLDEN GATE PARK.

TOGETHER WITH

THAT PORTION OF THIRD STREET (NOW KNOWN AS SOUTHEAST CAMINO AVENUE) IN GOLDEN GATE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 50, MARTIN COUNTY, FLORIDA, PUBLIC RECORDS, LYING EASTERLY OF SOUTH ONE HALF OF LOT 17, BLOCK 53, OF SAID PLAT.

TOGETHER WITH

THAT PORTION OF A 50' RIGHT-OF-WAY LYING BETWEEN LOTS 1, 3, 5 & 7, BLOCK 55, AND LOTS 2, 4, 6 & 8, BLOCK 61, GOLDEN GATE PARK, AS RECORDED IN PLAT BOOK 11, PAGE 41, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA.

LESS

ANY ROAD RIGHT-OF-WAY.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS
NOT VALID WITHOUT SHEETS 1, 2 AND 4 - 6.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - PUBLIC SERVICING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM SCALE : N/A

DATE : 10/9/2020

DRAWING # 20-007A

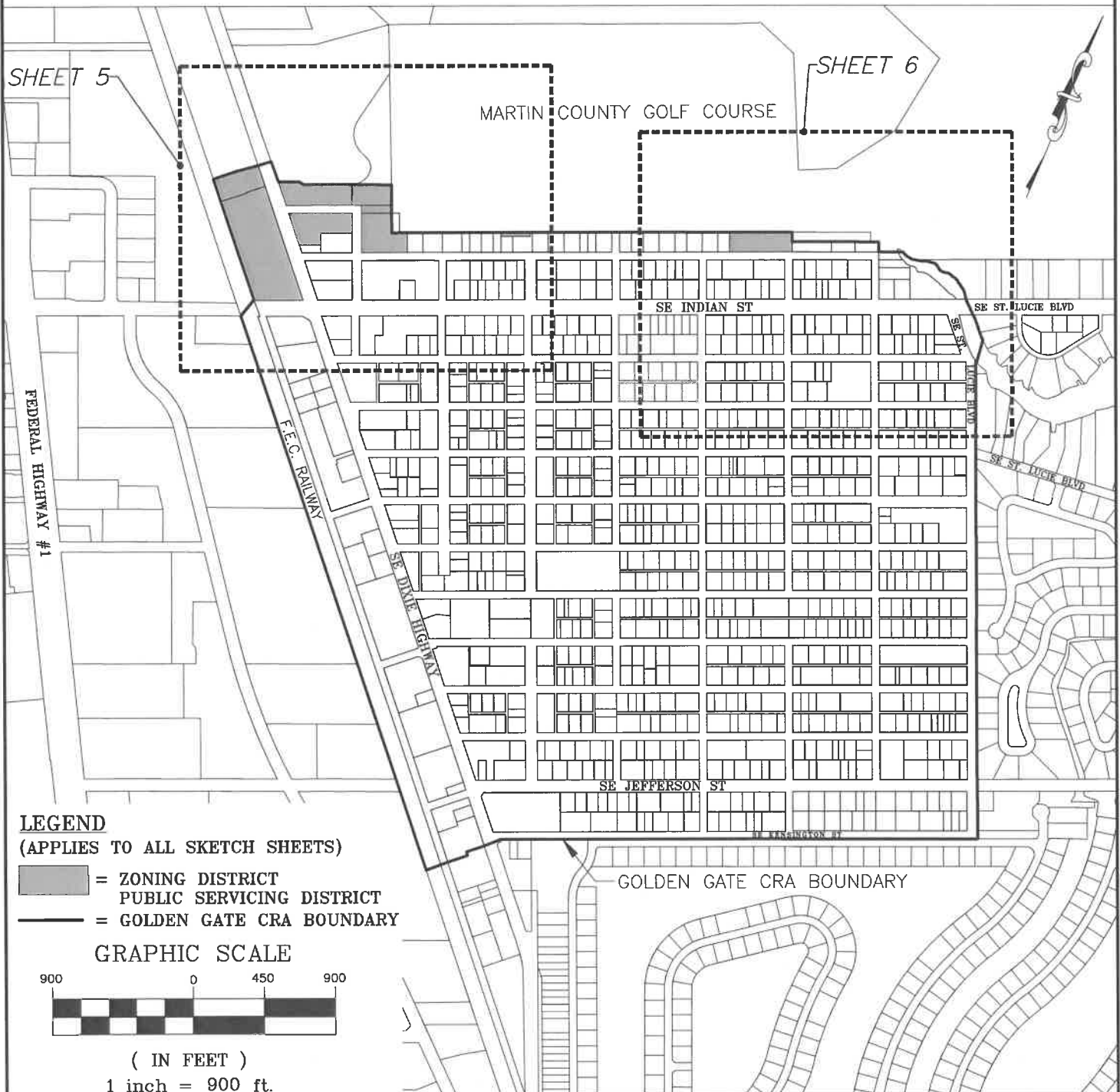
MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 4 OF 6

PUBLIC SERVICING DISTRICT



NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 3, 5 AND 6.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=900' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - PUBLIC SERVICING DISTRICT

MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=900'

DATE : 10/9/2020

DRAWING # 20-007A

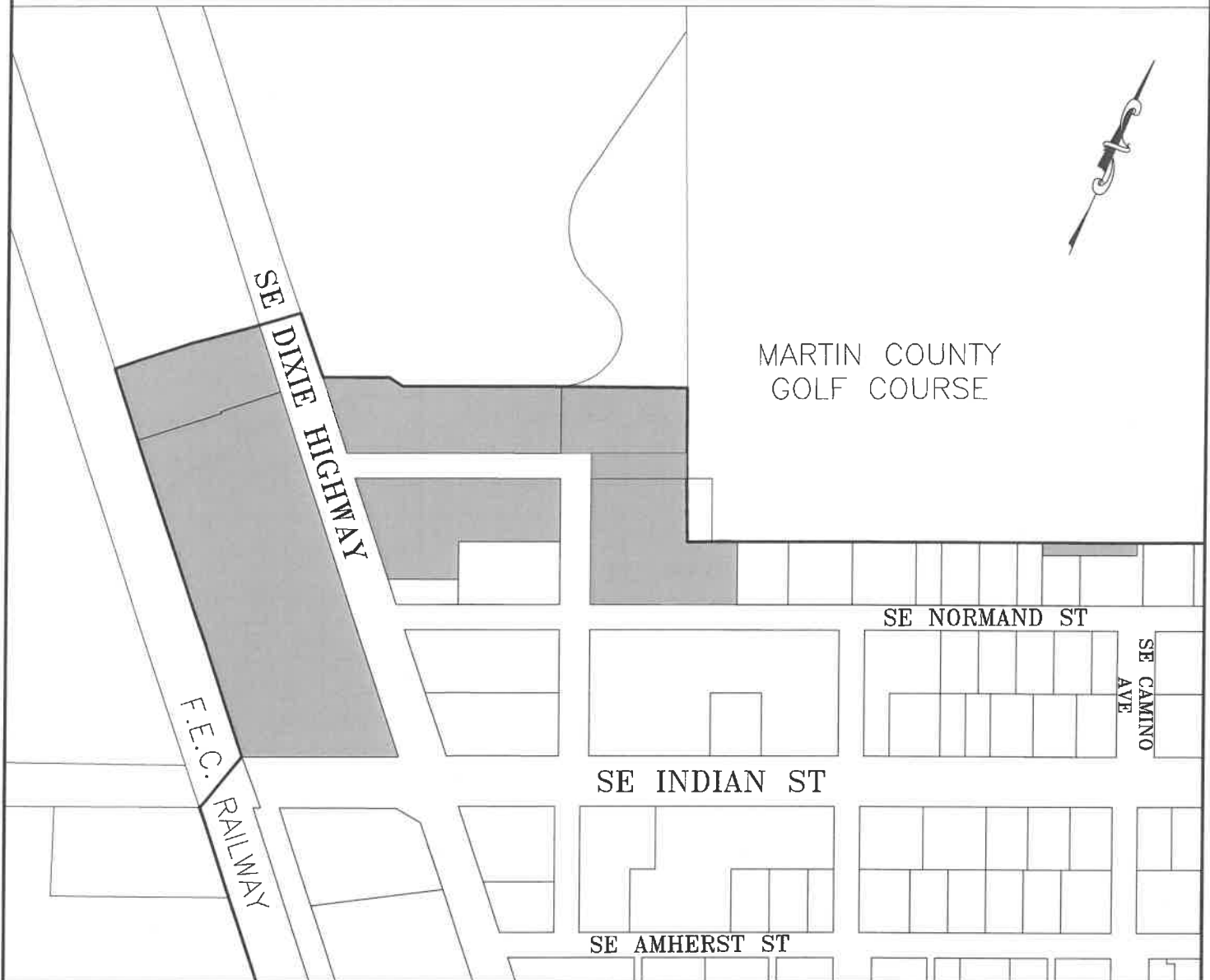
MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A




SHEET NO. 5 OF 6

PUBLIC SERVICING DISTRICT

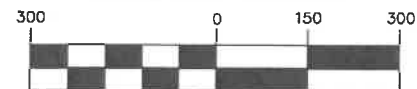


LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
-  = PUBLIC SERVICING DISTRICT
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 300 ft.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1 - 4 AND 6.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=300' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING - PUBLIC SERVICING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=300'

DATE : 10/9/2020

DRAWING # 20-007A

MARTIN COUNTY, STUART, FLORIDA

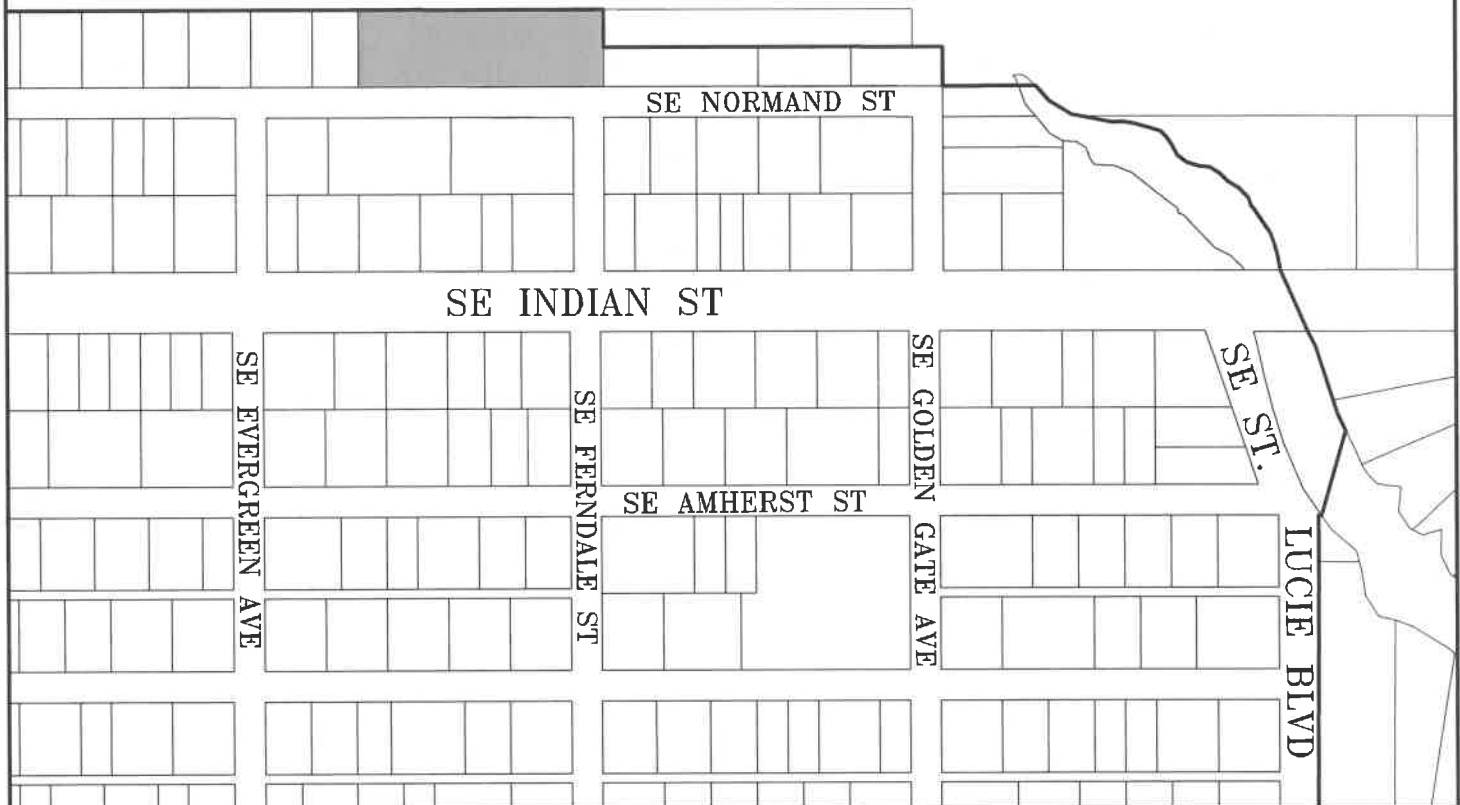
2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 20-007A.DWG | M.C. PROJ. NO. 20-007A

SHEET NO. 6 OF 6




PUBLIC SERVICING DISTRICT

MARTIN COUNTY
GOLF COURSE

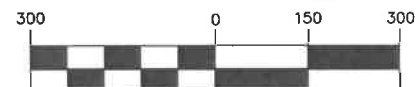


LEGEND

(APPLIES TO ALL SKETCH SHEETS)

-  = ZONING DISTRICT
-  = PUBLIC SERVICING DISTRICT
-  = GOLDEN GATE CRA BOUNDARY

GRAPHIC SCALE



(IN FEET)

1 inch = 300 ft.

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NOT VALID WITHOUT SHEETS 1 - 5.

THIS MAP IS INTENDED TO BE DISPLAYED
AT A SCALE OF 1"=300' OR SMALLER.

SKETCH AND DESCRIPTION

GOLDEN GATE CRA ZONING – PUBLIC SERVICING DISTRICT
MARTIN COUNTY, FLORIDA

SUPERVISED BY : TMW

DRAWN BY : JMM | SCALE : 1"=300'

DATE : 10/9/2020

DRAWING # 20-007A

Summary of Qualifications

COUNTY
EXHIBIT # 2

Masters in City and Regional Planning, *Rutgers University, New Brunswick, New Jersey.*
Juris Doctorate, *Rutgers University, School of Law, Newark, New Jersey.*
Bachelor of Arts, Social Welfare, *Pennsylvania State University, State College, PA*

Work Experience

Senior Planner – since June 2014, Martin County BOCC, Growth Management Dept.

- Develop long range planning projects.
- Plan and schedule work programs.
- Performs as project manager for special studies, projects and plans.
- Assists in data collection and analysis.
- Assists the general public and other agencies with planning related information.
- Reviews studies conducted by other agencies.
- Confers with civic leaders, government officials, resident groups and homeowners' associations to identify issues, goals and objectives, and to discuss alternate plans for meeting physical, social and economic needs.
- Provides technical and advisory assistance to Local Planning Agency, Community Redevelopment Agency and Board of County Commissioners in matters of comprehensive planning, development and regulatory codes and ordinances.
- Develops improved work methods to accelerate formulation and completion of planning programs and projects. Performs work related to this job description as required.

Planning and Community Development Director, March 2010 to August 2013, City of La Feria, Texas. Reviewed subdivision plats and building permit applications for compliance with local ordinances and the Comprehensive Plan; prepared and presented recommendations to the Planning and Zoning Commission, Zoning Board of Adjustment, and City Commission; drafted revisions to the zoning ordinance, assisted the public with City regulations and processes; supervised code enforcement, prepared grant applications and reporting related to the grants, and represented the City on the regional storm water task force, metropolitan planning organization, and regional sustainability consortium. Accomplishments include recruiting the APA's Community Planning Assistance Team to La Feria in May 2013, demolition of more than 20 dilapidated structures, and successful annexation and adjacent lands.

Planning Consultant – March 2009 to March 2010,

City of Mercedes, Texas. Working with the Assistant City Manager and Planning Director and the volunteer Comprehensive Plan Steering Committee, I drafted the City's Comprehensive Plan chapters on demographics, land use, economic development, and infrastructure and public facilities.

Planning Director - February 2008 to August 2008, City of San Juan, Texas.

Prepared and presented recommendations to the Planning and Zoning Commission, Zoning Board of Adjustment, and City Commission on subdivision, conditional use, and variance applications, worked with developers to bring subdivision plats and building permit applications into compliance with municipal land development ordinances; worked to re-establish standard operating procedures in a department that had experienced inconsistent leadership for several years.

Senior Planner, Long-Range Planner, Director - January 2006 to December 2007,

City of Weslaco, Texas. Reviewed subdivision plats and building permit applications for compliance with development ordinances and the Comprehensive Plan; prepared and presented recommendations to the Planning and Zoning Commission, Zoning Board of Adjustment, and City Commission; supervised and assisted the work of Annexation Plan and Comprehensive Plan consultants, drafted revised sign and subdivision ordinances, conducted community meetings, prepared annexation service plans and annexation fiscal impact analyses, assisted the public. As the Director of the Department, I supervised the work of 10 secretaries, code enforcement officers, animal control officers and building inspectors.

South Jersey Legal Services, Inc., May 1998 to August 2004, Vineland, New Jersey.

As Community Economic Development Attorney, I represented grass-roots and faith-based non-profit groups engaged in community economic development. Substantive areas of the law included civil rights, education, real estate, zoning, tax, public and subsidized housing, trade names, transportation, and organizational development. I produced statistical reports in support of resident and homeowner litigation to influence municipal re-development plans. My representation of individuals included landlord/tenant, social security, and public welfare benefits matters.

State of New Jersey Election Law Enforcement Commission, October 1994 to May 1998, Trenton, New Jersey. On behalf of the state government, I prosecuted violations of state campaign finance laws. I reviewed prosecutorial recommendations made by investigative staff, drafted complaints, appeared before administrative law judges, and recommended penalties to the Commission.

State of New Jersey Office of Administrative Law, August 1993 to – August 1994, Newark, New Jersey. Prepared legal memoranda for administrative law judges on questions arising in contested environmental, public utilities, land use, public employment and other cases.

Legal Services of New Jersey, Inc, June 1992 to March 1993, Edison, New Jersey. Prepared memoranda related to federal litigation brought by public housing tenants against the housing authority and a state supreme court case involving the rights of residential tenants in mortgage foreclosure and assisted in updated *"You and the Law in NJ."*

Foundation of the University of Medicine and Dentistry of New Jersey, Inc., November 1986 to August 1989, Newark, New Jersey. Researched corporate and foundation funding prospects, prepared proposals seeking private financial support for bio-medical research, education and patient care, assisted in cultivating funding prospects, and prepared stewardship reports.

The Market Foundation, Inc. January 1983 – December 1985, Seattle, Washington. As a VISTA (Volunteer in Service to America), I raised funds through direct mail, special events and foundation and corporate proposals for a network of human service agencies in a special urban redevelopment zone in downtown Seattle. Also, volunteered with a community group to preserve affordable downtown housing.

Professional Organizations

Member, Florida Chapter of the American Planning Association
Director, Treasure Coast Section of FL APA
Member, American Institute of Certified Planners

Volunteer Affiliations

Fort Pierce Community Alliance, Inc. Secretary of the Board, 2018 – present
SWORD Mentoring & Outreach Center, Inc., Secretary of the Board, 2019 to present
City of Fort Pierce Community-Wide Council, Chair, January 2014 to February 2018

Continuing Education

Congress for New Urbanism, 2018 Savannah, GA
American Planning Association Florida State Conference 2016, Tampa
American Planning Association Florida State Conference 2013, Orlando
American Planning Association, National Conference, Atlanta, GA 2014
Form Based Code Institute – 101 and 301 courses completed in 2012
STORMCON – National Stormwater Conference 2011
American Planning Association National Conference 2006
American Planning Association Texas State Conference 2006, 2007, 2011
Texas Municipal League Conference 2012
Texas Commission of Environmental Quality Stormwater Conference 2012
Texas Department of Rural Affairs – Community Development Block Grant training,
including Fair Housing and Section 3, 2010, 2011, 2012
Designing Pedestrian Facilities by National Highway Administration 2011

Other Qualifications

Former attorney practicing in and licensed by the State of New Jersey

PHQJ-2

10/27/2020

SUSAN KORES

3615 SW Thistlewood Lane
Palm City, Florida 34990

COUNTY
EXHIBIT #3

772.233.0819

skkores@aol.com

PROFILE

Accomplished, results-oriented professional with an outstanding background in senior administration and management positions in both the public and private sectors. A highly motivated team player, dedicated to providing exceptional client-focused services. An excellent administrator, organized, meticulous, and adaptable to a variety of functions.

PROFESSIONAL ACCOMPLISHMENTS AND EXPERIENCE

REDEVELOPMENT MANAGEMENT ASSOCIATES, LLC (2015-2017)

PROJECT MANAGER

- ◆ Responsible for providing project management services for five (5) districts in the West Palm Beach Northwood/Pleasant City CRA with a budget of approximately \$4,000,000.
- ◆ Oversee and manage redevelopment plans for each district, including redevelopment incentive programs.
- ◆ Interact with community groups, residents, property and business owners to ensure communication, inclusion and understanding of CRA priorities, programs and projects.
 - Assisted in the creation of the Pleasant City FIRST! Neighborhood Association.
 - Organized and executed a Florida State Department of Health 'Community Health Assessment' in 8 neighborhoods along the Broadway Corridor in WPB.
- ◆ Provide program management for neighborhood redevelopment, housing projects, horizontal and vertical construction projects.
 - Completed 22 exterior façade projects, 3 currently in development, in two years.
 - 3 new, single family homes to be complete by the end of January 2017; 5 additional in development
- ◆ Execute contracts, leases and RFPs for services, partnerships, vendors, individuals, etc. for all districts regarding landscaping, cleaning, security, trolleys, wayfinding signs, management, etc.
- ◆ Design, organize and execute public art projects and installations – sculptures, murals, CANVAS Outdoor Museum Show 2015 & 2016, Art Square and Plein Air.
- ◆ Prepare agenda items and present to CRA Board, Advisory Board meetings, City Commission and other economic development groups.
- ◆ Program Manager - Lot 23 Artist in Residence Program (AIR)
 - Manage two, 4 unit residential buildings housing 8-16 Lot 23 AIR program artists.
 - Redevelop, enhance and implement policies, applications, recruitment strategies, marketing and promotional materials, background checks, leases.
 - Re-negotiate contract with Center for Creative Education to provide program management services regarding artist curriculum, classroom techniques, classroom space and reporting.
 - The Lot 23 Artist in Residence Program is a 2016 Florida Redevelopment Association Statewide Award Recipient in the category of "Out of the Box".

INTERNATIONAL ENTERPRISE DEVELOPMENT, INC. (1997-2015)

PROGRAM DIRECTOR (2010-2015)

- ◆ Managed the Pompano Beach CRA Business Resource Center Facility—programs, special events and infrastructure.
- ◆ The Business Resource Center is a 2013 Florida Redevelopment Assoc. Statewide Award Recipient for Management Programs/Creative Partnerships.
- ◆ Creator of ArtHall – a marketing, business attraction and community outreach program and winner of two Florida Festivals and Events Association's 2014 SUNsational Awards.

- ◆ Direct two economic development programs: The Business Incubator and the Job Placement Center
 - Recruit and provide technical assistance to 25 client businesses.
 - Design and implement all program services including, marketing, promotion, partnerships, networking opportunities, special events, and business education workshops.
 - Collect and process fees and payments.
 - Collect and analyze economic development data.
 - Design, develop and implement recruitment strategies for job seekers and employers.
 - Organize Job Fairs and Community Resource Workshops to assist local job seekers and employers.
 - In fiscal year 2013-2014, garnered 159 jobs for individuals; 86 jobs for companies.
 - Design, develop and write all policies, guidelines, manuals, applications, marketing and promotional materials.

PROGRAM CONSULTANT (1998-2010)

- ◆ Research/write Program Design and Implementation plan for a business incubator for the City of Pompano Beach.
- ◆ Implement microenterprise development contracts for a variety of clients (e.g., Enterprise Florida, Front Porch Florida Micro Loan Program, JP Morgan, Haitian Women of Miami, Inc.)
- ◆ Train client staff in the creation and management of microenterprise programs.
- ◆ Assist in the creation of the Florida Association for MicroEnterprise, Inc. (FLAME)

PROGRAM COORDINATOR (1997-1998)

- ◆ Facilitated the implementation of a \$1 million Microenterprise Development program for the State of Florida
 - Managed 17 contracts to grantee organizations totaling \$800,000.
 - Provided technical assistance to community-based and regional organizations in establishing new microenterprise programs.
 - Provided organizational, marketing, and administrative support for the 1998 first, statewide microenterprise development conference.

W&W DESIGNS, INC. - OFFICE MANAGER (2005-2010)

- ◆ Garnered eight new clients in one season by developing a successful target marketing strategy, including the design and production of effective promotional materials.
- ◆ Concurrently administer 25-30 accounts generating revenues totaling \$1 million per year, from initial customer contact to proposal development to selection, fabrication, and installation of goods.
- ◆ Recruit, interview, train, and supervise staff.
- ◆ Process accounts payable, receivable and staff payroll.

CITY OF BOCA RATON - VOLUNTEER COORDINATOR (2002-2005)

- ◆ Recognized as part-time employee of the year after the first year of employment.
- ◆ Re-Branded the seven-year-old City volunteer program:
 - Created new promotional strategy including logo, print, web-based informational materials, recruitment and recognition events, press releases.
 - Streamlined recruitment and administrative processes and procedures.
 - Developed and conducted effective personnel training programs.
- ◆ Increased volunteer participation eight percent each year for three years and decreased volunteer turnover from ten percent to one percent in the first year.
 - Researched and recommended the efficient utilization of volunteers in projects/locations throughout the city.
 - Wrote, reviewed, and assessed volunteer job descriptions.
 - Conducted volunteer interviews and determined appropriate placement.
 - Conducted city-wide orientation workshops in volunteer management and city personnel policies for volunteers and staff with volunteer responsibilities.
 - Trained, managed, and supported a coalition of volunteer supervisors.
- ◆ Prepared and administered the volunteer program budget.
- ◆ Coordinated the reporting and evaluation processes.

VOLUNTEER BROWARD, INC. - PROGRAM DIRECTOR (1993-1999)

- ◆ Developed and implemented an effective marketing effort to continually recruit volunteer mentors for a coalition of 30 nonprofit community agency programs.
 - Secured new community partnerships to support the coalition's mentoring programs.
- ◆ Managed the operation of mentor recruitment/referral and agency communications/relations.
- ◆ Directed program evaluations, procedures, guidelines, and policies.
- ◆ Organized education and training programs for agency staff.

HAMPTON MARKETING CORPORATION - SALES MANAGER (1995-1998)

- ◆ Expanded the client base threefold by successfully negotiating contracts and diversifying marketing efforts to include direct mail and mail order programs.
- ◆ Managed inside and outside sales activity for four product lines.

NEW YORK STATE MENTORING PROGRAM - REGIONAL DIRECTOR (1990-1995)

- ◆ Implemented a school-based mentoring program for Kindergarten-8th grade in New York City.
 - Negotiated financial assistance exceeding \$100,000 per year from the New York City Board of Education and corporate sources.
 - Enlisted the participation of more than 60 companies, hospitals, and governmental agencies.
 - Recruited and trained more than 800 volunteers.
 - Developed and directed training for school-based program coordinators and private-sector partners.
- ◆ Provided technical assistance and account management to all corporations and schools in program design, development, and implementation.
- ◆ Coordinated all screening, payroll, and evaluation procedures.

EDUCATION

Master of Public Administration, New York University, New York, NY, 1991

Bachelor of Science, Georgetown University, Washington, DC, 1981

FILED FOR RECORD
COMMISSION RECORDS
MARTIN COUNTY, FL
Date 10/27/2020
CAROLYN TIMMANN
CLERK OF CIRCUIT COURT
By MAV D.C.