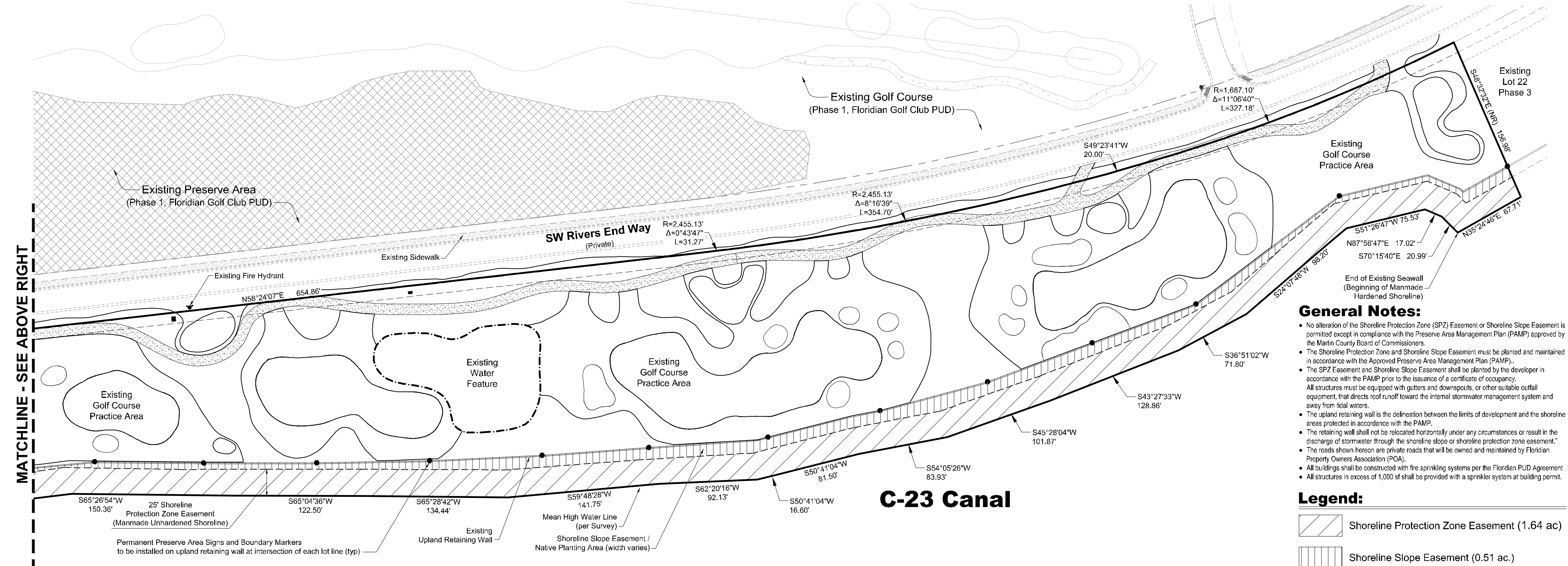
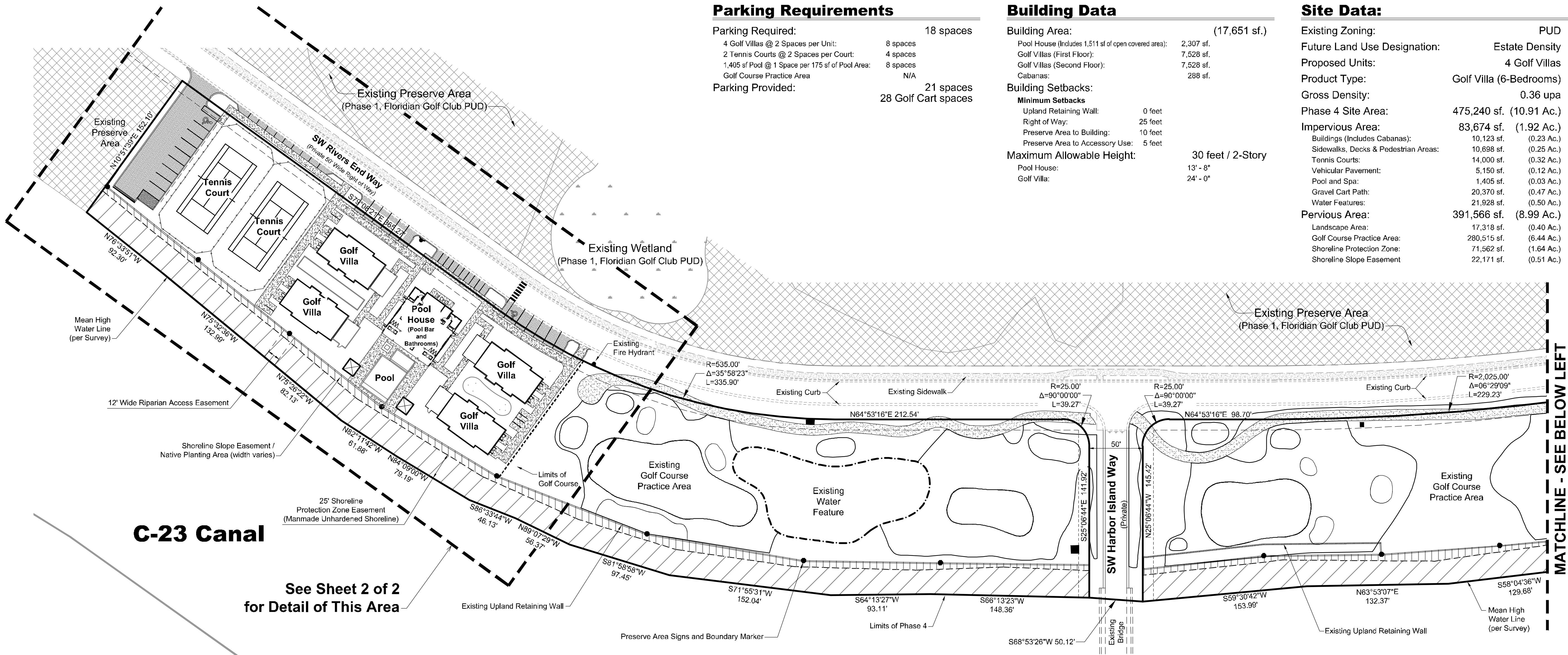




Parking Requirements

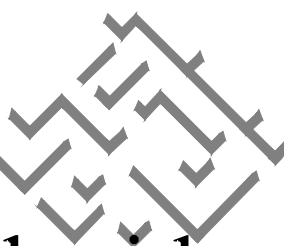
Parking Required:	18 spaces
4 Golf Villas @ 2 Spaces per Unit:	8 spaces
2 Tennis Courts @ 2 Spaces per Court:	4 spaces
1,405 sf Pool @ 1 Space per 175 sf of Pool Area:	8 spaces
Golf Course Practice Area	N/A
Parking Provided:	21 spaces
	28 Golf Cart spaces

Building Data

Building Area:	(17,651 sf.)
Pool House (Includes 1,511 sf of open covered area):	2,307 sf.
Golf Villas (First Floor):	7,528 sf.
Golf Villas (Second Floor):	7,528 sf.
Cabanas:	288 sf.
Building Setbacks:	
Minimum Setbacks	
Upland Retaining Wall:	0 feet
Right of Way:	25 feet
Preserve Area to Building:	10 feet
Preserve Area to Accessory Use:	5 feet
Maximum Allowable Height:	30 feet / 2-Story
Pool House:	13' - 8"
Golf Villa:	24' - 0"

Site Data:

Existing Zoning:	PUD
Future Land Use Designation:	Estate Density
Proposed Units:	4 Golf Villas
Product Type:	Golf Villa (6-Bedrooms)
Gross Density:	0.36 upa
Phase 4 Site Area:	475,240 sf. (10.91 Ac.)
Impervious Area:	83,674 sf. (1.92 Ac.) (17.6%)
Buildings (Includes Cabanas):	10,123 sf. (0.23 Ac.)
Sidewalks, Decks & Pedestrian Areas:	10,698 sf. (0.25 Ac.)
Tennis Courts:	14,000 sf. (0.32 Ac.)
Vehicular Pavement:	5,150 sf. (0.12 Ac.)
Pool and Spa:	1,405 sf. (0.03 Ac.)
Gravel Cart Path:	20,370 sf. (0.47 Ac.)
Water Features:	21,928 sf. (0.50 Ac.)
Pervious Area:	391,566 sf. (8.99 Ac.) (82.4%)
Landscape Area:	17,318 sf. (0.40 Ac.)
Golf Course Practice Area:	280,515 sf. (6.44 Ac.)
Shoreline Protection Zone:	71,562 sf. (1.64 Ac.)
Shoreline Slope Easement	22,171 sf. (0.51 Ac.)

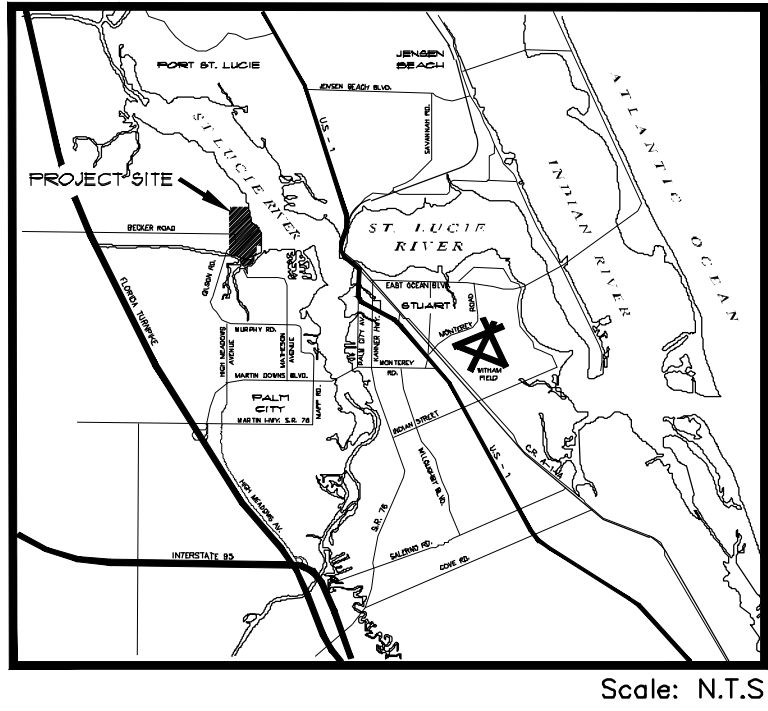


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(772) 467-1301, Fax (772) 467-1303
(407) 886-9521, Fax (407) 886-9768

Key / Location:



Project Team:

Applicant:	Floridian National Golf Club, LLC 3700 SE Floridian Drive Palm City, FL 34990 772-781-7700
Land Planner / Landscape Architect:	Lucido & Associates 701 E Ocean Blvd Stuart, FL 34994 772-220-2100
Civil Engineer / Surveyor:	Cullopier & Terpening 2980 S. 25th Street Fort Pierce, FL 34981 772-464-3537
Environmental:	EW Consultants 1000 SE Monterey Commons Blvd, Suite 208 Stuart, FL 34996 772-287-8771

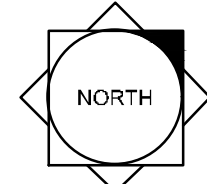
FLORIDIAN GOLF CLUB PUD

Phase 4

Martin County, Florida

Revised Final Site Plan

Date	By	Description
7.15.2021	S.L.S.	Initial Submittal
1.18.2022	S.L.S.	Revised per 6th PUD Amendment
3.31.2022	S.L.S.	Revised per 6th PUD Amendment



NORTH

SCALE: 1" = 50'

0 25' 50' 100'

REG. # 1018
Thomas P. Lucido

Designer	SLS	Sheet
Manager	MC	
Project Number	12-017	
Municipal Number	--	
Computer File		

1 of 2

General Notes:

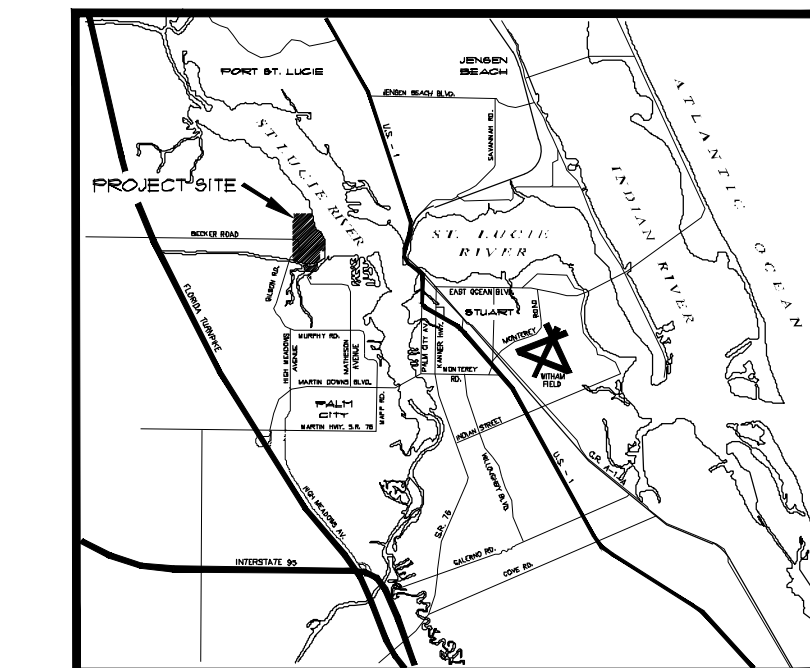
- No alteration of the Shoreline Protection Zone (SPZ) Easement or Shoreline Slope Easement is permitted except in compliance with the Preserve Area Management Plan (PAMP) approved by the Martin County Board of Commissioners.
- The Shoreline Protection Zone and Shoreline Slope Easement must be planted and maintained in accordance with the Approved Preserve Area Management Plan (PAMP).
- The SPZ Easement and Shoreline Slope Easement shall be planted by the developer in accordance with the PAMP prior to the issuance of a certificate of occupancy.
- All structures must be equipped with gutters and downspouts, or other suitable outfall equipment, that directs roof runoff toward the internal stormwater management system and away from tidal waters.
- The upland retaining wall is the delineation between the limits of development and the shoreline areas protected in accordance with the PAMP.
- The retaining wall shall not be relocated horizontally under any circumstances or result in the discharge of stormwater through the shoreline slope or shoreline protection zone easement.
- The roads shown hereon are private roads that will be owned and maintained by Floridian Property Owners Association (FOA).
- All buildings shall be constructed with fire sprinkling systems per the Floridian PUD Agreement.
- All structures in excess of 1,000 sf shall be provided with a sprinkler system at building permit.

Legend:

	Shoreline Protection Zone Easement (1.64 ac)
	Shoreline Slope Easement (0.51 ac.)



Key / Location:



Applicant:
 Floridian National Golf Club, LLC
 3700 SE Floridian Drive
 Palm City, FL 34990
 772-781-7700

Land Planner / Landscape Architect:
Lucido & Associates
701 E Ocean Blvd
Stuart, FL 34994
772-220-2100

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Phase 4

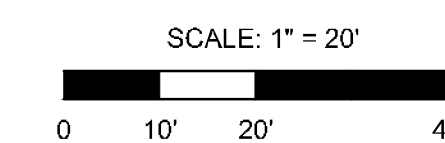
Martin County, Florida

Martin County, Florida

Revised
Final Site Plan

Waterfront Amenity Center

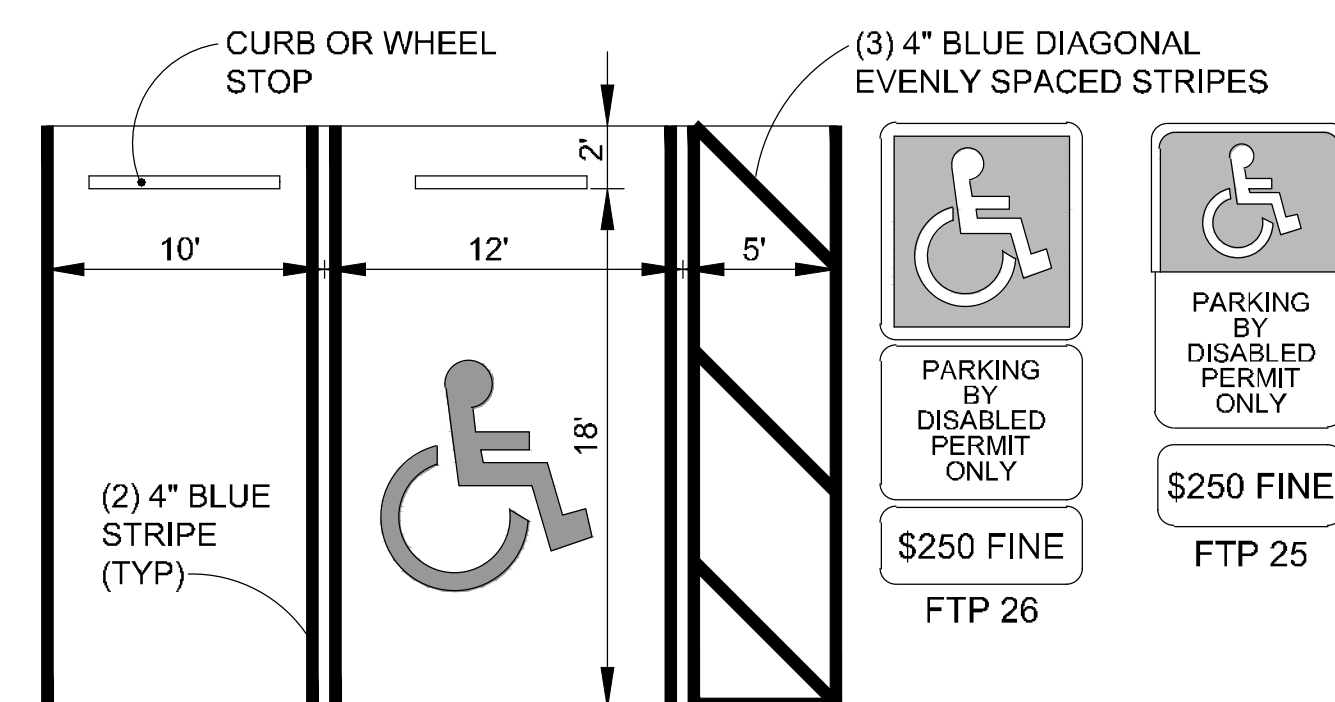
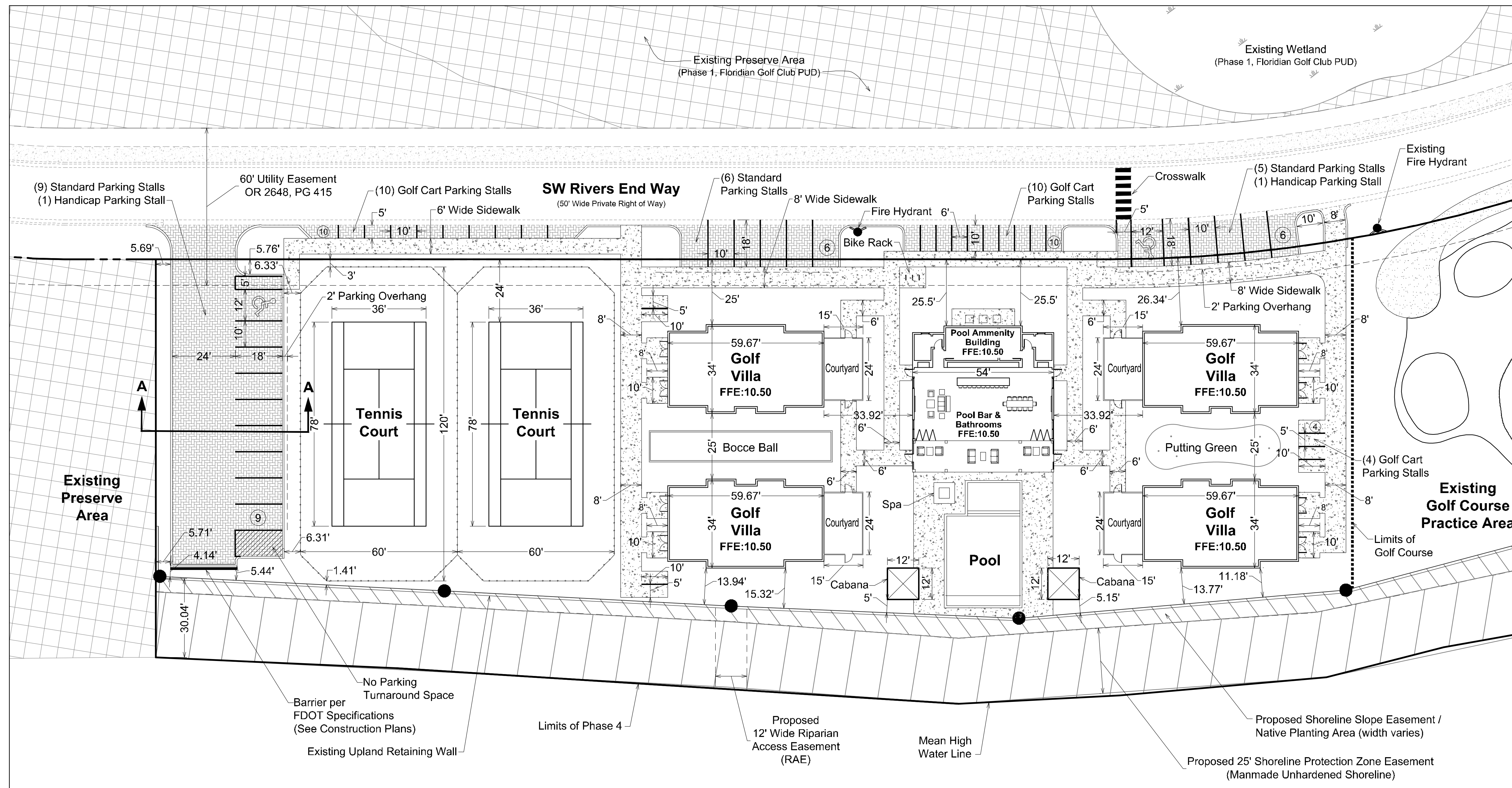
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REG. # 1018
Thomas P. Lucido

Designer	SLS	Sheet
Manager	MC	2 of 2
Project Number	12-017	
Municipal Number	--	
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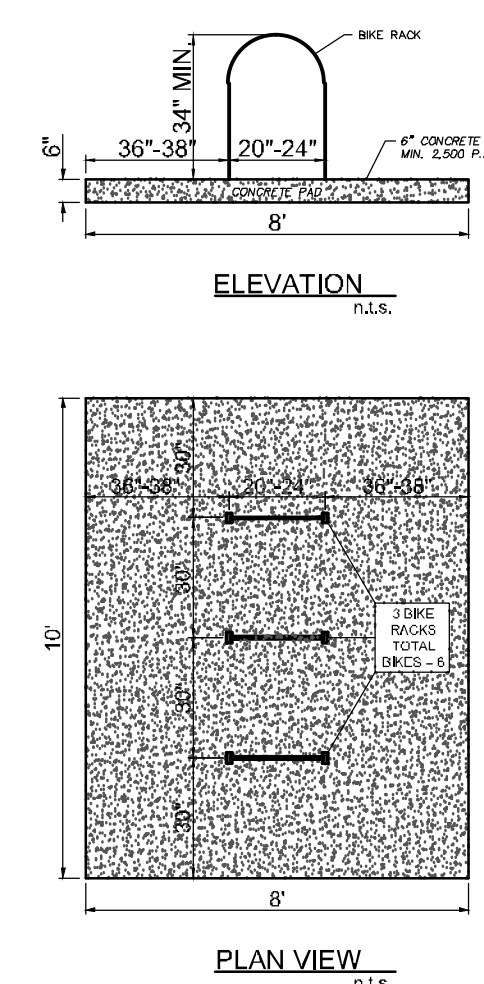


NOTES:

1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. FTP 25 IS FOR USE IN AREAS WHERE SPACE IS LIMITED.

Standard & Handicap Parking Space Detail

Not to Scale



Bike Rack and Concrete Pad Detail

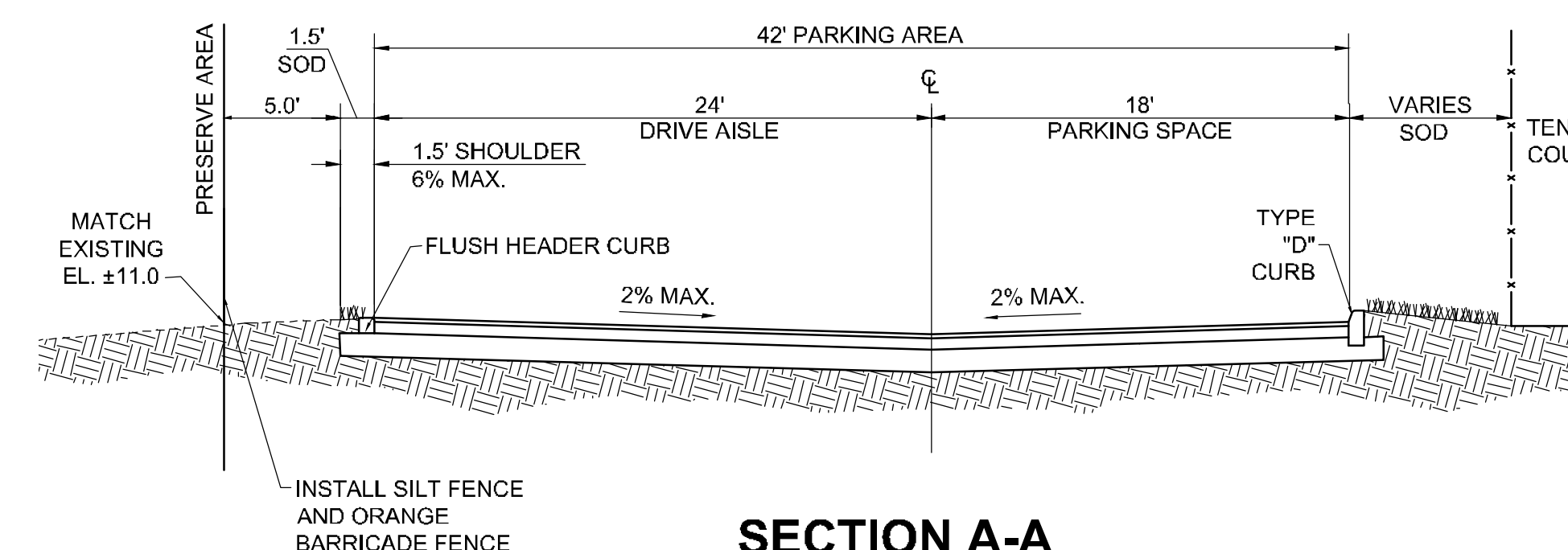
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GUIDE SPECIFICATIONS FOR THE HOOP or INVERTED "U" BIKE RACK

- 1.1 Summary
 - A. Bikes parked per bike rack unit = 2.
 - B. Style shall be Hoop or sometimes referred as Inverted "U".
- 2.1 Acceptable Manufacturers
 - A. American Bicycle Security Company
 - B. Dero Bike Racks
- 2.2 Materials
 - A. As per Manufacturer's Specifications.
- 2.3 Finishes
 - A. Hot Dipped Galvanized or Powder Coated Color by Manufacturer.
- 2.4 Dimensions
 - A. Height - Minimum 34".
 - B. Width - Minimum 20"-24".
 - C. Spacing between Hoops = 30".
 - D. See Concrete Pad Detail for Hoop placement.
- 3.1 Installation
 - A. Installation and Anchoring shall be per Manufacturer's Specifications.

GENERAL NOTES:

1. Bike rack manufacturer may be substituted with approval of engineer of record but hoop or inverted "u" style must be used.
2. Bike rack shall be consistent with the design of the principle structures on site and principles found in the "bicycle facilities planning and design handbook" (STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, 1997).



SECTION A-A

SCALE: NTS