



1. Trees less than the crown trees (30 to 10 to 15 feet apart).
2. Remove any "bushier" shrubs. Ladder saplings and shrubs that can carry a ground fire to the tree trunks.
3. Remove dense ferns, thin overhanging branches, and carefully plan your landclearing with 30 feet of clearance.
4. Prior to the fire the lowest branches are 4 to 6 feet from the ground.
5. Remove any large groupings of plants like palm saplings, yuccas, wax myrtle and palmetto, especially if the plants are close to the house, adjacent ditches or ponds or under power lines.
6. Instead of flammable mulch like wood or straw mulch, use lava stone or coarse gravel around any structure that is within 5 feet of the structure, ALLOW NO FLAMMABLE MULCH.
7. Remove 100 foot flammable plants characterized by redulous sap and waxy leaves. These include wax myrtle, yucca, yew, cedar, cypress and yucca plant species.
8. Keep 100 feet of those nearby available at a future away from the structure.
9. Select flammable plants that are species in the crown of the structure.
10. Insulation of metal enclosures or hardware does not under dry foot soils and be required.
11. Insulation of metal enclosures or hardware does not under dry foot soils and be required.
12. No primary structure or attached secondary structure shall be constructed within the 30 foot defensible space, as depicted on the master plan.

- 7. All signs shall be removed to comply with the applicable regulations at the time the sign is replaced.
- 8. All signs and notices shall be removed from the site after the issuance of any Certificate of Occupancy.
- 9. The use of vegetation to stabilize erosion shall be encouraged and the growth of all planting areas or vegetation material to be used and watered by hand until established.
- 10. The Department of the Interior, Bureau of Land Management, Department for a Field Inspection by staff to determine if backfills have been properly installed and if they are in compliance with the approved PAMP.
- 11. Preservative shall not be applied except in compliance with the approved Preservative Area Management Plan (PAMP).
- 12. Wellpads disturbed by the construction of drainage control structures shall be regraded to a condition of wellpads followed PAMP.
- 13. All mineral roads shall be properly owned and maintained by the Project Sponsor and shall be maintained in accordance with the approved PAMP.
- 14. Storage of construction materials in preservative areas is not permitted.
- 15. No fire shall be extinguished by preservative areas.
- 16. All improvements shall be constructed as shown on Final Site Plans for all phases I, II or Phase III.
- 17. All improvements and structures shall be constructed in accordance with Article 16, Chapter 100, Ordinance 100000 in accordance with Article 16, Chapter 100, Ordinance 100000.
- 18. No alteration of Wellpad Preservative, Upland Preservative, or Wetland Preservative shall be made without the approval of the Preservative Area Management Plan approved by March County.

[illegible]

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The site plan illustrates a complex land development project. It features several large water bodies: Lake 1 (19 Acres), Lake 2 (1.21 Acres), and Lake 3 (4.5 Acres). The plan is divided into numerous numbered lots, some of which are designated for 'RURAL DENSITY' or 'FUTURE LAND USE'. Key infrastructure elements include roads, a 'Dry Retention' area, and 'Wetland' buffers. The plan also shows 'Phase Lines' and 'Dry Retention' areas. Various land use designations are noted throughout the plan, such as 'RURAL DENSITY', 'FUTURE LAND USE', and 'EXISTING ZONING'. The plan is oriented with North at the top.

Sheet 4

Legend:

- Wetlands
- Uplands & Wetland Buffers
- Dry Retention
- Sidewalk
- Lake Littoral
- Native Habitat Landscape Area / SJFWDMA Conservation Easement
- Newly Added Uplands

Legend Notes:
 Native Habitat Landscape Area / South-River Water Management District Conservation Easement
 This map is not a permit project and does not constitute the State's position on any project. It is intended for informational purposes only. It is not a legal document and should not be used for legal purposes. It is not a legal document and should not be used for legal purposes.

North

Total Units	12
Total Units Phase I	8
Total Units Phase II	3

 Dry Retention  Lake Littoral

and Buffers Sidewalk Native Habitat
Landscape Area / S.F./M.D.
Conservation Easement

 Newly Added Uploads

Scale: 1" =

Phasing Plan

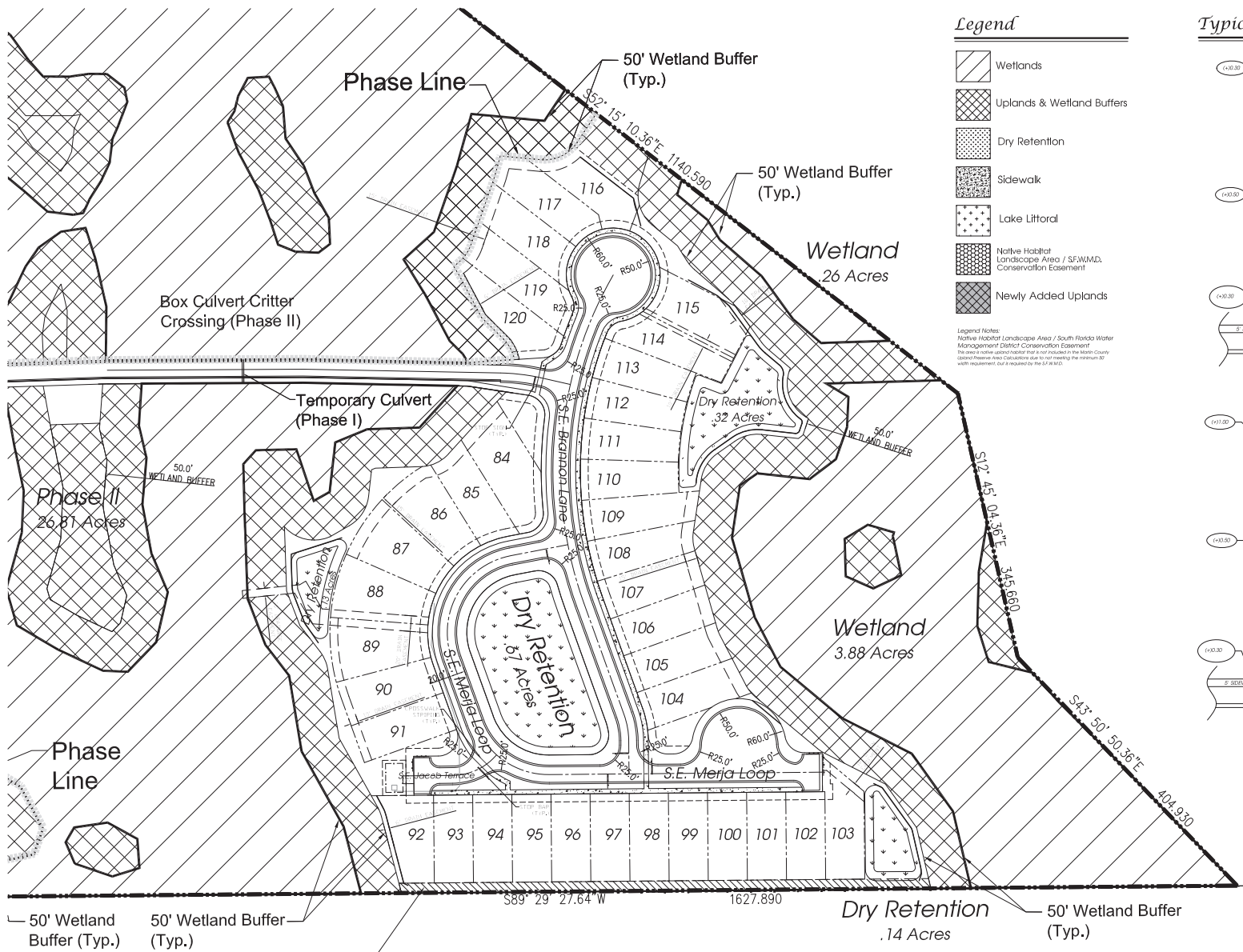
Cove Royale PUD
Martin County, Florida

Job No.	16-0203
Drawn By	JWS
Submitted Dates	8-27-2021
11-18-2021	2-1-2022
6-16-2022	12-6-2022
	2-15-2023
Revision Dates	
Sheet Title "Revised"	11-18-2021
Revise Clubhouse & Parking	2-1-2022
New Base Comments	6-16-2022
New Base Comments	12-6-2022
New Base Comments	2-15-2023

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.

Sheet 1 of 4

11/11/2017

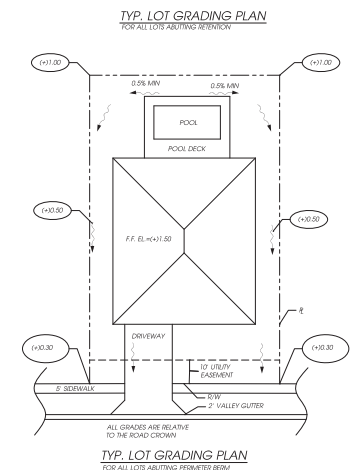
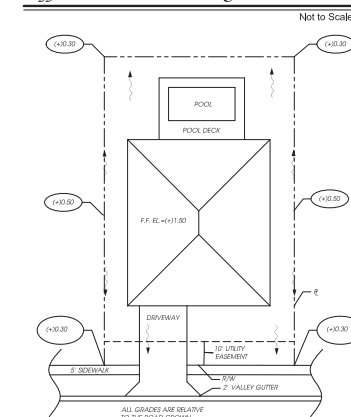


Legend

- Wetlands
- Uplands & Wetland Buffers
- Dry Retention
- Sidewalk
- Lake Littoral
- Native Habitat Landscape Area / S.F.W.M.D. Conservation Easement
- Newly Added Uplands

Legend Notes:
Native Habitat Landscape Area / South Florida Water Management District Conservation Easement
The area is a native habitat landscape that is included in the South County Water Preserve Area. Calculations due to not meeting the minimum 50' width requirement, but it is required to be 50' wide.

Typical Lot Grading



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Cove Royale PUD

Martin County, Florida

Job No.	18-020
Drawn By	JMS
Submitted Date	8-27-2021
11-18-2021	2-1-2022
2-1-2022	2-15-2022
2-15-2022	2-15-2022
Revision Date	1-18-2021
Revised By	James J. Thomas
Revised Description	Revised Site Plan
Revised Comments	2-15-2022
Revised Comments	2-15-2022
Revised Comments	2-15-2022
Revised Comments	2-15-2022

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Revised PUD Master & Phasing Plan

