



Firewise Notes

1. Thin trees so that the crowns (tree tops) are 10 to 15 feet apart.
2. Remove any "snider fuels". Snider fuels are vines and shrubs that can carry a ground fire up into the tree tops.
3. Remove dense fuels, thin overhanging branches, and carefully plan your landscaping within 30 feet of homes.
4. Prune tree limbs so the lowest branches are 6 to 10 feet from the ground.
5. Remove any large groupings of plants like saw palmetto, yucca, yew, myrtle and ginkgo, especially if the plants are close to the home, adjacent decks or porches or under eaves or overhangs.
6. Instead of flammable mulch like bark or wood chips, use lava stone or coarse gravel around any shrubbery that is within 5 feet of the structure. ALLOW NO FLAMMABLE VEGETATION IN CONTACT WITH THE STRUCTURE.
7. Remove highly flammable plants characterized by numerous sap and waxy leaves. These include: saw palmetto, yew, myrtle, yucca, red cedar, cypress and young pine trees.
8. Locate firewood and propane gas tanks at least 50 feet from the structure.
9. Keep 100 feet of hose readily available at a faucet away from the structure.
10. Select low-flammable plant species to plant within the zone of defensible space.
11. Wood stake walls are prohibited. Permitted roofing materials include: Class A asphalt/fltonglass shingles, sheet metal, terra cotta tiles and concrete.
12. Installation of metal screening or hardware cloth under dry leaf mulch shall be required.
13. Large, single-pane windows shall be discouraged, unless windows with tempered glass are tempered glass shall be encouraged.
14. No primary structure or attached secondary structure shall be constructed within the 30 foot defensible space, as depicted on the master plan.

General Notes

1. All signs shall be required to conform with the official regulations of the approved Preserve Area Management Plan (PAMP).
2. All prohibited vegetation species shall be removed from the entire site prior to the issuance of Certificate of Occupancy.
3. There is to be an irrigation system installed to ensure continued growth of all planting areas or seedbed material to be utilized and maintained by hand until established.
4. The applicant will notify the Growth Management Department for a field inspection to staff to determine if trees have been properly placed prior to any land clearing.
5. Preserve areas may not be altered except in accordance with the approved Preserve Area Management Plan (PAMP).
6. Wetland buffers disturbed by the construction of drainage control structures shall be required in accordance with the approved PAMP.
7. All internal roads shall be privately owned and maintained by the Property Owners Association.
8. Storage of construction materials in preserve areas is not permitted.
9. Fills are not allowed to encroach into preserve areas.
10. All improvements shall be constructed as shown on Final Site Plans for either Phase I or Phase II.
11. Models, sales centers and construction trailers shall be permitted in accordance with Article II, Martin County zoning code.
12. No alteration of Wetland Preserve, Upland Preserve, or Transition Zones is permitted except in compliance with a Preserve Area Management Plan approved by Martin County.
13. For existing or proposed utilities, no tree shall be planted where it could, at mature height, conflict with overhead power lines. Large trees (height at maturity of more than thirty (30) feet) shall be planted no closer than a horizontal distance of thirty (30) feet from the nearest overhead power line. Medium height trees (height at maturity between twenty (20) and thirty (30) feet) shall be offset at least twenty (20) feet and small trees (height at maturity of less than (20) feet) require no offset.
14. No tree, shrub, hedge or vines shall be planted within the (5) feet of any existing or proposed utility pole, guy wire or spool mounted transformer. Poles shall be planted at a distance equal to or greater than the average front length plus two (2) feet from power lines.
15. Water and sewer to be provided by Martin County Utilities.
16. All encroachment and common areas, as well as utility and drainage easements to be dedicated to the Home Owners Association.
17. All preserve areas which are adjacent to single-family or multi-family lots shall be clearly marked with signs indicating that the area is a preserve area subject to a recorded preserve area management plan on file in the Martin County Growth Management Department. Signs shall be placed at the corners of residential lots abutting Preserve Areas. Signs will be at least 14 1/4 inches in size and will be posted in conspicuous locations along the Preserve Area boundary at a frequency of no less than one (1) sign per 500 feet.
18. All areas not within lots shall be common areas maintained by the Property Owners Association (P.O.A.).
19. All preservation requirements will be incorporated into the declaration of covenants and restrictions prior to plat recording.
20. The feasibility of submitting for Phase I Final Site Plans after Master Plan approval shall be one (1) year. The timetable of development for Final Site Plans require all permits to be obtained within one (1) year of approval, and require all construction to be completed within two (2) years of approval. The timetable of development for Phase II Final Site Plans require all permits to be obtained within 2024 of approval, and require all construction to be completed within two (2) years of approval 2026.
21. The Dry Retention Areas and Drainage Easements adjacent to Preserve Areas shall be planted with native grasses and maintained as "Preserve" defensible space. No landscaping prohibited in the dry retention easements shall be maintained. No shrub vegetation and shall be maintained to perpetuate life of seeds and remain safe during.
22. During construction activities, existing native vegetation to be preserved (if any) shall be retained to act as buffers between adjacent lots and, to inhibit nuisance dust, noise and air pollution. Barbed wire shall be used on site to preserve the vegetation to be used for the purpose.
23. The property owner shall be required to provide adequate easements to ensure reasonable access to fully licensed cable television services to persons residing in this development. The easement shall specifically provide for the use by the franchised cable television system.
24. Local adoption of the FEMA Flood Insurance Rate Map (FIRM) Series is the federally mandated North American Vertical Datum of 1988 (NAVD88) is forthcoming. Following adoption of the new maps, all flood permit applications will be required to be prepared in the new NAVD88 vertical datum. It is possible that a new base flood elevation has been established on the new Map Series that may impact the potential to obtain flood insurance or affect the rate at which flood insurance may be obtained.
25. On future construction plans all Finished Floor Elevations (FFE) shall be NAVD88.
26. No primary structure or attached secondary structure shall be constructed within the 30 foot defensible space.
27. The turn lanes are to be constructed with the Final Site Plan Approved prior to the issuance of a building permit for the single family residences.
28. The sidewalk connection to Anderson Middle School within the County Right of Way will be constructed with the Phase I Final Site Plan Approved and prior to issuance of a building permit for the single family residences.
29. Possible water will be used for irrigation.
30. Preserve areas are not to be altered without written permission of the Martin County Board of County Commissioners.
31. Stormwater management areas are to be maintained with planted native vegetation, in perpetuity.
32. It is to be noted that the approved design, construction, or any addition to, is to be maintained, or manually remove, damage, or destroy any plants the Martin County Board of County Commissioners shall order upon the written request of the Planning and Development Services Director, as applicable. It is the responsibility of the owner or property owners to maintain the vegetation and to maintain the required landscaping and management of the retained and planted trees and other landscape areas and to ensure quality removal of plants and trees, including, but not limited to, the trees, shrubs, and other landscape areas.

Site Data

Existing Phase I Lot Area	2,874,000 sq. ft.	Existing Phase II Lot Area	2,874,000 sq. ft.
Proposed Phase I Lot Area	2,874,000 sq. ft.	Proposed Phase II Lot Area	2,874,000 sq. ft.
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Total Site Area	5,748,000 sq. ft.	Total Site Area	5,748,000 sq. ft.
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Phase I	2,874,000 sq. ft.	Phase I	2,874,000 sq. ft.
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Open Space & Preserve Area	2,874,000 sq. ft.	Open Space & Preserve Area	2,874,000 sq. ft.
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Preserve Area Phase I Table	2,874,000 sq. ft.	Preserve Area Phase I Table	2,874,000 sq. ft.
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Building Details	2,874,000 sq. ft.	Building Details	2,874,000 sq. ft.
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Parking Requirements - Phase I	2,874,000 sq. ft.	Parking Requirements - Phase I	2,874,000 sq. ft.
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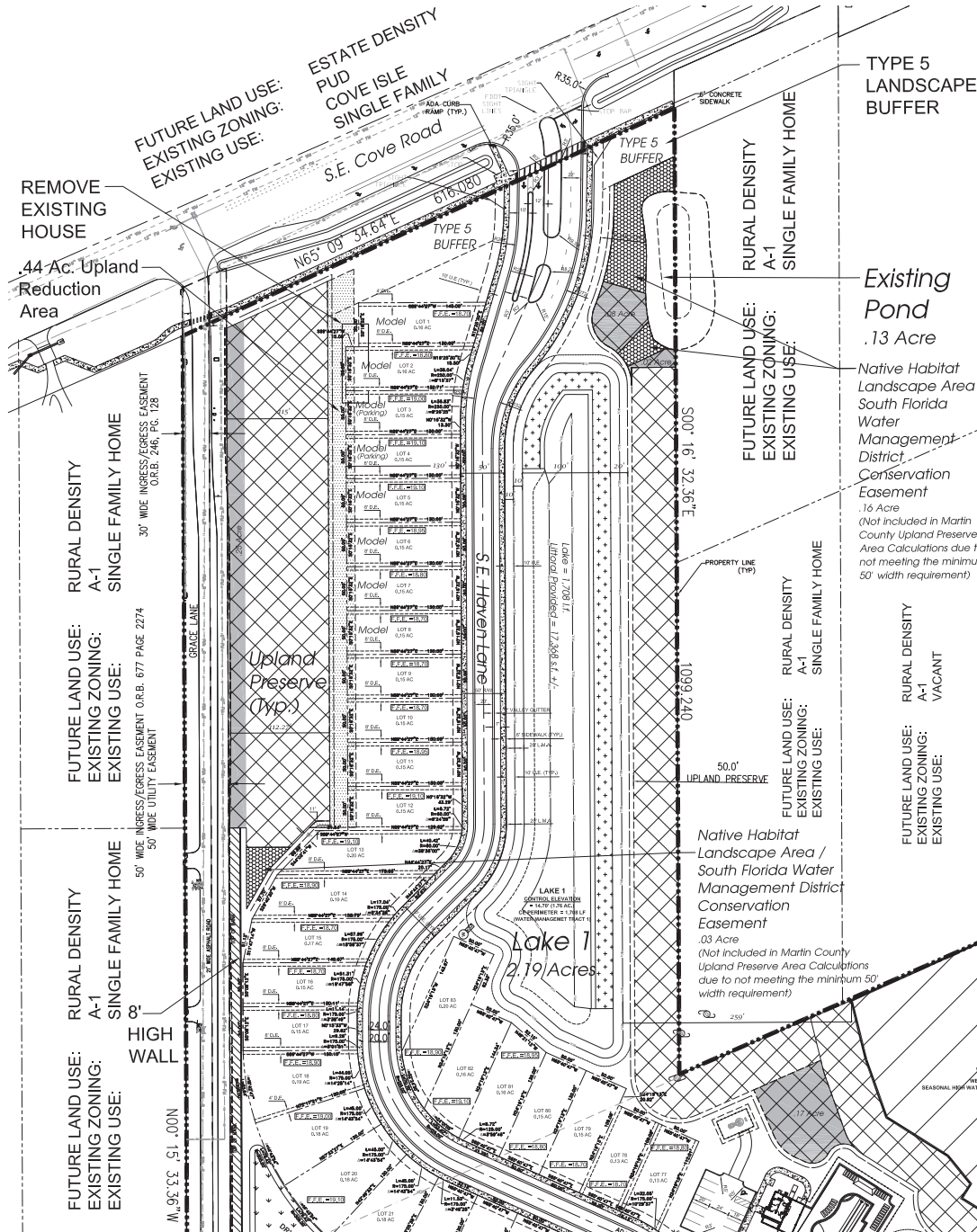
Conceptual Design Group, Inc. Landscape Architect - Site Planning

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TX 36009198

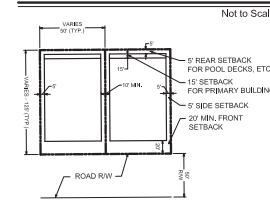
Cove Royale PUD
Martin County, Florida

Job No.	184203
Drawn By	006
Submitted Date	5/24/2021
11/18/2021	2/1/2022
1/2/2022	1/2/2022
2/1/2022	2/1/2022
2/1/2022	2/1/2022
2/1/2022	2/1/2022
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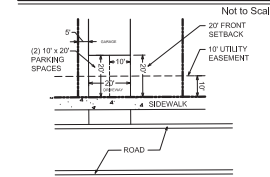
These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.



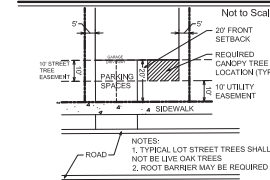
Typical Lot Diagram



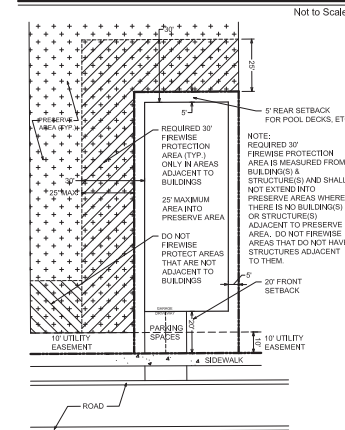
Typical Lot Driveway



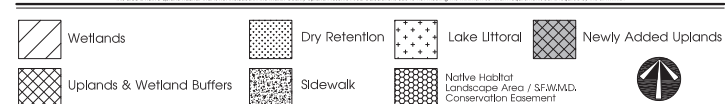
Typical Lot Street Tree



Typical Lot Firewise Detail

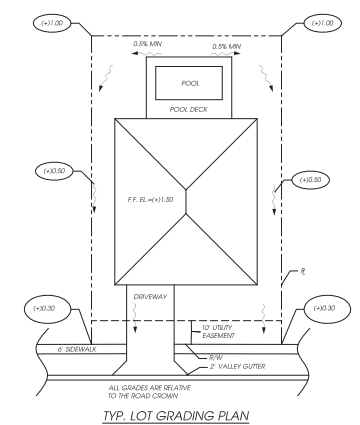
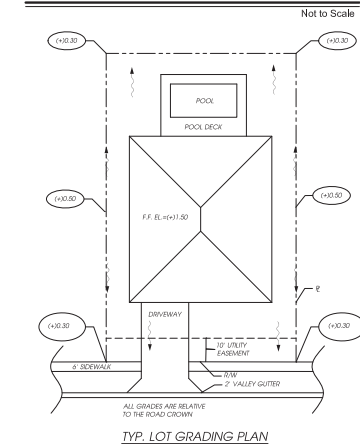


Legend

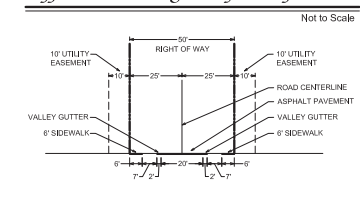


Revised Phase I Final Site Plan

Typical Lot Grading



Typical 50' Right Of Way



Conceptual Design Group, Inc.

Landscape Architecture - Site Planning

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Cove Royale PUD

Martin County, Florida

Job No.	16-0001
Drawn By	2005
Submitted Date	6/24/2021
11-18-2021	2-1-2022
11-23-2022	2-14-2023
Revision Date	11-18-2021
Drawn By	2005
Submitted Date	6/24/2021
11-18-2021	2-1-2022
11-23-2022	2-14-2023
County Comments	

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