

Location Map



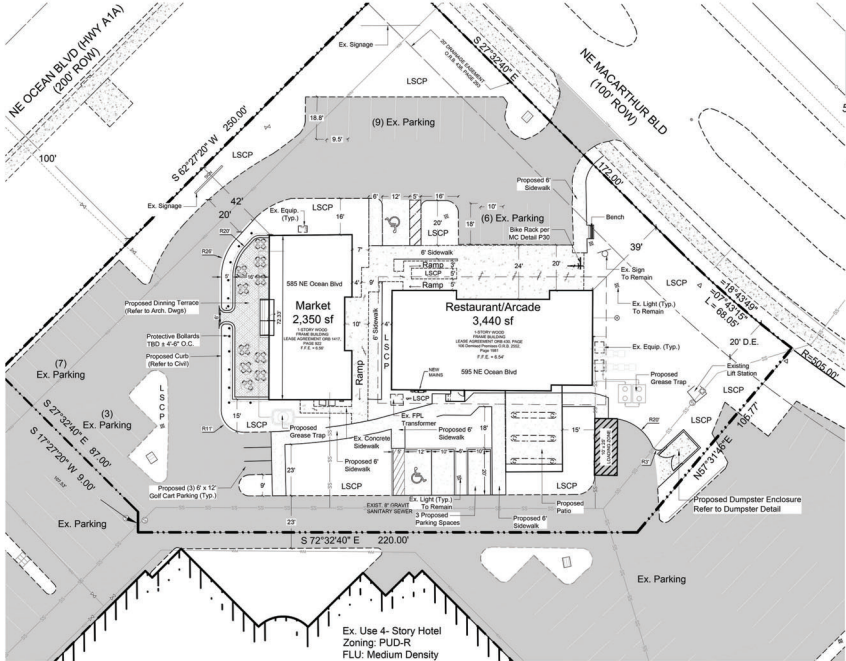
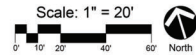
General Site Data

Site Data			
Total Area (SF)	50,803	Acres	1.17
Zoning	PUD		
Future Land Use	Medium Density		
PCN	31-37-42-001-001-0003-4		
Proposed Use	Restaurant		
Building Data			
Restaurant/Market			
Total Gross Floor (SF)	3,440	2,350	
Height (40' Max)	22'11"	19'4"	
1-story existing	1-story existing		
Indoor Seats	110	38	
Outdoor Seats	14	58	
Total	124	96	
Required Open Space Area			
Sec. 4.663.1 - At least 20% of total developed area shall be landscaped.			
Total Developed Area (SF)	50,803		
Area Required (SF)	10,161		
Area Provided (SF)	18,479		
Impervious Area			
Existing			
Building Coverage	5,790	0.13	11.4%
Vehicular Use Area	23,927	0.55	47.1%
Paved areas/Walks	2,828	0.06	5.6%
SubTotal	32,545	0.75	64.1%
Proposed			
Building Coverage	5,790	0.13	11.4%
Vehicular Use Area	21,131	0.49	41.6%
Paved areas/Walks	5,403	0.12	10.6%
SubTotal	32,324	0.74	63.6%
Previous Area			
Existing			
Landscape Area	18,258	0.42	35.9%
SubTotal	18,258	0.42	35.9%
Proposed			
Landscape Area	18,479	0.42	36.4%
SubTotal	18,479	0.42	36.4%
Total			
Total	50,803		
Parking & Abn. Modes of Transportation			
Existing			
Standard Parking	31	28	
Accessible Parking	1	2	
Bike Rack	1	1	
Proposed			
Standard Parking	31	28	
Accessible Parking	1	2	
Bike Rack	1	1	

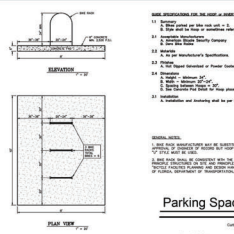
*The commercial uses are ancillary to the hotel; therefore, parking requirements have been met by the existing hotel parking.

General Notes

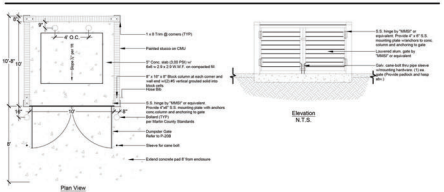
- All signs shall meet the requirements of Division 16, Article 4, LDR, Martin County Code.
- All existing vegetation to be removed prior to the issuance of a Certificate of Occupancy.
- Construction trailers shall be permitted in accordance with Article II, Martin County zoning code.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height, conflict with overhead power lines. Large trees (mature height of more than 20 feet) shall be planted no closer than a horizontal distance of (20) feet from the nearest overhead power line. Medium height trees (mature height of 10-20 feet) shall be offset at least 20 feet from the nearest power lines. Small trees (mature height less than 20 feet) shall require no offset.
- No tree, shrub, hedge, or vine shall be planted within (5) feet of any existing or proposed utility pole. Guy wire or guy-wire support structure. Poles should be planted at a distance of 10 feet or greater than the average third-trunk height (2) feet.
- Water and sewer to be provided by South Florida Regional Utilities.
- The limits of development for final site plans require all permits to be obtained within one (1) year of approval, and require all construction to be completed within (2) years of approval.
- All activities shall document compliance with the requirements of the American Disabilities Act prior to the issuance of a building.
- Any sidewalk damaged during construction shall be repaired or replaced.
- During construction activities, existing native vegetation shall be retained to act as buffers between adjacent lots and, to minimize disturbance and noise, barriers shall be used on site to protect the vegetation to be used for this purpose.
- All signs shall be in accordance with Martin County applicable codes and ordinances in effect at the time of permit application.
- The "Treeless" signs to be posted during construction and displayed at all entrances and exits.
- Sidewalk and/or easement shall be maintained in working order at all times.
- Provisions shall be made to minimize the deposit of sediment by transport vehicles onto public paved surfaces.
- All landscape areas abutting vehicular use areas shall be cut and protected by earth slopes.
- Proposed light poles shall be selected to minimize noise glare to adjacent residential areas and roadways. Exterior light fixtures shall not exceed 30 feet in height within vehicular areas or 20 feet in non-vehicular pedestrian areas.
- Neighboring waste disposal shall comply with all federal, state and local regulations.
- All prohibited exotic plant species shall be removed from the site prior to issuance of a Certificate of Occupancy. Perpetual maintenance is required to prohibit the establishment of invasive exotic species within preservation areas and planted landscape to take these areas and surrounding management areas as provided on the plans as well as the development order.
- It shall be the responsibility of the applicant, owner, or other parties to the site to ensure that all plants and trees are properly maintained and protected from damage, removal, or destruction. Any removal of plants and trees shall be replaced with a minimum of 1:1 ratio of replacement. The applicant, owner, or other parties to the site shall be responsible for the removal of plants and trees and for the replacement of plants and trees. The applicant, owner, or other parties to the site shall be responsible for the removal of plants and trees and for the replacement of plants and trees.
- A minimum width of 20 feet shall be maintained between the water edge of any wetland and any lake excavation unless an alternative plan utilizing an impermeable barrier approved by Martin County in consultation with the South Florida Water Management District. Any excavation which is likely to result in destruction of the water table through pumping or through off-site outflow must be separated a minimum of 200 feet from any wetland.
- Property owner shall be responsible for maintaining the stormwater system.
- All interior drives shall be privately owned and maintained by property owner in a manner acceptable to Martin County.
- Landscaping is provided to meet the existing requirements per LDR Section 4.663.A.6. A minimum of 6" in height or to the highest point of the equipment, whichever is more, and must be maintained at all times to meet the standards and ensure on-going compliance.



Inverted "U" Bike Rack Detail



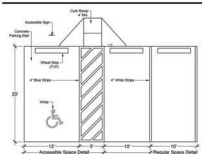
Dumpster Detail



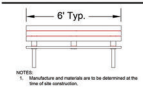
Light Pole Detail



Parking Space Detail



Bench Detail



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Indian River Plantation PUD 19th Amendment
Florida
Martin County
Revise Phase 3 Final Site Plan

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SP-1