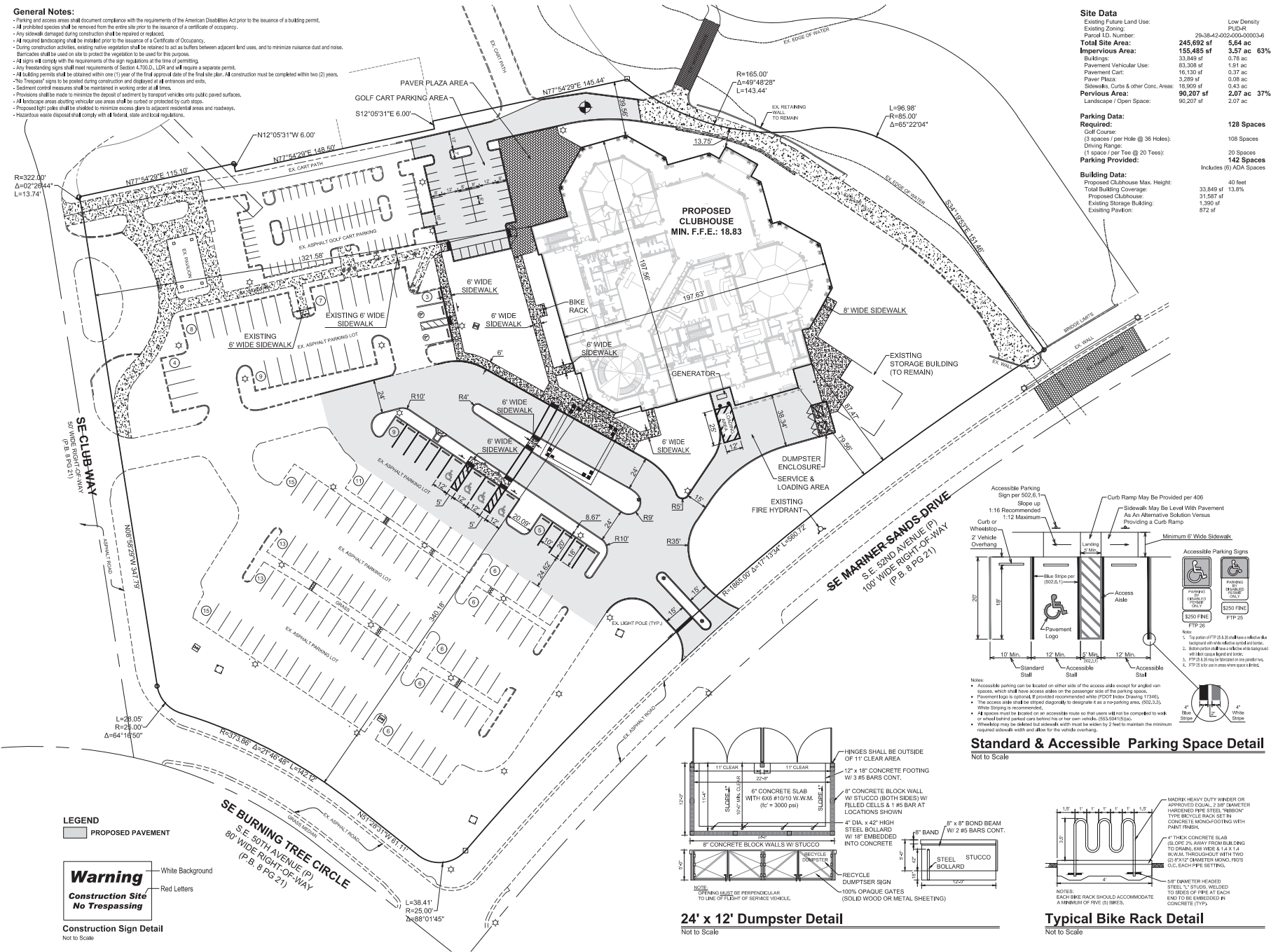


General Notes:

- Parking and access areas shall document compliance with the requirements of the American Disabilities Act prior to the issuance of a building permit.
- All prohibited species shall be removed from the entire site prior to the issuance of a certificate of occupancy.
- Any sidewalk damaged during construction shall be repaired or replaced.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- During construction activities, existing native vegetation shall be retained to act as buffers between adjacent land uses, and to minimize nuisance dust and noise.
- Baricades shall be used on site to protect the vegetation to be used for this purpose.
- All signs will comply with the requirements of the sign regulations at the time of permitting.
- Any landscaping signs shall meet requirements of Section 4.300.0, LDR and will require a separate permit.
- All building permits shall be obtained within one (1) year of the final approval date of the final site plan. All construction must be completed within two (2) years.
- No Trespass signs to be posted during construction and displayed at all entrances and exits.
- Setback control measures shall be maintained in working order at all times.
- Provisions shall be made to minimize the deposit of sediment or transport vehicles onto public paved surfaces.
- All landscape areas abutting vehicular use areas shall be curbed or protected by curb areas.
- Proposed light poles shall be shielded to minimize glare to adjacent residential areas and roadways.
- Hazardous waste disposal shall comply with all federal, state and local regulations.

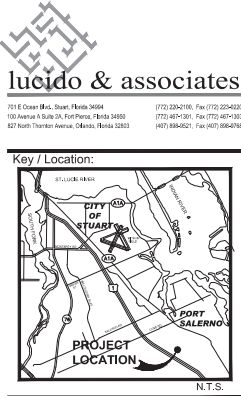


Site Data

Existing Future Land Use:	Low Density
Existing Zoning:	PUD-R
Parcel ID, Number:	29-30-42-002-000-00003-6
Total Site Area:	245,692 sf
Impervious Area:	155,485 sf
Buildings:	33,945 sf
Pavement Vehicular Use:	83,308 sf
Pavement Cart:	16,130 sf
Paved Plaza:	3,289 sf
Sidewalks, Curb & other Conc. Areas:	18,909 sf
Parvius Area:	90,207 sf
Landscapes / Open Space:	90,207 sf
Low Density:	5.64 ac
Impervious Area:	3.57 ac
Buildings:	0.78 ac
Pavement Vehicular Use:	1.91 ac
Pavement Cart:	0.37 ac
Paved Plaza:	0.08 ac
Sidewalks, Curb & other Conc. Areas:	0.43 ac
Parvius Area:	2.07 ac
Landscapes / Open Space:	2.07 ac

Parking Data:

Required:	128 Spaces
Golf Course:	108 Spaces
(3 spaces / per Hole @ 36 Holes):	20 Spaces
Driving Range:	142 Spaces
(1 space / per Tee @ 20 Tees):	Includes (6) ADA Spaces
Parking Provided:	40 feet
Building Data:	33,945 sf
Proposed Clubhouse Max. Height:	13.8%
Total Building Coverage:	31,587 sf
Proposed Clubhouse:	1,390 sf
Existing Storage Building:	872 sf
Existing Pavilion:	



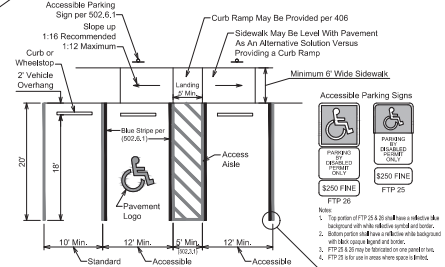
Project Team:

Client & Property Owner:	Mariner Sands County Club, Inc. 6490 SE Mariner Sands Drive Stuart, FL 34987
Land Planner / Landscape Architect:	Lucido & Associates 701 East Ocean Blvd Stuart, FL 34987
Engineer / Surveyor:	EDC 10250 SW Village Parkway, Suite 201 Port St Lucie, FL 34987
Surveyor:	EDC 10250 SW Village Parkway, Suite 201 Port St Lucie, FL 34987
Architect:	Peacock and Lewis 1288 US Highway 1 Suite 200 North Palm Beach, Florida 33408

Mariner Sands PUD
Clubhouse
Tract RC-2

Martin County, Florida
Revised Final Site Plan

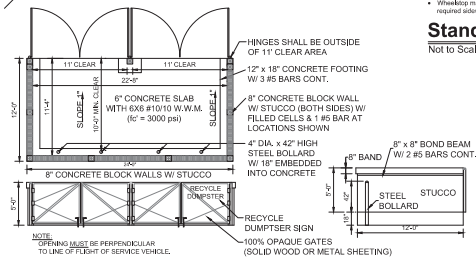
Date	By	Description
01.30.14	D.M.	Initial Application
05.05.14	D.M.	Resubmittal
11.17.22	S.L.S.	New Clubhouse Building
3.16.2023	S.L.S.	1st Resubmittal



Notes:
• Accessible parking can be located on either side of the access aisle except for angled van spaces, which shall have access aisles on the passenger side of the parking space.
• Pavement slope is optional if provided recommended side (FOOT) side (driving 17.4%).
• The access aisle shall not impede diagonally to designate it as a non-parking area, (502.3.3), white striping is recommended.
• All spaces must be located on an accessible route so that users will not be compelled to walk or wheel behind parked cars behind the or for van vehicle, (502.5.6.1) (502.5.6.2) (502.5.6.3).
• Wheeling may be defined but actually width must be within 2 feet to maintain the minimum required sidewalk width and allow for the vehicle overhang.

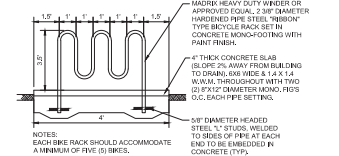
Standard & Accessible Parking Space Detail

Not to Scale



24' x 12' Dumpster Detail

Not to Scale



Typical Bike Rack Detail

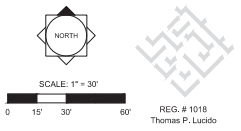
Not to Scale

LEGEND

PROPOSED PAVEMENT

Warning
Construction Site
No Trespassing

Construction Sign Detail
Not to Scale



Designer	MC	Sheet
Manager	MC	
Project Number	22-130	
Municipal Number		
Computer File	22-130 Mariner Sands Clubhouse Site Plan.dwg	

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