

CONSTRUCTION PLANS FOR TREASURE COAST CLASSICAL ACADEMY



PARCEL ID #: 34-38-41-001-000-00050-1
& 34-38-41-000-000-00030-7

MARTIN COUNTY, FLORIDA
DECEMBER 2018



VICINITY MAP

N.T.S.

SECTION: 34
TOWNSHIP: 38 S
RANGE: 41 E

LEGAL DESCRIPTION (from survey):

Being a Parcel of land, said Parcel being a portion of lot's 6 and 7 as shown on the Plat of Wa-Co Field Place as recorded in Plat Book 5, Page 62, Public Records of Palm Beach (now Martin) County, Florida, said Parcel also being a portion of the Southwest One Quarter of Section 34, Township 38 South, Range 41 East, said Parcel being more particularly described as follows:

Commence at the Point of Intersection of the Southerly Right-of-Way line of Cove Road as established from the Right-of-Way Map prepared by Keith and Schnars, Inc. dated October 20, 1989 and the Westerly Line of Lot 5 as shown on said Plat of Wa-Co Field Place; Thence North 66°12'15" East, along said Southerly Right-of-Way line a distance of 431.58 feet to the Point of Beginning of the following described Parcel; Thence continue along said Southerly Right-of-Way line, North 66°12'15" East, a distance of 118.88 feet to the East line of Lot 7 of said Wa-Co Field Place; Thence departing said Southerly Right-of-Way line, South 00°17'05" East, along the said East line of Lot 7 a distance of 1087.16 feet to the Southerly line of said Lot 7; Thence South 60°12'38" West, along said Southerly line a distance of 203.91 feet to the West line of said Lot 7; Thence departing said Southerly line, South 00°11'30" East along the Southerly prolongation of the West line of said Lot 7, a distance of 614.12 to the South line of the Southwest One Quarter of said Section 34; Thence North 69°29'09" West along the South line of said Southwest One Quarter a distance of 373.89 feet; Thence departing said South line, North 00°10'19" West, along the Southerly prolongation of the Westerly line of said Lot 5, a distance of 608.56 feet; Thence North 89°08'43" West, a distance of 148.50 feet; Thence North 00°08'43" West, a distance of 209.52 feet to the South line of Lot 5 of said Wa-Co Field Place; Thence North 60°12'38" East, along the South line of said Lot 5 a distance of 41.63 feet to the East line of said Lot 5; Thence North 00°10'56" West, along said East line a distance of 879.05 feet; Thence Departing said East line, North 73°14'59" East, a distance of 337.23 feet; Thence North 00°12'05" West, a distance of 103.95 feet to the Beginning of a curve concave to the southwest having a radius of 135.00 feet; Thence Northwesterly along the arc of said curve through a central angle of 28°29'48" a distance of 66.79 feet to the Point of Reverse Curvature of a curve concave to the Northeast having a radius of 165.00 feet; Thence Northerly along the arc of said curve through a central angle of 16°39'42" a distance of 47.84 feet; Thence North 81°02'17" West, non-tangent to the last described curve a distance of 30.26 feet to the Southerly Right-of-Way of said Cove Road and the Point of Beginning.

Containing 14.22 acres, more or less



PROJECT TEAM:

CIVIL ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.

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SURVEYOR:

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UTILITY INFORMATION

WATER/WASTEWATER:

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LEO REPETTI

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PALM CITY, FL 34990
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BOBBY PRISON

TELEPHONE:

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TRAFFIC

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FORT LAUDERDALE, FL 33309
MAX J. CHAMORRO

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C 800	TYPICAL SECTIONS AND DETAILS
C 900	UTILITY PLAN
C 910	OFFSITE UTILITY PLAN & PROFILE
C 950	LIFT STATION PLAN
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L 000- L 002	TREE DISPOSITION PLAN
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REV.	REV. DATE	REV. DESCRIPTION	DATE
1	12/17/18	BAY	

Kimley-Horn
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This plan has been electronically signed and sealed by Jordan L. Haggerty, P.E. on 12/17/2018 using digital signature.
Printed Copies of this document are not considered legal and the signature must be verified on any electronic copies.

KHA PROJECT ORIGINATOR	DATE	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
	DEC. 2018				

TREASURE COAST CLASSICAL ACADEMY
PREPARED FOR SUMMIT CONST. GROUP
MARTIN COUNTY, FL

SHEET NUMBER
C 100

Prepared by: Jordan L. Haggerty, P.E., Civil Engineer, License No. 12018, State of Florida. Date: December 17, 2018. 08:08:28 AM. Project: Treasure Coast Classical Academy. Location: 116 South Kentucky Avenue, Lakeland, FL 33601. Scale: As Shown. Drawing No.: C-100. This drawing is the property of Kimley-Horn and Associates, Inc. and is not to be reproduced, copied, or transmitted in any form or by any means without the prior written consent of Kimley-Horn and Associates, Inc.

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GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (FY 2017-18) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE UTILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE NOTICED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY. THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WHICH ARE NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE TWO (2) BUSINESS DAYS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY THE PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. PRIOR TO THE START OF THE CLEARING & GRUBBING, OR ANY SOIL DISTURBANCE, CONTACT MC STORMWATER MANAGEMENT AT (772) 228-8466 FOR A SOIL EROSION AND SEDIMENT CONTROL, PRE-CONSTRUCTION MEETING.
5. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND MARTIN COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (FY 2017-18) IF NOT COVERED BY LOCAL REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOODED OR REGRADED AND SOODED.
3. TRAFFIC CONTROL ON ALL FRONT AND LOCAL RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RESGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SOODED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOODED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTH AREAS SHALL BE SOODED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
17. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
18. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
19. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.
20. SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINGLEHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, MARTIN COUNTY WATER, AND THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) AND ADOPT ONE (1) OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SFWMD.
21. IF THE SLUMPING OR SINGLEHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA UNTIL THE SURFACE OF THE AFFECTED AREA IS STABILIZED. TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREA.
22. VISUALLY INSPECT THE AFFECTED AREA.
23. EXCAVATE AND BACKFILL OR GROUT, AS REQUIRED, TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
24. USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION WHEN APPROPRIATE.
25. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO (2) FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE UNDERGROUND KARST CONNECTION.
26. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.

WATER, SEWER AND FORCE MAIN UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER MAINS, FORCE MAINS, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEMS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER-TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE FLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING, AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS IMPROPER FITTINGS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANHOLE TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER, AND JURISDICTIONAL AGENCY AS REQUIRED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM WHICH TESTS ARE NECESSARY PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN AND THE STANDARD DETAILS. THE PLAN NARRATIVE ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DEVELOP AND DENOTE A PLAN THAT MUST MEET OR EXCEED FDEP REQUIREMENTS.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE COLLECTED, STORED, AND DISPOSED OF IN A LEGAL MANNER. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.

EROSION CONTROL NOTES (CONT.)

15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE STORMWATER POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 881 OF THE STANDARD SPECIFICATIONS.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

REV.	REV. DATE	REV. DESCRIPTION
1	12/17/18	BAY

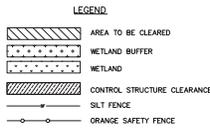
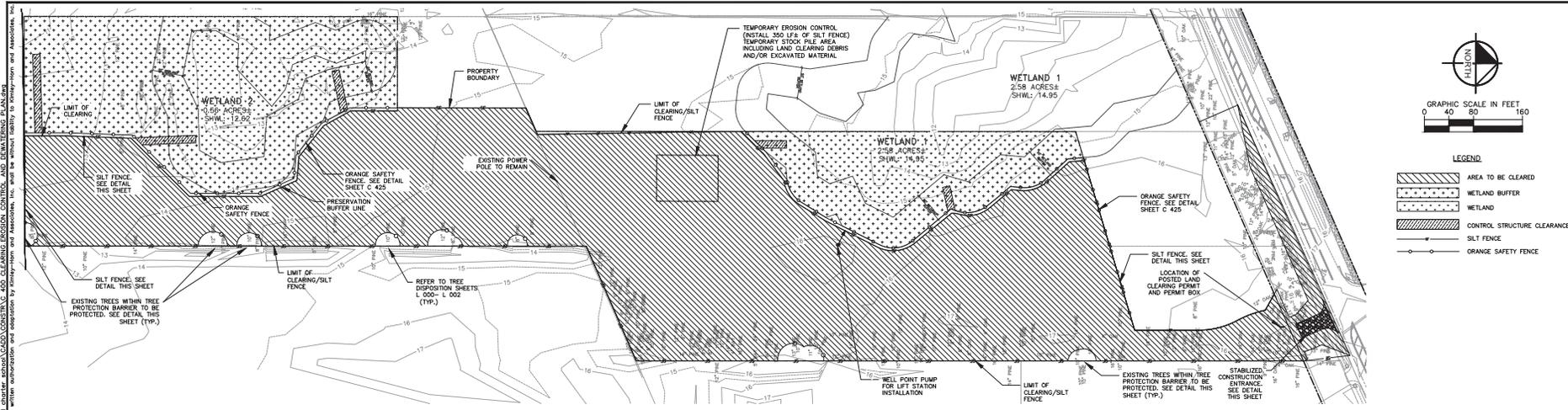
Kimley Horn
© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801
WWW.KIMLEY-HORN.COM CA 00000696

This has been electronically signed and sealed by Andrew L. Haggard, P.E. on 12/20/2018 at 09:04:00 AM. The signature must be sealed on any electronic signature.

Printed Copies of this document are not considered legal and the system must be sealed on any electronic signature.

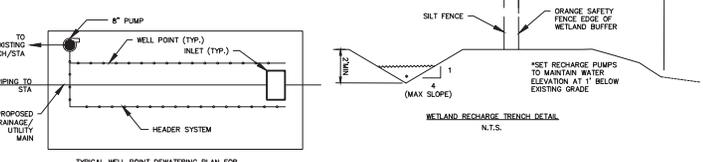
KHA PROJECT	2018
DATE	DEC. 2018
SCALE	AS SHOWN
DRAWN BY	SK
CHECKED BY	SK

TREASURE COAST CLASSICAL ACADEMY
GENERAL NOTES
PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY, FL



ORDER OF EXCAVATION

1. INSTALL SILT FENCES AND ORANGE SILT FENCES.
2. CONSTRUCT WETLAND RECHARGE TRENCH.
3. INSTALL WELL POINTS AND UNDERDRAINING SOCKS AS NEEDED.
4. PIPE DISCHARGE TO DEWATERING CELL/RECHARGE TRENCH.
5. SET DEWATERING PUMPS AS NEEDED FOR INSTALLATION OF UTILITIES.
6. PUMP TO RECHARGE TRENCH AND DEWATERING CELL.



TYPICAL WELL POINT DEWATERING PLAN FOR ORANGE/UTILITY MAIN INSTALLATION

DEWATERING PUMPING OPERATIONS

AVERAGE DAILY PUMPAGE
A SINGLE (1) 2,500 GPM, 8" DISCHARGE PUMP OPERATING AT 40% MAXIMUM CAPACITY FOR AN AVERAGE PUMPING RATE OF 2,500 GPM x 40% x 1 PUMP = 1,000 GPM FOR A TOTAL OF 1,000,000 GPD

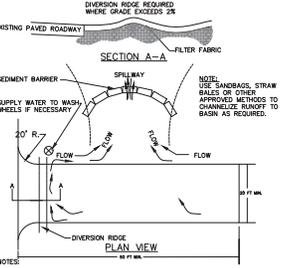
MAXIMUM DAILY PUMPAGE
A SINGLE (1) 2,500 GPM, 8" DISCHARGE PUMP OPERATING AT 80% MAXIMUM CAPACITY FOR A MAXIMUM PUMPING RATE OF 2,500 GPM x 80% x 1 PUMP = 2,000 GPM FOR A TOTAL OF 2,000,000 GPD

CLEARING AND GRUBBING

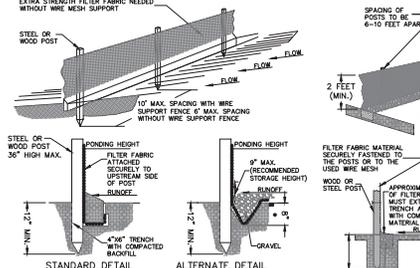
THE CONTRACTOR WILL NOT CLEAR AND GRUB ANY SITE WITHOUT PRIOR CONFIRMATION OF WETLAND AND UPLAND PRESERVATION REQUIREMENTS. ALL PRESERVATION AREAS WILL BE FENCED TO AVOID ENCROACHMENT AND WILL BE STRICTLY ENFORCED. KIMLEY-HORN WILL NOT BE RESPONSIBLE FOR ENCROACHMENT BY CONTRACTOR WITHIN WETLAND AREAS. CONTRACTOR IS CAUTIONED TO REVIEW ALL PERMITS AND CONSTRUCTION DOCUMENTS PRIOR TO CLEARING/GRUBBING PHASE.

DEMOLITION NOTES:

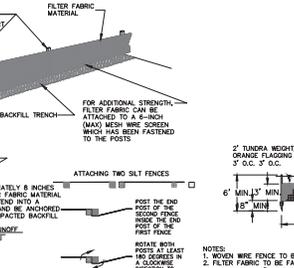
1. ALL AREAS WITHIN THE LIMITS OF DEMOLITION SHALL BE CLEARED AND GRUBBED.
2. ALL DEMOLITION SHALL BE WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
3. PROPERTY OWNERS SHALL BE LOCATED BY A LICENSED LAND SURVEYOR AND CLEARLY MARKED IN THE FIELD PRIOR TO THE ENGINEERING DEPARTMENT'S PRE-CONSTRUCTION MEETING FOR SITE DEVELOPMENT.
4. AUTHORIZATION TO INSTALL EROSION CONTROL DEVICES AND PRESERVE BARRICADES WILL BE GRANTED AT THE PRE-CONSTRUCTION MEETING. THIS AUTHORIZATION SHALL POSTED ON THE SITE IN THE PERMIT BOX, ITS LOCATION SHOWN ELSEWHERE ON THIS PAGE.
5. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
6. PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXIST. IMPROVEMENTS INDICATED ON PLAN.
7. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
8. REMOVE WASTE MATERIALS AND UNSUITABLE AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF SITE IN A LEGAL MANNER.
9. LOCATE EXIST. ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK AND PROTECT DURING DEMOLITION OPERATION.
10. SHOULD UNCHARTED, OR INCORRECTLY CHARTED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING DEMOLITION, CONSULT PROJECT ENGINEER AND UTILITY OWNER FOR IMMEDIATE ACTION.
11. DEMOLISH AND COMPLETELY REMOVE FROM SITE. MATERIAL INDICATED ON PLAN OR NOTES.
12. THE USE OF EXPLOSIVES IS NOT PERMITTED.
13. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.
14. CONTRACTOR IS TO PROVIDE APPROVED EROSION CONTROL/SEDIMENTATION BARRIERS TO PRESENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW MULCH OR OTHER SUITABLE MATERIAL, AS NEEDED ON THE GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE.
15. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF DEMOLITION SHALL BE RE-LANDSCAPED AND IRRIGATION SYSTEMS REPAIRED TO PREVIOUS WORKING CONDITIONS.
16. ALL UTILITIES LOCATED WITHIN THE LIMITS OF DEMOLITION SHALL BE REMOVED TO THE LIMITS OF DEMOLITION AND/OR R/W AND CAPPED IF UNUSED (WHERE APPLICABLE) UNLESS OTHERWISE NOTED.
17. ALL EXIST. CURBS AND ASPHALT PAVEMENT WITHIN THE LIMITS OF DEMOLITION SHALL BE SAW CUT AND REMOVED UNLESS OTHERWISE NOTED.
18. CONTRACTOR TO FIELD VERIFY PRESENCE OF ALL ASPHALT OR CONCRETE PAVEMENT WITHIN THE LIMITS OF DEMOLITION IF APPLICABLE.
19. CONTRACTOR IS TO OBTAIN PROPER PERMITS PRIOR TO DEMOLITION OF EXIST. STRUCTURES.
20. CONTRACTOR TO INSTALL SAFETY FENCE AND PROPERLY SIGN/AROUND WORK AND STAGING AREA TO PREVENT PEDESTRIAN TRAFFIC FROM ENTERING.
21. CONTRACTOR SHALL PROVIDE ADEQUATE MAINTENANCE OF PAVED AREAS AROUND WORK AND STAGING AREA.
22. CONTRACTOR SHALL USE CAUTION WHEN WORKING AROUND, REMOVING, AND/OR RELOCATING EXIST. UTILITIES AND COORDINATE WITH UTILITY PROVIDER AS NEEDED.
23. CONTRACTOR TO COORDINATE WITH OWNER ON LOCATION OF CONSTRUCTION ENTRANCE.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING TREE PROTECTION FENCING (T.P.F.) FULLY EXTENDS TO TREE DRUMLINE.
25. T.P.F. MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. UPON COMPLETION OF EXIST. CONDITIONS DEMOLITION CONTRACTOR SHALL ADJUST T.P.F. SO THAT TREES TO REMAIN ARE FULLY PROTECTED DURING CONSTRUCTION.
26. EXIST. TREES SHALL BE PRUNED UNDER THE DIRECTION OF AN ISA CERTIFIED ARBORIST AS DIRECTED BY OWNER'S REPRESENTATIVE.
27. CONTRACTOR SHALL COORDINATE PHASING OF TREE MITIGATION PLANS TO ENSURE THAT TREES TO REMAIN ARE FULLY PROTECTED.
28. CONTRACTOR SHALL REMOVE ALL INVASIVE PLANT MATERIALS LOCATED ON-SITE.
29. EXISTING WELLS) TO BE PULSED AND ABANDONED BY A FLORIDA LICENSED WELL CONTRACTOR IN ACCORDANCE WITH RULE 400-3.35(10).
30. EXISTING SITE BENCHMARKS SHALL BE RELOCATED BY A LICENSED SURVEYOR PRIOR TO BEGINNING OF CONSTRUCTION.
31. CONTRACTOR SHALL MAINTAIN STORMWATER MANAGEMENT SYSTEM TO INSURE NO DAMAGE TO ADJACENT PROPERTIES OCCURS DURING 100-YEAR STORM EVENTS.
32. NOT CLEARING, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES AND PRESERVE AREA BARRICADE HAS BEEN ISSUED.
33. NO ADDITIONAL LAND CLEARING SHALL BE AUTHORIZED UNTIL PERMIT IS OBTAINED FROM THE GROWTH MANAGEMENT DEPARTMENT AND POSTED, FOLLOWING SATISFACTORY INSPECTION OF REQUIRED CONTROL STRUCTURES AND BARRICADES.
34. ALL CONSTRUCTION BARRICADES AND SILT FENCES WILL REMAIN IN PLACE AND BE MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING THE PERMITTED DEVELOPMENT ACTIVITIES.
35. PRIOR TO SCHEDULING A FINAL ENVIRONMENTAL INSPECTION FOR THE INFRASTRUCTURE, ALL BARRICADES AND EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
36. APPLICATIONS FOR LAND CLEARING SHALL REQUIRE A LAND CLEARING PLAN THAT INCLUDES, AT A MINIMUM, PROPOSED DATES FOR CLEARING, THE PROPOSED METHOD OF EROSION AND SEDIMENT CONTROL, THE PROPOSED METHOD OF EXIST. DISPOSAL AND SOIL SITE STABILIZATION PROCEDURES TO BE IMPLEMENTED AFTER LAND CLEARING. SITE CLEARING, VEGETATION REMOVAL, AND/OR BUILDING CONSTRUCTION SHALL BE PHASED CONSISTENT WITH CONSTRUCTION PRACTICES SUCH AS BUT NOT LIMITED TO SEEDING, MULCHING, AND OTHER MEASURES THAT MINIMIZE AIRBORNE DUST AND PARTICULATE EMISSIONS GENERATED BY CONSTRUCTION ACTIVITY SHALL BE COMPLETELY PROGRESSIVELY AND ACTIVELY MAINTAINED AS VEGETATION REMOVAL OCCURS WHEN A GIVEN AREA OF A SITE, BUILDING OR INFRASTRUCTURE CONSTRUCTION SHALL BE COMPLETELY FINISHED. WHERE OFF-SITE SILTATION BECOMES A PROBLEM, WORK ON THE PROJECT SHALL STOP UNTIL AN AMENDED PLAN IS APPROVED AND IMPLEMENTED.
37. DURING CONSTRUCTION ACTIVITIES, EXISTING NATIVE VEGETATION SHALL BE RETAINED TO ACT AS BUFFERS BETWEEN ADJACENT LAND USE PROPERTIES, AND TO MINIMIZE NUISANCE DUST, NOISE AND AIR POLLUTION. THIS REQUIREMENT SHALL BE A CONDITION OF ANY PERMIT APPROVAL. APPROPRIATE MEASURES SHALL BE USED TO PRESERVE THE VEGETATION TO BE RETAINED. AREAS ESPECIALLY VULNERABLE TO WIND OR WATER EROSION, SUCH AS SHOULDERED AREAS, SHALL BE STABILIZED DURING VEGETATION DURING CONSTRUCTION AND BE THE LAST AREA OR PART OF THE FINAL PHASE OF A PHASED CLEARING PLAN TO BE CLEARED.



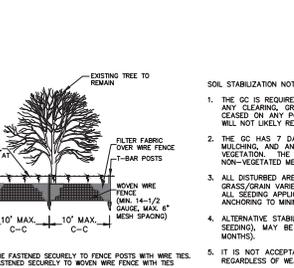
SEDIMENT BARRIER PLAN VIEW



SILT FENCE DETAIL



SILT FENCE INSTALLATION DETAIL



COMBINED SILT AND TREE PROTECTION FENCE

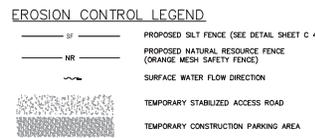
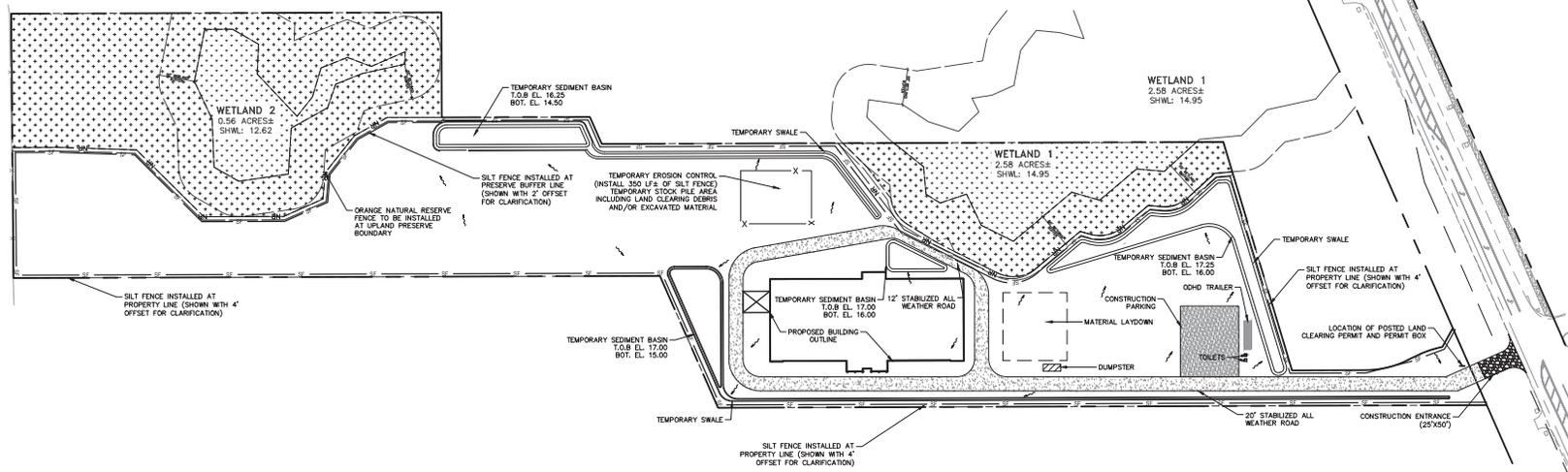
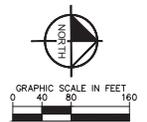
SOIL STABILIZATION NOTES:

1. THE DC IS REQUIRED TO, AT A MINIMUM, INITIATE SOIL STABILIZATION MEASURES IMMEDIATELY WHENEVER DEMOLITION OR CONSTRUCTION ACTIVITIES ARE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT LIKELY RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
2. THE DC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF NON-VEGETATED MEASURES, IF UTILIZED.
3. ALL DISTURBED AREAS THAT ARE STABILIZED TEMPORARILY WITH THE USE OF FAST-GROWING ANNUAL GRASS/GRAIN VARIETIES APPROPRIATE FOR SITE SOIL AND CLIMATE CONDITIONS MUST BE RESEED FOR ALL SEEDING APPLICATIONS, AND ALL MULCH APPLICATIONS MUST INCLUDE A SUITABLE FORM OF MULCH AND WATER EROSION, SUCH AS SHOULDERED AREAS, SHALL BE STABILIZED DURING CONSTRUCTION AND BE THE LAST AREA OR PART OF THE FINAL PHASE OF A PHASED CLEARING PLAN TO BE CLEARED.
4. ALTERNATIVE STABILIZATION MEASURES TO SEEDING, SUCH AS ANCHORED MULCH APPLICATION (WITHOUT SEEDING), MAY BE UTILIZED DURING PERIODS WHEN VEGETATIVE GROWTH IS UNLIKELY (E.G. WINTER MONTHS).
5. IT IS NOT APPLICABLE TO ALLOW BARE SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER/TEMPERATURE/Soil CONDITIONS.
6. ALTERNATIVE STABILIZATION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: ANCHORED STRAW/HAY MULCH, WOOD CELLULOSE FIBER MULCH, SPRAY-ON SOIL GLUES/BINDERS, AND ROLLED EROSION CONTROL PRODUCTS.
7. ALL ROLLED EROSION CONTROL PRODUCTS SHALL HAVE CURRENT (GOOD/OK) STATUS ISSUED BY THE EROSION CONTROL TECHNOLOGY COUNCIL (ECTC) PLUS ANY STATE OR AGENCY-SPECIFIC REQUIREMENTS. EVIDENCE OF (GOOD/OK) APPROVAL SHALL ACCOMPANY THE PRODUCT SHIPPED TO THE JOBSITE FOR READY IDENTIFICATION BY THE CONTRACTOR OR AGENCY INSPECTOR.
8. ROLLED EROSION CONTROL PRODUCTS (NETS, BLANKETS, TURF REINFORCED MATS) AND VEGETATED AREAS NOT MEETING REQUIRED VEGETATIVE DENSITIES FOR THE PROJECT SHALL BE RESEED DAILY. RULING, RUTTING AND OTHER SIGNS OF EROSION INDICATE THE SPECIFIED EROSION CONTROL DEVICE IS NOT FUNCTIONING OR INSTALLED IMPROPERLY AND/OR ADDITIONAL EROSION CONTROL DEVICES ARE WARRANTED.

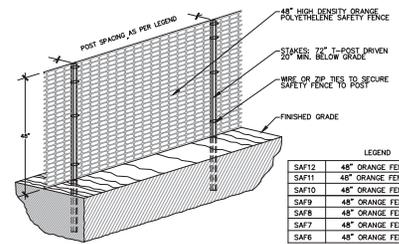
CALL 2 BUSINESS DAYS BEFORE YOU DIG
IT'S THE LAW!
Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL (FLORIDA, INC.)

1. DATE: 11/18/2018
 2. PROJECT: CLASSICAL ACADEMY
 3. SHEET: C-400
 4. DRAWN BY: J. HORN
 5. CHECKED BY: J. HORN
 6. SCALE: AS SHOWN
 7. DATE: DEC. 2018
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PROJECT: TREASURE COAST CLASSICAL ACADEMY - CONSTRUCTION PLAN - 12/17/18 BAY
 DRAWN BY: J. HORN
 CHECKED BY: J. HORN
 DATE: 12/17/18
 SCALE: AS SHOWN
 PROJECT NO.: 18-0000066
 CLIENT: SUMMIT CONSTRUCTION GROUP
 LOCATION: 118 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801
 CONTACT: WWW.KIMLEY-HORN.COM CA 0000066



- ### PHASE I CONSTRUCTION NOTES
- THE FOLLOWING SHALL BE CONSTRUCTED, INSPECTED, AND APPROVED BY MARTIN COUNTY PRIOR TO BUILDING PERMIT ISSUANCE.
1. DRY DETENTION AREA (GRADING COMPLETE, DOES NOT NEED TO BE FINAL SLODED)
 2. STABILIZATION FIRE ACCESS LANE (PERMANENT AND TEMPORARY WHERE PAVEMENT WILL BE FINAL CONDITION)
 3. CONTRACTOR/OWNER TO COORDINATE WITH FIRE MARSHALL FOR APPROVED WATER SUPPLY DURING VERTICAL CONSTRUCTION.
 4. SITE TOPOGRAPHY TO BE GRADED TO POND/SEDIMENTATION BASINS



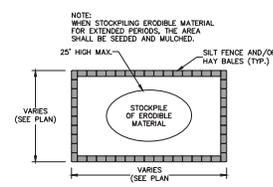
LEGEND

SAFT2	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.

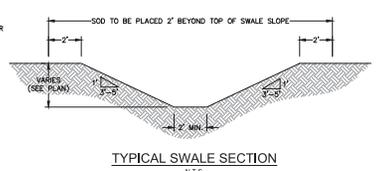
48" Safety Fence, 72" T-Posts

1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCING AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL A HIGH VISIBILITY 2' FEET OFFSET OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCING SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

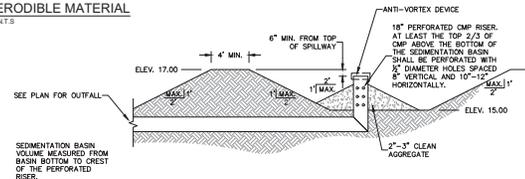
SENSITIVE AREA/TREE PROTECTION



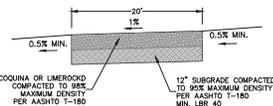
SEDIMENT CONTROL FOR STOCKPILING OF ERODIBLE MATERIAL



TYPICAL SWALE SECTION



SEDIMENT BASIN WITH PIPE OUTLET



TEMPORARY STABILIZED ACCESS ROAD

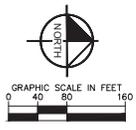
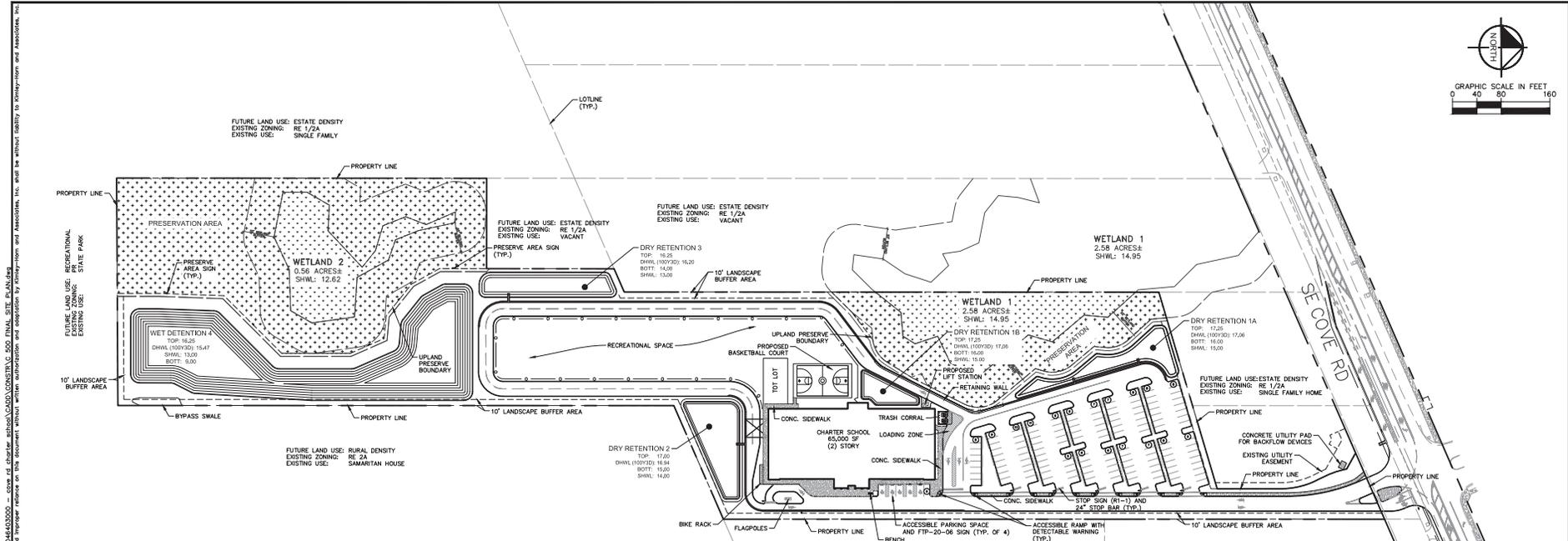
TREASURE COAST CLASSICAL ACADEMY
PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY

CORE INSPECTION PLAN

SHEET NUMBER
C 425

Kimley-Horn
© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
118 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801
WWW.KIMLEY-HORN.COM CA 0000066

REV.	FEET SPAN/ COUNTY COMMENTS	DATE
1	REV. FEET SPAN/ COUNTY COMMENTS	12/17/18 BAY



SITE DATA

SITE AREA	619,423 SF	14.22 AC
LOCATION	SECTION 34, TOWNSHIP 38 S, RANGE 41 E	
ADDRESS	1400 SE COVE RD, PALM CITY, FL 34991	
ZONING	RE 1/2A	
PCN	34-38-41-000-000000-8	
	34-38-41-000-000-0000-9	

OPEN SPACE REQUIRED

UPLAND PRESERVE REQUIRED	7.11 AC	50.0%
OPEN SPACE	3.24 AC	
TOTAL OPEN SPACE	7.09 AC	55.56%
WET DETENTION BANK	0.44 AC	3.59%
UPLAND PRESERVE AREA	3.34 AC	22.78%
DRY RETENTION	0.75 AC	5.27%
RECREATIONAL SPACE	1.33 AC	9.35%
TOT LOT	0.07 AC	0.55%
LANDSCAPE EXCLUDING OVERHANG	2.07 AC	14.58%

PRESERVE AREA

TOTAL SITE	14.22 AC	
WETLANDS	1.26 AC	
NATIVE UPLAND HABITAT	1.26 AC	
WETLAND PRESERVE PROVIDED	1.26 AC	
WETLAND BUFFER PROVIDED	1.59 AC	
UPLAND PRESERVE REQUIRED (SON OF NATIVE UPLAND HABITAT)	3.24 AC	25%
UPLAND PRESERVE PROVIDED (INCLUDING WETLAND BUFFERS)	3.24 AC	25%

PERVIOUS AREA

TOTAL PERVIOUS AREA	7.94 AC	55.84%
UPLAND PRESERVE AREA	3.34 AC	22.78%
LANDSCAPE	2.11 AC	14.84%
WET DETENTION BANK	0.44 AC	3.09%
DRY RETENTION	0.75 AC	5.27%
RECREATIONAL SPACE	1.33 AC	9.35%
TOT LOT	0.07 AC	0.55%

IMPERVIOUS AREA

TOTAL IMPERVIOUS AREA	6.28 AC	44.16%
WET DETENTION	0.96 AC	6.88%
WETLAND	1.26 AC	8.86%
LANDSCAPE	0.92 AC	6.47%
BUILDING FOOT PRINT AREA	0.76 AC	5.34%
SEWER AND PADS	0.28 AC	1.97%
PAVEMENT AND ROADS	2.93 AC	20.61%

BUILDING SETBACKS

FRONT	25'	REQUIRED
REAR	15'	PROVIDED
SIDE	40'±	

BUILDING DATA

BUILDING COVERAGE	12.84%±	5.7%
HEIGHT	MAX. ALLOWED 30'	PROPOSED 30'
TOTAL GROSS FLOOR AREA	66,000 SF	
EDUCATIONAL INSTITUTION	66,000 SF	100%

VERTICAL DATA
 ALL ELEVATIONS SHOWN HEREON ARE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAD 83), AND ARE BASED ON MARTIN COUNTY BENCHMARK "US-83", HAVING AN ELEVATION OF 13.39 FEET.

FLOOD ZONE
 SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" - OTHER AREAS, ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12082C10130, DATED MARCH 16, 2015.
 PRESERVE AREA ARE NOT TO BE ALTERED EXCEPT AS DEFINED IN THIS PLAN WITHOUT WRITTEN PERMISSION OF THE MARTIN COUNTY BOARD OF COUNTY COMMISSIONERS

PARKING CALCULATIONS

BUILDING/USE	REQ'D RATIO	REQ'D SPACES
RECREATIONAL FACILITY	1 SPACE/FACILITY AND STAFF**	10
	1 SPACE/100 STUDENTS**	14
	1 SPACE/10 STUDENTS IN GRADES 11**	14
TOTAL		38

* MINIMUM PARKING REQUIREMENTS BASED ON FLORIDA BUILDING CODE SECTION 453.10.2.8
 **STUDENT/FACILITY DATA PROVIDED BY OWNER/ARCHITECT

PARKING SUMMARY

STANDARD	REQUIRED	PROVIDED
STANDARD	62	137
ACCESSIBLE PER ADA	3	6
TOTAL PARKING	63	142

TIMETABLE FOR DEVELOPMENT

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TIMETABLE OF DEVELOPMENT AS SET FORTH BELOW

BUILDING PERMITS MUST BE OBTAINED WITHIN ONE YEAR AND CONSTRUCTION MUST BE COMPLETE WITHIN TWO YEARS OF FINAL SITE PLAN APPROVAL

PRIOR TO ISSUANCE OF ANY BUILDING PERMIT, CORE INFRASTRUCTURE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STORMWATER MANAGEMENT SYSTEM, APPROPRIATE PAVED COMPONENTS, STABILIZED ROADWAYS, AND ADEQUATE FIRE PROTECTION, MUST BE SUBSTANTIALLY COMPLETE AS DETERMINED BY THE COUNTY ENGINEER.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, ALL REQUIRED IMPROVEMENTS AS IDENTIFIED ON THE FINAL SITE PLAN, MUST BE SUBSTANTIALLY COMPLETE AS DETERMINED BY THE COUNTY.

PROJECT TEAM CONTACTS

CIVIL ENGINEER:
 JORDAN HAGGERTY, P.E.
 1815 S CONGRESS AVE, SUITE 201
 DELRAY BEACH, FL 33445
 TEL: (561) 274-6983
 EMAIL: JORDAN.HAGGERTY@KIMLEY-HORN.COM

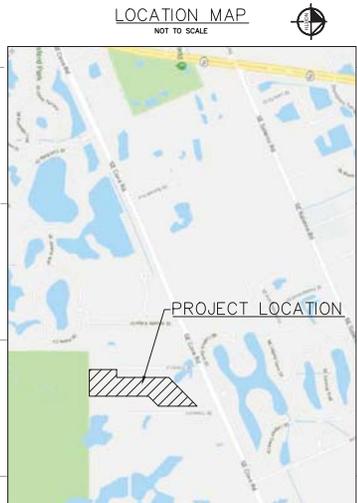
DEVELOPER/APPLICANT:
 CHARTER SCHOOLS DEVELOPMENT GROUP, LLC
 TODD LUCAS
 421 SOUTH SUMMERLIN AVE.
 ORLANDO, FL 32837
 TEL: (407) 887-8916
 EMAIL: TODD.LUCAS@SUMMITCONGROUP.COM

SURVEYOR:
 ROY INC.
 PETER ANDERSEN, FSM
 1925 SW MARTIN COUNTY HIGHWAY
 PALM CITY, FL 34909
 TEL: (772) 288-8083

SIGN LEGEND

	ACCESSIBLE PARKING (FPO-3009)	PRESERVE AREA NOTES:
	PENALTY	1. NEW CONSTRUCTION (INCLUDING FILL PROPOSED ADJACENT TO WETLAND BUFFER ZONES AND UPLAND PRESERVE AREAS) SHALL BE SET BACK A MINIMUM OF TEN FEET FOR PRIMARY STRUCTURES.
	30' STOP SIGN (R1-1)	2. SETBACKS FOR ACCESSORY STRUCTURES, SUCH AS, BUT NOT LIMITED TO, POOL DECKS, SCREEN ENCLOSURES AND DRIVEWAYS, ROADWAYS, BERMS, SHALL BE FIVE FEET.
	PRESERVE AREA	3. PRESERVE SIGNS WILL BE AT LEAST 11X14 INCHES IN SIZE AND WILL BE POSTED IN CONSPICUOUS LOCATIONS ALONG THE PRESERVE AREA BOUNDARY, AT A FREQUENCY OF NO LESS THAN ONE (1) SIGN PER 500 FEET.
	PRESERVE AREA MINIMUM 11'X14'	4. GRADED AREAS ADJACENT TO PRESERVE AREAS SHALL NOT EXCEED A SLOPE OF ONE FOOT VERTICAL TO FOUR FEET HORIZONTAL. ALL SLOPES SHALL BE PROPERLY STABILIZED UPON COMPLETION OF CONSTRUCTION TO THE SATISFACTION OF THE COUNTY ADMINISTRATOR.

- GENERAL NOTES:**
- A REGISTERED LAND SURVEYOR SHALL REPLACE SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, UPON COMPLETION OF WORK.
 - HANDICAP PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL HANDICAP SYMBOL AND EACH SPACE SHALL BE PROVIDED WITH A SIGN STATING "PARKING BY DISABLED PERMIT ONLY". ALL HANDICAP ACCESS POINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE HANDICAP CODES.
 - ALL CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS OF MARTIN COUNTY.
 - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
 - ALL PARKING LOT DIMENSIONS ARE TO THE FACE OF THE CURB AND/OR CENTER OF STRIPING (EXCEPT WHERE SHOWN).
 - ALL BUILDING DIMENSIONS ARE TO THE FACE OF THE BUILDING.
 - PARKING STALLS TO BE MARKED WITH WHITE PAINT.
 - ALL PAVEMENT MARKINGS WITHIN THE FDOT RIGHT-OF-WAY, AND WHERE OTHERWISE SPECIFIED, SHALL BE THERMOPLASTIC.
 - LIGHTING TO BE NON-GLARE AND AVOID SPILLAGE INTO ADJACENT PROPERTY.
 - MAINTENANCE OF TRAFFIC (MOT) SET UP MUST BE SUPERVISED BY A CERTIFIED PERSON, MOT SHALL BE PER FDOT ROAD 102 SERIES.
 - AS-BUILT PLANS ARE REQUIRED FROM CONTRACTOR AT TIME OF COMPLETION.
 - REMOVAL OF EXISTING CURB AND SIDEWALK SHOULD BE TO THE NEAREST JOINT.
 - ALL CURBING SHALL BE PER FDOT INDEX 500-00.
 - ALL SIGNAGE SHALL COMPLY WITH MARTIN COUNTY ORDINANCES.
 - SITE CONSTRUCTION SHALL BE PER CITY OF MARTIN COUNTY SPECIFICATIONS.
 - FOR ALL SIDEWALKS THE MAXIMUM CROSS SLOPE IS 2.0% AND THE MAXIMUM LONGITUDINAL SLOPE IS 5.0% WHEN SLOPES EXCEED 5.0% A HANDRAIL PER FDOT INDEX 515-062 SHALL BE PROVIDED.
 - CURB RAMPS OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE FLORIDA BUILDING CODE SECTION 11-4.7 CURB RAMPS.
 - UNLESS OTHERWISE NOTED ALL THE SIGNING AND PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT STANDARD PLANS FY 2018-19, AND MARTIN COUNTY TRAFFIC STANDARDS.
 - THESE CONSTRUCTION DOCUMENTS ARE CONSISTENT WITH THE APPLICABLE CITY OF MARTIN COUNTY PLAN STANDARDS AND PROVISIONS.
 - ALL AFFECTED SIDEWALKS, RAMPS, AND CROSSWALKS WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
 - ALL WORK PERFORMED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE FDOT STANDARD PLANS FY 2018-19, SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE UTILITY ACCOMMODATION MANUAL.
 - ALL PROHIBITED EXOTIC PLANT SPECIES SHALL BE REMOVED FROM THE SITE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PERPETUAL MAINTENANCE IS REQUIRED TO PROHIBIT THE REESTABLISHMENT OF INVASIVE EXOTIC SPECIES WITHIN PRESERVATION AREAS AND PLANTED LANDSCAPE OR LAKE, UTTORAL AREAS AND STORMWATER MANAGEMENT AREAS AS PROVIDED ON THE PLANS APPROVED WITH THE DEVELOPMENT ORDER.
 - PRESERVE AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE APPROVED PRESERVE AREA MANAGEMENT PLAN (PAMP).
 - PRIVATELY OWNED CHARTER SCHOOL FACILITIES ARE NOT REQUIRED TO BE DESIGNATED AS EMERGENCY SHELTERS UNDER 1013.372 F.S. FINAL DETERMINATION TO BE CONFIRMED AT END OF BUILDING PERMITTING.



CALL 2 BUSINESS DAYS BEFORE YOU DIG
 IT'S THE LAW! DIAL 811
 Know what's below. Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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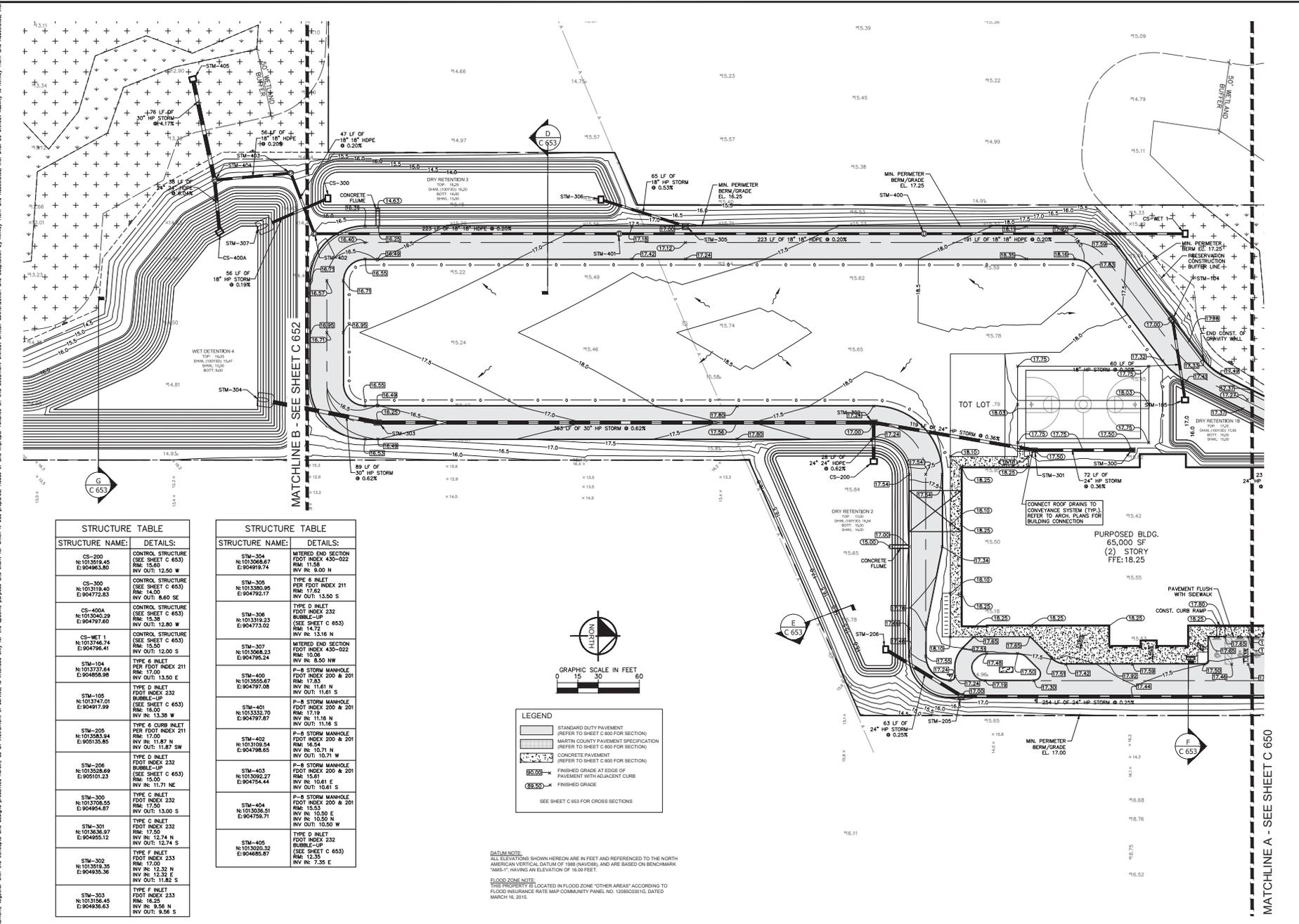
FINAL SITE PLAN (SHEET 1 OF 4)

TREASURE COAST CLASSICAL ACADEMY
 PREPARED FOR: SUMMIT CONST. GROUP
 MARTIN COUNTY, FL

SHEET NUMBER: C 500

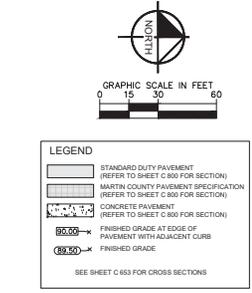
NO.	REV.	FEED BACK/COMMENTS	DATE
1			12/11/18

1. DATE: 12/17/18
 2. REV. PER SPWD/COUNTY COMMENTS
 3. DATE
 4. BY
 5. NO.



STRUCTURE NAME:	DETAILS:
CS-200 N:101519.45 E:904963.80	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 15.00 INV OUT: 12.50 W
CS-300 N:101319.40 E:904772.63	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 14.00 INV OUT: 8.00 SE
CS-400A N:101340.29 E:904797.60	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 15.35 INV OUT: 12.80 W
CS-WET 1 N:101376.74 E:904796.41	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 15.50 INV OUT: 12.00 S
STM-104 N:101373.64 E:904856.98	TYPE 6 INLET PER FOOT INDEX 211 RIM: 17.00 INV OUT: 13.50 E
STM-105 N:101374.01 E:904817.99	TYPE D INLET FOOT INDEX 232 BUBBLE-UP (SEE SHEET C 653) RIM: 16.00 INV IN: 13.38 W
STM-205 N:1013583.94 E:905135.85	TYPE 6 CURB INLET PER FOOT INDEX 211 RIM: 17.00 INV OUT: 11.87 SW
STM-200 N:1013528.89 E:905101.23	TYPE D INLET FOOT INDEX 232 BUBBLE-UP (SEE SHEET C 653) RIM: 15.00 INV IN: 11.71 NE
STM-300 N:1013708.55 E:904954.87	TYPE C INLET FOOT INDEX 232 RIM: 17.50 INV OUT: 13.00 S
STM-301 N:1013636.97 E:904955.12	TYPE C INLET FOOT INDEX 232 RIM: 17.00 INV IN: 12.74 N INV OUT: 13.32 E
STM-302 N:1013719.36 E:904935.36	TYPE F INLET FOOT INDEX 233 RIM: 17.00 INV IN: 12.32 N INV OUT: 11.82 S
STM-303 N:1013156.45 E:904963.63	TYPE F INLET FOOT INDEX 233 RIM: 16.25 INV IN: 8.56 N INV OUT: 9.56 S

STRUCTURE NAME:	DETAILS:
STM-304 N:1013068.67 E:904919.74	MITERED END SECTION FOOT INDEX 435-922 RIM: 17.62 INV IN: 9.00 N
STM-305 N:1013380.95 E:904925.17	TYPE 6 INLET PER FOOT INDEX 211 RIM: 17.62 INV OUT: 13.50 S
STM-306 N:1013319.23 E:904773.02	TYPE D INLET FOOT INDEX 232 BUBBLE-UP (SEE SHEET C 653) RIM: 14.72 INV IN: 13.16 N
STM-307 N:1013068.23 E:904795.24	MITERED END SECTION FOOT INDEX 435-922 RIM: 10.06 INV IN: 8.50 NW
STM-400 N:1013555.67 E:904797.08	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.83 INV IN: 11.61 N INV OUT: 11.61 S
STM-401 N:1013332.70 E:904797.87	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.19 INV IN: 11.18 N INV OUT: 11.18 S
STM-402 N:1013109.54 E:904798.65	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 16.54 INV IN: 10.71 N INV OUT: 10.71 W
STM-403 N:1013092.27 E:904754.44	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 15.53 INV IN: 10.50 E INV OUT: 10.12 S
STM-404 N:1013020.32 E:904685.87	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 15.53 INV IN: 10.50 E INV OUT: 10.50 W
STM-405 N:1013020.32 E:904685.87	TYPE D INLET FOOT INDEX 232 BUBBLE-UP (SEE SHEET C 653) RIM: 12.35 INV IN: 7.35 E



DATUM NOTE:
 ALL ELEVATIONS SHOWN HEREON ARE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83), AND ARE BASED ON BENCHMARK "AUS-1" HAVING AN ELEVATION OF 16.00 FEET.

FLOOD ZONE NOTE:
 THIS PROPERTY IS LOCATED IN FLOOD ZONE "OTHER AREAS" ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12985C031G, DATED MARCH 16, 2015.

*TYPE 6 AND 8 CURB INLET RIM INFORMATION SHOWN REFERENCE EDGE OF PAVEMENT ELEVATION.

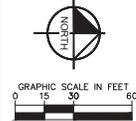
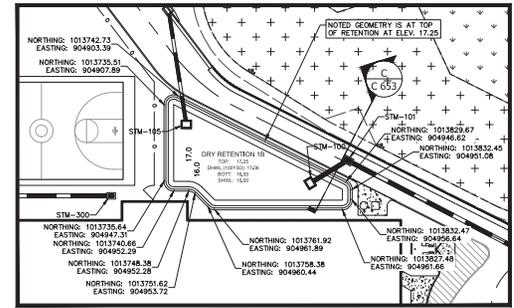
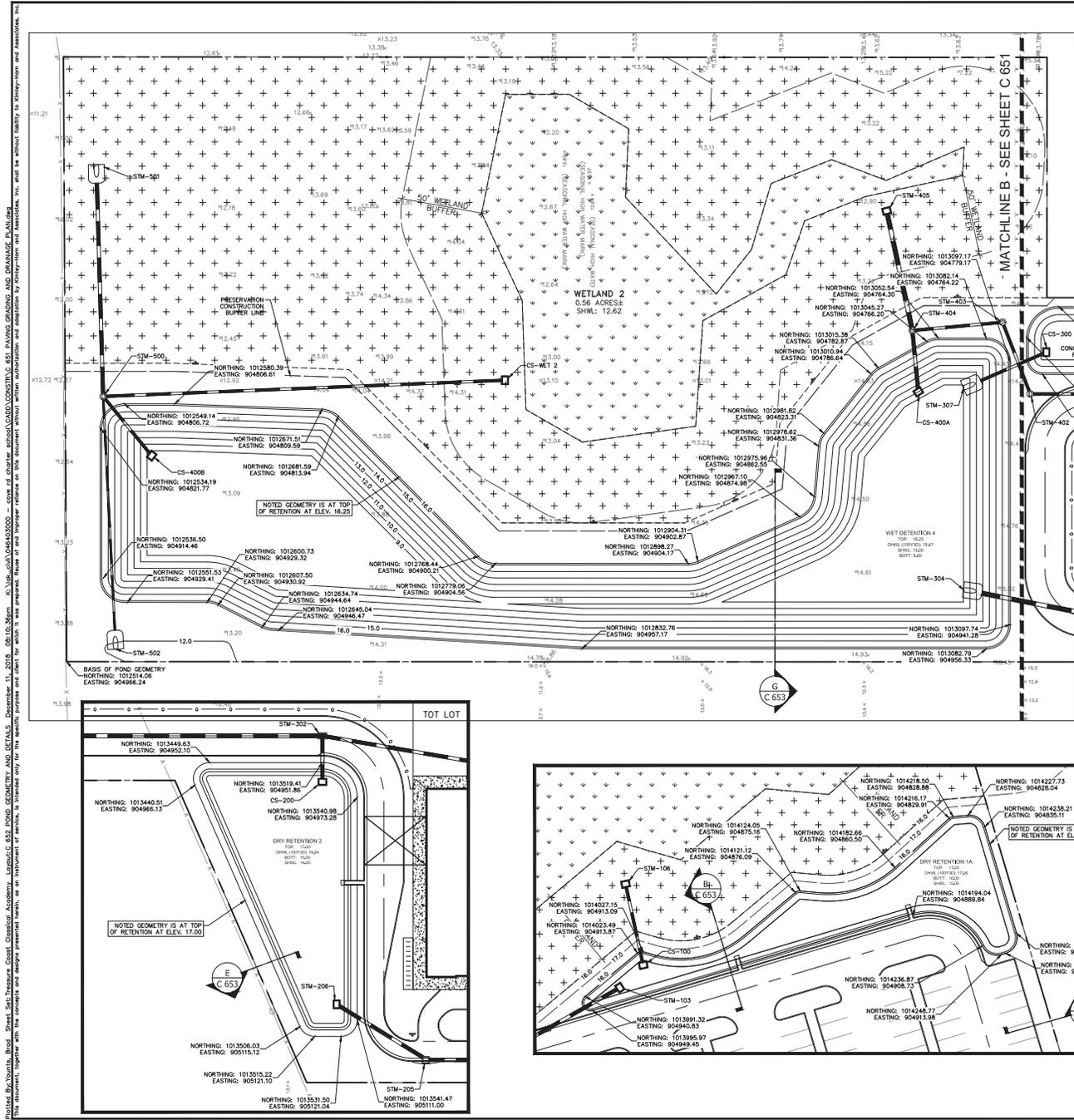
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**PAVING, GRADING
 AND DRAINAGE PLAN**

**TREASURE COAST
 CLASSICAL ACADEMY**
 PREPARED FOR
SUMMIT CONST. GROUP
 MARTIN COUNTY, FL

SHEET NUMBER
C 651

MATCHLINE A - SEE SHEET C 650
 MATCHLINE B - SEE SHEET C 652



STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
CS-300 N 1013119.40 E 904772.85	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 14.00 INV OUT: 8.60 SE
CS-400A N 1013040.29 E 904797.60	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 15.30 INV OUT: 12.00 W
CS-400B N 1012568.17 E 904838.76	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 16.00 INV OUT: 12.50 SW
CS-WET 2 N 1012794.53 E 904791.36	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 14.75 INV OUT: 12.00 S
STM-304 N 1015088.67 E 904819.74	MITERED END SECTION FOOT INDEX 430-022 RIM: 11.50 INV IN: 9.00 W
STM-307 N 1013058.23 E 904795.24	MITERED END SECTION FOOT INDEX 430-022 RIM: 11.50 INV IN: 8.50 NW
STM-402 N 1013108.54 E 904788.65	P-B STORM MANHOLE FOOT INDEX 200 & 201 RIM: 16.00 INV IN: 10.71 N INV OUT: 10.71 W
STM-403 N 1015392.27 E 904754.44	P-B STORM MANHOLE FOOT INDEX 200 & 201 RIM: 15.50 INV IN: 10.81 E INV OUT: 10.81 S
STM-404 N 1013008.81 E 904759.01	P-B STORM MANHOLE FOOT INDEX 200 & 201 RIM: 15.50 INV IN: 10.50 E INV OUT: 10.50 W
STM-405 N 1013008.32 E 904888.87	TYPE D INLET FOOT INDEX 432 RUBBLE- (SEE SHEET C 653) RIM: 12.35 INV IN: 7.35 E
STM-500 N 1012508.88 E 904802.22	P-B STORM MANHOLE FOOT INDEX 430-022 RIM: 15.50 INV IN: 11.50 E INV OUT: 11.50 W
STM-501 N 1012531.28 E 904858.88	30° MITERED END SECTION FOOT INDEX 430-022 RIM: 15.47 INV IN: 11.17 E
STM-502 N 1012544.38 E 904956.40	MITERED END SECTION FOOT INDEX 430-022 RIM: 15.47 INV OUT: 12.75 W

* TYPE S AND CURB INLET RIM INFORMATION SHOWN REFERENCES EDGE OF PAVEMENT ELEVATION

SEE SHEET C 653 FOR CROSS SECTIONS

DATUM NOTE:
ALL ELEVATIONS SHOWN HEREON ARE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8), AND ARE BASED ON BENCHMARK "AMS-1", HAVING AN ELEVATION OF 16.00 FEET.

FLOOD ZONE NOTE:
THIS PROPERTY IS LOCATED IN FLOOD ZONE "OTHER AREAS" ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 128583031G, DATED MARCH 16, 2015.

NO.	REV.	FEED / FWD / COUNTY COMMENTS	12/17/18	DATE

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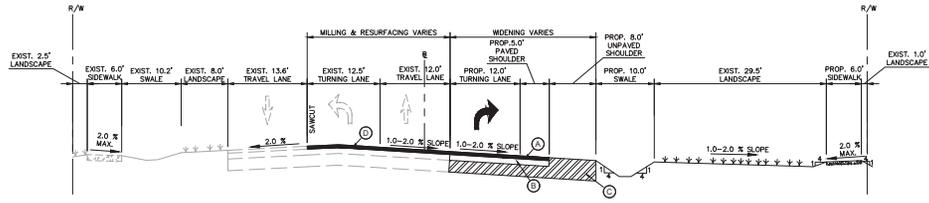
KHA PROJECT NO.	128583031G
DATE	DEC. 2018
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

POND GEOMETRY AND DETAILS

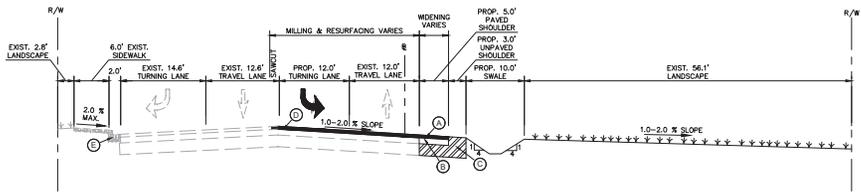
TREASURE COAST CLASSICAL ACADEMY
PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY, FL

SHEET NUMBER
C 652

Plotted By: Youth, Broad_Sheet_Sect: Treasure Coast Classical Academy - SUPPLEMENT 711 COVE ROAD CROSS-SECTIONS AND DETAILS - December 11, 2018 08:11:30am - K:\Users\youth\Documents\Projects\2018\04645000 - cove rd cross sections and details - cove rd cross sections and details.dwg
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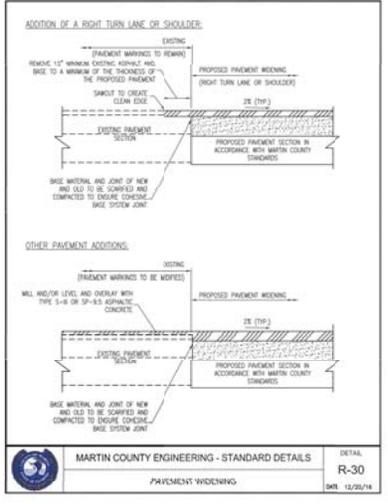
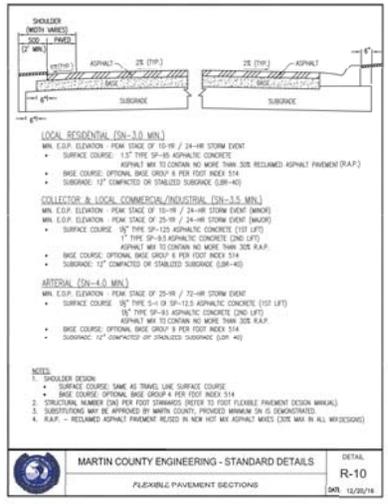


**COVE ROAD
SECTION A-A
STA: 21+94
SCALE: N.T.S.**



**COVE ROAD
SECTION B-B
(STA: 25+50)
SCALE: N.T.S.**

- COVE ROAD/ TURN LANE: TYPICAL PAVEMENT SECTION**
 PAVEMENT SECTION AS PER MARTIN COUNTY ENGINEERING DETAIL R-10.
- ① 1.5" SP-12.5 ASPHALTIC CONCRETE (1ST LIFT)
 - ② 1.0" SP-9.5 ASPHALTIC CONCRETE (2ND LIFT)
 - ③ BASE GROUP 9 PER FDOT INDEX NO. 514
 - ④ 12" STABILIZED SUBGRADE (LBR 40)
 - ⑤ MILLING AND RESURFACING:
1.0" SP-9.5 ASPHALTIC CONCRETE
 - ⑥ EXIST. TYPE "Y" CURB AND GUTTER



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1					12/17/18	BAY

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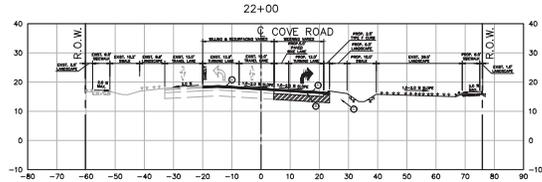
KHA PROJECT 046403000	DATE DEC. 2018
SCALE: AS SHOWN	DESIGNED BY
DRAWN BY	CHECKED BY

**COVE ROAD
CROSS-SECTIONS
AND DETAILS**

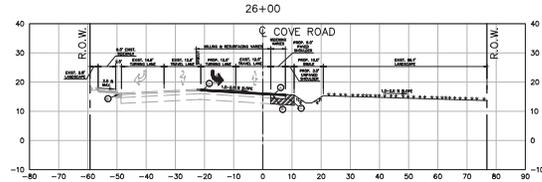
**TREASURE COAST
CLASSICAL ACADEMY**
 PREPARED FOR
SUMMIT CONST. GROUP
 MARTIN COUNTY

SHEET NUMBER
C 711

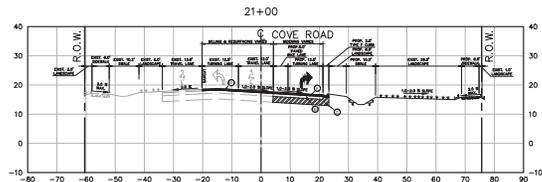
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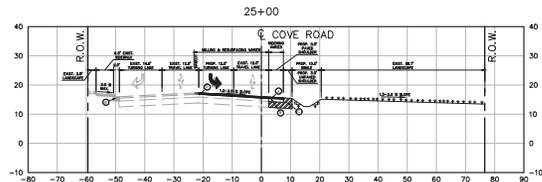
SEE COVE ROAD SECTION STA. 20+00



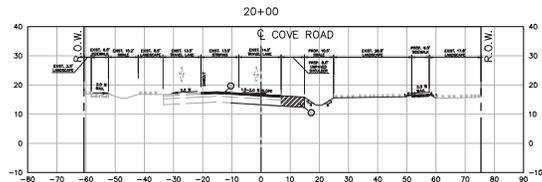
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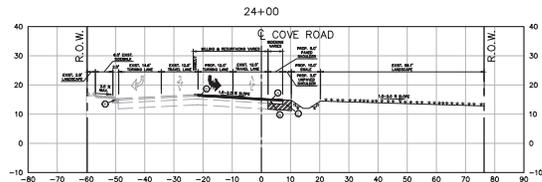
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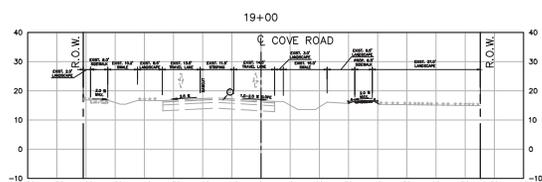
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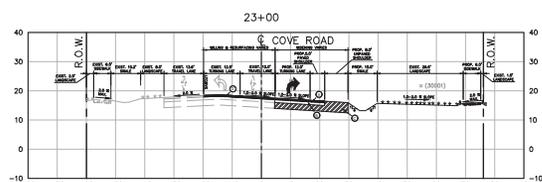
SEE COVE ROAD SECTION STA. 20+00



SEE COVE ROAD SECTION STA. 20+00



SEE COVE ROAD SECTION STA. 20+00

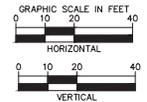


SEE COVE ROAD SECTION STA. 20+00

COVE ROAD/ TURN LANE TYPICAL PAVEMENT SECTION

PAVEMENT SECTION AS PER MARTIN COUNTY ENGINEERING DETAIL R-10.

- ① 1.5" SP-12.5 ASPHALTIC CONCRETE (1ST LIFT)
- ② 1.0" SP-9.5 ASPHALTIC CONCRETE (2ND LIFT)
- ③ BASE GROUP 9 PER FOOT INDEX NO. 514
- ④ 12" STABILIZED SUBGRADE (LBR 40)
- ⑤ MILLING AND RESURFACING
- ⑥ 1.0" SP-9.5 ASPHALTIC CONCRETE
- ⑦ EXIST. TYPE "Y" CURB AND GUTTER



No.	REV.	PER SP/MD/COUNTY COMMENTS	12/17/18	BY

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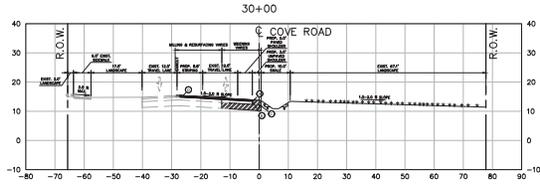
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CROSS-SECTIONS	DEC. 2018	AS SHOWN	

COVE ROAD CROSS-SECTIONS

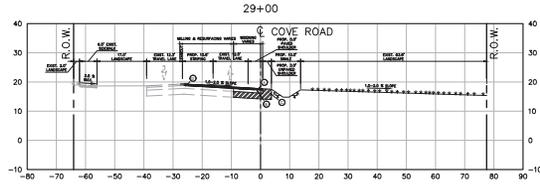
TREASURE COAST CLASSICAL ACADEMY
 PREPARED FOR SUMMIT CONST. GROUP
 MARTIN COUNTY, FL

SHEET NUMBER
C 712

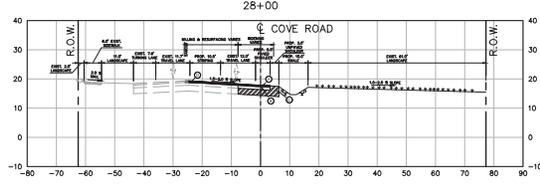
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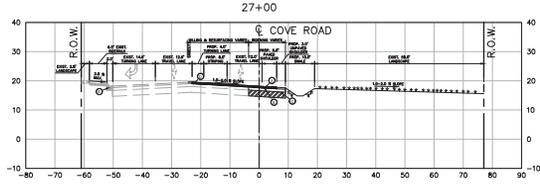
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SECTION
STA. 3000



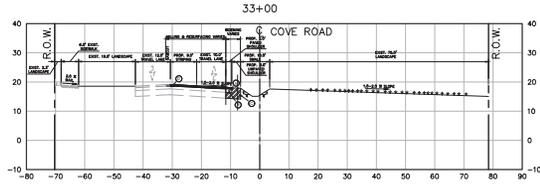
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SECTION
STA. 2900



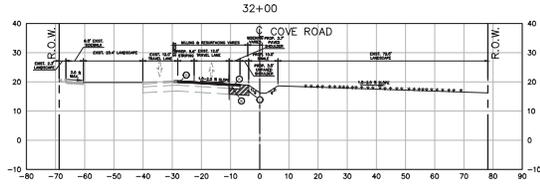
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SECTION
STA. 2800



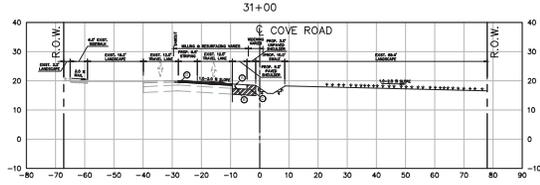
BE COVE ROAD
SECTION
STA. 2700



BE COVE ROAD
SECTION
STA. 3300



BE COVE ROAD
SECTION
STA. 3200

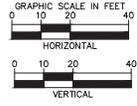


BE COVE ROAD
SECTION
STA. 3100

COVE ROAD/ TURN LANE: TYPICAL PAVEMENT SECTION

PAVEMENT SECTION AS PER MARTIN COUNTY ENGINEERING DETAIL R-10.

- ① 1.5" SP-12.5 ASPHALTIC CONCRETE (1ST LFT)
- ② 1.0" SP-9.5 ASPHALTIC CONCRETE (2ND LFT)
- ③ BASE GROUP 9 PER FOOT INDEX NO. 514
- ④ 12" STABILIZED SUBGRADE (LBR. 40)
- ⑤ MILLING AND RESURFACING
- ⑥ 1.0" SP-9.5 ASPHALTIC CONCRETE
- ⑦ EXIST. TYPE "Y" CURB AND GUTTER



No.	REV.	FEET SP/MD/COUNTY COMMENTS	DATE	BY
1			12/17/18	BAT

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
COVE ROAD	DEC. 2018	AS SHOWN			

**COVE ROAD
CROSS-SECTIONS**

TREASURE COAST
 CLASSICAL ACADEMY
 PREPARED FOR
 SUMMIT CONST. GROUP
 FL
 MARTIN COUNTY

SHEET NUMBER
C 713

MAINTENANCE OF TRAFFIC CONTROL DEVICES

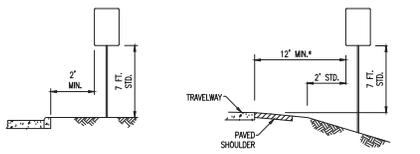
TRAFFIC SIGNS ON PRIVATELY MAINTAINED ROADS ARE THE RESPONSIBILITY OF THE MAINTAINING ENTITY. TYPICALLY, THE HOMEOWNERS OR PROPERTY OWNERS ASSOCIATION, WHERE PRIVATELY MAINTAINED ROADS INTERSECT STATE OR COUNTY MAINTAINED ROADS, THE TRAFFIC SIGNS (SUCH AS STREET NAME "BLADES" AND REGULATORY SIGNS) AND WARNINGS (SUCH AS STOP SIGNS) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND CURRENT USER (ENTIRE) OF THE COUNTY OR THE STATE. PRIOR TO THE MARTIN COUNTY SHERIFF'S OFFICE PATROLLING ON PRIVATE ROADS, AN AGREEMENT FOR TRAFFIC CONTROL ON PRIVATE ROADS MUST BE EXECUTED WITH MARTIN COUNTY. THE HOMEOWNERS OR PROPERTY OWNERS ASSOCIATION SHALL SUBMIT A CERTIFICATION OF COMPLIANCE WITH THESE REGULATIONS PRIOR TO THE EXECUTION OF THE AGREEMENT FOR TRAFFIC CONTROL ON PRIVATE ROADS; THE CERTIFICATION MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA.

THE DESIGN AND MANUFACTURING OF ALL SIGNING AND MARKINGS REQUIRED FOR THE OPERATION OF THE CONNECTION (SUCH AS STOP SIGNS AND STOP SIGNS FOR THE CONNECTION) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND CURRENT ENTITY RESPONSIBLE FOR THE CONNECTION OR GOVERNMENTAL ENTITY HAVING JURISDICTION OVER THE CONNECTION, ROAD OR INTERSECTION OF THE STATE HIGHWAY REGULATION OF THE OWNER OF THE RIGHT-OF-WAY AS PROVIDED IN CHAPTER 316, FLORIDA STATUTES.

ALL TRAFFIC CONTROL DEVICES INSTALLED ON COUNTY OR PRIVATELY MAINTAINED ROADS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS, AND THESE STANDARDS.

PLACEMENT OF TRAFFIC CONTROL DEVICES

PER FLORIDA STATUTE 316.0747, THE PLACEMENT OR POSITION OF TRAFFIC CONTROL DEVICES ALONG ROADS WHERE THE PUBLIC IS ENTERED, INCLUDING THOSE DEVICES INSTALLED ON PRIVATE PROPERTY, SHALL MEET THE STATE STANDARDS ADOPTED BY THE FDOT, WHICH INCLUDES THOSE IDENTIFIED IN THE MUTCD. IF THE STANDARD POSITION CANNOT BE ATTAINED DUE TO UNDESIRABLE OBSTRUCTIONS, ALTERNATIVE PLACEMENT MAY BE PERMITTED.



*THE SETBACK FOR STOP OR YIELD SIGNS MAY BE REDUCED TO 3' MINIMUM FROM THE DRIVEWAY LINE IF REQUIRED FOR VISIBILITY IN BUSINESS OR RESIDENTIAL AREAS WITH NO CURBS AND SPEEDS OF 30 MPH OR LESS

REGULATORY SIGNS AND MARKINGS

INSTALLATION OF STOP SIGNS SHALL BE IN ACCORDANCE WITH THE SECTION 280.7 OF THE MULTICD. MULTI-WAY STOP SIGNS SHALL BE PLACED ONLY IF APPLICABLE IN ACCORDANCE WITH SECTION 280.7 OF THE MULTICD. STOP SIGNS ARE USED TO INDICATE THAT TRAFFIC IS ALREADY REQUIRED TO STOP AND SHOULD NEVER BE USED TO STOP OR CALL PROPERTY FLOOR. STOP SIGNS SHALL BE OCEAN AND AT LEAST 30 INCHES HIGH BY 30 INCHES WIDE WITH RED "PRISMATIC SHEETING" BACKGROUND.

A STOP BAR OR LINE IS REQUIRED AT EACH LOCATION WHERE A STOP SIGN EXISTS. THE STOP BAR SHALL CONSIST OF A SOLID 24-INCH WIDE WHITE THERMOPLASTIC LINE THAT EXTENDS ACROSS THE APPROACH LANES TO INDICATE THE POINT AT WHICH THE STOP IS INTENDED OR REQUIRED TO BE MADE.

YIELD SIGNS SHALL BE USED ONLY TO CONTROL MERGE MOVEMENTS AND TO ASSIGN THE RIGHT OF WAY AT THE ENTRANCE OF A ROUNDABOUT INTERSECTION. YIELD SIGNS SHALL BE A TRIANGULAR AND NOT LESS THAN 36 INCHES ALONG EACH SIDE.

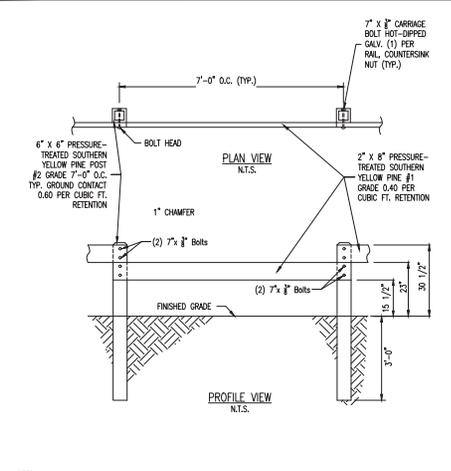
"NO RIGHT TURN" OR "NO LEFT TURN" SIGNS SHOULD BE PLACED WHERE THEY WILL BE MOST EASILY SEEN BY ROAD USERS WHO MIGHT BE INTENDING TO TURN. THESE SIGNS ARE OTHER THAN THE SUPPLEMENTAL PLACED PERMITTED TO BE PLACED ON THE POST IN CONJUNCTION WITH A STOP OR YIELD WHEN LOCATED ON OR NEAR THE RIGHT CORNER OF THE INTERSECTION. TURN PROHIBITION SIGNS SHALL BE AT LEAST 24 INCHES HIGH BY 24 INCHES WIDE.

SPEED LIMITS SHALL BE ESTABLISHED IN ACCORDANCE WITH THE FDOT'S "SPEED ZONING FOR HIGHWAYS, ROADS, AND STREETS IN FLORIDA". THE LETTERING OF SPEED LIMIT SIGNS SHALL BE IN ACCORDANCE WITH THE MULTICD, THE "STANDARD HIGHWAY SIGN" BOOK, AND THE "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVERS MARKINGS".

THE MINIMUM POSTED SPEED IN MARTIN COUNTY IS 25 MPH; HOWEVER, SCHOOL ZONES MAY BE POSTED AT 20 MPH AT CERTAIN TIMES OF THE DAY.

SPEED LIMIT SIGNS SHALL BE AT LEAST 30 INCHES HIGH BY 24 INCHES WIDE WITH WHITE "PRISMATIC SHEETING" BACKGROUND, BLACK BORDER AND LETTERING MATERIALS SHOULD MEET MUTCD STANDARDS.

FOR LOCAL ROADS WITH SPEED LIMITS OF 25 MPH, THE LETTERING ON POST-MOUNTED STREET NAME SIGNS MAY BE COMPOSED OF INITIAL UPPER-CASE LETTERS AT LEAST 4 INCHES IN HEIGHT AND LOWER-CASE LETTERS AT LEAST 3 INCHES IN HEIGHT. THE STREET NAME SIGN (BLADES) (2) PER EACH SIGN NAME, SHALL BE 6 INCHES HIGH AND MUST BE LONG ENOUGH TO ACCOMMODATE THE COMPLETE SPELLING OF THE STREET NAME. SEE MUTCD TABLE 20-2, RECOMMENDED MINIMUM LETTER HEIGHTS ON STREET NAME SIGNS. THE LETTERING SHALL BE HIGHWAY C OR HIGHWAY B FONT, 6-INCH INITIAL UPPER CASE LETTERS WITH 4.5-INCH LOWER-CASE LETTERS MAY BE USED.



- NOTES:**
1. ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED (HDS).
 2. DO NOT CUT OR GRIND HARDWARE.
 3. BOLTS SHALL NOT PROJECT BEYOND FACE OF POST.
 4. PRESSURE TREATMENT SHALL BE ALKALINE COPPER QUAT (ACQ).

STREET NAME BLADES ON COUNTY-MAINTAINED ROADS

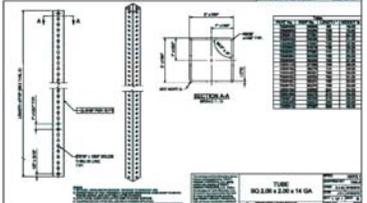
TYPE OF MOUNTING	TYPE OF STREET OR HIGHWAY	SPEED LIMIT	RECOMMENDED MINIMUM LETTER HEIGHT
OVERHEAD	ALL TYPES	ALL SPEED LIMITS	INITIAL UPPER-CASE LOWER-CASE 12 INCHES 9 INCHES
POST-MOUNTED	MULTI-LANE	MORE THAN 40 MPH	6 INCHES 6 INCHES
POST-MOUNTED	MULTI-LANE	40 MPH OR LESS	6 INCHES 4.5 INCHES
POST-MOUNTED	2-LANE	ALL SPEED LIMITS	6 INCHES 4.5 INCHES

ON LOCAL TWO-LANE STREETS WITH SPEED LIMITS OF 25 MPH OR LESS, 4-INCH INITIAL UPPER-CASE LETTERS WITH 3-INCH LOWER-CASE LETTERS MAY BE USED. THE SUPPLEMENTARY LETTERING INDICATING THE COUNTY QUARTER (SUCH AS SE) OR TYPE OF STREET (R, OR AV) SHALL BE 2-INCH CAPITAL LETTERS, AND SUPER-SCRIPTED AT ALL LOCATIONS. THE LETTERING SHALL BE AT LEAST 1 INCH FROM THE TOP, BOTTOM, AND EACH SIDE OF BLADE UNLESS SPECIFICALLY STATED OTHERWISE. THE BORDER SHALL BE WHITE AND SHALL BE AT LEAST 1/8 INCH IN THE EDGE WHERE PRACTICABLE. THE CORNERS OF THE SIGN SHALL BE ROUNDED TO FIT THE BORDER. ABBREVIATIONS SHALL BE LIMITED TO THOSE THAT ARE COMMONLY RECOGNIZED AND UNDERSTOOD. ALL STREET NAME BLADES SHALL BE MADE OF 6063 ALUMINUM. THE SIGN BACKGROUND SHALL BE WHITE PRISMATIC SHEETING BACKGROUND WITH GREEN ELECTRO-COAT OVERLAY. THE BLADES SHALL BE MOUNTED TO THE SQUARE POST WITH (2) 5/16 X 2-3/4 BOLTS WITH NYLON WASHERS, AND LOCK WASHER ATTACHED TO POST, PLUS (2) 5/16 X 3/4 BOLTS WITH NYLON WASHERS AND LOCK WASHER FOR THE END OF THE BLADES.

MATERIALS ON COUNTY-MAINTAINED ROADS

MARTIN COUNTY REQUIRES THE USE OF STEEL FLANGED SQUARE TUBE POSTS (SEE DETAIL BELOW). THE USE OF CONCRETE FOOTERS / BASES WITH THE POST IS NOT PERMITTED. THE POST SHALL BE EMBEDDED A MINIMUM 3 FEET DEEP. ALL SIGNS SHALL BE MADE OF REFLECTIVE SHEETING ON 0.080-GAUGE ALUMINUM SIGN BLANKS

ALL PAVEMENT MARKINGS SHALL BE A THERMOPLASTIC AND PAVEMENT STRIPES SHALL BE AT LEAST 6 INCHES WIDE, WHETHER WHITE OR YELLOW.

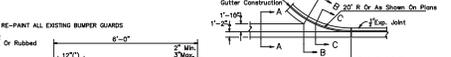
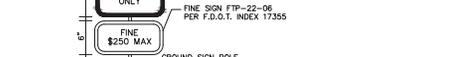
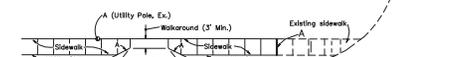
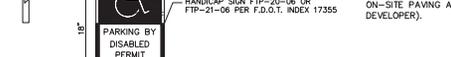
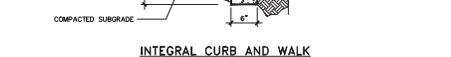
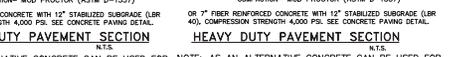
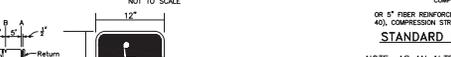
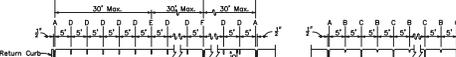
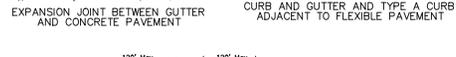
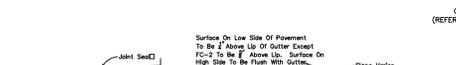


MARTIN COUNTY ENGINEERING - STANDARD DETAILS
 TRAFFIC CONTROL
 R-140A
 DATE: 12/20/16

MARTIN COUNTY ENGINEERING - STANDARD DETAILS
 TRAFFIC CONTROL
 R-140B
 DATE: 12/20/16

MARTIN COUNTY ENGINEERING - STANDARD DETAILS
 POST AND RAIL FENCE
 P-60
 DATE: 12/20/16

MARTIN COUNTY ENGINEERING - STANDARD DETAILS
 TRAFFIC CONTROL
 R-140C
 DATE: 12/20/16



JOINT LEGEND

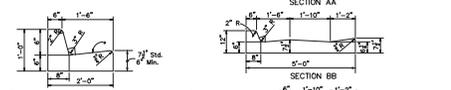
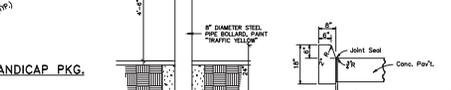
- EXPANSION JOINTS (PREFORMED JOINT FILLER)
- DUMP JOINTS, TOOLED
- FORMED OPEN JOINTS
- SAW CUT JOINTS, 1/2" DEEP (06 HOUR MAX. 5' CENTERS)
- SAW CUT JOINTS, 1/2" DEEP (12 HOUR MAX. 30' CENTERS)
- EXPANSION JOINT WHEN RUN OF SIDEWALK EXCEEDS 120' COLD JOINT WITH BOND BREAKER, TOOLED

FOOTNOTES:

- ALL 1/2" JOINTS SHALL BE CONSTRUCTED WITH PREFORMED JOINT FILLER.
- 1/8" OPEN JOINTS PLACED AT EQUAL (20' MAX.) INTERVALS FOR DRIVEWAYS OVER 20' WIDE. JOINTS IN CURB AND GUTTER TO MATCH JOINTS IN DRIVEWAYS.
- DRIVEWAYS (C) CENTERLINE SHALL BE OF A UNIFORM WIDTH (W) AS SHOWN ON SHIT. P-1.

NOTES:

1. ALL LETTERS ARE "A" SERIES "C" PER MUTCD OR AS SPECIFIED IN FDOT INDEX 17355.
2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
6. INSTALLATION HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH F.S. 553.041 (6).
7. PARKING SPACE IDENTIFICATION SIGN SHALL BE IN COMPLIANCE WITH THE 2014 FLORIDA BUILDING CODE ACCESSIBILITY SECTION 502.6.1.



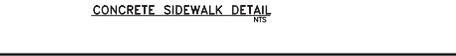
GENERAL NOTES

SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION NO. 302 EXCEPT FOR CURB CUT RAMP RAIS WHICH SHALL BE FINISHED IN ACCORDANCE WITH INDEX NO. 304

BOND BREAKER MATERIAL CAN BE ANY IMPERMEABLE COVER OR SHEET MEMBRANE OR PREFORMED MATERIAL HAVING A THICKNESS OF NOT LESS THAN 6 MILS NOR MORE THAN 1/2"

NOTES:

1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.
5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT (7' FROM PAVEMENT TO BOTTOM OF SIGN).



CONCRETE SIDEWALK DETAIL
 R-140

HANDICAP SIGN DETAIL
 R-140

BOLLARD DETAIL
 R-140

CONCRETE CURB AND GUTTER
 R-140

NO.	REV.	FEED	SP/NO.	DATE	BY
1				12/17/18	BAW

Kimley-Horn
 118 SOUTH HALEY AVENUE, LARGO, FL 34681
 WWW.KIMLEY-HORN.COM CA 00000696

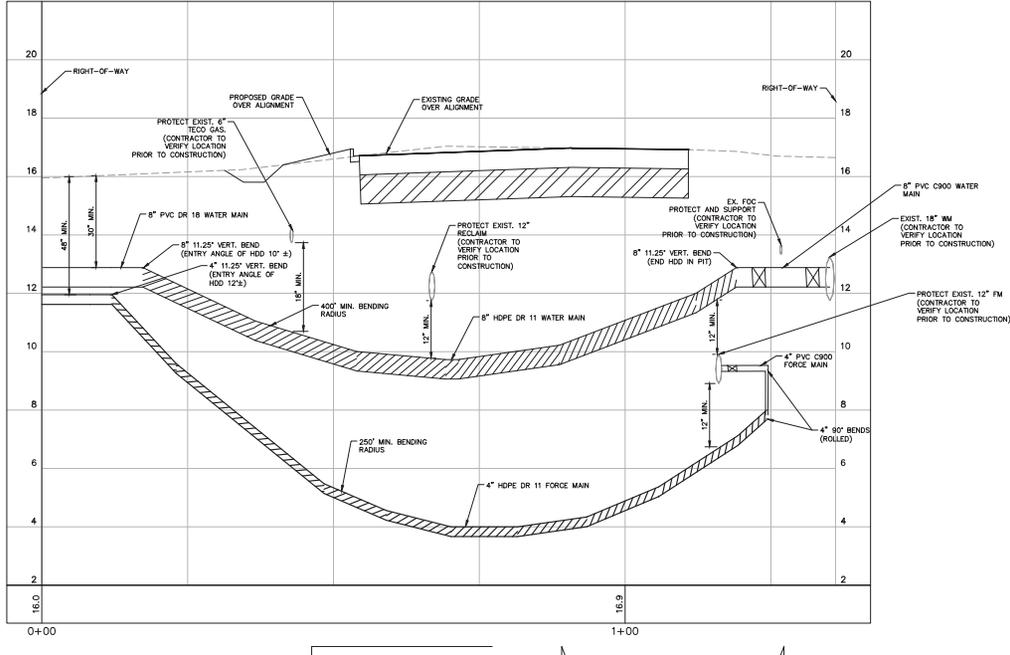
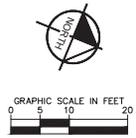
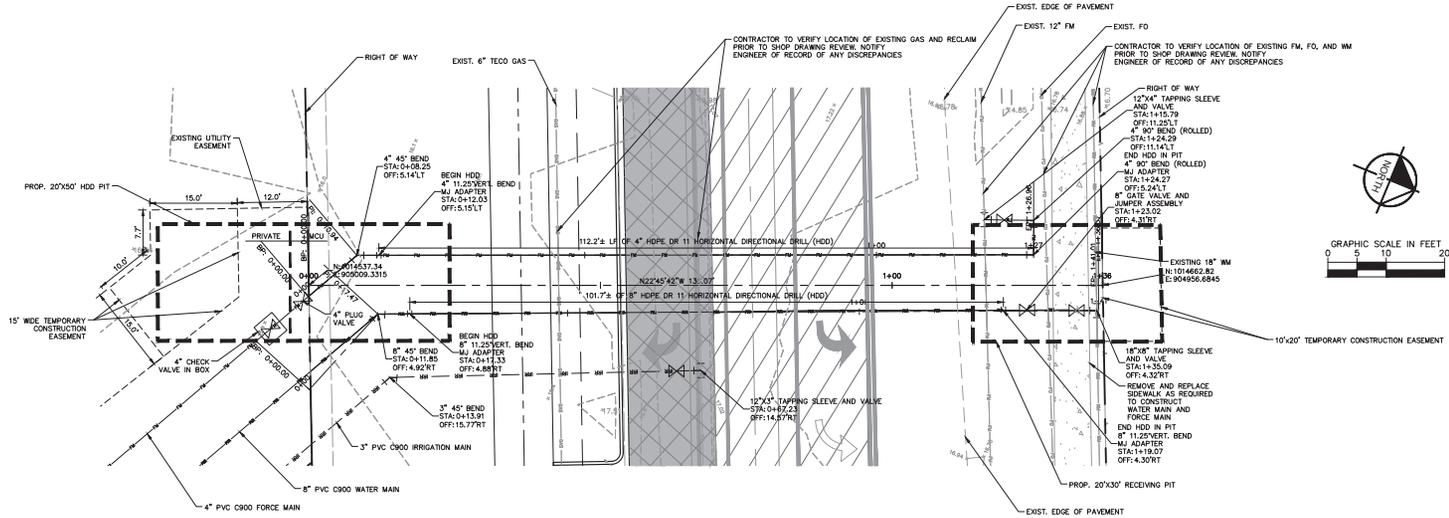
THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY:
 Andrew J. Haggerty, P.E. or 0202018 using digital signature
 Project: Curb & Gutter Details and Sidewalk Details
 The signature must be verified by electronic means.

KHA PROJECT NO. 2018-0000000000
 DATE: DEC. 2018
 SCALE: AS SHOWN
 DESIGNED BY: [Name]
 DRAWN BY: [Name]
 CHECKED BY: [Name]

TYPICAL SECTIONS AND DETAILS

TREASURE COAST CLASSICAL ACADEMY
 PREPARED FOR SUMMIT CONST. GROUP
 MARTIN COUNTY
 SHEET NUMBER C 800

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No.	REVISIONS	DATE
1	REV. PER SP/MD/COUNTY COMMENTS	12/17/18 BAY

Kimley-Horn
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 118 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801
 WWW.KIMLEY-HORN.COM CA 0000096

This plan has been electronically signed and sealed by
 Jordan L. Haggerty, P.E. on 12/20/2018 using a digital
 signature.
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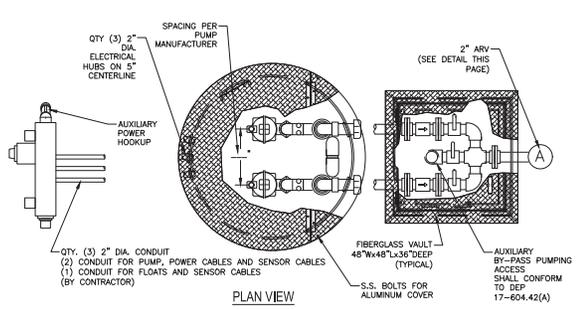
**OFFSITE UTILITY
 PLAN & PROFILE**

**TREASURE COAST
 CLASSICAL ACADEMY**
 PREPARED FOR
SUMMIT CONST. GROUP
 MARTIN COUNTY, FL

SHEET NUMBER
C 910

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WET WELL/VALVE BOX LAYOUT



GENERAL NOTES

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDRAMATIC OR HOMA OR APPROVED EQUAL). EACH PUMP SHALL BE MOUNTED ON A 60" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 3/8" DIA. GUIDE RAILS, 3/16" UPPER GUIDE BRACKET, 3/16" LIFTING RAIL AND CABLE, AND A SIX-HOOK 3/16" CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

PUMP CONSTRUCTION
 THE PUMP VOLUTE, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

IMPELLER
 THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

CUTTERS
 A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING MATERIALS FOUND IN NORMAL DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

MOTOR
 THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS; ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

SEAL CHAMBER
 THE PUMP SHALL HAVE TWO MECHANICAL SEALS, MOUNTED IN TANDEM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

WET WELL
 THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH FILET AND AN ANTI-FLOATATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

HATCH COVER
 THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL FASTENERS, RATED FOR 300 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FABRICATION, OR EQUAL.

VALVE BOX
 THE VALVE BOX IS FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 4' X 4' X 3'.

VALVES
 VALVES SHALL BE SEWAGE SWING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

FLOATS
 FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

CONTROLS
 THE CONTROL PANEL SHALL BE UL508 LISTED. A NEMA 3R ENCLOSURE SHALL BE PROVIDED IN EITHER 4X FIBERGLASS OR 3R STAINLESS STEEL. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLEX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELASPED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE PROVIDED BY CONTRACTOR.

ELECTRICAL
 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.

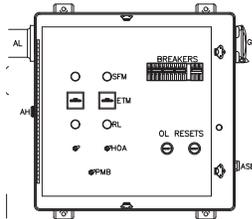
SUPPLIERS
 PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, FIBERGLASS BASIN AND VALVE BOX, CONTROL PANEL, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATIONS AND WARRANTY. THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BUSES, RAIL ASSEMBLIES, AND DISCHARGE PIPING ASSEMBLED BY BARNEY'S PUMPS INC. READY FOR FIELD INSTALLATION.

PUMP PACKAGE SHALL BE SUPPLIED BY BARNEY'S PUMPS INC. IN LAKELAND (863-665-8500), CORAL SPRINGS (954-346-0669), OR JACKSONVILLE (904-260-0669), FL.

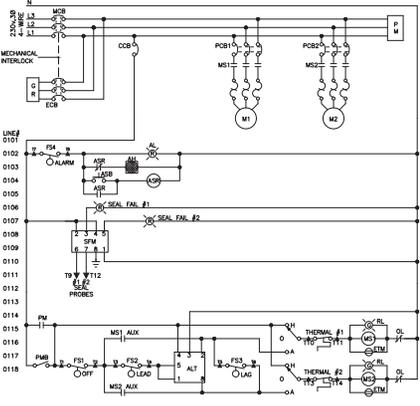
ELECTRICAL DATA

INCOMING POWER: ___V ___Ø
 (CONTRACTOR TO VERIFY)

ENCLOSURE AND DEADFRONT LAYOUT (TYPICAL) (OUTER DOOR NOT SHOWN FOR CLARITY)



THREE PHASE WIRING DIAGRAM



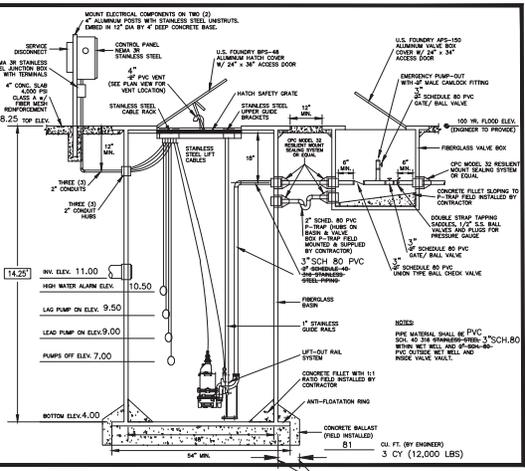
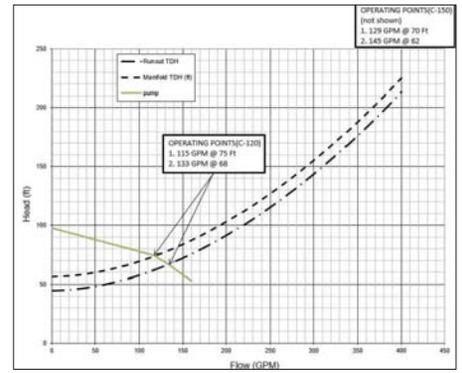
LEGEND			
ENC	ENCLOSURE	ASB	ALARM SILENCE BUTTON
MCB	MAIN CIRCUIT BREAKER	HOA	HAND OFF AUTO SWITCH
ECB	EMERGENCY CIRCUIT BREAKER	VMB	VOLT MONITOR BYPASS
PCB1,2	PUMP CIRCUIT BREAKER	RL	RUN LIGHT
CCB	CONTROL CIRCUIT BREAKER	IL	INDICATING LIGHT
MS1,2	MOTOR STARTER	SFM	SEAL FAIL MODULE
OL	OVERLOAD HEATER	ASR	ALARM SILENCE RELAY
GR	GENERATOR RECEPTACLE	RCR	RUN CAPACITOR
VM	VOLT MONITOR	SC	START CAPACITOR
ETM	ELAPSED TIME METER	STR	START RELAY
ALT	ALTERNATOR	PM	PHASE MONITOR
AH	ALARM HORN	PMB	PHASE MONITOR BYPASS
AL	ALARM LIGHT		

ALL PANELS SHALL BE UL LISTED AND CONFORM TO FLORIDA DEP 64-604.42A

- 1) GENERATOR RECEPTACLE WITH INTERLOCK FOR EMERGENCY POWER CONNECTION.
- 2) SURGE AND LIGHTNING PROTECTION SHALL BE PROVIDED BY CONTRACTOR AND MOUNTED
- 3) EXTERNAL TO THE CONTROL PANEL:
- 4) ALL PANELS, WET WELL, VALVE BOX, AND ACCESS DOORS SHALL HAVE LOCKABLE MECHANISMS. CONTRACTOR TO PROVIDE KEYED LOCKS.
- 5) POST UNOBSTRUCTED SIGN MADE OF DURABLE WEATHER RESISTANT MATERIAL WITH THE FOLLOWING:
 - PUBLIC NOTICE: IN CASE OF EMERGENCY CONTACT:
 - 6) THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.
 - 7) FLOAT SWITCHES SHALL BE UL LISTED.
 - 8) SHAFT SEAL FAIL DETECTION



PANEL MANUFACTURER SHALL BE UL 508 AND UL 698A LISTED.



PUMP DATA: MANUFACTURER, HYDRAMATIC - HPS500	
GRP34/3 MOD. No. 10.13" IMP. No.	MOTOR, 5 HP, 1750 RPM, 480V VOLTS, 3Ø PHASE, 60 HERTZ
OPERATING CONDITIONS: 115, 133 GPM AT 75.68 TDH. % EFFICIENCY	
AS-BUILT:	PUMP NO. 1: GPM AT TDH.
	PUMP NO. 2: GPM AT TDH.
WET WELL: SIZED FOR MINIMUM PUMP CYCLE TIME OF 10 MINUTES AND A MAXIMUM OF 6 PUMP STARTS PER HOUR. WORKING DEPTH 2 FT. WORKING VOLUME 188 GALS.	
ELECTRICAL: FEEDERS AND CONDUIT MAIN SWITCH POLES AMPS	
CONTRACTOR TO VERIFY VOLTAGE AND PHASE	

MARTIN COUNTY CONSTRUCTION STANDARDS & DETAILS		
REVISION	TYPE "B" LIFT STATION REQUIRED INFORMATION	DWG No. 63
AUGUST 2016		

NO.	REVISIONS	DATE
1	REV. PER SPMD/COUNTY COMMENTS	12/17/18



This plan has been electronically signed and sealed by Andrew L. Haggerty, P.E. on 02/20/2019 using digital signature. Printed Copies of this document are not considered legal and the signature must be verified on any electronic copies.

KHA PROJECT	CLASSICAL ACADEMY
DWG NO.	63
DATE	DEC. 2018
SCALE	AS SHOWN
DESIGNED BY	DR
DRAWN BY	DR
CHECKED BY	DR
CREATED BY	DR

LIFT STATION PLAN

TREASURE COAST CLASSICAL ACADEMY
 PREPARED FOR SUMMIT CONST. GROUP
 MARTIN COUNTY, FL

SHEET NUMBER C 950

