

CONSTRUCTION PLANS FOR TREASURE COAST CLASSICAL ACADEMY

PARCEL ID #: 34-38-41-001-000-00050-1
& 34-38-41-000-000-00030-7

MARTIN COUNTY, FLORIDA
DECEMBER 2018



VICINITY MAP

N.T.S.

SECTION: 34
TOWNSHIP: 38 S
RANGE: 41 E

LEGAL DESCRIPTION (from survey):

Being a Parcel of land, said Parcel being a portion of lot's 6 and 7 as shown on the Plat of Wa-Co Field Place as recorded in Plat Book 5, Page 62, Public Records of Palm Beach (now Martin) County, Florida, said Parcel also being a portion of the Southwest One Quarter of Section 34, Township 38 South, Range 41 East, said Parcel being more particularly described as follows:

Commence at the Point of Intersection of the Southerly Right-of-Way line of Cove Road as established from the Right-of-Way Map prepared by Keith and Schnars, Inc. dated October 20, 1989 and the Westerly Line of Lot 5 as shown on said Plat of Wa-Co Field Place; Thence North 66°12'15" East, along said Southerly Right-of-Way line a distance of 431.58 feet to the Point of Beginning of the following described Parcel; Thence continue along said Southerly Right-of-Way line, North 66°12'15" East, a distance of 118.88 feet to the East line of Lot 7 of said Wa-Co Field Place; Thence departing said Southerly Right-of-Way line, South 00°12'05" East, along the said East line of Lot 7 a distance of 1087.16 feet to the Southerly line of said Lot 7; Thence South 66°12'38" West, along said Southerly line a distance of 203.91 feet to the West line of said Lot 7; Thence departing said Southerly line, South 00°11'30" East along the Southerly prolongation of the West line of said Lot 7, a distance of 914.12 to the South line of the Southwest One Quarter of said Section 34; Thence North 66°29'09" West along the South line of said Southwest One Quarter a distance of 373.89 feet; Thence departing said South line, North 00°10'16" West, along the Southerly prolongation of the Westerly line of said Lot 5, a distance of 608.56 feet; Thence North 66°08'43" West, a distance of 148.50 feet; Thence North 00°08'43" West, a distance of 209.52 feet to the South line of Lot 5 of said Wa-Co Field Place; Thence North 66°12'38" East, along the South line of said Lot 5 a distance of 41.63 feet to the East line of said Lot 5; Thence North 00°10'56" West, along said East line a distance of 879.05 feet; Thence departing said East line, North 73°14'56" East, a distance of 337.23 feet; Thence North 00°12'05" West, a distance of 103.95 feet to the Beginning of a curve concave to the southwest having a radius of 135.00 feet; Thence Northwest along the arc of said curve through a central angle of 28°29'46" a distance of 66.79 feet to the Point of Reverse Curvature of a curve concave to the Northeast having a radius of 165.00 feet; Thence North along the arc of said curve through a central angle of 16°35'42" a distance of 47.84 feet; Thence North 61°02'01" West, non-tangent to the last described curve a distance of 30.26 feet to the Southerly Right-of-Way of said Cove Road and the Point of Beginning.

Containing 14.22 acres, more or less



PROJECT TEAM:

CIVIL ENGINEER:

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DEVELOPER/APPLICANT:

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ORLANDO, FL 32801
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SURVEYOR:

GCV, INC.
PETER ANDERSON, PSM
1505 SW MARTIN COUNTY HIGHWAY
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UTILITY INFORMATION

WATER/WASTEWATER:

MARTIN COUNTY UTILITIES
2378 SE OCEAN BOULEVARD
STUART, FL 34996
TEL: (772) 221-1442
LEO REPETTI

POWER:

FLORIDA POWER & LIGHT
4406 SW CARGO WAY
PALM CITY, FL 34990
TEL: (772) 804-0973
BOBBY PRISON

TELEPHONE:

UC SYNERGETIC (AT&T)
4400 WEST EAU GALIE BOULEVARD, SUITE 160
MELBOURNE, FL 32934
TEL: (321) 426-2086
CHRISTOPHER PROST

TRAFFIC

MARTIN COUNTY TRAFFIC ENGINEERING
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STUART, FL 34996
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JOHN WELAND

CABLE/INTERNET:

COMCAST
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PALM BEACH GARDENS, FL 33410
TEL: (561) 804-0973
ANTHONY SPRINGSTEEL

GAS:

TECO PEOPLES GAS SYSTEM
5101 NW 21ST AVENUE, SUITE 460
FORT LAUDERDALE, FL 33309
MAX J. CHAMORRO

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Kimley»Horn
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This has been electronically signed and sealed by
Jordan L. Haggerty, P.E. on 12/1/2018 using digital
signature.
Printed Copies of this document are of combined legal
and the signature must be related to any electronic copies.

COVER SHEET

TREASURE COAST
CLASSICAL ACADEMY
PREPARED FOR
SUMMIT CONST. GROUP
FL
MARTIN COUNTY

SHEET NUMBER
C 100

Noted: 12/11/18, Item 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (FY 2017-18) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES. SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE NOTICED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DETRIMENTAL MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY. THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES NEAR OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK, THE CONTRACTOR SHALL PROVIDE TWO (2) BUSINESS DAYS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH SHALL BE CONTACTED MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCY FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. PRIOR TO THE START OF THE CLEARING & GRUBBING, OR ANY SOIL DISTURBANCE, CONTACT NC STORMWATER MANAGEMENT AT (772) 228-5466 FOR A SOIL EROSION AND SEDIMENT CONTROL, PRE-INSPECTION MEETING.
5. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND MARTIN COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (FY 2017-18) IF NOT COVERED BY LOCAL REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOODED.
3. TRAFFIC CONTROL ON ALL RIGHT AND LOCAL RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RESGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SOODED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DETERMINING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOODED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL GARDEN AREAS WILL BE SOODED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
17. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
18. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
19. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.
20. SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINGLEHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, MARTIN COUNTY WATER, AND THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) AND ADOPT ONE (1) OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SFWMD.
21. IF THE SLUMPING OR SINGLEHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND STOP WORK UNTIL THE COUNTY AND SFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
22. TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREA.
23. VISUALLY INSPECT THE AFFECTED AREA.
24. EXCAVATE AND BACKFILL OR GROUT, AS REQUIRED, TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
25. USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION WHEN APPROPRIATE.
26. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO (2) FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMEROCK OR KARST CONNECTION.
27. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.

WATER, SEWER AND FORCE MAIN UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, FORCE MAINS, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEMS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE FLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING, AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS, WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAYING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANHOLE TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER, AND JURISDICTIONAL AGENCY AS REQUIRED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM WHICH TESTS ARE NECESSARY PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN INCLUDED, THE STANDARD SETS, THE PLAN NARRATIVE ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICES, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL PLANTATION PERMITS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DEVELOP AND DENOTE A PLAN THAT MUST MEET OR EXCEED FDEP REQUIREMENTS.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OR CONTROL IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE COLLECTED, STORED, AND DISPOSED OF IN A LEGAL MANNER. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.

EROSION CONTROL NOTES (CONT.)

15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPLIED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE STORMWATER POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE AND OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETEIORATION.
 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 881 OF THE STANDARD SPECIFICATIONS.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TREASURE COAST
CLASSICAL ACADEMY

PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY

SHEET NUMBER
C 200

FL

GENERAL NOTES

12/11/18
DATE

BY

1
REV.

FEET
SFWMD/COUNTY

COMMENTS

12/11/18
DATE

BY

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The plan has been electronically signed and sealed by
Julian L. Huggins, P.E. on 12/11/2018 using digital
signature.
Printed Copies of this document are not considered legal
and the signature must be verified on any electronic copy.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

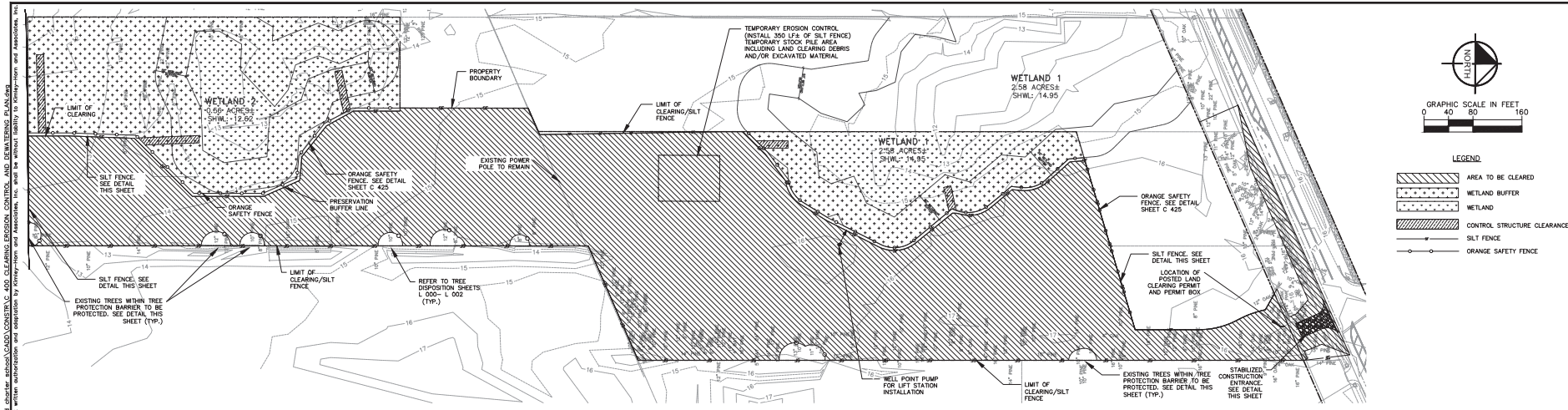


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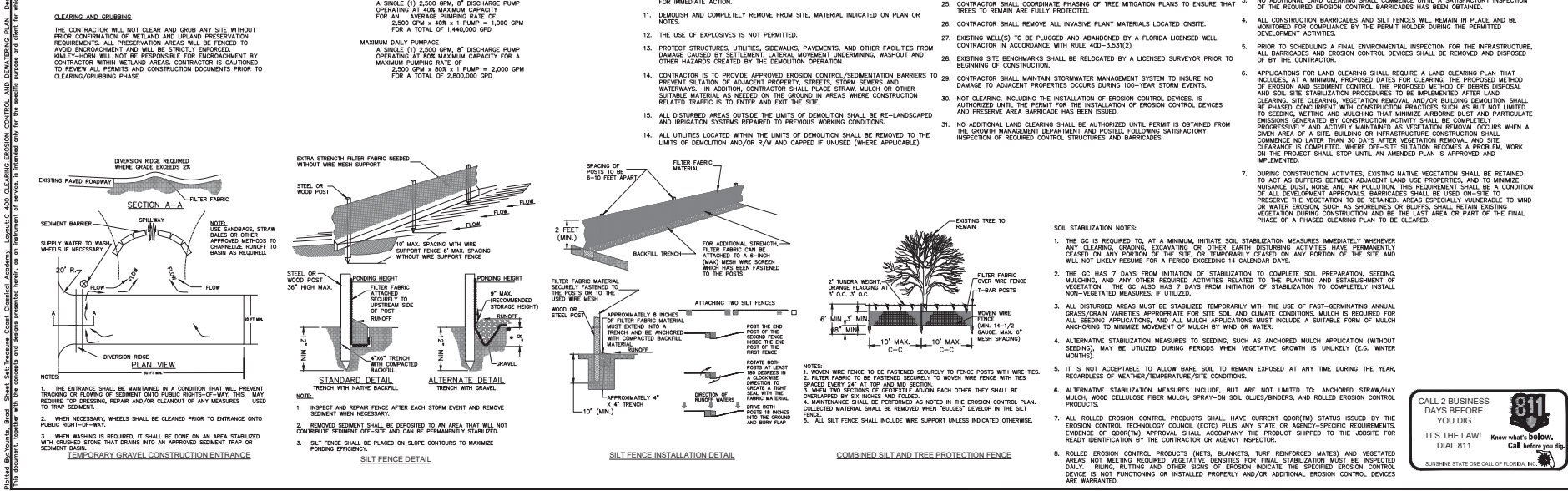
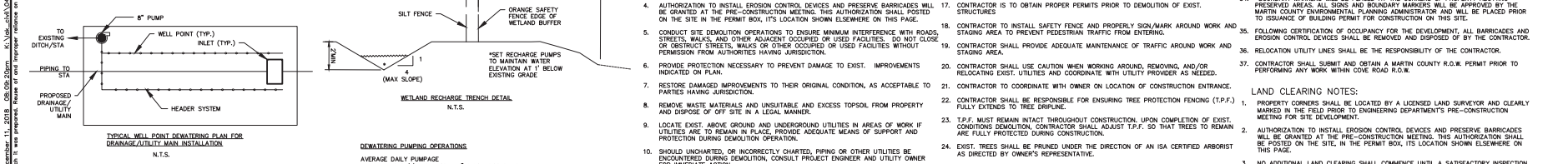
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[illegible]



- ORDER OF EXCAVATION**
1. INSTALL SILT FENCES AND ORANGE SILT FENCES.
 2. CONSTRUCT WETLAND RECHARGE TRENCH.
 3. INSTALL WELL POINTS OR UNDERGROUND SOAK DRAINS AS NEEDED.
 4. PIPE DISCHARGE TO DOWNSLOPE CELL/RECHARGE TRENCH.
 5. SET DOWNSLOPE PUMPS AS NEEDED FOR INSTALLATION OF UTILITIES.
 6. PUMP TO RECHARGE TRENCH AND DOWNSLOPE CELL.
- DEMOLITION NOTES:**
1. ALL AREAS WITHIN THE LIMITS OF DEMOLITION SHALL BE CLEARED AND GRUBBED.
 2. ALL DEMOLITION SHALL BE WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
 3. PROPERTY CORNERS SHALL BE LOCATED BY A LICENSED LAND SURVEYOR AND CLEARLY MARKED IN THE FIELD PRIOR TO THE ENGINEERING DEPARTMENT'S PRE-CONSTRUCTION MEETING FOR SITE DEVELOPMENT.
 4. AUTHORIZATION TO INSTALL EROSION CONTROL DEVICES AND PRESERVE BARRICADES WILL BE GRANTED AT THE PRE-CONSTRUCTION MEETING. THIS AUTHORIZATION SHALL POSTED ON THE SITE IN THE PERMIT BOX, ITS LOCATION SHOWN ELSEWHERE ON THIS PAGE.
 5. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 6. PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXIST. IMPROVEMENTS INDICATED ON PLAN.
 7. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
 8. REMOVE WASTE MATERIALS AND UNSUITABLE AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF-SITE IN A LEGAL MANNER.
 9. LOCATE EXIST. ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK IF UTILITIES ARE TO REMAIN IN PLACE. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION OPERATION.
 10. SHOULD UNCHARTED, OR INCORRECTLY CHARTED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING DEMOLITION, CONSULT PROJECT ENGINEER AND UTILITY OWNER FOR IMMEDIATE ACTION.
 11. DEMOLISH AND COMPLETELY REMOVE FROM SITE MATERIAL INDICATED ON PLAN OR NOTES.
 12. THE USE OF EXPLOSIVES IS NOT PERMITTED.
 13. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.
 14. CONTRACTOR IS TO PROVIDE APPROVED EROSION CONTROL/SEDIMENTATION BARRIERS TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW MULCH OR OTHER SUITABLE MATERIAL AS NEEDED ON THE GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE.
 15. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF DEMOLITION SHALL BE RE-LANDSCAPED AND IRRIGATION SYSTEMS REPAIRED TO PREVIOUS WORKING CONDITIONS.
 16. ALL UTILITIES LOCATED WITHIN THE LIMITS OF DEMOLITION SHALL BE REMOVED TO THE LIMITS OF DEMOLITION AND/OR R/W AND CAPPED IF UNUSED (WHERE APPLICABLE).
 17. UNLESS OTHERWISE NOTED.
 18. ALL EXIST. CURBING AND ASPHALT PAVEMENT WITHIN THE LIMITS OF DEMOLITION SHALL BE SAW CUT AND REMOVED UNLESS OTHERWISE NOTED.
 19. CONTRACTOR TO FIELD VERIFY PRESENCE OF ALL ASPHALT OR CONCRETE PAVEMENT WITHIN THE LIMITS OF DEMOLITION IF APPLICABLE.
 20. CONTRACTOR IS TO OBTAIN PROPER PERMITS PRIOR TO DEMOLITION OF EXIST. STRUCTURES.
 21. CONTRACTOR TO INSTALL SAFETY FENCE AND PROPERLY SIGN/MARK AROUND WORK AND STAGING AREA TO PREVENT PEDESTRIAN TRAFFIC FROM ENTERING.
 22. CONTRACTOR SHALL PROVIDE ADEQUATE MAINTENANCE OF TRAFFIC AROUND WORK AND STAGING AREA.
 23. CONTRACTOR SHALL USE CAUTION WHEN WORKING AROUND, REMOVING, AND/OR RELOCATING EXIST. UTILITIES AND COORDINATE WITH UTILITY PROVIDER AS NEEDED.
 24. CONTRACTOR TO COORDINATE WITH OWNER ON LOCATION OF CONSTRUCTION ENTRANCE.
 25. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING TREE PROTECTION FENCING (T.P.F.) FULLY EXTENDS TO TREE DRUPLINE.
 26. T.P.F. MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. UPON COMPLETION OF EXIST. CONDITIONS DEMOLITION CONTRACTOR SHALL ADJUST T.P.F. SO THAT TREES TO REMAIN ARE FULLY PROTECTED DURING CONSTRUCTION.
 27. EXIST. TREES SHALL BE PRUNED UNDER THE DIRECTION OF AN ISA CERTIFIED ARBORIST AS DIRECTED BY OWNER'S REPRESENTATIVE.
 28. CONTRACTOR SHALL COORDINATE PHASING OF TREE MITIGATION PLANS TO ENSURE THAT TREES TO REMAIN ARE FULLY PROTECTED.
 29. CONTRACTOR SHALL REMOVE ALL INVASIVE PLANT MATERIALS LOCATED ON-SITE.
 30. EXISTING WELLES TO BE PULGED AND ABANDONED BY A FLORIDA LICENSED WELL CONTRACTOR IN ACCORDANCE WITH RULE 400-3.35(10).
 31. NO CLEARING, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES, IS AUTHORIZED UNTIL THE PERMIT FOR THE INSTALLATION OF EROSION CONTROL DEVICES AND PRESERVE AREA BARRICADE HAS BEEN ISSUED.
 32. NO ADDITIONAL LAND CLEARING SHALL BE AUTHORIZED UNTIL PERMIT IS OBTAINED FROM THE GROWTH MANAGEMENT DEPARTMENT AND POSTED, FOLLOWING SATISFACTORY INSPECTION OF REQUIRED CONTROL STRUCTURES AND BARRICADES.
 33. ALL CONSTRUCTION BARRICADES AND SILT FENCES WILL REMAIN IN PLACE AND MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING THE PERMITTED DEVELOPMENT ACTIVITIES.
 34. PRIOR TO SCHEDULING A FINAL ENVIRONMENTAL INSPECTION FOR THE INFRASTRUCTURE, ALL BARRICADES AND EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
 35. APPLICATIONS FOR LAND CLEARING SHALL REQUIRE A LAND CLEARING PLAN THAT INCLUDES, AT A MINIMUM, PROPOSED DATES FOR CLEARING, THE PROPOSED METHOD OF EROSION AND SEDIMENT CONTROL, THE PROPOSED METHOD OF DEBRIS DISPOSAL AND SOIL SITE STABILIZATION PROCEDURES TO BE IMPLEMENTED AFTER LAND CLEARING. SITE STABILIZATION PROCEDURES FOR THE INFRASTRUCTURE SHALL BE PHASED CONCURRENT WITH CONSTRUCTION PRACTICES SUCH AS BUT NOT LIMITED TO SEEDING, MULCHING, AND OTHER MAINTENANCE AS VEGETATION REMOVAL OCCURS WHEN A GIVEN AREA OF A SITE, BUILDING OR INFRASTRUCTURE CONSTRUCTION SHALL COMMENCE NO LATER THAN 30 DAYS AFTER VEGETATION REMOVAL AND SITE CLEARANCE IS COMPLETED, WHERE OFF-SITE SILTATION BECOMES A PROBLEM, WORK ON THE PROJECT SHALL STOP UNTIL AN AMENDED PLAN IS APPROVED AND IMPLEMENTED.
 36. DURING CONSTRUCTION ACTIVITIES, EXISTING NATIVE VEGETATION SHALL BE RETAINED TO ACT AS BUFFERS BETWEEN ADJACENT LAND USE PROPERTIES, AND TO MINIMIZE NUISANCE DUST, NOISE AND AIR POLLUTION. THIS REQUIREMENT SHALL BE A CONDITION OF ANY APPROVALS. BARRICADES SHALL BE USED TO PREVENT CONSTRUCTION FROM PRESERVE THE VEGETATION TO BE RETAINED. AREAS ESPECIALLY VULNERABLE TO WIND OR WATER EROSION, SUCH AS SLOPES, SHALL BE STABILIZED WITH MULCH OR STRAW MULCH. VEGETATION DURING CONSTRUCTION AND BE THE LAST AREA OR PART OF THE FINAL PHASE OF A PHASED CLEARING PLAN TO BE CLEARED.



811

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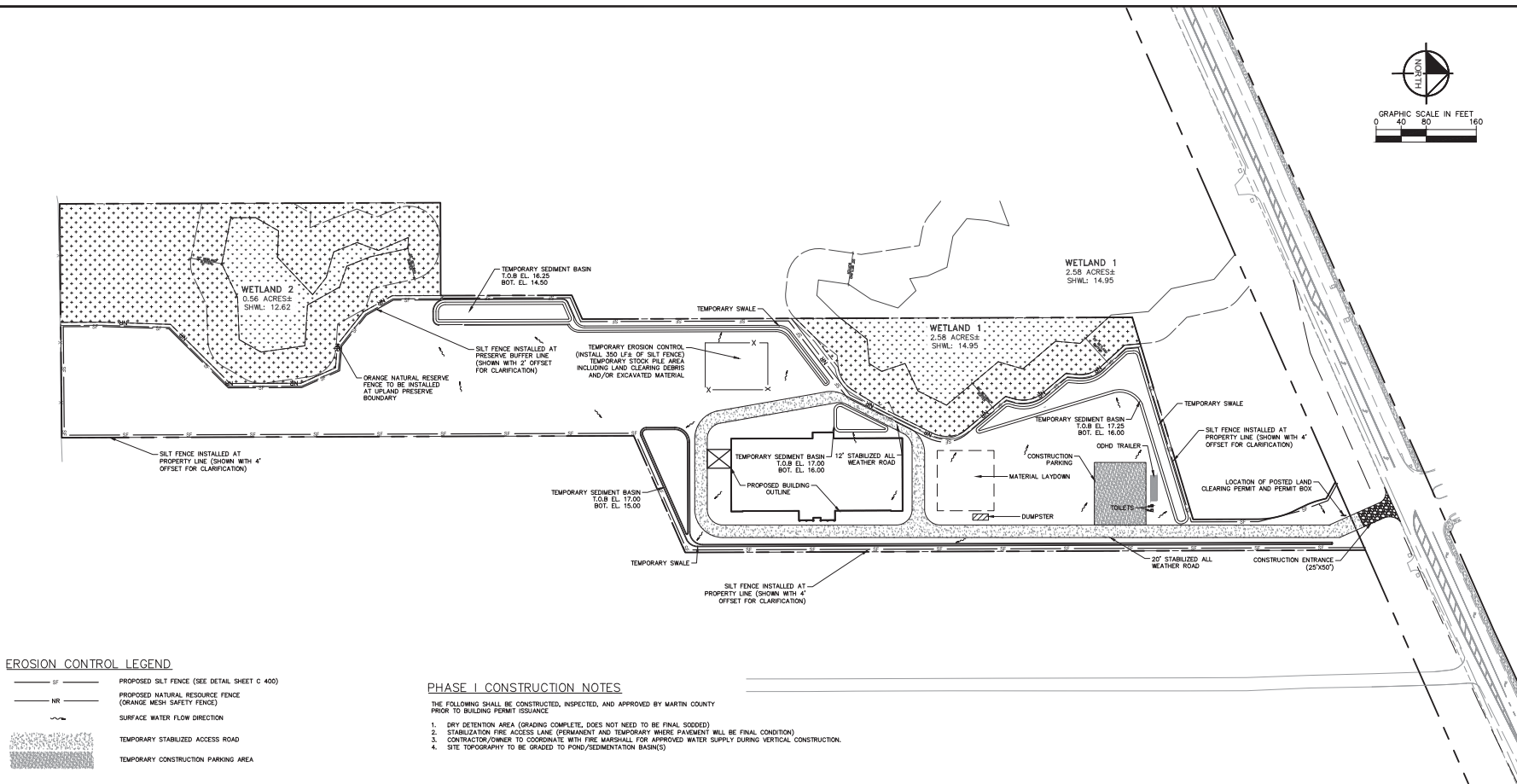
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SUMMIT CONST. GROUP






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REVISIONS

NO.	REVISIONS	DATE
1	REV. FEE SP/MD/COUNTY COMMENTS	12/17/18 BAY



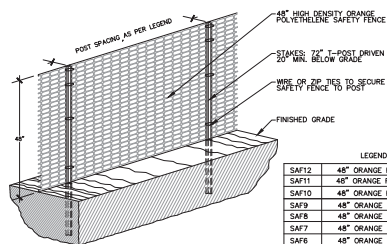
EROSION CONTROL LEGEND

- | | |
|---|---|
|  | PROPOSED SILT FENCE (SEE DETAIL SHEET C 400) |
|  | PROPOSED NATURAL RESOURCE FENCE
(ORANGE MESH SAFETY FENCE) |
|  | SURFACE WATER FLOW DIRECTION |
|  | TEMPORARY STABILIZED ACCESS ROAD |
|  | TEMPORARY CONSTRUCTION PARKING AREA |

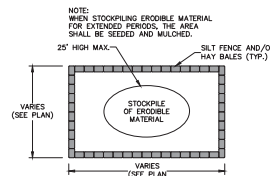
PHASE I CONSTRUCTION NOTES

THE FOLLOWING SHALL BE CONSTRUCTED, INSPECTED, AND APPROVED BY MARTIN COUNTY
PRIOR TO BUILDING PERMIT ISSUANCE

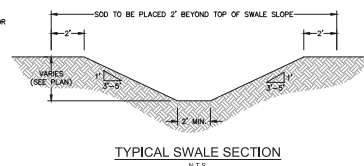
1. DRY DETENTION AREA (GRADING COMPLETE, DOES NOT NEED TO BE FINAL SODDED)
2. STABILIZATION FIRE ACCESS LANE (PERMANENT AND TEMPORARY WHERE PAVEMENT WILL BE FINAL CONDITION)
3. CONTRACTOR/OWNER TO COORDINATE WITH FIRE MARSHALL FOR APPROVED WATER SUPPLY DURING VERTICAL CONSTRUCTION.
4. SITE TOPOGRAPHY TO BE GRADED TO POND/SEDIMENTATION BASIN(S)



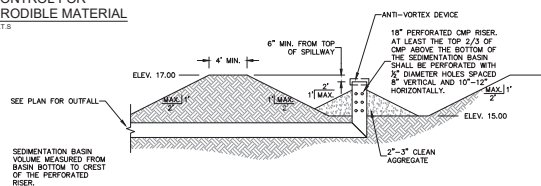
SENSITIVE AREA/TREE PROTECTION



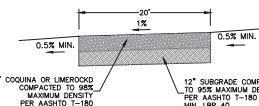
SEDIMENT CONTROL FOR STOCKPILING OF ERODIBLE MATERIAL



TYPICAL SWALE SECTION



SEDIMENT BASIN WITH PIPE OUTLET



TEMPORARY STABILIZED
ACCESS ROAD
N.T.C.

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CLEARING AND SITE PREPARATION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE EROSION CONTROL DEVICES, AS SHOWN ON THE CONSTRUCTION PLANS PRIOR TO ANY SITE CLEARING AND/OR DEMOLITION. REFER TO THE "EROSION CONTROL NOTES" SECTION CONTAINED HEREIN FOR ADDITIONAL REQUIREMENTS.
2. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN, AS INDICATED ON THE CONSTRUCTION PLANS, SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND THE LOCAL AGENCY HAVING JURISDICTION OVER THESE ACTIVITIES.
3. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. ALL REMOVED MATERIALS SHALL BE STOCKPILED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
4. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING ACTIVITIES SHALL BE STOCKPILED, EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE, PROVIDED THE MATERIAL IS OBTAINED FROM THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO EITHER BE STOCKPILED ON-SITE, AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING ANY EXCESS MATERIAL FROM THE SITE.
5. ALL EXISTING DEBRIS (ABOVE OR BELOW GROUND), CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
6. THE CONTRACTOR IS TO PREPARE THE SITE IN ACCORDANCE WITH THE SOILS REPORT, COPIES OF WHICH ARE AVAILABLE THROUGH THE OWNER OR SOILS TESTING COMPANY DIRECTLY.
7. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY CONSTRUCTION FENCE AROUND ENTIRE PERIMETER OF PROPERTY. TYPE OF FENCE TO BE SUBMITTED BY CONTRACTOR TO ENGINEER FOR APPROVAL.
8. THE CONTRACTOR SHALL REMOVE ALL VEGETATION, SURPLUS SOIL, DEMOLITION RUBBLE, AND OTHER UNSERVICEABLE MATERIALS, SUCH MATERIALS SHALL BE PROMPTLY HAULED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH GOVERNING LAWS AND ORDINANCES.

EROSION AND SILTATION CONTROL:

1. GENERAL: ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION. DURING CONSTRUCTION, CLEARED AREAS SHALL BE COVERED WITH STRAW, HAY AND FILTER FABRIC. ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS OR BARRIERS. THESE BARRIERS SHALL BE FULLY OPERATIVE BEFORE ANY OTHER CONSTRUCTION PROCESS TO MINIMIZE DOWNSTREAM SILTATION. WHEN CONSTRUCTION IS COMPLETED, DETENTION AREAS WILL BE RESEED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SEEDING TO PROPERLY DENOTE THE INTENDED STORM QUANTITIES.
2. PROTECTION AND STABILIZATION OF ON-SITE SOIL STOCKPILES: ALL MATERIAL STOCKPILES SHALL BE PROTECTED AT ALL TIMES. STOCKPILES SHALL BE COVERED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOIL, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS, AND WHICH MUST BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
3. PROTECTION OF EXISTING STORM SEWER SYSTEMS: DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOIL, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS, AND WHICH MUST BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
4. SEDIMENT BASINS AND SEDIMENT TRAPPING MEASURES: PERMIT BARRIERS, SEDIMENT BARRIERS, VEGETATIVE BUFFERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT AND/OR PREVENT THE TRANSPORT OF SEDIMENT INTO ADJACENT PROPERTIES, OR INTO EXISTING BODIES OF WATER, MUST BE INSTALLED, CONSTRUCTED OR, IN THE CASE OF VEGETATIVE BUFFERS, PROTECTED FROM DISTURBANCE, AS A FIRST STEP IN THE LAND ALTERATION PROCESS. SUCH SYSTEMS SHALL BE FULLY OPERATIVE BEFORE ANY OTHER DISTURBANCE OF THE SITE BEGINS. EARTH STRUCTURES INCLUDING BUT NOT LIMITED TO BERM, EARTH FILTERS, DAMS OR DICES SHALL BE STABILIZED AND PROTECTED FROM DRAINAGE DAMAGE OR EROSION WITHIN ONE WEEK OF INSTALLATION.
5. SWALES, DITCHES AND CHANNELS: CHANNELS LEADING FROM THE SITE SHALL BE SOEDED WITH ARGENTINE BAHIA WITHIN THREE (3) DAYS OF EXCAVATION.
 - A. NO MORE THAN 500 LINEAR FEET OF TRENCH SHALL BE OPEN AT ANY ONE TIME;
 - B. EXCAVATED MATERIAL SHALL BE CAST TO THE UPHILL SIDE OF ANY TRENCH AS LONG AS SAFETY AND SOIL CONSERVATION ALLOW. TRENCH MATERIAL SHALL NOT BE CAST INTO, (ON TOP OF THE SLOPE OF) ANY STREAM, CHANNEL, ROAD, DITCH OR WATERWAY.
6. ALL EROSION AND SILTATION CONTROL DEVICES SHALL BE REGULARLY INSPECTED AND MAINTAINED, (ESPECIALLY AFTER EACH RAINFALL) AND WILL BE CLEANED OUT AND/OR REPAIRED AS REQUIRED.
7. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO RAIN SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE STORMWATER SYSTEM.
8. APPLICATION RATES AND METHODS FOR USE OF FERTILIZERS AND PESTICIDES AT THE CONSTRUCTION SITE SHALL CONFORM WITH ALL LOCAL AND STATE ORDINANCES. NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION SUCH THAT DISTURBANCES WILL NOT CAUSE OR CONTRIBUTE TO VIOLATIONS OF STATE SOLIDS OR GROUNDWATER QUALITY STANDARDS.
9. OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED BY CONTRACTOR.

SECTION 1 GENERAL EROSION CONTROL:

1. GENERAL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL POND SLOPE FAILURES. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE SPECIFIC, THE FOLLOWING SHALL BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION ACTIVITIES.
2. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY USED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY AND/OR OVERSEEDED AND SUFFICIENTLY WATERED TO STABILIZE THE TEMPORARY GROUND COVER.
3. BANKS OF RETENTION/DETENTION PONDS SHALL NOT BE CONSTRUCTED STEEPER THAN 4H:1V FROM TOP OF BANK TO TWO FEET BELOW THE CONTROL ELEVATION.
4. A 1-FOOT WIDE STRIP OF SOIL SHALL BE PLACED ALONG ALL CURBING AND AROUND ALL INLETS. SOIL SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
5. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOIL, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING COMPLETION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER REGARDING THE TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.

SECTION 2 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION:

1. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BEST MANAGEMENT PRACTICES IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.
2. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
3. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 - A. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 - B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS SHOWN IN FOOT INDEX 102. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SEEDING AROUND INLETS IS COMPLETE.
4. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DICES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT PUMPS WITHIN SUCH AREAS TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE ADSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
5. SILT BARRIERS: ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS AND ANY FILLS USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
6. PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE BY INSTALLING A TEMPORARY SEDIMENT SUM AS REQUIRED. THE TEMPORARY SEDIMENT SUM SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.

SECTION 3 CONTROL OF WIND EROSION:

1. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 - A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 - B. AS SOON AS PRACTICAL AFTER COMPLETION OF CONSTRUCTION BARE EARTH AREAS SHALL BE VEGETATED.
 - C. ANY TIME DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR THE TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE DIRECTION OF DUST CONTROL FENCES, SALT CONTROL FENCES, SALT CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FOOT INDEX 102, EXCEPT THE MINIMUM HEIGHT SHALL BE A FEET.

DEWATERING NOTES (IF NECESSARY):

1. DURING THE EXCAVATION OF THE STORMWATER POND, THE CONTRACTOR MUST CONSTRUCT A SEDIMENT BASIN TO PROVIDE A DISCHARGE POINT FOR DEWATERING. THE SEDIMENT BASIN SHALL BE A CELL IN THE PROPOSED EXCAVATION AREA OF A POND OR IT CAN BE A BERMED AREA ABOVE GROUND. ALL DEWATERING MUST BE HELD IN THE SEDIMENT AREA UNTIL THE WATER IS CLEAN SUCH THAT THERE WOULD BE NO TURBID DISCHARGE. AFTER THE WATER IN THE SEDIMENT BASIN IS CLEAN, THE WATER MAY BE RELEASED INTO THE ON-SITE WETLANDS PROVIDED THERE IS NO ADVERSE IMPACT TO THE EXISTING WATER QUALITY.
2. UNDER NO CIRCUMSTANCES WILL THE DISCHARGE FROM THE DEWATERING BE DIRECTLY INTO ON-SITE WETLANDS.
3. DURING EXCAVATION THE CONTRACTOR SHALL NOT PENETRATE THE EXISTING CLAY LAYER IF PRESENT. IF THE CONTRACTOR ENCOUNTERS THE CLAY LAYER, HE/SHE IS TO PLACE A MINIMUM OF 2 FEET OF SANDY MATERIAL OVER THE CLAY AND TERMINATE THE DEPTH OF THE EXCAVATION.
4. IF CONTRACTOR ENCOUNTERS SILT/CLAY SAND, WHICH CAUSE THE WATER TO BECOME TURBID, HE/SHE SHALL TREAT THE SEDIMENT BASIN WITH A CHEMICAL ADDITIVE SUCH AS ALUM IN ORDER TO PROMOTE THE COAGULATION AND SETTLEMENT OF THE PARTICLES FOR THE WATER TO BECOME LESS TURBID. IF TURBID WATER IS ENCOUNTERED DURING EXCAVATION OF THE POND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY TO DETERMINE THE COURSE OF ACTION THAT IS APPROPRIATE TO ELIMINATE THE TURBIDITY AND ALLOW DISCHARGE THAT MEETS AFTER QUALITY STANDARDS.
5. THE CONTRACTOR SHALL SEQUENCE THE EXCAVATION OF THE STORMWATER POND SUCH THAT A SEDIMENT BASIN WILL BE AVAILABLE AT ALL TIMES. THE SEDIMENT BASIN CAN BE RELOCATED AS NECESSARY TO EXHAUST THE WATER WITHIN THE SEDIMENT BASIN BECOMES NON-TURBID AND ACCEPTABLE FOR DISCHARGE OFF-SITE.

BEST MANAGEMENT PRACTICES:

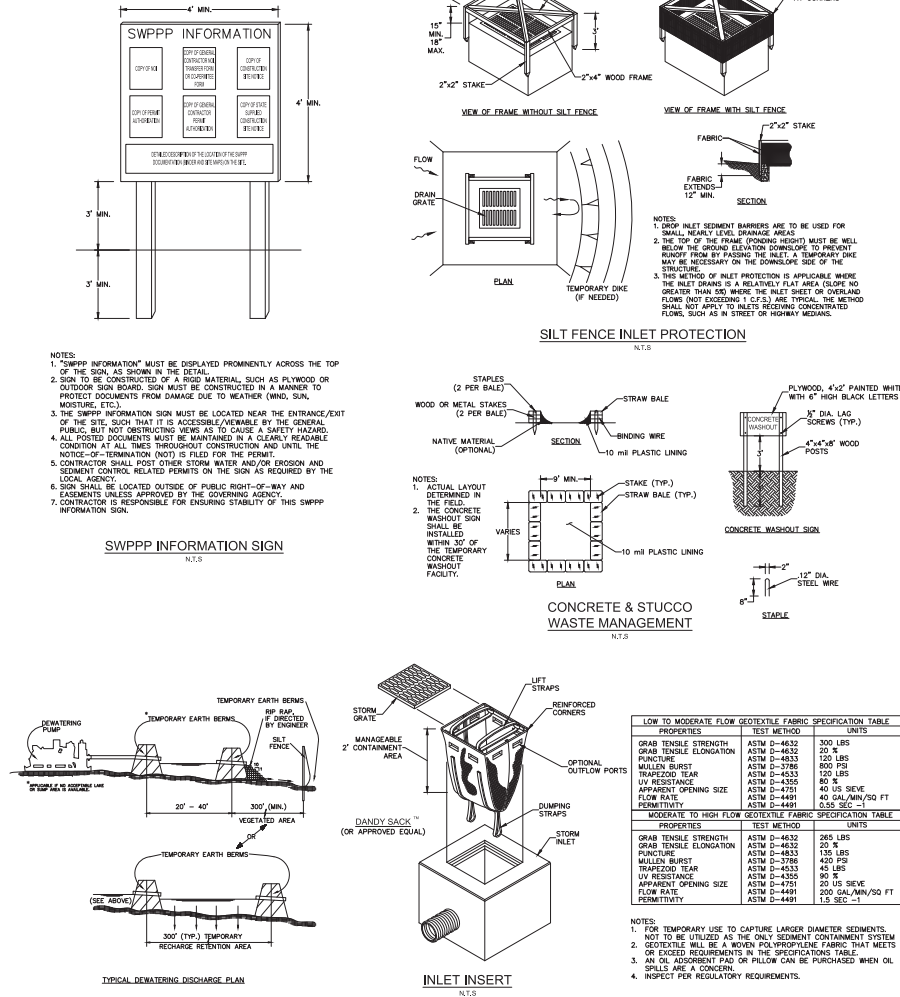
THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF LOCAL, STATE, AND FEDERAL REGULATIONS. THE PLAN ADDRESSES THE FOLLOWING AREAS:

1. GENERAL EROSION CONTROL.
2. PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION.
3. CONTROL OF WIND EROSION.

THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED IMPLS. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FOOT INDEX #102 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION.

SOIL STABILIZATION NOTES:

1. THE GC IS REQUIRED TO, AT A MINIMUM, INITIATE SOIL STABILIZATION MEASURES IMMEDIATELY WHENEVER ANY PORTION OF THE SITE IS ON, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT LIKELY RESEED FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
2. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF UTILIZED.
3. ALL DISTURBED AREAS MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES APPROPRIATE FOR SITE SOIL AND CLIMATE CONDITIONS. MULCH IS REQUIRED FOR ALL SEEDING APPLICATIONS, AND ALL MULCH APPLICATIONS MUST INCLUDE A SUITABLE FORM OF MULCH ANCHORING TO MINIMIZE MOVEMENT OF MULCH BY WIND OR WATER.
4. ALTERNATIVE STABILIZATION MEASURES TO SEEDING, SUCH AS ANCHORED MULCH APPLICATION (WITHOUT SEEDING), MAY BE UTILIZED DURING PERIODS WHEN VEGETATIVE GROWTH IS UNLIKELY (E.G. WINTER MONTHS).
5. IT IS NOT ACCEPTABLE TO ALLOW BARE SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER/TEMPERATURE/SITE CONDITIONS.
6. ALTERNATIVE STABILIZATION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: ANCHORED STRAW/HAY MULCH, WOOD CELLULOSE FIBER MULCH, SPRAY-ON SOIL GEL/EMULSIONS, AND ROLLED EROSION CONTROL PRODUCTS.
7. ALL ROLLED EROSION CONTROL PRODUCTS SHALL HAVE CURRENT (DQRYM) STATUS ISSUED BY THE EROSION CONTROL TECHNOLOGY COUNCIL (ECTC) PLUS ANY STATE OR AGENCY-SPECIFIC REQUIREMENTS. EVIDENCE OF (DQRYM) APPROVAL SHALL ACCOMPANY THE PRODUCT SHIPPED TO THE JOBSITE FOR READY IDENTIFICATION BY THE CONTRACTOR OR AGENCY INSPECTOR.
8. ROLLED EROSION CONTROL PRODUCTS (NETS, BLANKETS, TURF REINFORCED MATES) AND VEGETATED AREAS NOT MEETING REQUIRED VEGETATIVE DENSITIES FOR FINAL STABILIZATION MUST BE INSPECTED DAILY. IRREGULAR RUTTING AND OTHER SIGNS OF EROSION INDICATE THE SPECIFIED EROSION CONTROL DEVICE IS NOT FUNCTIONING OR INSTALLED PROPERLY AND/OR ADDITIONAL EROSION CONTROL DEVICES ARE WARRANTED.



REV.	REV. FEE SP/NO	COMMENTS	DATE	BY
1			12/17/18	BAT
REVISIONS				
No.				

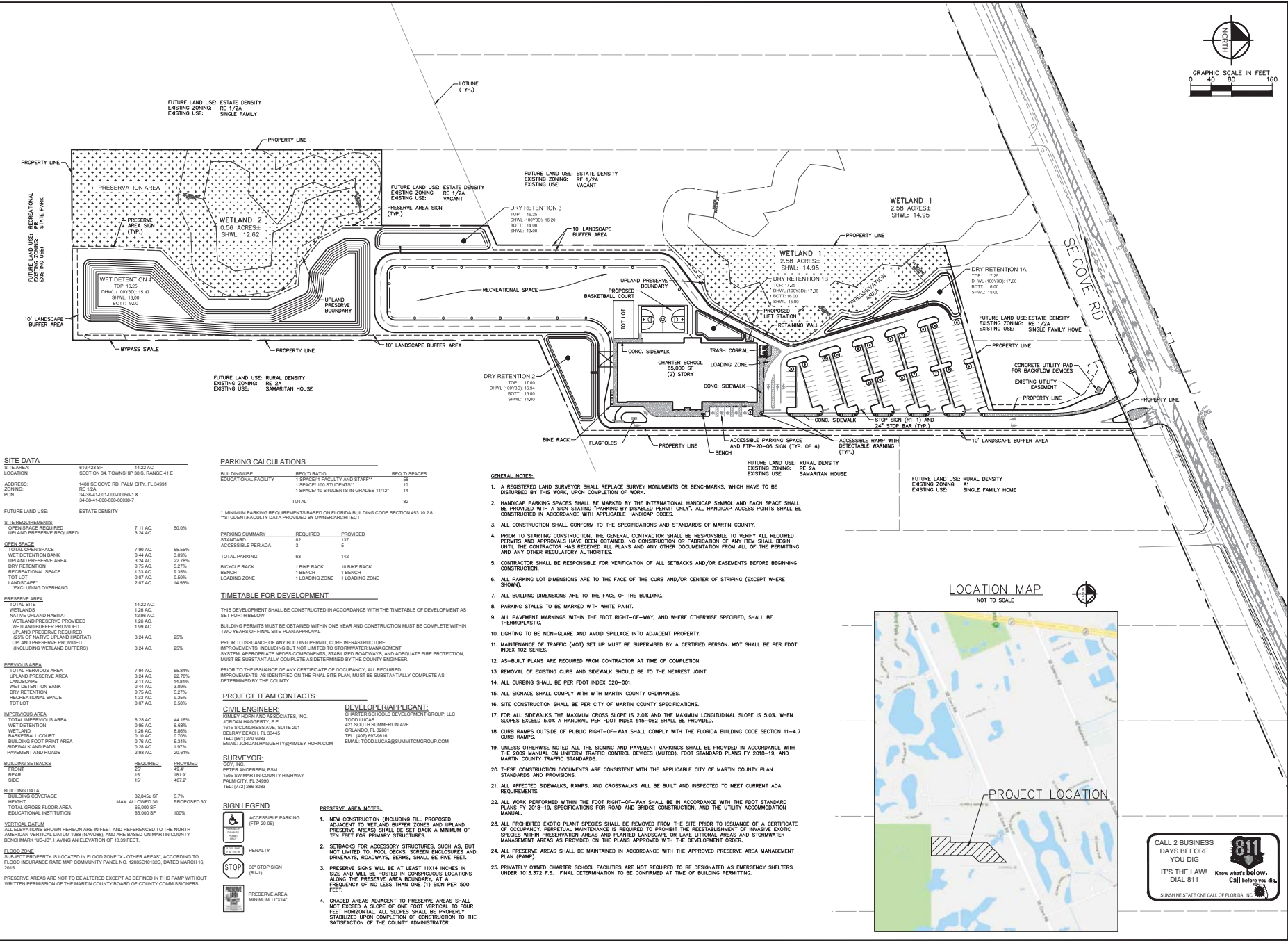
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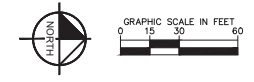
This plan has been electronically signed and sealed by:
Author: [Signature] P.E. # 00000000000000000000000000000000
Checker: [Signature] P.E. # 00000000000000000000000000000000
Printer: [Signature] P.E. # 00000000000000000000000000000000
Seal: [Signature] P.E. # 00000000000000000000000000000000

KHA PROJECT NO.	00000000000000000000000000000000
DATE	DEC. 2018
SCALE	AS SHOWN
DESIGNED BY	DR. [Signature]
DRAWN BY	[Signature]
CHECKED BY	[Signature]

EROSION CONTROL DETAILS AND NOTES


PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY, FL





- PARKING CUMP**

 - ① CURB RAMP FOR FLORIDA BUILDING CODE WITH 2' DETECTABLE WARNING
 - ② TYPE "T" CURB PER FOOT INDEX 520-001
 - ③ TYPE "T" CURB PER FOOT INDEX 520-001
 - ④ 3" CURB TRANSTION PER FDOT INDEX 520-001
 - ⑤ 6" CROSSWALK
 - ⑥ 2' WHITE STOP BAR & STOP SIGN (R1-1)
 - ⑦ HANDICAP SIGN. SEE DETAIL SHEET
 - ⑧ DO NOT ENTER SIGN (R5-1)
 - ⑨ INTEGRAL RAISED CURB AND SIDEWALK
 - ⑩ CONTRACTOR TO MATCH EXISTING
 - ⑪ 2" PARKING OVERHANG
HANDICAPPED PARKING SPACE

 CONCRETE PAVEMENT

REFER TO SHEET C700
FOR OFFSITE ROADWAY
IMPROVEMENTS

PROPOSED
TEMPORARY
CONSTRUCTION
EASEMENT

PROPOSED CONCRETE
UTILITY PAD FOR BFP
AND DDCV

CALL 2 BUSINESS
DAYS BEFORE
YOU DIG
IT'S THE LAW! K
DIAL 811



**TREASURE COAST
CLASSICAL ACADEMY**
PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY FL

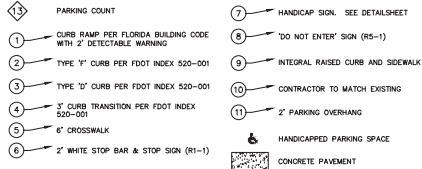
FINAL SITE PLAN
(SHEET 2 OF 4)

KHA PROJECT	DATE
046403000	DEC. 2018
SCALE AS SHOWN	
DESIGNED BY	
DRAWN BY	
CHECKED BY	

This form has been electronically signed and sealed by
Jordan L. Haggerty, P.E. on 12/12/2016 using a digital
signature.
Printed Copies of this document are not considered signed
and the signature must be verified on any electronic copies.

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PHONE: 863-701-8702
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1	REV. PER SFWD/COUNTY COMMENTS	12/11/18	BY
No.	REVISIONS	DATE	BY



CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	22.00'	34.56'	N28°14'56"E	31.11'	90°00'00"	22.00'
C2	30.00'	38.46'	N53°28'35"W	35.88'	73°27'02"	22.38'
C3	35.00'	26.38'	N40°50'35"E	25.75'	43°11'18"	13.85'
C4	108.04'	39.75'	N40°34'35"E	39.52'	21°04'45"	20.10'
C5	28.00'	25.82'	N26°17'07"E	24.92'	50°20'24"	13.91'
C6	28.00'	43.98'	N45°12'50"E	39.60'	90°00'00"	28.00'
C7	28.00'	43.98'	N44°27'55"W	39.60'	90°00'00"	28.00'
C8	38.00'	59.69'	S44°27'55"W	55.74'	90°00'00"	38.00'
C9	18.00'	28.27'	S44°34'55"W	25.46'	90°00'00"	18.00'

811
Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

FINAL SITE PLAN
(SHEET 3 OF 4)

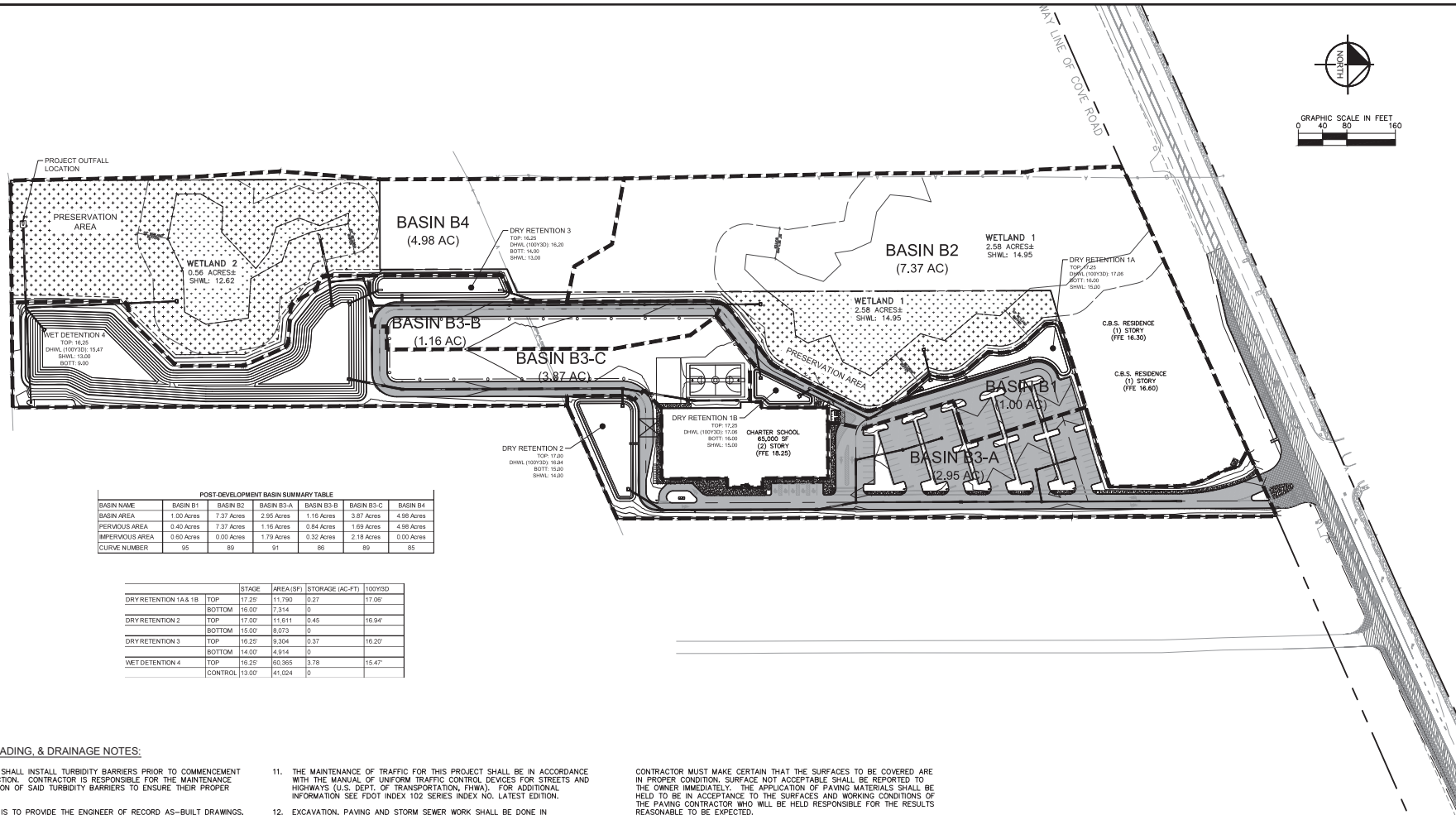
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This item has been electronically signed and sealed by
Jordan L. Haggerty, P.E. on 12/12/2018 using a digital
signature.

KHA PROJECT	DATE	SCALE	AS SHOWN
046403000	DEC. 2018	DESIGNED BY	
		DRAWN BY	

SHEET NUMBER
C 551





PAVING, GRADING, & DRAINAGE NOTES:

- | | | |
|---|---|---|
| <p>1. CONTRACTOR SHALL INSTALL TURBIDITY BARRIERS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND INSPECTION OF SAID TURBIDITY BARRIERS TO ENSURE THEIR PROPER FUNCTION.</p> | <p>11. THE MAINTENANCE OF TRAFFIC FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (U.S. DEPT. OF TRANSPORTATION, FHWA). FOR ADDITIONAL INFORMATION SEE FOOT NOTE 100, SECOND EDITION.</p> | <p>CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACE NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE ACCORDING TO THE SPECIFICATIONS, STANDARDS AND WORKING CONDITIONS OF THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS REASONABLE TO BE EXPECTED.</p> |
| <p>2. CONTRACTOR IS TO PROVIDE THE ENGINEER OF RECORD AS-BUILT DRAWINGS, SIGNED, SEALED AND DATED BY A REGISTERED LAND SURVEYOR ONCE THE PROJECT IS COMPLETE.</p> | <p>12. EXCAVATION, PAVING AND STORM SEWER WORK SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, BY THE FLORIDA DEPARTMENT OF TRANSPORTATION AND ALL SUPPLEMENTS THEREIN.</p> | <p>21. ALL DRAINAGE STRUCTURES (I.E. D.I., C.B.S., ETC.) ARE TO BE BACKFILLED WITH CLEAN SAND.</p> |
| <p>3. AS-BUILT DRAWINGS SHALL INDICATE ANY DEPARTURES FROM THE APPROVED PLANS DURING CONSTRUCTION.</p> | <p>13. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTING, PRIOR TO COMPLETION OF CONSTRUCTION.</p> | <p>22. FOR ALL SIDEWALKS THE MAXIMUM CROSS SLOPE IS 2.0% AND THE MAXIMUM LONGITUDINAL SLOPE IS 5.0%.</p> |
| <p>4. THE HIGHEST GROUNDWATER WITHIN THE PAVEMENT SHALL BE AT LEAST 1.5 FEET BELOW THE UNDERLAY BASE.</p> | <p>14. SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR.</p> | <p>23. CURB RAMPS OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE FLORIDA BUILDING CODE SECTION 11-4.7, CURB RAMPS</p> |
| <p>5. THE LOCATION OF THE EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROX. ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ALL UTILITIES IN THE PLANS EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE RESPECTIVE UTILITY OWNERS TO MAKE THE UTILITY CORRECTIONS AND ADJUSTMENTS, AS REQUIRED.</p> | <p>15. THE CONTRACTOR SHALL CONSTRUCT PAVEMENT IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AND F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE FINISHED PAVEMENT GRADES SHALL CONFORM TO THOSE SPECIFIED ON THE SITE-GRADING PLAN.</p> | <p>24. ALL DISTURBED AREAS SHALL BE RE-SODDED.</p> |
| <p>6. THE APPROPRIATE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS IN ADVANCE OF ANY EXCAVATION INVOLVING THEIR UTILITIES SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT.</p> | <p>16. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES.</p> | <p>25. THE MAXIMUM CROSS-SLOPE OF THE HANDICAP PARKING SPACES SHALL BE 2.0%.</p> |
| <p>7. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES OR UNDERGROUND UTILITIES.</p> | <p>17. EXCAVATION OF UNSUITABLE FILL AND COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE SOIL ENGINEER'S RECOMMENDATIONS.</p> | <p>26. ALL STORMWATER PIPE JOINTS SHALL BE WRAPPED.</p> |
| <p>8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.</p> | <p>18. TRUCKING ON OR ABOUT THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH HIS EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED BY OWNER AND CONTRACTOR.</p> | <p>27. SITE PREPARATION AND COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S REPORT, UNLESS OTHERWISE NOTED.</p> |
| <p>9. THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL OF FLORIDA (800-477-4770) FOR FIELD LOCATIONS 48 HOURS BEFORE DIGGING NEAR UNDERGROUND UTILITIES.</p> | <p>19. SITE CONTRACTOR SHALL VERIFY ALL DRAINAGE LINE INVERTS TO ASSURE PROPER STORM WATER DRAINAGE.</p> | <p>28. GRADE AT SIDEWALKS AROUND BUILDING PERIMETER TO BE 0.15' MIN. BELOW FINISH FLOOR, EXCEPT FLUSH AT DOOR LOCATIONS.</p> |
| <p>10. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY W/ FLA. STATUTE 553.851 FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.</p> | <p>20. ALL FILLS ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED TO PROVIDE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF BASE COURSE AND PAVING. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR SHALL VERIFY THE EXISTING FINISH GRADES.</p> | <p>29. ALL WORK PERFORMED WITHIN THE FOOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE FY 2017-18 EDITION OF FDOT DESIGN STANDARDS, SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE UTILITY ACCOMMODATION MANUAL.</p> |
| <p>30. MINIMUM PERIMETER BERM ELEVATION OF 17.25' FOR BASIN B1, 17.00' FOR BASIN B3-A, AND 16.25' FOR BASIN B3-B.</p> | | |

CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACE NOT ACCEPTABLE SHALL BE REPORTED TO THE ADEQUATE AGENCY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE IN ACCEPTANCE TO THE SURFACES AND WORKING CONDITIONS OF THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS REASONABLE TO BE EXPECTED.

21. ALL DRAINAGE STRUCTURES (E.G. D.I., C.B.'S, ETC.) ARE TO BE BACKFILLED WITH CLEAN SAND.
22. FOR ALL SIDEWALKS THE MAXIMUM CROSS SLOPE IS 2.0% AND THE MAXIMUM LONGITUDINAL SLOPE IS 5.0%
23. CURB RAMPS OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE FLUIDRA BUILDING CODE SECTION 11-4.7 CURB RAMPS
24. ALL DISTURBED AREAS SHALL BE RE-SODDED.
25. THE MAXIMUM CROSS-SLOPE OF THE HANDICAP PARKING SPACES SHALL BE 2.0%.
26. ALL STORMWATER PIPE JOINTS SHALL BE WRAPPED.
27. SITE PREPARATION AND COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S REPORT, UNLESS OTHERWISE NOTED.
28. PAVEMENT AREAS TO SLOPE 0.5% MIN. AND 5% MAX. LAWN AREAS TO SLOPE 2% MIN. TO DRAIN.
29. GRADE AT SIDEWALKS AROUND BUILDING PERIMETER TO BE 0.15" MIN. BELOW FINISH FLOOR, EXCEPT FLUSH AT DOOR LOCATIONS.
30. ALL WORK PERFORMED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE FY 2017-18 EDITION OF FDOT DESIGN STANDARDS, SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE UTILITY ACCOMMODATION MANUAL.
31. MINIMUM PERIMETER BURN ELEVATION OF 17.25' FOR BASIN #1, 17.00' FOR BASIN #2 AND 16.75' FOR BASIN #3-5

24. MINIMUM PERIMETER BERM ELEVATION OF 17.25' FOR BASIN B1, 17.00' FOR BASIN B3-A, AND 16.25' FOR BASIN B3-B.

[illegible]

Kimley»Horn
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116 SOUTH KENTUCKY AVENUE, LAKELAND, FL 33801
PHONE: 863-701-8702
WWW.KIMLEY-HORN.COM CA 00000696

This form has been electronically signed and sealed by
Jordan L. Haggerty, P.E. on 12/22/2010 using a digital
signature.
Printed Copies of this document are not considered signed
and the signature must be verified on any electronic copies.

KHA PROJECT 046403000	DATE DEC. 2018	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
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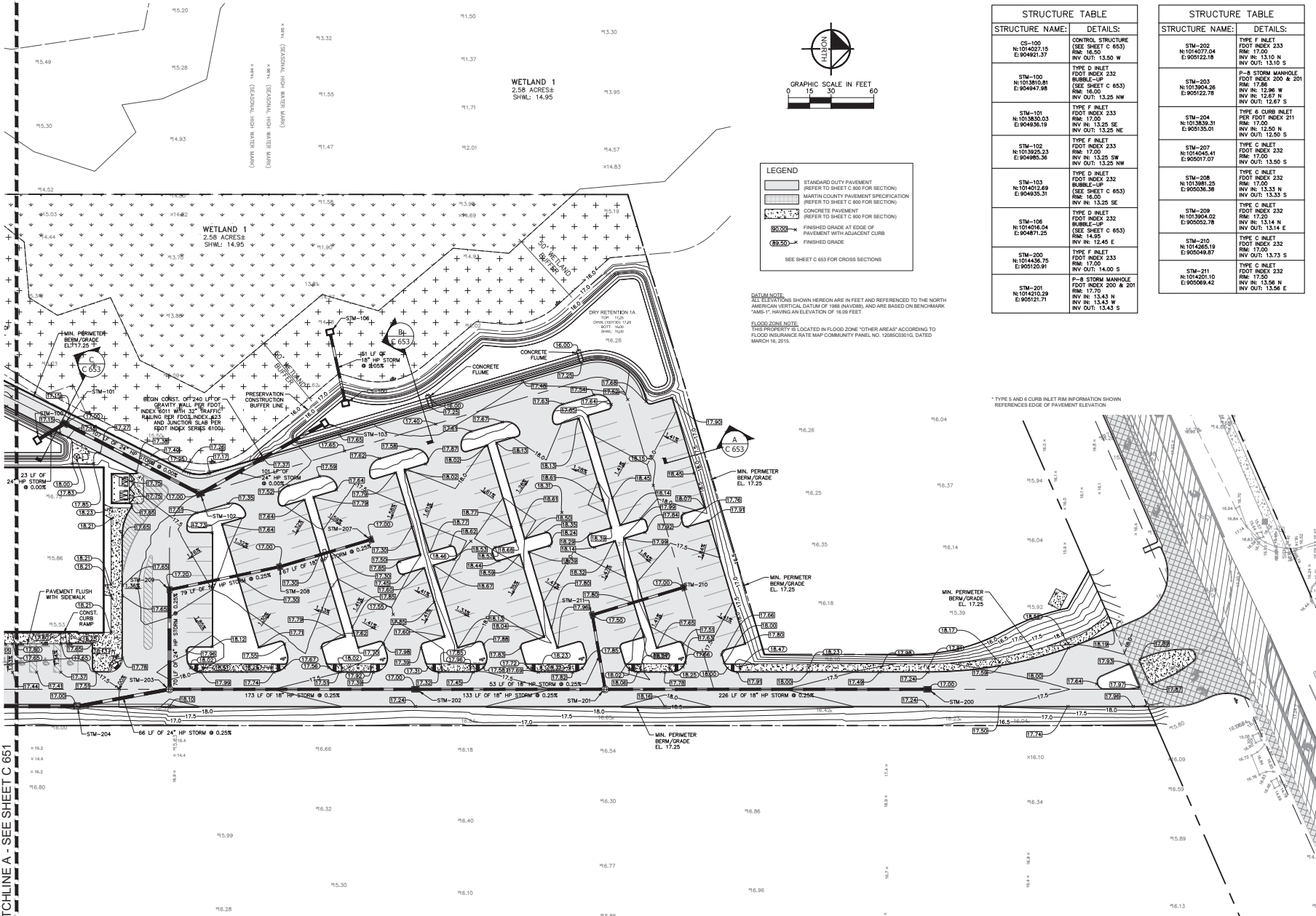
OVERALL
PAVING, GRADING
AND DRAINAGE PLAN

TREASURE COAST
CLASSICAL ACADEMY
PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY FL

SHEET NUMBER
C 600

Kimley-Horn and Associates, Inc. 12/11/18
PROJECT: TREASURE COAST CLASSICAL ACADEMY, PAVING, GRADING AND DRAINAGE PLAN
SHEET: C 650
DATE: 12/11/18
DRAWN BY: JH
CHECKED BY: JH
APPROVED BY: JH
REVISIONS: 1. REV. PER SP400/COUNTY COMMENTS 12/11/18 BAY

MATCHLINE A - SEE SHEET C 651



STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
STM-100 N:1014027.15 E:904921.37	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 16.50 INV OUT: 13.50 W
STM-101 N:101385.03 E:904935.18	TYPE D INLET FOOT INDEX 232 BUBBLE-UP (SEE SHEET C 653) RIM: 16.50 INV OUT: 13.25 NW
STM-102 N:1013925.23 E:904985.36	TYPE F INLET FOOT INDEX 233 RIM: 17.00 INV IN: 13.25 SE INV OUT: 13.25 NE
STM-103 N:1014012.69 E:904935.31	TYPE D INLET FOOT INDEX 232 BUBBLE-UP (SEE SHEET C 653) RIM: 16.50 INV IN: 13.25 SE
STM-106 N:1014436.75 E:905125.81	TYPE D INLET FOOT INDEX 233 RIM: 17.00 INV OUT: 14.00 SE
STM-201 N:1014210.29 E:905125.71	TYPE F INLET FOOT INDEX 200 & 201 RIM: 17.00 INV OUT: 13.43 S

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
STM-202 N:1014077.04 E:905122.18	TYPE F INLET FOOT INDEX 233 RIM: 17.00 INV IN: 13.10 N INV OUT: 13.10 S
STM-203 N:1013904.26 E:905122.78	P-H STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.89 INV IN: 12.86 W INV IN: 12.87 N INV OUT: 12.87 S
STM-204 N:1013839.31 E:905135.01	TYPE 8 CURB INLET PER FOOT INDEX 211 RIM: 17.00 INV IN: 12.50 N INV OUT: 12.50 S
STM-207 N:1014045.41 E:905071.07	TYPE C INLET FOOT INDEX 232 RIM: 17.00 INV OUT: 13.50 S
STM-208 N:1013980.25 E:905036.36	TYPE C INLET FOOT INDEX 232 RIM: 17.00 INV OUT: 13.33 S
STM-209 N:1013904.02 E:905052.78	TYPE C INLET FOOT INDEX 232 RIM: 17.25 INV IN: 13.14 E
STM-210 N:1014265.19 E:905089.87	TYPE C INLET FOOT INDEX 232 RIM: 17.00 INV OUT: 13.73 S
STM-211 N:1014501.10 E:905089.42	TYPE C INLET FOOT INDEX 232 RIM: 17.50 INV IN: 13.56 N INV OUT: 13.56 E

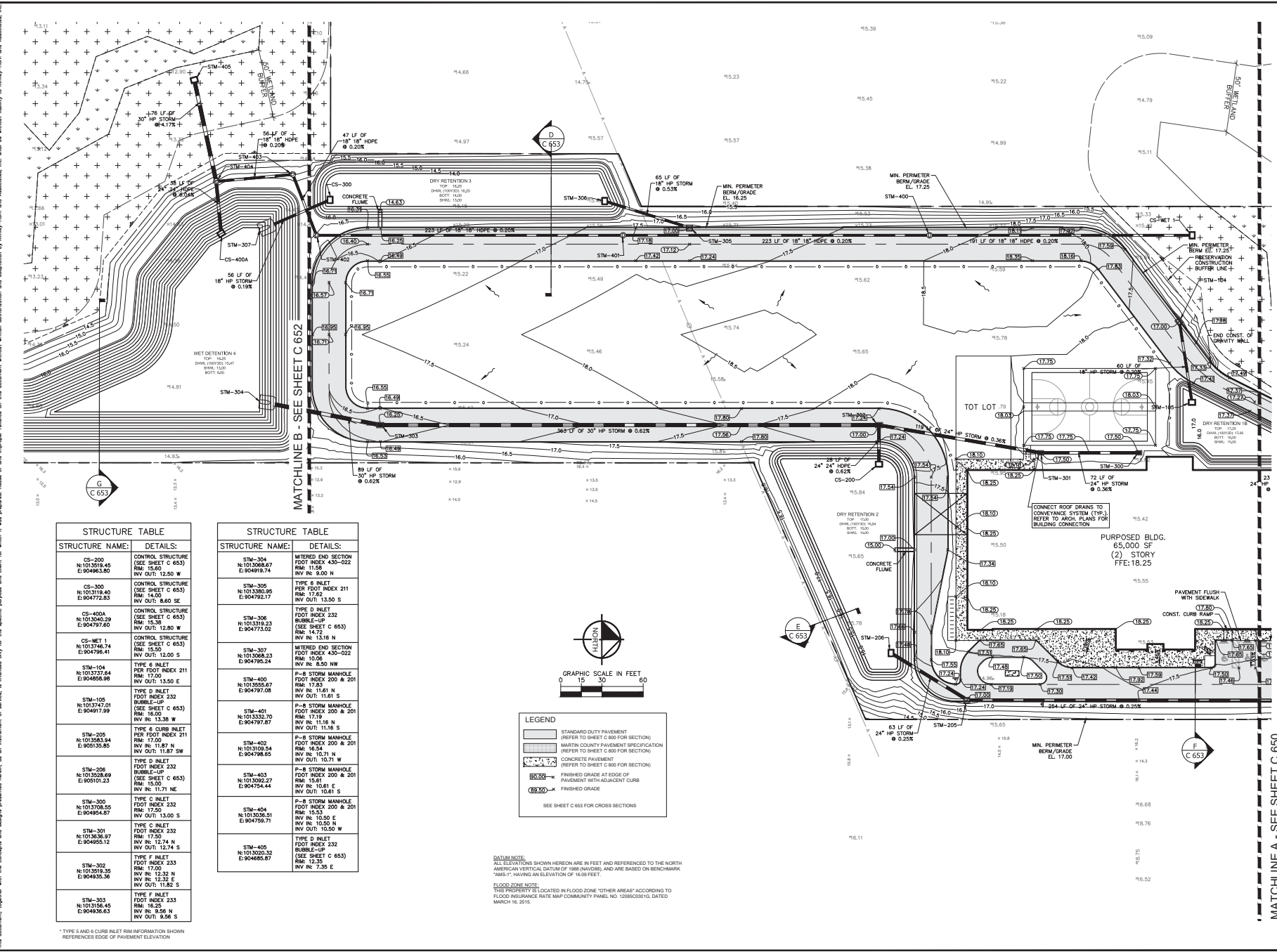
TREASURE COAST
CLASSICAL ACADEMY
PREPARED FOR
SUMMIT CONST. GROUP
FL

PROJECT
DATE
DEC. 2018
SCALE
AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

Kimley-Horn
© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
116 SOUTH KENTUCKY AVENUE, LANSING, MI 48901
WWW.KIMLEY-HORN.COM CA 00000686

REVISIONS
1. REV. PER SP400/COUNTY COMMENTS 12/11/18 BAY

Matchline A - See Sheet C 650
Matchline B - See Sheet C 652
Matchline C - See Sheet C 653
Matchline D - See Sheet C 654
Matchline E - See Sheet C 655
Matchline F - See Sheet C 656
Matchline G - See Sheet C 657
Matchline H - See Sheet C 658
Matchline I - See Sheet C 659
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Matchline K - See Sheet C 661
Matchline L - See Sheet C 662
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Matchline N - See Sheet C 664
Matchline O - See Sheet C 665
Matchline P - See Sheet C 666
Matchline Q - See Sheet C 667
Matchline R - See Sheet C 668
Matchline S - See Sheet C 669
Matchline T - See Sheet C 670
Matchline U - See Sheet C 671
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Matchline X - See Sheet C 674
Matchline Y - See Sheet C 675
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Matchline MI - See Sheet C 995
Matchline MJ - See Sheet C 996
Matchline MK - See Sheet C 997
Matchline ML - See Sheet C 998
Matchline MN - See Sheet C 999
Matchline MO - See Sheet C 1000



STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
CS-200 N:1013018.45 E:904963.80	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 15.50 INV OUT: 12.50 W
CS-300 N:1013118.40 E:904772.63	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 14.00 INV OUT: 8.00 SE
CS-400A N:1013040.29 E:904797.60	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 15.30 INV OUT: 12.80 W
CS-WET 1 N:1013746.74 E:904796.41	CONTROL STRUCTURE (SEE SHEET C 653) RIM: 15.50 INV OUT: 12.00 S
STM-104 N:1013737.64 E:904858.98	TYPE 6 INLET FOOT INDEX 232 RIM: 17.00 INV IN: 13.36 W
STM-105 N:1013747.01 E:904861.99	TYPE 6 CURB INLET FOOT INDEX 232 RIM: 17.00 INV IN: 13.36 W
STM-205 N:1013583.94 E:905132.85	TYPE 6 INLET FOOT INDEX 232 RIM: 17.00 INV IN: 11.87 N
STM-206 N:1013528.89 E:905101.23	TYPE 6 INLET FOOT INDEX 232 RIM: 17.00 INV IN: 11.71 NE
STM-300 N:1013708.55 E:904854.87	TYPE 6 INLET FOOT INDEX 232 RIM: 17.00 INV IN: 12.74 N
STM-301 N:1013018.97 E:904855.12	TYPE 6 INLET FOOT INDEX 232 RIM: 17.00 INV IN: 12.32 N
STM-302 N:1013018.36 E:904835.36	TYPE 6 INLET FOOT INDEX 232 RIM: 17.00 INV IN: 12.32 N
STM-303 N:1013158.45 E:904836.63	TYPE 6 INLET FOOT INDEX 232 RIM: 17.00 INV IN: 9.56 N

STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
STM-304 N:1013086.67 E:904919.74	MITERED END SECTION FOOT INDEX 435-022 RIM: 17.62 INV IN: 9.00 N
STM-305 N:1013380.95 E:904762.17	TYPE 6 INLET FOOT INDEX 232 RIM: 17.62 INV OUT: 13.50 S
STM-306 N:1013319.23 E:904773.02	TYPE 6 INLET FOOT INDEX 232 RIM: 17.62 INV IN: 13.16 N
STM-307 N:1013088.23 E:904795.24	MITERED END SECTION FOOT INDEX 435-022 RIM: 17.62 INV IN: 8.50 NW
STM-400 N:1013055.67 E:904797.08	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.83 INV IN: 11.61 N
STM-401 N:1013332.70 E:904797.87	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.83 INV IN: 11.61 N
STM-402 N:1013109.54 E:904796.65	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.83 INV IN: 10.71 N
STM-403 N:1013092.27 E:904754.44	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.83 INV IN: 10.71 N
STM-404 N:1013026.21 E:904759.71	P-8 STORM MANHOLE FOOT INDEX 200 & 201 RIM: 17.83 INV IN: 10.50 W
STM-405 N:1013020.32 E:904685.87	TYPE D INLET FOOT INDEX 232 RIM: 17.83 INV IN: 7.25 E

DATUM NOTE:
ALL ELEVATIONS SHOWN HEREON ARE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83). AND ARE BASED ON BENCHMARK "A-101" HAVING AN ELEVATION OF 16.00 FEET.

FLOOD ZONE NOTE:
THIS PROPERTY IS LOCATED IN FLOOD ZONE "OTHER AREAS" ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 1288030310, DATED MARCH 16, 2015.

PROJECT NO. 2018-001

DATE: DEC. 2018

SCALE: AS SHOWN

DESIGNED BY: J. HORN

DRAWN BY: J. HORN

CHECKED BY: J. HORN

PROJECT NAME: TREASURE COAST CLASSICAL ACADEMY

PREPARED FOR: SUMMIT CONST. GROUP

SHEET NUMBER: C 651

REVISIONS

NO.

DATE

1

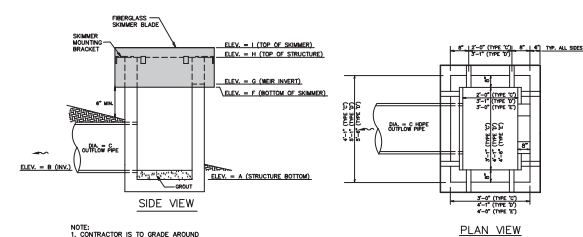
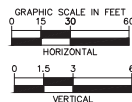
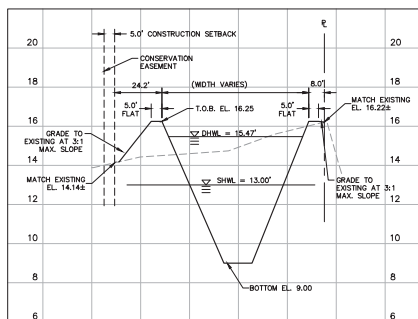
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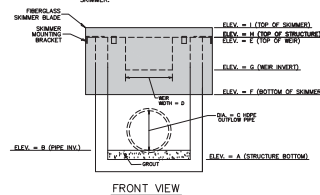
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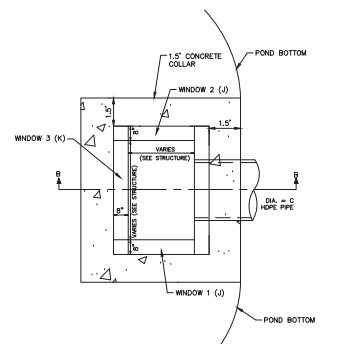


NOTE:
1. CONTRACTOR IS TO GRADE AROUND CONTROL STRUCTURE TO ALLOW FOR 6" MINIMUM BETWEEN BOTTOM OF SKIMMER AND SLOPE OR BOTTOM OF POND.
2. A CONCRETE PAD SHALL BE INSTALLED UNDER THE SKIMMER WHERE SEPARATION BETWEEN THE SKIMMER AND POND BOTTOM/BERM IS LESS THAN 12". THE CONCRETE PAD SHALL EXTEND FROM THE CONTROL STRUCTURE TO 12" BEYOND THE SKIMMER.



CONTROL STRUCTURE
N.T.S.

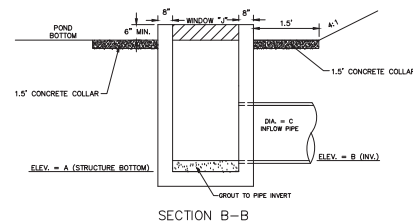
INLET TYPES PER FDOT INDEX 23:

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BUBBLE UP DETAIL

MODIFIED FDOT
INLET W/ RETICULINE STEEL GRATE
ATTACHED TO STRUCTURE W/ EYEBOLT

BUBBLE UP INFORMATION (TYPICAL)		
TYPE OF STRUCTURE	"J" WINDOW	"K" WINDOW
TYPE D INLET	3'-1"	4'-1"



SECTION B-B

[illegible]

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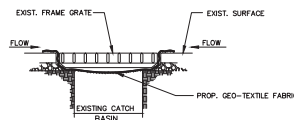
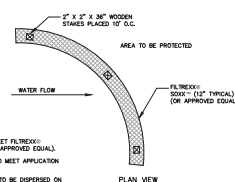
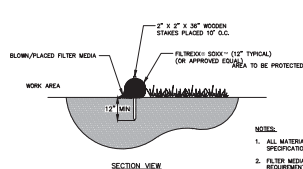
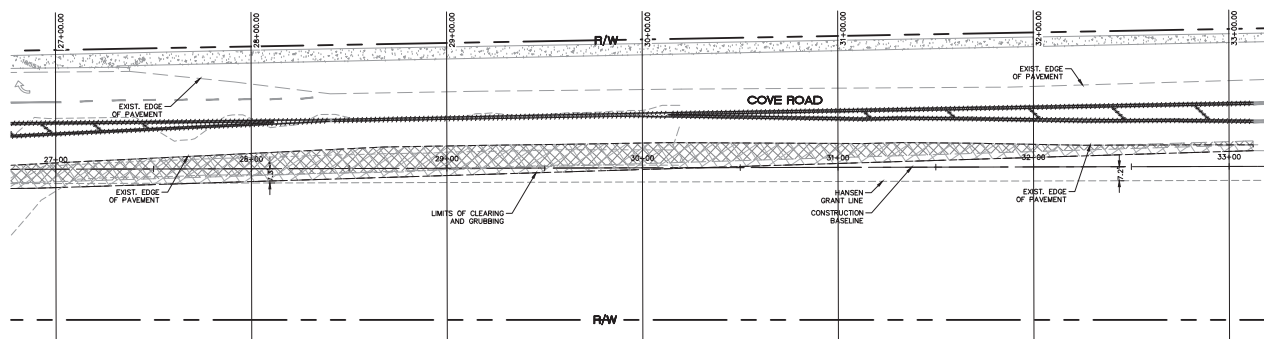
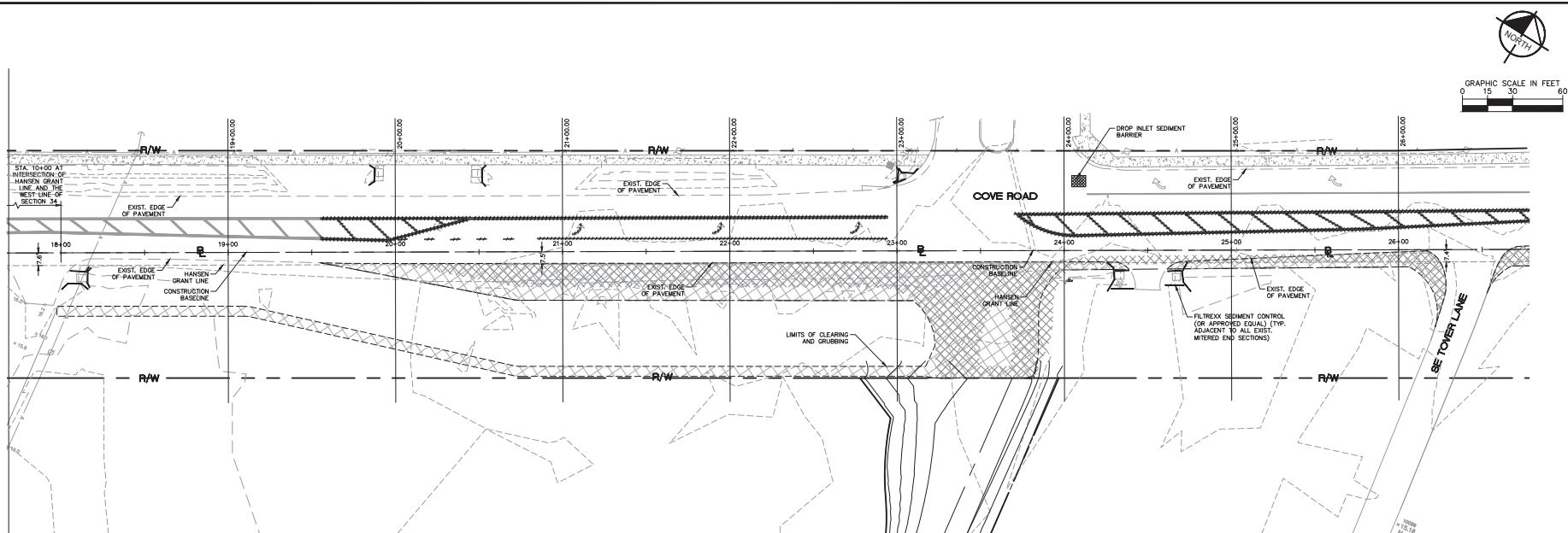
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KHA PROJECT 046403000	DATE DEC. 2018	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
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CROSS SECTIONS AND CONTROL STRUCTURE DETAILS

TREASURE COAST
CLASSICAL ACADEMY
PREPARED FOR
SUMMIT CONST. GROUP
FLORIDA
MARTIN COUNTY

SHEET NUMBER
C 653



- NOTES:**
1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
 2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

DROP INLET SEDIMENT BARRIER
N.T.S.

FILTREXX® SEDIMENT CONTROL
(OR APPROVED EQUAL)
N.T.S.

LEGEND

- NOTES:**
1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCOMPASS THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INFORMATION MAY BE OBTAINED FROM THE RECORD DRAWINGS, BUT NOT NECESSARILY LIMITED FROM THE PLAN OR NOT BE INCLUDED IN THE SURVEY PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING A THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND RECORD DRAWINGS TO DETERMINE THE EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THE EXISTING PLAN.
 2. PRIOR TO BEGINNING SITE CLEARING AND DEMOLITION, CONTRACTOR TO IMPLEMENT FACTORY CONTROL PLAN AND EROSION CONTROL MEASURES.
 3. REFER TO OFF-SITE PLANS FOR MILLING AND RESURFACING LIMITS WITHIN THE RIGHT-OF-WAY.
 4. CONTRACTOR TO SAVICUT WHEN REMOVING EXISTING PAVEMENT AND CURB, THAT IS ADJACENT TO EXISTING PAVEMENT THAT IS TO REMAIN. CONTRACTOR TO PROVIDE REPAIRS TO EXISTING PAVEMENT AND CURB TO MATCH EXISTING. IF DAMAGED DURING CONSTRUCTION, DAMAGED PAVEMENT WILL BE REPAIRED TO MATCH EXISTING WITHIN THE SAME TYPE OF ASPHALT AT CONTRACTOR COST.
 5. CONTRACTOR TO CONTACT AND COORDINATE WITH ALL AFFECTED UTILITY OWNERS AND AGENCIES. ALL UTILITIES SHALL BE IDENTIFIED AND PROCEDURES TO PROTECT TO BE ADJUSTING MANHOLE LIDS.
 6. CONTRACTOR TO PROTECT EXISTING UTILITIES AND ASSOCIATED STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND BE RESPONSIBLE FOR REPLACING ANY DAMAGED UTILITIES.
 7. CONTRACTOR TO PROVIDE TEMPORARY LIGHTING, AS REQUIRED.
 8. CONTRACTOR TO COORDINATE WITH ALL AFFECTED UTILITY OWNERS TO MEET TEMPORARY LIGHTING REQUIREMENTS AND INSTALLATION PRIOR TO CONSTRUCTION.
 9. CONTRACTOR TO INCLUDE ALL COSTS ASSOCIATED WITH LIGHTING IN PROPOSAL BIDS.

TREASURE COAST
CLASSICAL ACADEMY
PREPARED FOR
SUMMIT CONST. GROUP
MARTIN COUNTY FL

COVE ROAD
DEMOLITION PLAN

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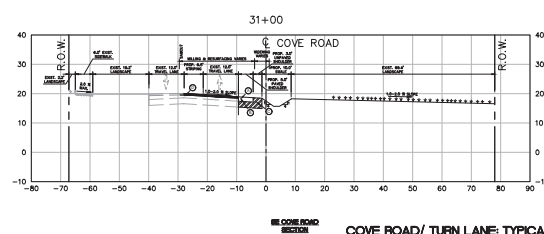
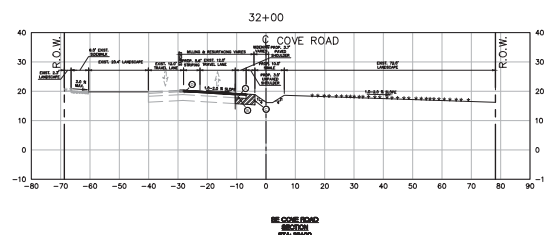
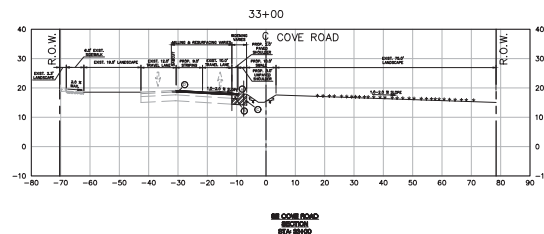
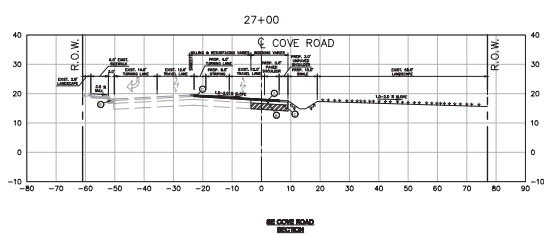
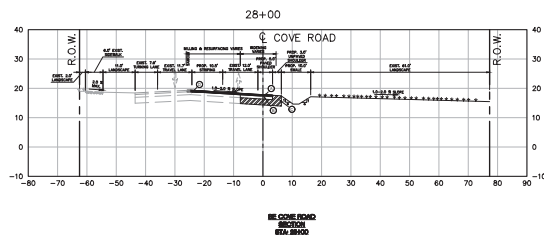
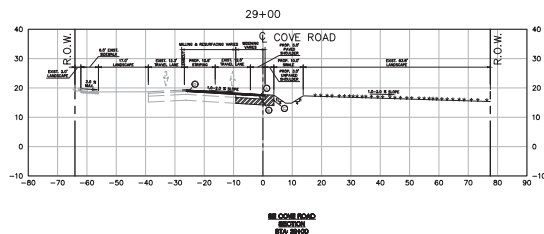
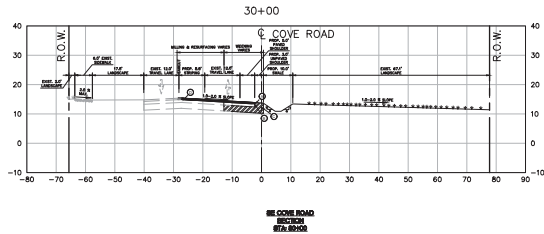
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1	REV. PER SFWD/COUNTY COMMENTS	12/11/18	BAY
to.	REVISIONS	DATE	BY



SHEET NUMBER C 711	TREASURE COAST CLASSICAL ACADEMY PREPARED FOR SUMMIT CONST. GROUP MARTIN COUNTY FL	KIMA PROJECT 046403000		COVE ROAD CROSS-SECTIONS AND DETAILS		KIMA PROJECT 046403000		KIMLEY»HORN		No. _____ REVISIONS _____ DATE _____ BY _____			
		DATE DEC. 2018	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY	© 2018 KIMLEY-HORN AND ASSOCIATES, INC. 116 SOUTH KENTUCKY AVENUE, LEXINGTON, KY 40501 WWW.KIMLEY-HORN.COM CA 00000696	1 REV. PER SFMMO/COUNTY COMMENTS	12/11/18 BAY				
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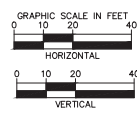
Reviewed By: [Signature] Date: 12/11/18
Checked By: [Signature] Date: 12/11/18
Drawn By: [Signature] Date: 12/11/18
Scale: 1" = 40'-0"



COVE ROAD/ TURN LANE: TYPICAL PAVEMENT SECTION

PAVEMENT SECTION AS PER MARTIN COUNTY ENGINEERING DETAIL R-10.

- 1.5" SP-12.5 ASPHALTIC CONCRETE (1ST LIFT)
- 1.0" SP-9.5 ASPHALTIC CONCRETE (2ND LIFT)
- BASE GROUP 9 PER FOOT INDEX NO. 514
- 12" STABILIZED SUBGRADE (LBR 40)
- 1.0" SP-9.5 ASPHALTIC CONCRETE
- EXIST. TYPE "Y" CURB AND GUTTER



**COVE ROAD
CROSS-SECTIONS**

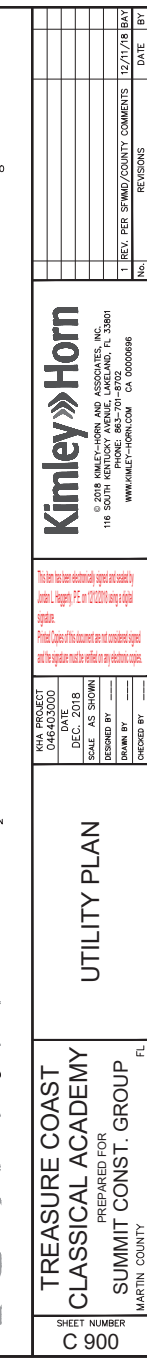
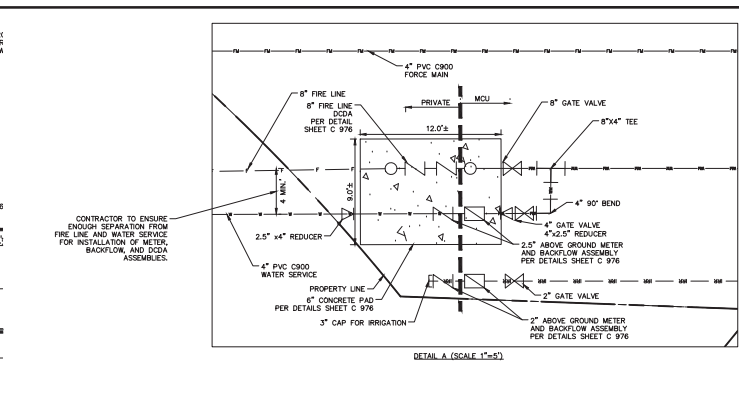
TREASURE COAST
CLASSICAL ACADEMY
SUMMIT CONST. GROUP
MARTIN COUNTY

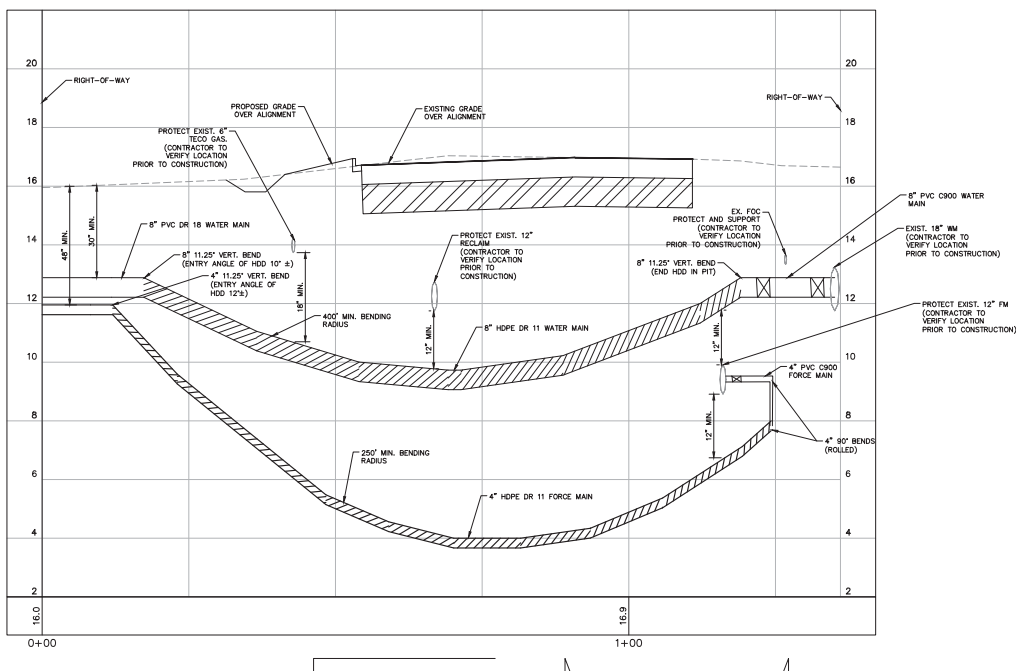
SHEET NUMBER
C 713

KHA PROJECT
CROSS-SECTION
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TREASURE COAST
CLASSICAL ACADEMY
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MARTIN COUNTY FL

OFFSITE UTILITY PLAN & PROFILE

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QTY. (3) 2" DIA. ELECTRICAL BUSHES ON 5" CENTERLINE

SPACING PER PUMP MANUFACTURER

AUXILIARY POWER HOOKUP

QTY. (3) 2" DIA. CONDUIT

(2) CONDUIT FOR PUMP, POWER CABLES AND SENSOR CABLES

(1) CONDUIT FOR FLOATS AND SENSOR CABLES (BY CONTRACTOR)

PLAN VIEW

2" ARV (SEE DETAIL THIS PAGE)

FIBERGLASS VAULT 48"X48"X12" MINIMUM (TYPICAL)

S.S. BOLTS FOR ALUMINUM COVER

AUXILIARY BY-PASS PUMPING ACCESS SHALL CONFORM TO SEP 17-604.42(A)

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDRAMATIC OR HOMA OR APPROVED EQUAL). EACH PUMP SHALL BE MOUNTED ON A 02" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 304SS GUIDE RAILS, 316SS UPPER GUIDE BRACKET, 316SS LIFTING BAIL AND CABLE, AND A SIX-HOOK 316SS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

THE PUMP VOLUTE, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING MATERIALS FOUND IN NORMAL, DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS; ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH FILLET AND AN ANTI-FLOTATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

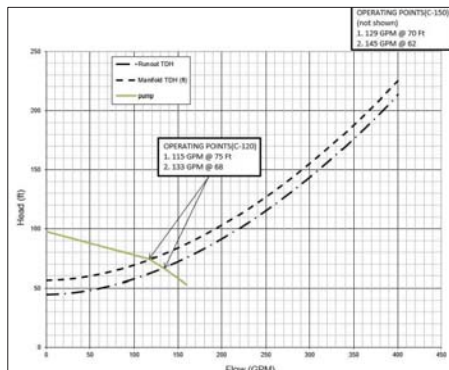
THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL FASTENERS, RATED FOR 300 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FABRICATION, OR EQUAL.

FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

THE CONTROL PANEL SHALL BE UL508 LISTED, A NEMA 3R ENCLOSURE SHALL BE PROVIDED IN EITHER 4X FIBERGLASS OR 3R STAINLESS STEEL. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLEX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE PROVIDED BY CONTRACTOR.

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, FIBERGLASS BASIN AND VALVE BOX, CONTROL PANEL, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATIONS AND WARRANTY. THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, RAIL ASSEMBLIES, AND DISCHARGE PIPING ASSEMBLED BY BARNEY'S PUMPS INC. READY FOR FIELD INSTALLATION.

PUMP PACKAGE SHALL BE SUPPLIED BY BARNEY'S PUMPS INC. IN LAKE LAND (863-665-8500), CORAL SPRINGS (954-346-0669), OR JACKSONVILLE (904-260-0669), FL.



INCOMING POWER: __V __
(CONTRACTOR TO VERIFY)

ENC	ENCLOSURE	ASB	ALARM SILENCE BUTTON
MCB	MAIN CIRCUIT BREAKER	VMB	HAND OFF AUTO SWITCH
ESB	EMERGENCY CIRCUIT BREAKER	HL	LOW VOLT MOTOR BYPASS
PCB1,2	PUMP CIRCUIT BREAKER	RL	RUN LIGHT
CCB	CONTROL CIRCUIT BREAKER	ILM	INDICATING LIGHT
MS1,2	MOTOR STARTER	SFL	SEAL FAIL MODULE
OL	OVERLOAD HEATER	ASR	ALARM SILENCE RELAY
GR	GENERATOR RECEPTACLE		RUN CAPACITOR
VM	VOLT MONITOR		START CAPACITOR
ETM	ELAPSED TIME METER		START RELAY
ALT	ALTERNATOR	PM	PHASE MONITOR
AH	ALARM HORN	PMB	PHASE MONITOR BYPASS
AL	ALARM LIGHT		

ALL PANELS SHALL BE UL LISTED AND CONFORM TO FLORIDA

1) GENERATOR RECEPTACLE WITH INTERLOCK FOR EMERGENCY POWER CONNECTION.

2) SURGE AND LIGHTNING PROTECTION SHALL BE PROVIDED BY CONTRACTOR AND MOUNTED EXTERNAL TO THE CONTROL PANEL.

3) PHASE OR VOLTAGE MONITOR SHALL BE PROVIDED IN CONTROL PANEL.

4) ALL PANELS, WET WELL, VALVE BOX, AND ACCESS DOORS SHALL HAVE LOCKABLE MECHANISMS. CONTRACTOR TO PROVIDE KEYS FOR LOCKS.

5) POST UNOBSTRUCTED SIGN MADE OF DURABLE WEATHER RESISTANT MATERIAL WITH THE FOLLOWING:

PUBLIC NOTICE: IN CASE OF EMERGENCY CONTACT:

6) THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.

7) FLOAT SWITCHES SHALL BE UL LISTED.

8) SHAFT SEAL FAIL DETECTION



PANEL
MANUFACTURER
SHALL BE UL 508
AND
UL 698A LISTED.

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MARTIN COUNTY FL

LIFT STATION PLAN

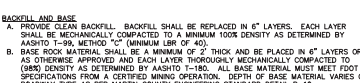
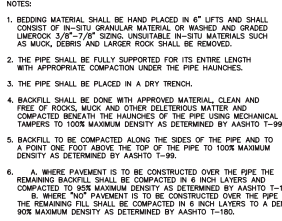
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1. ALL OPEN CUT OF PAYMENT MUST BE REVIEWED BY MARTIN COUNTY ENGINEER PRIOR TO ANY WORK BEING DONE IN CONTAINMENT RIGID-WALL. DEPENDING ON THE TYPE OF OPEN CUT, ADDITIONAL SIGNS AND PAVING MAY BE REQUIRED. ALL PAYMENT JOINTS SHALL BE MECHANICALLY SEALED.
2. ALL MATERIAL USED IN RIGID WALL MUST MEET TEST SPECIFICATIONS AND BE SUPPLIED FROM TOP CERTIFIED MINING OPERATION AND ASPHALT PAVEMENT.
3. A MINIMUM OF TWO DENSITY TESTS SHALL BE TAKEN FOR EACH SIX (6) INCH LIFT OF SUB BASE AND ONE (1) DENSITY TEST SHALL BE TAKEN FOR EACH SIX (6) INCH LIFT OF SUB BASE AND ONE-HALF (6 1/2) INCHES THE BASE SHALL BE CONSTRUCTED IN TWO OR MORE COURSES. PROCTORS FOR MATERIALS USED IN BACK-FILLING SHALL BE OBTAINED BY THE CONTRACTOR FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION OR THE PERMITTEE'S CONSULTANTS. THE PERCENTAGE OF MAXIMUM DENSITY REQUIRED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS FOR ROADWAY CONSTRUCTION. ALL DENSITY TEST RESULTS SHALL BE FURNISHED TO THE COUNTY ENGINEER'S OFFICE PRIOR TO FINAL INSPECTION.
4. MARTIN COUNTY DOES NOT ALLOW CRUSHED CONCRETE WITHIN CONTAINMENT RIGID WALL.

WORK. THE CONTRACTOR IS RESPONSIBLE, THEREFORE, FOR ALL DAMAGE AND REPAIR COSTS.

MARTIN COUNTY CONSTRUCTION STANDARDS & DETAILS		
REVISION AUGUST 2016	GENERAL NOTES, SPECIFICATIONS AND SEPARATION STATEMENT	DWG No. 1A

2016	AND SEPARATION STATEMENT
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MARTIN COUNTY CONSTRUCTION STANDARDS & DETAILS

48 HOURS BEFORE DIGGING
CALL TOLL-FREE
1-800-432-4770

MARTIN COUNTY CONSTRUCTION STANDARDS & DETAILS		
REVISION AUGUST 2016	GENERAL NOTES, SPECIFICATIONS AND SEPARATION STATEMENT	DWG No. 1E