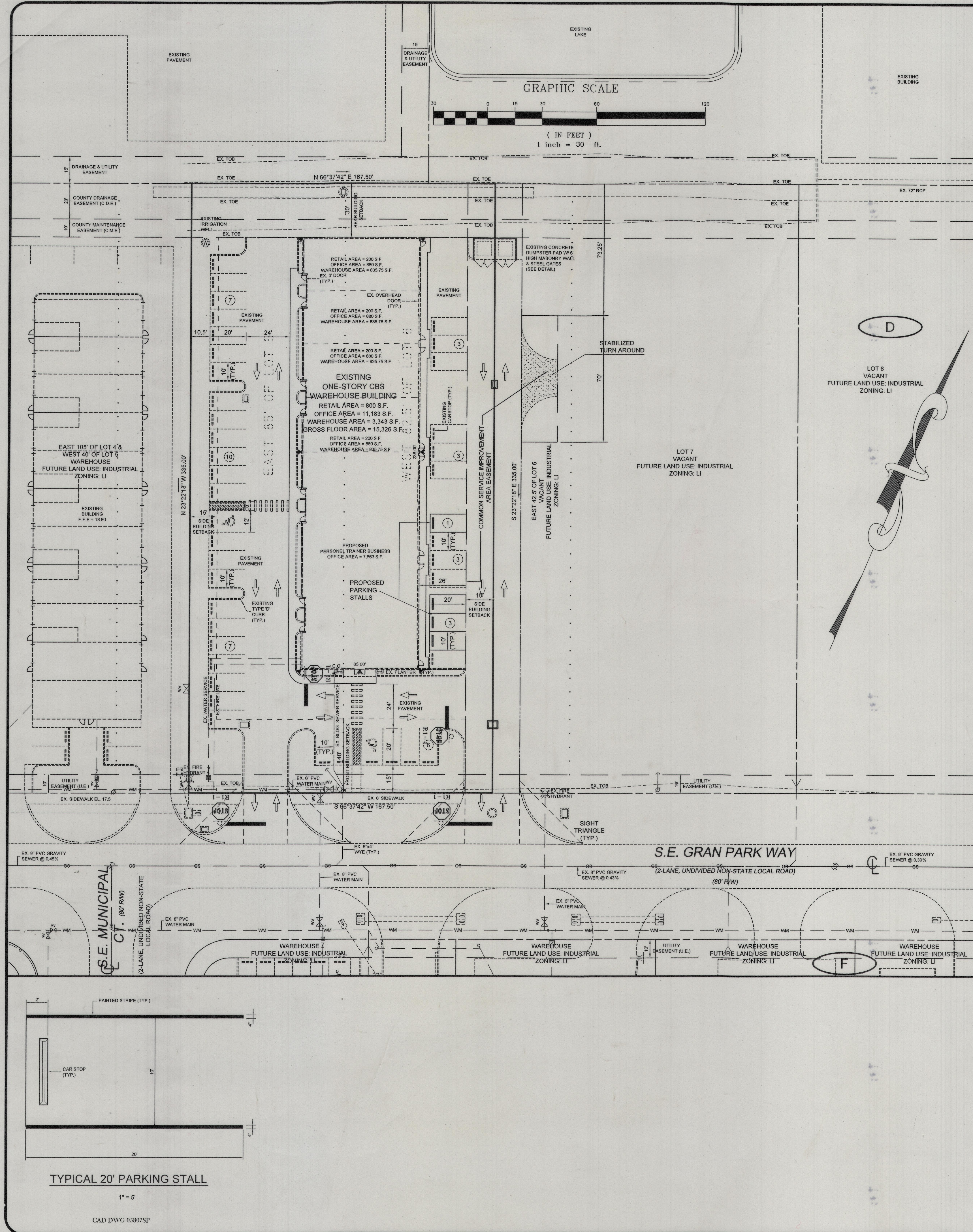




LEGAL DESCRIPTION
EAST 85' OF LOT 5 & WEST 82.5' OF LOT 6, GRAN PARK AT PORT SALERNO
PHASE I, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 13,
PAGE 14 OF THE PUBLIC RECORDS OF PALM BEACH (NOW MARTIN) COUNTY,
FLORIDA.

CONTAINING 56,113 SQ. FT., 1.288 ACRES

SECTION 23, TOWNSHIP 38 SOUTH, RANGE 41 EAST (HANSON GRANT)

PARCEL CONTROL NUMBER: 52-38-41-400-004-00050-2

FUTURE LAND USE: INDUSTRIAL
ZONING: LI

SITE DATA

TOTAL AREA: 56,113 S.F. 1.288 AC. 100.00%

IMPERVIOUS AREA: 43,796 S.F. 1.005 AC. 78.03%

PROPOSED BUILDING: 15,326 S.F.

PROPOSED PAVEMENT: 28,460 S.F.

PERVIOUS AREA: 12,327 S.F. 0.283 AC. 21.97%

BUILDING DATA:

RETAIL AREA = 800 S.F.
OFFICE AREA = 11,183 S.F.
WAREHOUSE AREA = 3,343 S.F.
TOTAL AREA = 15,326 S.F.

TOTAL BUILDING COVERAGE: 30.70%

BUILDING HEIGHT = 26'

NUMBER OF EMPLOYEES = 16

PARKING CALCULATIONS

RETAIL AREA = 800 S.F.
= 1 SPACE PER 200 S.F.
= 800 S.F. / 200 = 4 SPACES

OFFICE AREA = 11,183 S.F.
= 1 SPACE PER 300 S.F.
= 11,183 S.F. / 300 = 37 SPACES

WAREHOUSE AREA = 3,343 S.F.
= THE GREATER OF 1 SPACE/1,000 S.F.
3,343 S.F./1,000 = 3 SPACES
OR 1 SPACE/2 EMPLOYEES
6 EMPLOYEES/2 = 3 SPACES

PARKING REQUIRED = 44 SPACES (2 HC)

PARKING PROVIDED = 44 SPACES (2 HC)

ALL BUILDING PERMITS SHALL BE OBTAINED WITHIN ONE (1) YEAR OF FINAL
APPROVAL OF THE SITE PLAN, AND ALL CONSTRUCTION COMPLETED WITHIN
TWO (2) YEARS.

NOTE:
THE PURPOSE OF THIS SITE PLAN AMENDMENT IS TO UTILIZE THE SOUTH
HALF OF THE EXISTING BUILDING FOR A PERSONAL FITNESS TRAINING
BUSINESS. THE APPROVED SITE PLAN INDICATED RETAIL, OFFICE AND
WAREHOUSE USES. THE CHANGE IN THE PROPOSED USE REQUIRES FOUR
(4) ADDITIONAL PARKING SPACES, WHICH HAVE BEEN PROVIDED.

THE 1,900 SQ. FT. MEZZANINE SHOWN ON THE APPROVED SITE PLAN WAS
NOT CONSTRUCTED AND IS NO LONGER PROPOSED.

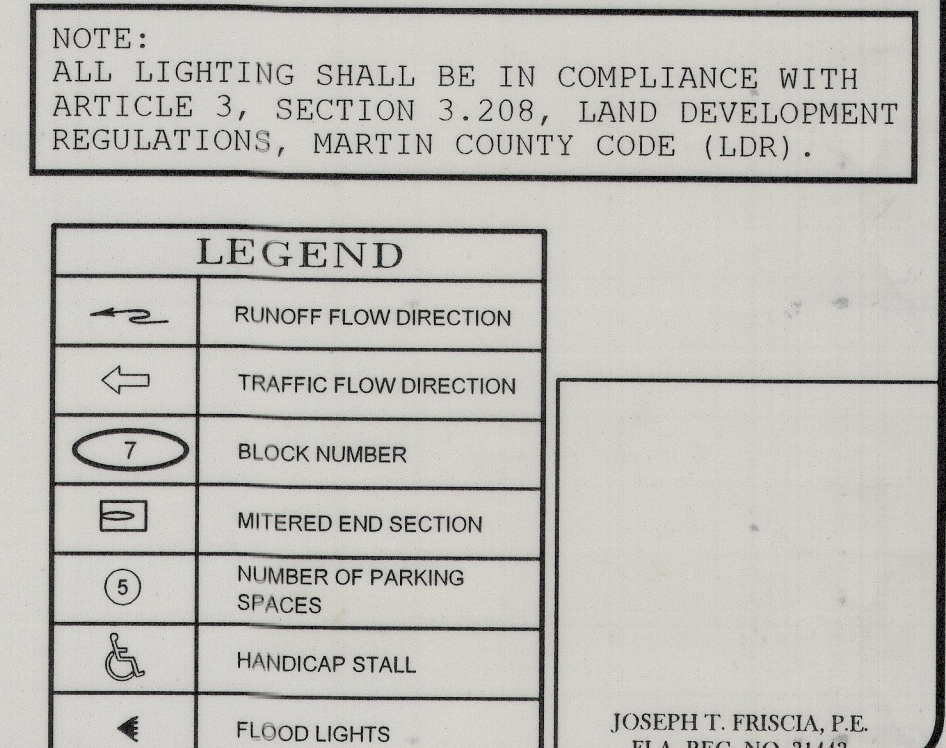
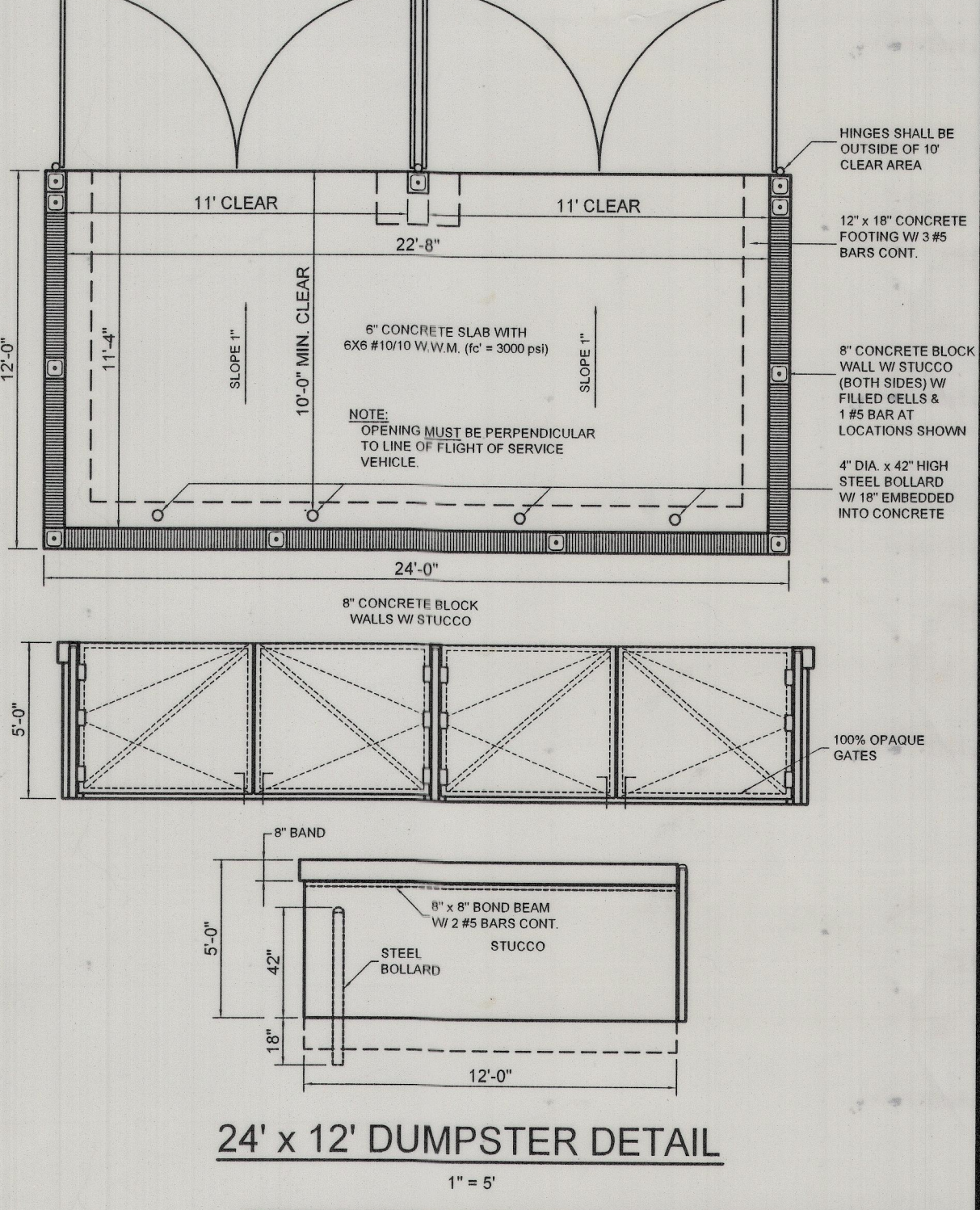
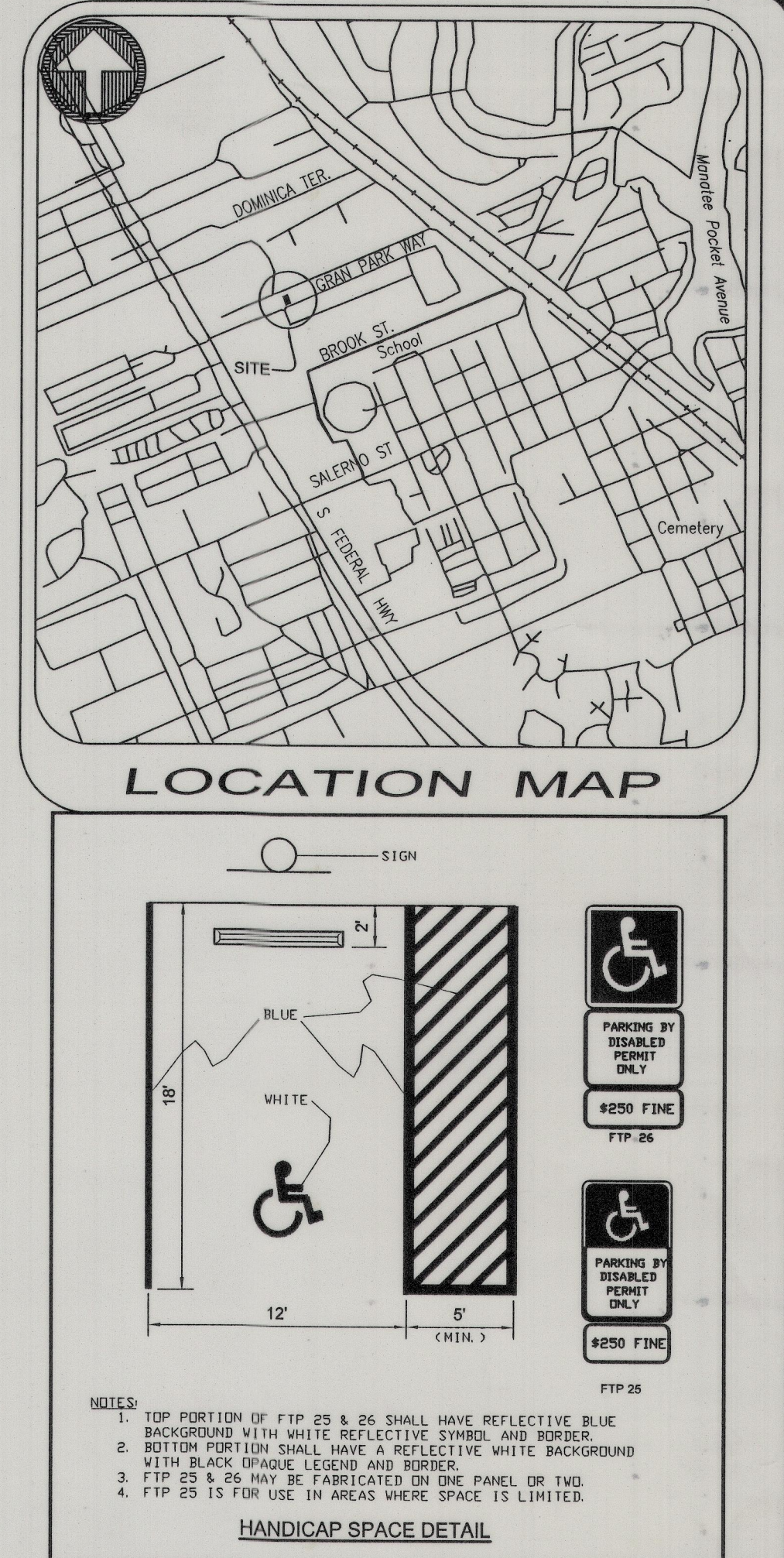
GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES AND THE
SECTIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND
BRIDGE CONSTRUCTION, CURRENT EDITION OTHERWISE AUTHORIZED BY THE ENGINEER IN WRITING. THE
CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OFF-SITE DAMAGE, RESULTING FROM HIS OPERATIONS, TO
EXISTING PAVEMENT, SWALES, ETC..
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO BIDDING WORK AND SHALL
TAKE INTO CONSIDERATION ANY OMISSIONS, UNDERGROUND UTILITIES, OR OTHER ITEMS AFFECTING
THE INSTALLATION OF PAVING AND DRAINAGE. SHOULD UNCHARTED OR INCORRECTLY CHARTED
UTILITIES OR OTHER ITEMS BE ENCOUNTERED DURING CONSTRUCTION, CONSULT PROJECT ENGINEER
IMMEDIATELY FOR DIRECTIONS. REPAIR DAMAGED UTILITIES OR OTHER ITEMS TO SATISFACTION OF
UTILITY OWNER AND PROJECT ENGINEER.
3. ALL BERMS AND GRASSED AREAS WILL BE SEEDING AND MULCHED IN ACCORDANCE WITH THE
APPROPRIATE SECTIONS OF THE ABOVE REFERENCED SPECIFICATIONS UNLESS OTHERWISE
AUTHORIZED BY THE ENGINEER.
4. ALL SLOPES TO BE MAXIMUM 4:1 UNLESS NOTED. ALL SLOPES SHALL BE SODDED.
5. LOCATION OF DRAINAGE STRUCTURES SHALL GOVERN AND PIPE LENGTHS MAY HAVE TO BE
ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.
6. IF HARDPAN IS ENCOUNTERED WITHIN RETENTION AREA OR SWALES, IT SHALL BE REMOVED
AND REPLACED WITH A GRANULAR MATERIAL.
7. IF MUCK IS ENCOUNTERED, IT SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH A
GRANULAR MATERIAL AND COMPACTED TO DENSITIES SUFFICIENT TO ACCOMMODATE THE
INTENDED USE.
8. EROSION AND SEDIMENT CONTROL - CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION
AND SEDIMENT CONTROL USING THE LATEST F.D.O.T. STANDARDS. BAILED HAY, STRAW, AND
SILTATION BARRIERS WILL BE INSTALLED WHERE NEEDED TO PREVENT SILTATION OF ADJACENT
PROPERTY, PUBLIC RIGHT-OF-WAY, WETLANDS AND WATERWAYS. THESE WILL REMAIN IN PLACE
UNTIL GRASSING OR SODDING HAS BEEN COMPLETED OF UNTIL SILTATION AND EROSION ARE
NO LONGER A THREAT TO ADJACENT PROPERTY AND WATERWAY.
9. CONTRACTOR TO CONTACT MARTIN COUNTY GROWTH MANAGEMENT DEPARTMENT FOR FIELD
INSPECTION TO DETERMINE IF BARRICADES HAVE PROPERLY PLACED AROUND THE PRESERVE
AREA TO PROTECT IT FROM ANY CONSTRUCTION ACTIVITY PRIOR TO ANY LAND CLEARING.
10. ALL EXOTICS TO BE REMOVED PRIOR TO C/O.
11. RCP INDICATES REINFORCED CONCRETE PIPE. CMP INDICATES CORRUGATED METAL PIPE.
BCCMP INDICATES BITUMINOUS COVERED CORRUGATED METAL PIPE. CAP INDICATES CORRUGATED
ALUMINUM PIPE. CPP INDICATES CORRUGATED POLYETHYLENE PIPE (N12) MANUFACTURED BY
ADVANCED DRAINAGE SYSTEMS, INC. (ADS).
12. ALL INLETS SHALL BE TYPE "C" PER F.D.O.T. INDEX #232 W/ CAST IRON GRATES, UNLESS
NOTED OTHERWISE.
13. ENTRANCE TRAFFIC CONTROL - STOP SIGN, STOP BAR AND LANE DELINEATOR SHALL BE IN
ACCORDANCE WITH M.U.T.C.D. SPECIFICATIONS AT ALL ENTRANCE LOCATIONS.
14. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY BY STEPHEN J. BROWN, INC.,
DWG. NO. 4778-01-01.
15. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION
CONDITIONS OR BETTER.
16. MES INDICATES MITERED END SECTION PER F.D.O.T. INDEX #272.
17. ALL CURBS SHALL BE TYPE "D" UNLESS NOTED OTHERWISE.

**APPROVED PLAN IS CONSISTENT WITH
THE APPROVED DEVELOPMENT ORDER
ISSUED BY MARTIN COUNTY**

DATE APPROVED: 1/20/09
BY: [Signature]
Project Coordinator

All site plans must comply with all applicable sections of
Martin County Comprehensive Growth Management Plan (C
Development Regulations (LDR), and Code of Law
Failure to document compliance with all ap
regulations does not relieve the applic
for compliance with the applicable secti
and Code of Laws and Ordinances. Any
must receive prior approval.



Date	Revisions	By
01-14-09	PER MARTIN COUNTY	JS

FRISOLIA ENGINEERING
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E-MAIL: frisciaeng@comcast.net
BPR & FBPE License No. 6424

MARTIN COMMERCE CENTER @ GRAN PARK WEST
REVISED FINAL SITE PLAN

**DRAWN
RWF
CHECKED
JTF
DATE
10/31/08
SCALE
1" = 30'
JOB NO.
08-1154
SHEET
1**

LEGEND

←	RUNOFF FLOW DIRECTION
→	TRAFFIC FLOW DIRECTION
7	BLOCK NUMBER
⊞	MITERED END SECTION
⑤	NUMBER OF PARKING SPACES
♿	HANDICAP STALL
⬅	FLOOD LIGHTS

JOSEPH T. FRISOLIA, P.E.
FLA. REG. NO. 31443