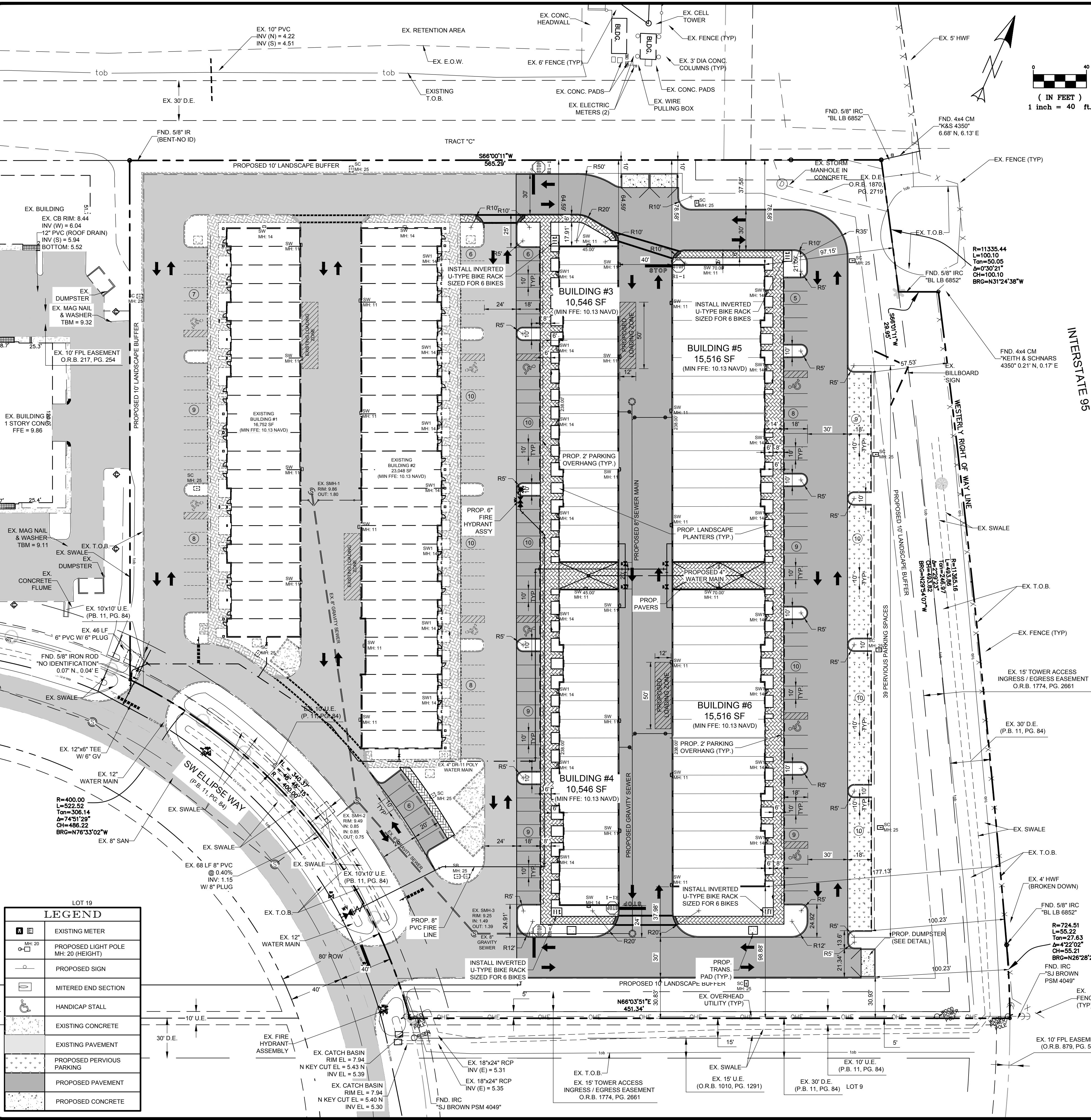


THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



LEGAL DESCRIPTION
LOT 18 OF THE PLAT OF THE ELLIPSE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11 AT PAGE 84, IN THE OFFICE OF THE CIRCUIT COURT IN AND FOR MARTIN COUNTY, FLORIDA.

EASEMENT PARCEL 1:
TOGETHER WITH A NON-EXCLUSIVE ACCESS EASEMENT AS CREATED UNDER PARAGRAPH 10.3 OF THAT CERTAIN AMENDED AND RESTATED DECLARATION OF PROTECTIVE COVENANTS OF THE ELLIPSE, AS RECORDED IN OFFICIAL RECORDS BOOK 911, PAGE 242, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

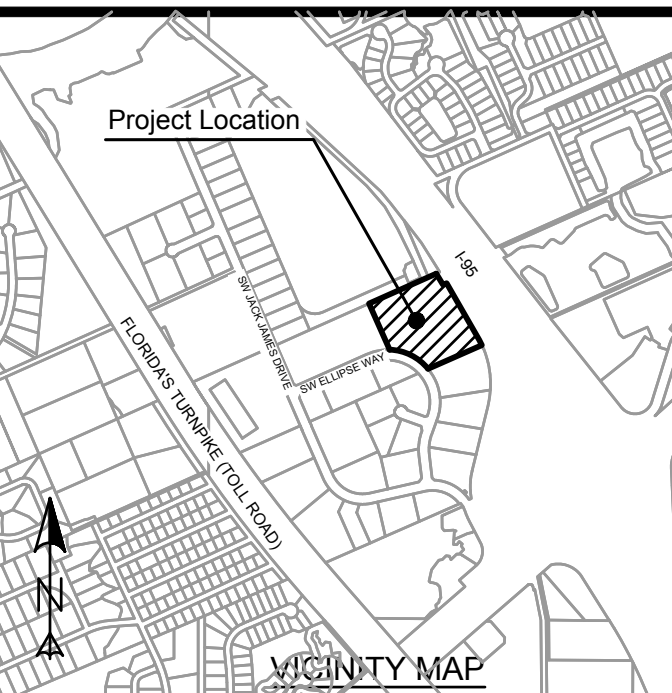
CONTAINING 370,473 SQUARE FEET OR 8.504 ACRES.

SECTION 05, TOWNSHIP 39 SOUTH, RANGE 41 EAST

PARCEL ID #: 05-39-41-002-000-0018-0-1

PROJECT NAME: WEST STUART BUSINESS CENTER

OWNER: WEST STUART BUSINESS CENTER LLC
1935 COMMERCE LN STE 5
JUPITER FL 33458



SITE DATA

FUTURE LAND USE: IND - INDUSTRIAL
ZONING: LI - LIMITED INDUSTRIAL

GROSS SITE AREA: 370,473 S.F. (8.505 AC) = 100.00%

IMPERVIOUS AREA: 262,868 S.F. (6.035 AC) = 70.95%

EXISTING BUILDINGS: 39,800 S.F. (0.914 AC) = 10.74%

EXISTING PAVEMENT: 77,214 S.F. (1.773 AC) = 20.84%

EXISTING CONCRETE/PAVERS: 7,453 S.F. (0.171 AC) = 2.01%

PROPOSED BUILDING: 52,124 S.F. (1.197 AC) = 14.07%

PROPOSED PAVEMENT: 70,237 S.F. (1.612 AC) = 18.96%

PROPOSED CONCRETE/PAVERS: 16,040 S.F. (0.368 AC) = 4.33%

PERVIOUS AREA/OPEN SPACE: 107,605 S.F. (2.470 AC) = 29.05%

BUILDING SETBACKS:
LI (LIMITED INDUSTRIAL)
FRONT BUILDING SETBACK (15')
SIDE BUILDING SETBACK (10')
REAR BUILDING SETBACK (10')

BUILDING DATA:
EXISTING BUILDING #1 OFFICE AREA = 3,350 S.F.
WAREHOUSE AREA = 13,402 S.F.
EXISTING BUILDING #2 OFFICE AREA = 4,610 S.F.
WAREHOUSE AREA = 18,438 S.F.
PROPOSED BUILDING #3 OFFICE AREA = 2,090 S.F.
WAREHOUSE AREA = 8,456 S.F.
PROPOSED BUILDING #4 OFFICE AREA = 2,090 S.F.
WAREHOUSE AREA = 8,456 S.F.
PROPOSED BUILDING #5 OFFICE AREA = 3,103 S.F.
WAREHOUSE AREA = 12,413 S.F.
PROPOSED BUILDING #6 OFFICE AREA = 3,103 S.F.
WAREHOUSE AREA = 12,413 S.F.

TOTAL BUILDING AREA: 18,346 S.F. 73,578 S.F.

TRAFFIC STATEMENT
SEE TRAFFIC REPORT SUBMITTED UNDER SEPARATE COVER.

BUILDING HEIGHT:
PROPOSED BUILDING HEIGHT = 20'

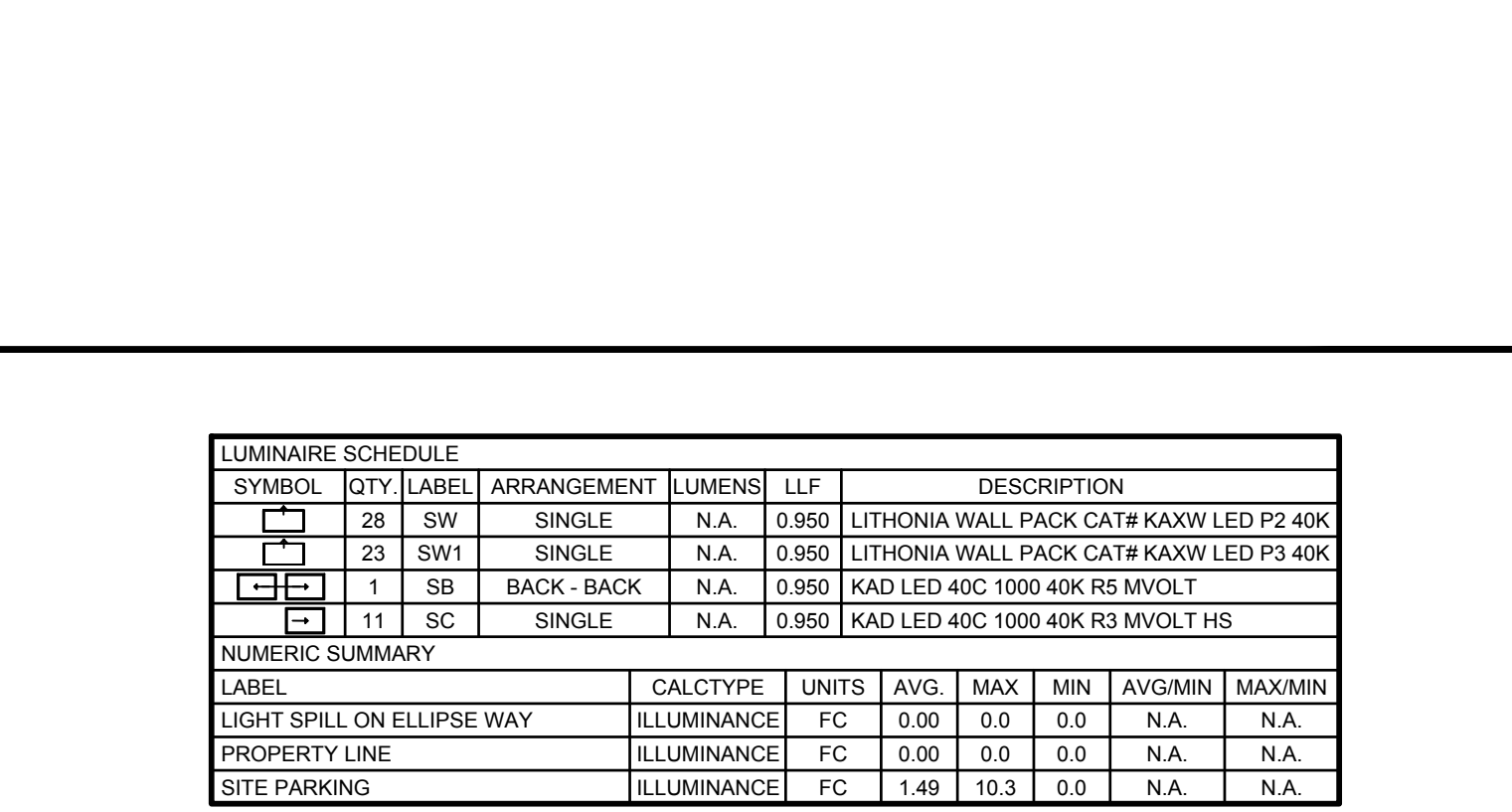
PROVIDER OF UTILITIES:
WATER: MCU
WASTEWATER: MCU

PARKING CALCULATIONS:
PARKING REQUIRED: 18,346 S.F. OFFICE AREA
1 SPACE / 300 S.F. OFFICE AREA
18,346 / 300 = 61 SPACES
73,578 WAREHOUSE AREA
1 SPACE / 1,000 S.F. WAREHOUSE AREA
73,578 / 1,000 = 74 SPACES
PARKING PROVIDED = 135 SPACES (5 HC)
PARKING PROVIDED = 188 SPACES (9 HC)
(135 SPACES + 108 OR 14 SPACES = 149 PAVED SPACES)
REQUIRED PERVIOUS SPACES = 39 SPACES
LOADING ZONES = 4 SPACES

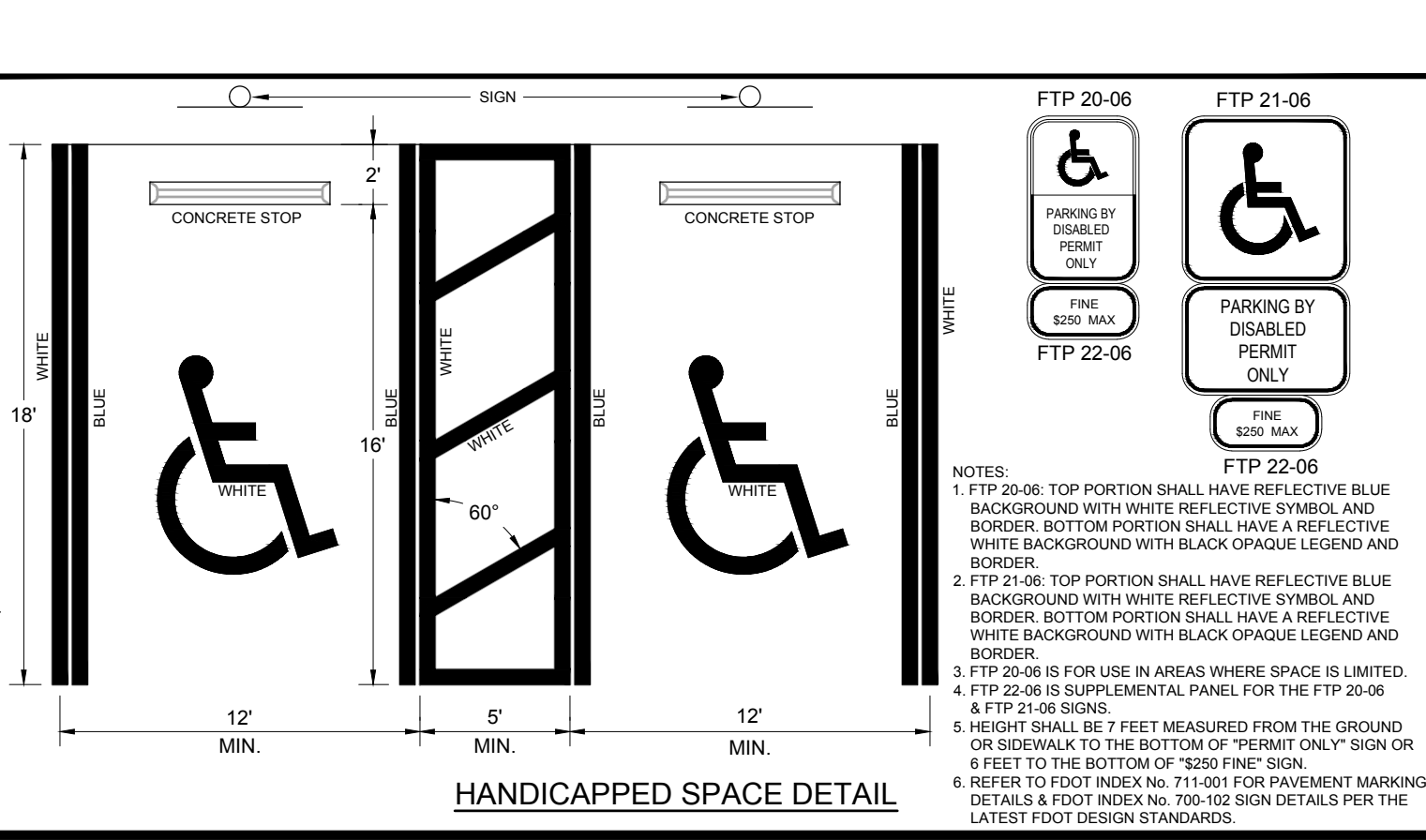
DRAINAGE SYSTEM:
THE SURFACE WATER MANAGEMENT SYSTEM FOR THIS PROJECT COLLECTS SITE RUNOFF IN A SERIES OF INLETS WHICH WILL CONVEY THE RUNOFF TO THE EX. DRAINAGE MANHOLE OF THE PHASE 1 SITE. THE SURFACE WATER WILL THEN DISCHARGE TO THE EX. MASTER DRAINAGE SYSTEM OF THE ELLIPSE INDUSTRIAL PARK. SFWM CRITERIA FOR WATER QUALITY AND QUANTITY TREATMENT WILL BE PROVIDED. A MODIFICATION TO SFWM PERMIT 43-020516-S WILL BE OBTAINED.

TRAFFIC STATEMENT
SEE TRAFFIC REPORT SUBMITTED UNDER SEPARATE COVER.

DRAINAGE SYSTEM:
THE SURFACE WATER MANAGEMENT SYSTEM FOR THIS PROJECT COLLECTS SITE RUNOFF IN A SERIES OF INLETS WHICH WILL CONVEY THE RUNOFF TO THE EX. DRAINAGE MANHOLE OF THE PHASE 1 SITE. THE SURFACE WATER WILL THEN DISCHARGE TO THE EX. MASTER DRAINAGE SYSTEM OF THE ELLIPSE INDUSTRIAL PARK. FEWMD CRITERIA FOR WATER QUALITY AND QUANTITY TREATMENT WILL BE PROVIDED. A MODIFICATION TO FEWMD PERMIT 43-020516-S WILL BE OBTAINED.



NOTE:
CONTRACTOR TO REFER TO PHOTOMETRIC PLANS FOR LIGHT FIXTURE LOCATIONS & DETAILS.



EDC ENGINEERS & SURVEYORS

PORT SAINT LUCIE OFFICE
10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455
www.edc-inc.com

F.B.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

DESIGNED BY: JLV
DRAWN BY: JLV
FILE NAME: 18-382-01-010.dwg
LAYOUT: SITE PLAN
SCALE: AS SHOWN
DATE: 25 SEPTEMBER 2018

REVISION COMMENTS

04-02-2018 REVISED PLANS PER MARTIN COUNTY DRC COMMENTS (03-18-2018)
02-22-2018 REVISED PLANS PER MARTIN COUNTY DRC COMMENTS (01-15-2018)
01-14-2018 ADDED MORE PARKING STALLS TO PHASE 1 & PHASE 2 AREA

WEST STUART BUSINESS CENTER

REVISED FINAL SITE PLAN

FLORIDA

MARTIN COUNTY

DAVID C. BAGGETT, P.E.(DATE)
#81375

10250 SW VILLAGE PARKWAY - SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

18-382

1 OF 2

