

This instrument prepared by:  
Ellen MacArthur for  
Martin County  
2401 SE Monterey Road  
Stuart, FL 34996

Project Name: Jensen Beach Land Co. Utility Easement  
Project No: RPM #3236  
PCN: 17-37-41-004-002-00010-0

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

### UTILITY EASEMENTS

THIS EASEMENT granted and executed this 28th day of May, 2019, by JENSEN BEACH LAND COMPANY, LTD., a Florida limited partnership, whose mailing address is c/o Dacar Management LLC, 336 E. Dania Beach Boulevard, Dania, FL, 33004, Grantor, to MARTIN COUNTY, a political subdivision of the State of Florida, whose address is 2401 SE Monterey Road, Stuart, Florida 34996, Grantee.

(Wherever used herein the terms "Grantor" and "Grantee" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, that the Grantor, for and in consideration of the sum of \$1.00 and other good and valuable considerations, in hand paid by the Grantee, the receipt and sufficiency whereof is hereby acknowledged, does hereby grant unto the Grantee forever, an easement for the construction, reconstruction, replacement, operation, maintenance, and repair of utility related equipment, including, but not limited to lift stations, pumps, pipelines, fences, structures, and powerline hookups, if required, in, under, over, across, and through the following described land, situate, lying and being in the County of Martin, State of Florida, to-wit:

See Exhibits "A", "B", "C" attached hereto and made a part hereof.

The Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good and lawful authority to grant and convey this easement; that Grantor fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever and that there are no mortgages encumbering the Easement Premises.

The Grantor agrees that it will not alter or obstruct or allow the alteration or obstruction of the Easement Premises in any way without the express written consent of the Grantee. Grantee, its contractors, agents and employees shall have free access to the Easement Premises and every part thereof, at all times, for the purpose of exercising the rights granted herein; provided however in making any excavations on the Easement Premises, Grantee shall make the same in such manner as will cause the least injury to the surface of the ground and restore any improvements within such excavation to as near the same condition as it was prior to such excavation as soon as is practicable.

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in  
the presence of:

WITNESSES:

GRANTOR:

JENSEN BEACH LAND COMPANY LTD.,  
a Florida limited partnership  
By: JENSEN BEACH LAND COMPANY,  
INC., a Florida Corporation

Ava M Bennett  
Witness

Ava M. Bennett  
Print Name

Stacey Montecelo  
Witness

Stacey Montecelo  
Print Name

BY: [Signature]

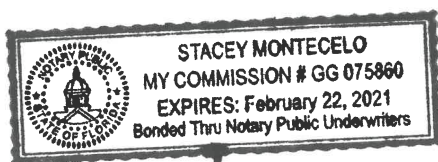
Alberto Michela-Buzali  
Print Name

Title: Vice President

State of Florida }

County of Broward }

The foregoing Utility Easement was acknowledged before me this 29<sup>th</sup> day of May, 2019 by Alberto Michela Buzali as Vice President of Jensen Beach Land Company Ltd., a limited partnership existing under the laws of the State of Florida, on behalf of the corporation. He/she is (☒) personally known to me or has produced \_\_\_\_\_ as identification.



[Signature]  
Notary Public

**LEGAL DESCRIPTION TO ACCOMPANY SKETCH**

A PORTION OF BLOCK 2, IN SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST  
 PLAT NO. 1 SAINT LUCIE GARDENS, RECORDED IN PLAT BOOK 1, PAGE 35  
 MARTIN COUNTY, FLORIDA


**LEGAL DESCRIPTION:**

A PARCEL OF LAND LYING IN SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA; BEING A PORTION OF BLOCK 2, IN SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST, PLAT NO. 1 SAINT LUCIE GARDENS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 35, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY (NOW LYING IN MARTIN COUNTY), FLORIDA, LYING EASTERLY OF U.S. HIGHWAY NO. 1 (A.K.A. NW FEDERAL HIGHWAY AND/OR STATE ROAD NO. 5), AND LYING SOUTHERLY OF CHARLESTON PLACE AT THE JENSEN BEACH COUNTRY CLUB OF WEST JENSEN P.U.D., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 54, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, BEING MORE SPECIFICALLY DESCRIBED AS FOLLOWS:

**COMMENCE** AT THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST; THENCE SOUTH 89°38'20" EAST, ALONG THE NORTH LINE OF SAID SECTION 18, A DISTANCE OF 371.13 FEET TO AN INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE SOUTH 27°47'47" EAST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 608.73 FEET TO THE SOUTHWEST CORNER OF TRACT "C", CHARLESTON PLACE AT THE JENSEN BEACH COUNTRY CLUB OF WEST JENSEN P.U.D., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 16, PAGE 54, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 62°09'40" EAST, ALONG THE SOUTH LINE OF SAID TRACT "C", A DISTANCE OF 115.24 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 100.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 12°39'26", A DISTANCE OF 22.09 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE ALONG THE ARC OF SAID CURVE AND SOUTH LINE OF SAID TRACT "C" THROUGH A CENTRAL ANGLE OF 05°57'09", A DISTANCE OF 10.39 FEET; THENCE DEPARTING SAID CURVE AND SAID SOUTH LINE, SOUTH 27°50'20" EAST, A DISTANCE OF 12.64 FEET; THENCE SOUTH 62°09'40" WEST, A DISTANCE OF 10.00 FEET; THENCE NORTH 27°50'20" WEST, A DISTANCE OF 15.44 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 141 SQUARE FEET, OR 0.00324 ACRES, MORE OR LESS.

**LEGEND**

LB	= LICENSED BUSINESS	PG.	= PAGE
LS	= LICENSED SURVEYOR	O.R.B.	= OFFICIAL RECORDS BOOK
LTD.	= LIMITED	P.O.B.	= POINT OF BEGINNING
NAD	= NORTH AMERICAN DATUM	P.O.C.	= POINT OF COMMENCEMENT
NO.	= NUMBER	18-T37S-R41E	= SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST
P.B.	= PLAT BOOK		= UTILITY EASEMENT

**SURVEYOR'S NOTES**

1. THE BEARINGS SHOWN HEREON REFER TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83 /2011 ADJUSTMENT) HAVING A BEARING OF SOUTH 89°38'20" EAST ALONG THE NORTH LINE OF SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST.
2. OTHER MATTERS OF RECORD AFFECTING LANDS SHOWN HEREON MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.


NOTE: SEE SHEET 2 OF 2 FOR SKETCH OF DESCRIPTION.

DESCRIPTION NOT VALID UNLESS ACCOMPANIED WITH SKETCH OF DESCRIPTION AS SHOWN ON SHEET 2 OF 2 OF THIS DOCUMENT.

**THIS IS NOT A SURVEY**

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE SKETCH AND DESCRIPTION SHOWN HEREON WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE" FOR SURVEYING AND MAPPING IN THE STATE OF FLORIDA AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

  
 STEVEN N. BRICKLEY  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA LICENSE No. LS - 6841

OCTOBER 8, 2018  
 DATE OF SIGNATURE

BOWMAN CONSULTING GROUP, LTD., INC.  
 CORPORATION CERTIFICATE OF AUTHORIZATION No. LB 8030

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**Bowman**  
**CONSULTING**

Bowman Consulting Group, Ltd., Inc. Phone: (772) 283-1413  
 301 S. East Ocean Blvd., Suite 301 Fax: (772) 220-7881  
 Stuart, FL 34994 [www.bowmanconsulting.com](http://www.bowmanconsulting.com)

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Professional Surveyors and Mappers, Certificate No. LB-8030

**JENSEN VILLAGE AT THE JENSEN BEACH  
 COUNTRY CLUB OF WEST JENSEN P.U.D.  
 UTILITY EASEMENT**

**MARTIN COUNTY**

**FLORIDA**

PROJECT NO. 010229-01-002 REVISED DATE: OCT. 8, 2018

DATE: DEC. 11, 2017

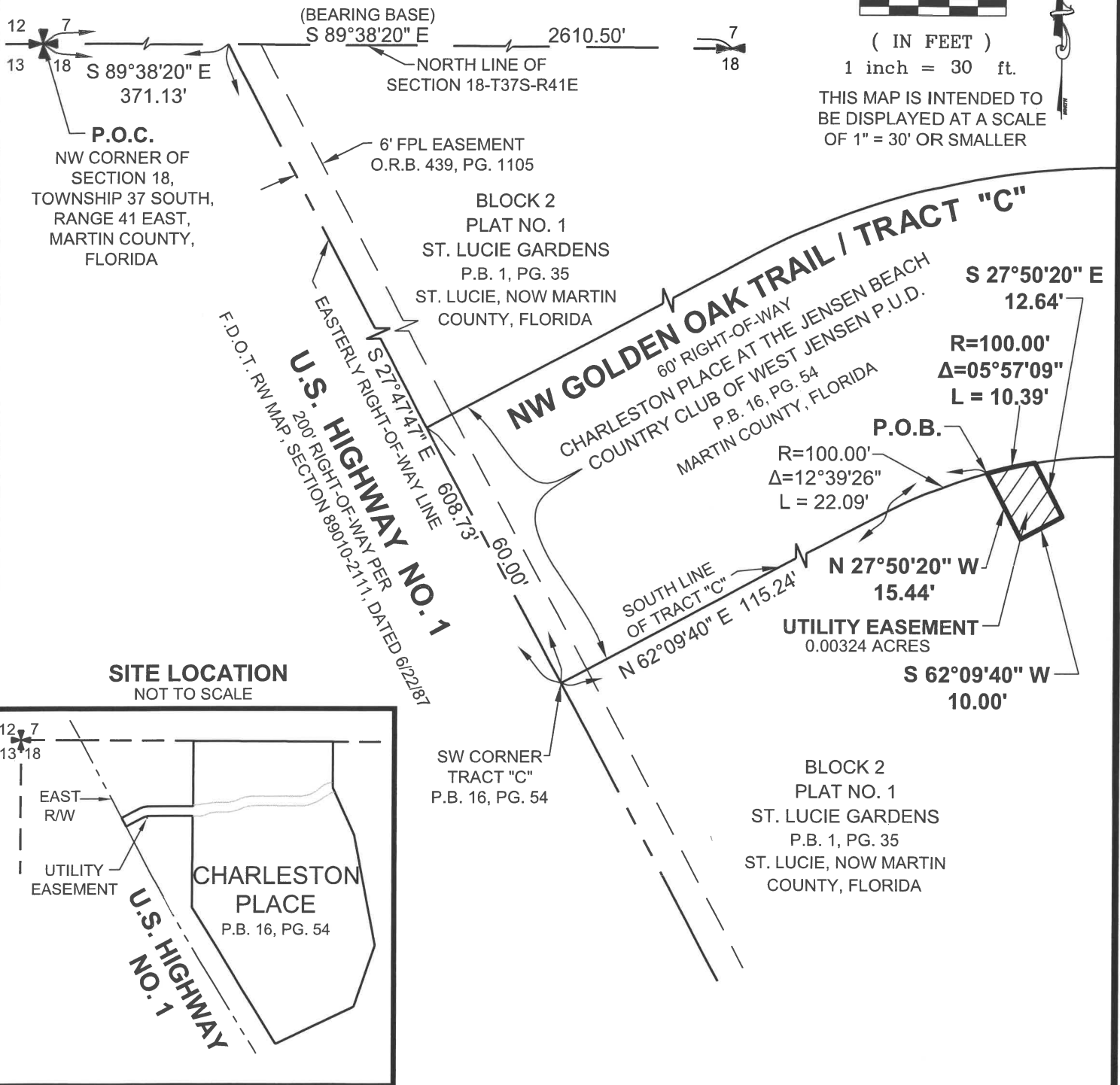
CADD FILE: 010229 MC2 UE SKT

SCALE: N/A

SHEET 1 OF 2

# SKETCH OF DESCRIPTION

A PORTION OF BLOCK 2, IN SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST  
PLAT NO. 1 SAINT LUCIE GARDENS, RECORDED IN PLAT BOOK 1, PAGE 35  
MARTIN COUNTY, FLORIDA



NOTE: SEE SHEET 1 OF 2 FOR DESCRIPTION, SURVEYOR'S NOTES AND CERTIFICATION.

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### JENSEN VILLAGE AT THE JENSEN BEACH COUNTRY CLUB OF WEST JENSEN P.U.D. UTILITY EASEMENT

MARTIN COUNTY

FLORIDA

PROJECT NO. 010229-01-002 REVISED DATE: OCT. 8, 2018

DATE: DEC. 11, 2017

CADD FILE: 010229 MC2 UE SKT

SCALE: 1"=30'

SHEET 2 OF 2



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 89°38'20" EAST, ALONG THE NORTH LINE OF SAID SECTION 18, A DISTANCE OF 371.13 FEET TO AN INTERSECTION WITH  
 THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 1; THENCE SOUTH 27°47'47" EAST, ALONG SAID EASTERLY  
 RIGHT-OF-WAY LINE, A DISTANCE OF 608.73 FEET TO THE SOUTHWEST CORNER OF TRACT "C", CHARLESTON PLACE AT  
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 RIGHT-OF-WAY LINE, NORTH 62°09'40" EAST, ALONG THE SOUTH LINE OF SAID TRACT "C", A DISTANCE OF 115.24 FEET  
 TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 100.00 FEET; THENCE ALONG THE  
 ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 28°11'11", A DISTANCE OF 49.19 FEET TO THE POINT OF  
 TANGENCY; THENCE SOUTH 89°39'09" EAST, ALONG SAID SOUTH LINE OF TRACT "C", A DISTANCE OF 264.38 FEET TO  
 THE NORTHWEST CORNER OF TRACT "A" OF SAID CHARLESTON PLACE AT THE JENSEN BEACH COUNTRY CLUB OF  
 WEST JENSEN P.U.D.; THENCE SOUTH 00°20'51" WEST, ALONG THE WEST LINE OF SAID TRACT "A", A DISTANCE OF 21.39  
 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE SOUTH 00°20'51" WEST, A DISTANCE OF 20.01 FEET; THENCE  
 DEPARTING SAID WEST LINE, SOUTH 88°07'55" WEST, A DISTANCE OF 14.61 FEET; THENCE NORTH 01°52'05" WEST, A  
 DISTANCE OF 20.00 FEET; THENCE NORTH 88°07'55" EAST, A DISTANCE OF 15.38 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 300 SQUARE FEET, OR 0.00688 ACRES, MORE OR LESS.

**LEGEND**

LB	= LICENSED BUSINESS	PG.	= PAGE
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 STEVEN N. BRICKLEY  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA LICENSE No. LS - 6841

OCTOBER 8, 2018  
 DATE OF SIGNATURE

BOWMAN CONSULTING GROUP, LTD., INC.  
 CORPORATION CERTIFICATE OF AUTHORIZATION No. LB 8030

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED  
 SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**Bowman**  
**CONSULTING**

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 Stuart, FL 34994 [www.bowmanconsulting.com](http://www.bowmanconsulting.com)

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Professional Surveyors and Mappers, Certificate No. LB-8030

**JENSEN VILLAGE AT THE JENSEN BEACH  
 COUNTRY CLUB OF WEST JENSEN P.U.D.**

**UTILITY EASEMENT**

**MARTIN COUNTY**

**FLORIDA**

PROJECT NO. 010229-01-002 REVISED DATE: OCT. 8, 2018

DATE: DEC. 11, 2017

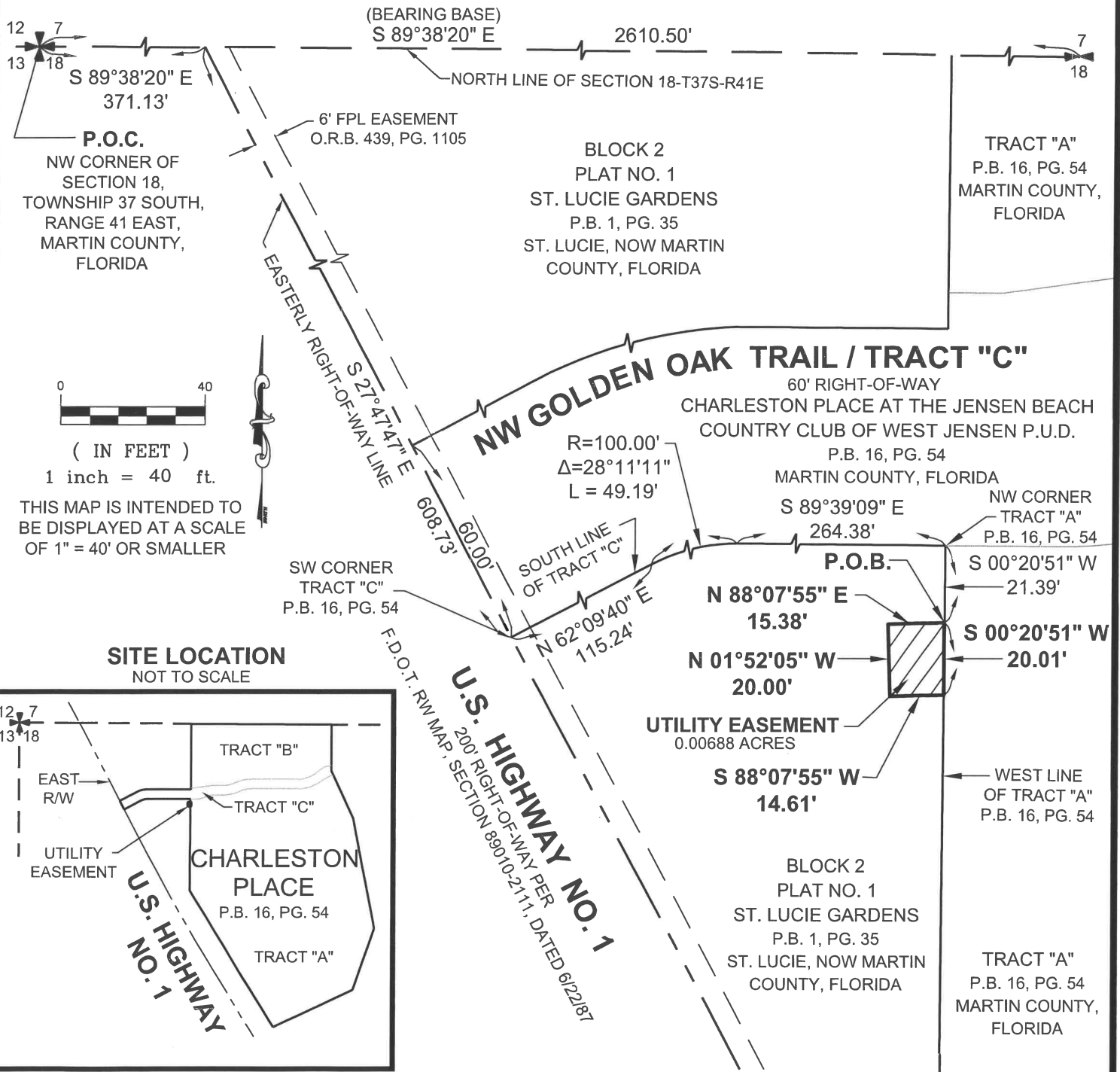
CADD FILE: 010229 MC3 UE SKT

SCALE: N/A

SHEET 1 OF 2

# SKETCH OF DESCRIPTION

A PORTION OF BLOCK 2, IN SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST  
PLAT NO. 1 SAINT LUCIE GARDENS, RECORDED IN PLAT BOOK 1, PAGE 35  
MARTIN COUNTY, FLORIDA



NOTE: SEE SHEET 1 OF 2 FOR DESCRIPTION, SURVEYOR'S NOTES AND CERTIFICATION.

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CADD FILE: 010229 MC3 UE SKT

SCALE: 1"=40'

SHEET 2 OF 2

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 RIGHT-OF-WAY LINE, NORTH 62°09'40" EAST, ALONG THE SOUTH LINE OF SAID TRACT "C", A DISTANCE OF 27.44 FEET TO  
 THE **POINT OF BEGINNING**; THENCE CONTINUE NORTH 62°09'40" EAST, A DISTANCE OF 10.00 FEET; THENCE DEPARTING  
 SAID SOUTH LINE, SOUTH 27°50'20" EAST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 62°09'40" WEST, A DISTANCE OF  
 10.00 FEET; THENCE NORTH 27°50'20" WEST, A DISTANCE OF 5.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 50 SQUARE FEET, OR 0.0015 ACRES, MORE OR LESS.

**LEGEND**

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 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA LICENSE No. LS - 6841

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**MARTIN COUNTY**

**FLORIDA**

PROJECT NO. 010229-01-002 REVISED DATE: OCT. 8, 2018

DATE: DEC. 8, 2017

CADD FILE: 010229 MC UE SKT

SCALE: N/A

SHEET 1 OF 2

# SKETCH OF DESCRIPTION

A PORTION OF BLOCK 2, IN SECTION 18, TOWNSHIP 37 SOUTH, RANGE 41 EAST  
PLAT NO. 1 SAINT LUCIE GARDENS, RECORDED IN PLAT BOOK 1, PAGE 35  
MARTIN COUNTY, FLORIDA



( IN FEET )

1 inch = 20 ft.

THIS MAP IS INTENDED TO  
BE DISPLAYED AT A SCALE  
OF 1" = 20' OR SMALLER

**P.O.C.**  
NW CORNER OF  
SECTION 18,  
TOWNSHIP 37 SOUTH,  
RANGE 41 EAST,  
MARTIN COUNTY,  
FLORIDA

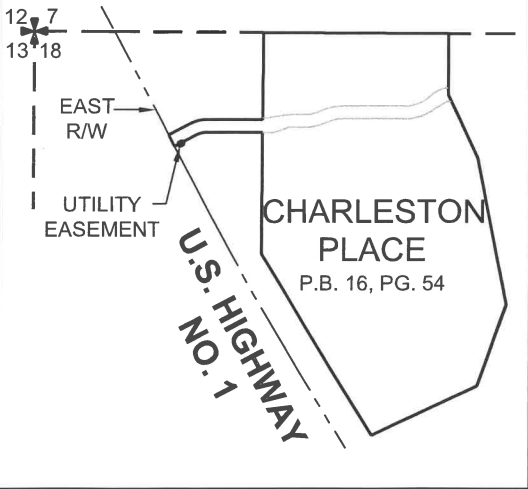
6' FPL EASEMENT  
O.R.B. 439, PG. 1105

BLOCK 2  
PLAT NO. 1  
ST. LUCIE GARDENS  
P.B. 1, PG. 35  
ST. LUCIE, NOW MARTIN  
COUNTY, FLORIDA

U.S. HIGHWAY NO. 1  
200' RIGHT-OF-WAY PER  
F.D.O.T. RW MAP, SECTION 89010-2-11, DATED 6/22/87

**NW GOLDEN OAK TRAIL  
TRACT "C"**  
60' RIGHT-OF-WAY  
CHARLESTON PLACE AT  
THE JENSEN BEACH  
COUNTRY CLUB OF  
WEST JENSEN P.U.D.  
P.B. 16, PG. 54  
MARTIN COUNTY, FLORIDA

**SITE LOCATION**  
NOT TO SCALE



SW CORNER  
TRACT "C"  
P.B. 16, PG. 54

**P.O.B.**

N 62°09'40" E  
27.44'  
N 27°50'20" W  
5.00'

S 27°50'20" E  
5.00'  
S 62°09'40" W  
10.00'

BLOCK 2  
PLAT NO. 1  
ST. LUCIE GARDENS  
P.B. 1, PG. 35  
ST. LUCIE, NOW MARTIN  
COUNTY, FLORIDA

UTILITY  
EASEMENT  
0.0015 ACRES

NOTE: SEE SHEET 1 OF 2 FOR DESCRIPTION, SURVEYOR'S NOTES AND CERTIFICATION.

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301 S. East Ocean Blvd., Suite 301 Fax: (772) 220-7881  
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**JENSEN VILLAGE AT THE JENSEN BEACH  
COUNTRY CLUB OF WEST JENSEN P.U.D.  
UTILITY EASEMENT**

**MARTIN COUNTY**

**FLORIDA**

PROJECT NO. 010229-01-002 REVISED DATE: OCT. 8, 2018

DATE: DEC. 8, 2017

CADD FILE: 010229 MC UE SKT

SCALE: 1"=20'

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