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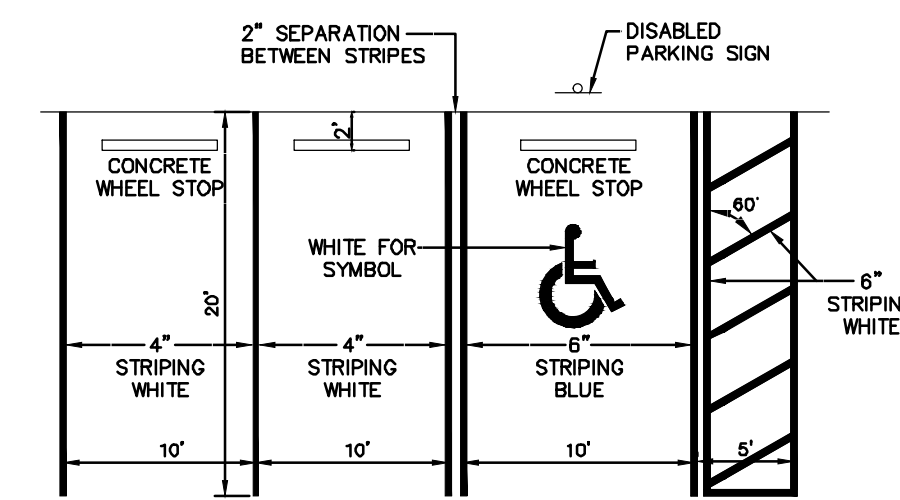
<b>Impervious Area:</b>	<b>41.63 ac.</b>	<b>66%</b>
Building Footprint:	18.53 ac.	
Lake Area:	2.51 ac.	
Pavement & Sidewalks:	20.59 ac.	
<b>Pervious Area (Open Space):</b>	<b>21.61 ac.</b>	<b>34%</b>
Landscape & Common Open Space	11.93 ac.	
Dry Detention Area:	2.14 ac.	
Preserve Area:	7.54 ac.	

## Sheet 3 of 3: Sands Commerce Center I

- DISABLED PARKING SIGN NOTES:**
1. SIGN SHALL BE FDOT "TTP-25" AS PER INDEX NO. 17355 OF THE CURRENT FDOT DESIGN STANDARDS. THIS REQUIREMENT IS PER FLORIDA STATUTES 553.5041(6)
  2. SIZE, COLOR, LETTERING AND SYMBOLS SHALL BE PER INDEX NO. 17355 OF THE CURRENT FDOT DESIGN STANDARDS..
  3. INSTALLED HEIGHT SHALL BE 7 FEET AS MEASURED FROM THE GROUND OR SIDEWALK TO THE BOTTOM OF THE "PARKING BY DISABLED PERMIT ONLY" PORTION OF THE SIGN. THE FILES PORTION OF THE SIGN MAY BE INSTALLED JUST BELOW.
  4. OTHER ADDITIONAL REQUIREMENTS MUST BE ADHERED TO PER LOCAL JURISDICTION CODES.



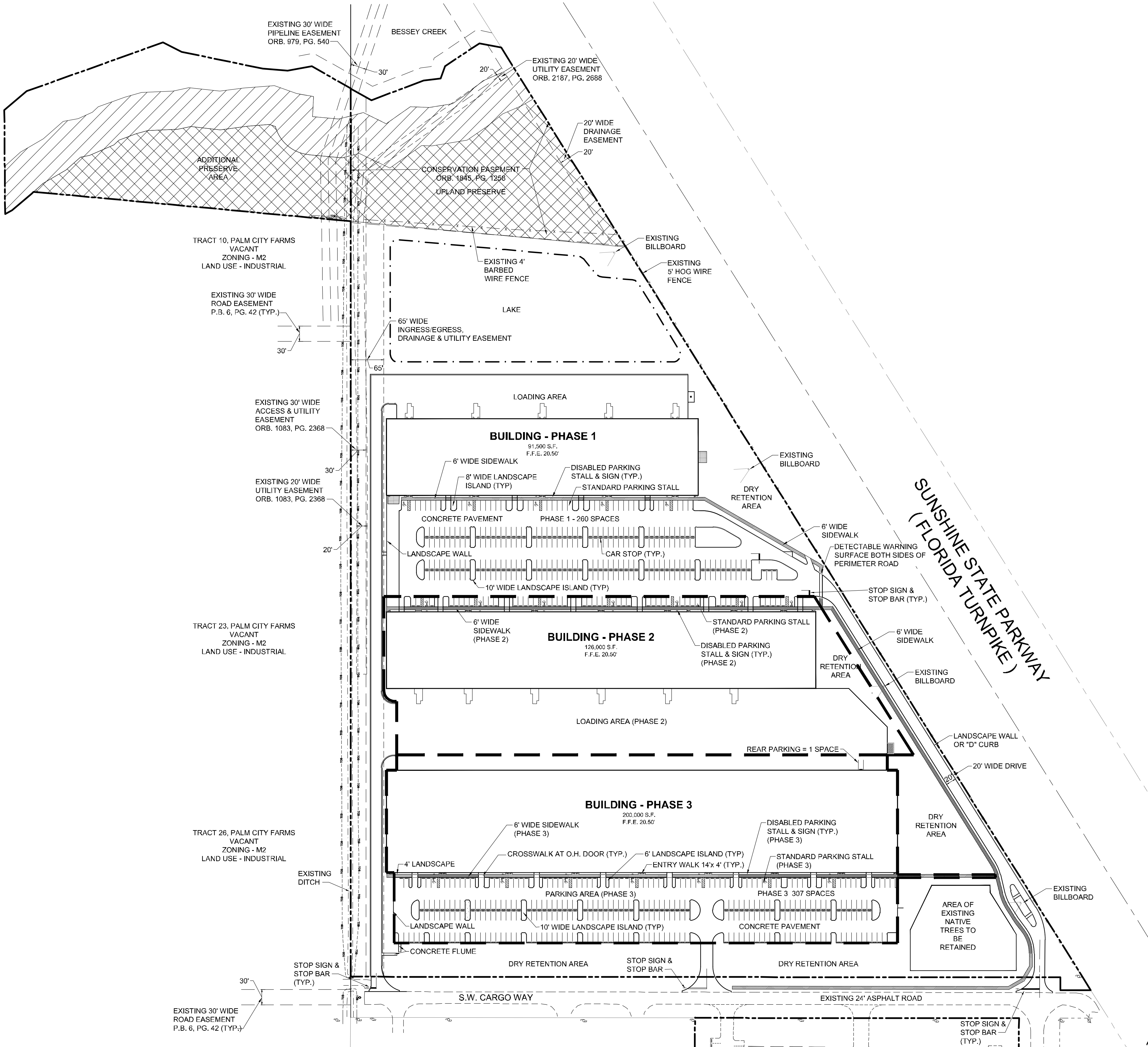
DISABLED SIGN DETAIL  
N.T.S.



PARKING SPACE DETAIL  
N.T.S.

- PARKING STALL NOTES:**
1. DISABLED SPACE AND AISLE STRIPING SHALL BE PER INDEX NO. 17346 OF THE CURRENT FDOT DESIGN STANDARDS, FLORIDA STATUTES 553.504(1)(6), AND CURRENT FLORIDA BUILDING CODE.
  2. DISABLED SPACE STRIPING COLOR, SYMBOLS SIZE AND COLOR, SHALL BE PER INDEX NO. 17346 OF THE CURRENT FDOT DESIGN STANDARDS, AND CURRENT FLORIDA BUILDING CODE.
  3. OTHER ADDITIONAL REQUIREMENTS MUST BE ADHERED TO AS PER LOCAL JURISDICTION CODES.

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SANDS COMMERCE CENTER III ONLY

LEGAL DESCRIPTION:

That part of Tract 11, lying South of Bessey Creek and West of of the Sunshine State Parkway (Florida State Turnpike); That part of Tracts 21, 22, 28, and 29, lying West of the Sunshine State Parkway (Florida State Turnpike); All of Tract 27; all in Section 14, Township 38 South, Range 40 East, PALM CITY FARMS SUBDIVISION, as recorded in Plat Book 6, Page 42, Public Records of Palm Beach (now Martin) County, Florida.

Parcel Control Number - 14-38-40-000-009-00000-80000

SITE DATA:

LAND USE - INDUSTRIAL

EXISTING ZONING - M2

TOTAL PARCEL SIZE:	1,556,089 SF	35.72 AC.	100.0%
LESS CONSERVATION EASEMENT:	133,511 SF	3.06 AC.	8.6%
DEVELOPED AREA OF PARCEL:	1,422,578 SF	32.66 AC.	91.4%
ADDITIONAL PRESERVE AREA:	189,9212 SF	4.36 AC.	

OPEN SPACE CALCULATIONS

REQUIRED:	311,218 SF	7.14 AC.	20.0%
PROVIDED:	419,260 SF	11.28 AC.	31.6%

IMPERVIOUS AREA:

PROPOSED BUILDING:	417,500 SF	9.58 AC.	26.8%
PROPOSED PAVEMENT:	505,121 SF	11.60 AC.	32.5%
SIDEWALKS, PADS, ETC.:	32,766 SF	0.75 AC.	2.1%
LAKE WATER SURFACE:	109,442 SF	2.51 AC.	7.0%
TOTAL IMPERVIOUS AREA:	1,064,829 SF	24.44 AC.	68.4%

NOTE: LAKE AREA CALCULATED BASED ON WET SEASON WATER TABLE

BUILDING S.F. TABULATIONS

PROPOSED BUILDING #15	200,000 SF
PROPOSED BUILDING #16	126,000 SF
PROPOSED BUILDING #17	91,500 SF

TOTAL GROSS FLOOR AREA 417,500 SF

PARKING:

OFFICE AREA - 90,835/300:	303 SPACES
WAREHOUSE AREA - 326,665/1000:	327 SPACES
TOTAL SPACES REQUIRED	630 SPACES
TOTAL SPACES REQUIRED W/ACCEPTABLE THRESHOLD REDUCTION:	567 SPACES*
TOTAL SPACES PROVIDED:	567 SPACES*

\*Per Sec. 4.623.A.2. For a development that requires 51 or more parking spaces, the number of parking spaces may be increased or decreased by no more than ten percent.

DISABLED SPACES REQUIRED:	13 SPACES
(2% OF TOTAL FOR 500-1,000 SPACES)	
DISABLED SPACES PROVIDED:	20 SPACES

GENERAL MASTER PLAN NOTES:

- All building, parking and access areas shall comply with all requirements of the American Disabilities Act and the Florida Building Code for access.
- Refer to Landscape Plan for landscape details and specifications.
- All prohibited, exotic and invasive species of vegetation shall be removed from the site prior to issuance of a Certificate of Occupancy.
- Refer to Sitework Construction Drawings for location of traffic control devices.
- During construction activities, where possible, existing native vegetation shall be retained to act as buffers between adjacent land uses, and to minimize nuisance dust, noise and air pollution. Barricades shall be used on site to preserve the vegetation to be retained for this purpose.
- All designated Preserve Areas must be barricaded and inspected by Martin County prior to site clearing.
- Preserve Areas may not be altered except in compliance with the Preserve Area Management Plan.
- All signs will comply with the requirements of the sign regulations at the time of permitting.
- Lighting Fixtures shall be a maximum of 30 feet in height within the parking lot area and a maximum of 20 feet in height within nonvehicular pedestrian areas.
- There is to be an irrigation system installed to ensure continued growth of all planting areas. The source of irrigation water will be from the Existing Lake.
- Detectable Warning Surfaces shall comply with the Florida Accessibility Code for Building Construction. Contractor shall use "Surface Mounted" Detectable Warning Surface Tiles with contrasting color for sidewalks. The Tile color shall be "Red" unless otherwise noted or required due to colored sidewalks. Pattern in concrete shall be "In-Line Truncated Dome". Pattern shall be 24 inches in the direction of travel and extend the full width of the curb ramp, sidewalk, or flush surface.
- All parking spaces shall use typical concrete wheel stops unless curbing is used in lieu of wheel stops.

MASTER PLAN PHASING NOTES:

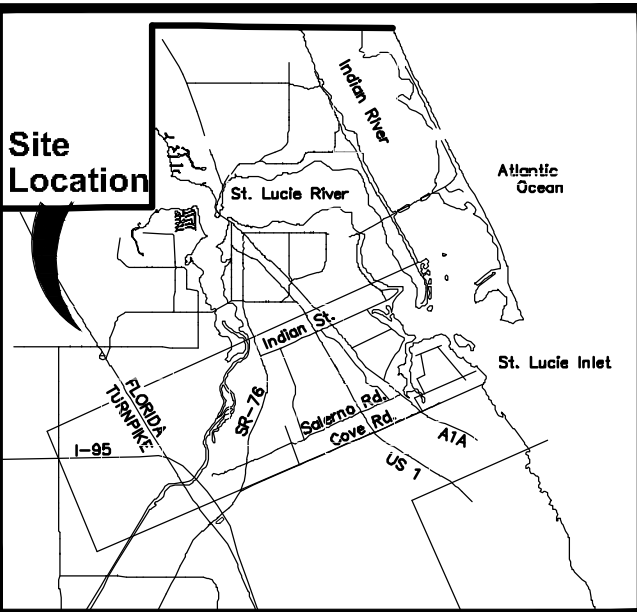
- Stormwater Infrastructure**  
All Stormwater Infrastructure including all Retention Areas, Lake, Catch Basins, Storm Pipes, Exfiltration Trenches, Outfall Structure, etc. will be constructed in Phase 1
- Sanitary Sewer**  
All Sanitary Sewer Manholes and Gravity Mains will be constructed in Phase 1
- Water and Fire Lines**  
**Phase 1**  
All Domestic Water Main Infrastructure for entire project including all Fire Hydrants, Valves, etc.  
Water Building Service Line, Meter & Backflow Preventer for Building #17 only, Fire Line, DDC, and FDC for Building #17 only.  
**Phases 2 & 3**  
Building's Domestic Fire Line, DDC, FDC, Water Service Line, Meter & Backflow Preventer for Buildings #15 & 16 will be constructed in the appropriate phase.
- Paving:**  
**Phase 1**  
Perimeter Road on East and West side of project.  
Parking Lot between Building #16 and Building #17 with exception of South row of Parking Spaces along North side of Building #16 which will be constructed with Building #16 as a part of Phase 2.  
Loading Area North of Building #17.  
Entrance only from Cargo Way to Future Building #15 parking area.  
**Phase 2**  
Row of Parking Spaces along North side of Building #16  
Loading Area between Building #15 and building #16 with exception of South 30 feet adjacent to Building #15 which will be constructed as a part of Phase 3.  
**Phase 3**  
Parking Lot South of Building #15 serving that Building.  
30 feet of pavement on North side of Building #15.
- Sidewalks**  
**Phase 1**  
All of Sidewalk along North side of SW Cargo Way.  
All of Sidewalk parallel to the East Perimeter Road from Cargo Way to Building #17.  
**Phase 2**  
Sidewalk along North side of Building #16 and connection to Sidewalk on East Perimeter Road.  
**Phase 3**  
Sidewalk along South side of Building #15 and connection to Sidewalk on East Perimeter Road.



lucido & associates

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100 Avenue A Suite 2A, Fort Pierce, Florida 34950 (772) 467-1301, Fax (772) 467-1303  
927 North Thornton Avenue, Orlando, Florida 32803 (407) 858-9521, Fax (407) 858-9798

Key / Location:



N.T.S.

Project Team:

Client & Property Owner: Jeffrey Sands  
802 Carnegie Center Street  
Pinecroft, NJ 08540

Landscape Architect: Lucido & Associates  
701 East Ocean Boulevard  
Stuart, Florida 34994

Engineer: Mathers Engineering Corporation  
2431 SE Dixie Highway  
Stuart, FL 34996

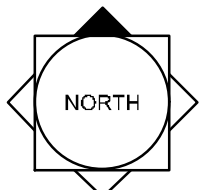
Surveyor: Engineering Design Inc.  
1936 Tucker Court  
Fort Pierce, FL 34950

Sands Commerce Center I & III

Martin County, Florida

Revised Master Site Plan & Phasing Plan

Date	By	Description
12.19.13	DF	
05.21.14	DM	
10.07.14	S.L.S.	
01.24.18	B.M.W.	
03.07.18	B.M.W.	
07.13.18	B.M.W.	
02.19.19	B.M.W.	



SCALE: 1" = 100'



REG. # 1018  
Thomas P. Lucido

Designer DF Sheet

Manager MC

Project Number 12-440

Municipal Number ---

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