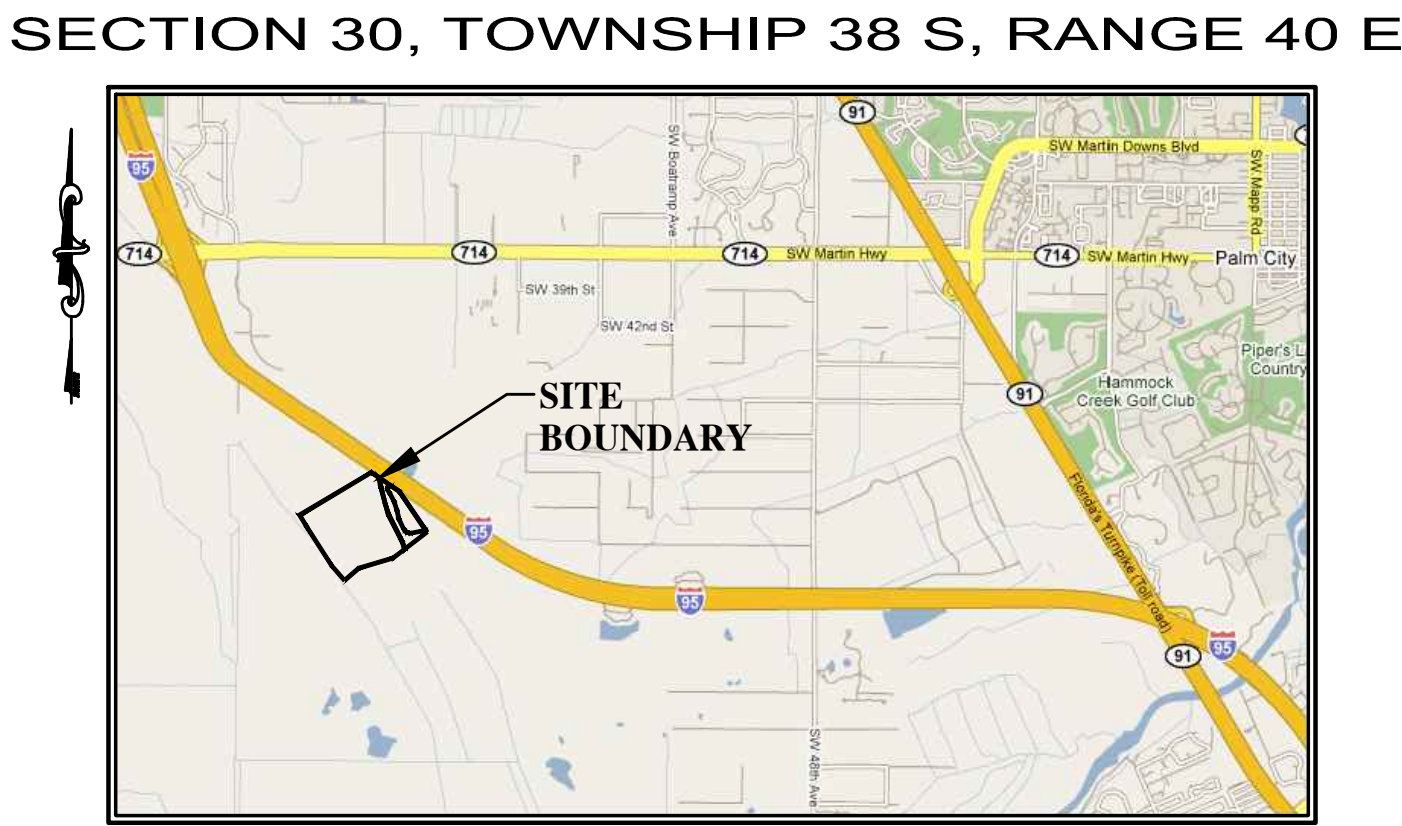




TOB

TOB

TOB

TOB

TOB

TOB

WOOD POWER POLE

WOOD POWER POLE

WOOD POWER POLE

UNDISTURBED AREA

EXISTING DIRT ACCESS DRIVE

EXISTING 60' ACCESS EASEMENT O.R.B. 2312 PG 1168

EXISTING PROPERTY LINE

GRASSED VEHICULAR STORAGE AREA TEMPORARY DURING CONSTRUCTION STAGING/INTERIM USE AREA

50' EXCAVATION SETBACK

POTENTIAL FUTURE FUELING AREA WITH STATE REQUIRED CONCRETE CONTAINMENT (20'x20')

GRASSED EMPLOYEE PARKING AREA (60'x20') NO IMPROVEMENTS PROPOSED

TRAILER/OFFICE WITH OVERHANG AND DECK

EXISTING SEPTIC AND DRAIN FIELD

BOUNDARY OF LAND DEDICATION

CONC. PAD WITH PUMP & WELL

HOUSE FOR NIGHT SECURITY

STORAGE BUILDING

UNDISTURBED AREA

25' BUILDING SETBACK AND TYPE 2 LANDSCAPE BUFFER

PROPOSED ADJUSTMENT TO 60' ACCESS EASEMENT

EXISTING 60' ACCESS EASEMENT O.R.B. 2312 PG 1168

PARCEL CONTROL NO	30-38-40-000-000-00024-
EXISTING USE:	MINE
FUTURE LAND USE:	AG
PROPOSED USE:	IMPROVED PASTURE
EXISTING ZONING:	A2
TOTAL ACREAGE:	121.92

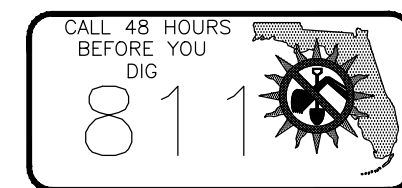
TOTAL PHASE 1 DURATION
FILLING DURATION
FILL HAULED TO SITE
RECLAMATION (FINAL GRADE, SOD, ETC.)
CLEAN DIRT AND TOP SOIL

* BASED ON 28.51 ACRE LAKE (PHASE I) WITH AN AVERAGE DEPTH OF 27 FEET WITH A 30% LOSS FOR COMPACTION.

MINE WITH 6 EMPLOYEES
1 SPACE PER EMPLOYEE
6 SPACES REQUIRED
6 GRASSED SPACES PROVIDED

NOTES

1. EQUESTRIAN TRAIL TO BE COMPLETED PRIOR TO PHASE 1 CERTIFICATION OF COMPLETION.
2. STOCKPILES LOCATED WITHIN PHASE 1 SHALL BE REMOVED AND LAND RESTORED IN ACCORDANCE WITH LANDSCAPE PLAN PRIOR TO PHASE 1 CERTIFICATION OF COMPLETION.
3. THE STAGING/ INTERIM USE AREA SHALL BE UTILIZED DURING ALL THREE PHASES OF THIS PROJECT; THEREFORE THIS AREA SHALL BE CLEANED UP, PREPARED PER SEED PROVIDER, AND RESTORED PRIOR TO PHASE 3 CERTIFICATION OF COMPLETION UNLESS CLIENT DOES NOT CONTINUE BEYOND PHASE 1. IF PROJECT STOPS WITH THE COMPLETION OF PHASE 1, THIS AREA SHALL BE RESTORED AS PART OF PHASE 1 PRIOR TO CERTIFICATION OF COMPLETION.
4. LITTORAL AREAS ASSOCIATED WITH PHASES 2 AND 3 ARE BONDED SUCH THAT SHOULD THE PROJECT NOT PROCEED BEYOND PHASE 1 THE PLANTINGS SHALL BE INSTALLED.



VERTICAL DATUM NAVD 88

4:	AT	2-6-18

SI:	P0801
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THE
MILCOR
GROUP,
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CERTIFICATE OF
AUTHORIZATION: 28246

PHASE 1 FINAL SITE PLAN

CREATIVE LAND MANAGEMENT DEVELOPMENT PHASE 1

MARTIN COUNTY FLORIDA

OPERATIONAL SPECIFICATIONS

1. ALL MINING ACTIVITIES SHALL BE IN ACCORDANCE WITH ALL APPLICABLE MARTIN COUNTY STANDARDS AND CONDITIONS FOR EXCAVATION, FILL AND MINING.
2. ALL ACTIVITIES WITHIN THE SITE, INCLUDING, BUT NOT LIMITED TO, DIGGING, LOADING TRUCK, EXCAVATING, DREDGING, ROCK CRUSHING, AND HAULING OF FILL TO THE SITE SHALL BE CONDUCTED BETWEEN THE HOURS OF 7:00 AM AND 4:00 PM, MONDAY THROUGH FRIDAY AND 9:00 AM TO 4:00 PM ON SATURDAY.
3. THE HAUL ROUTE FOR TRUCKS FROM THE SITE IS BY WAY OF STATE ROAD 714, A MAJOR ARTERIAL ROADWAY, VIA SW GREEN FARMS LANE, A RESIDENTIAL ROADWAY.
4. A 2' LAYER OF CLEAN DIRT AND 6" LAYER OF TOP SOIL SHALL BE PLACED OVER FILL MATERIAL IN THE EXPOSED AREAS ABOVE THE CONTROL ELEVATION.
5. ALL EXCAVATED AND EXPOSED SEPARATED MATERIALS FROM DIFFERENT SOURCE GENERATORS, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S DEFINITION OF CLEAN DEBRIS, AS STATED IN CHAPTER 62-701.200 F.A.C.

"clean debris" means any solid waste which is virtually inert, which is not a pollution threat to ground water or surface waters, is not a fire hazard, and is likely to retain its physical and chemical structure under expected conditions of disposal or use. the term includes brick, glass, ceramics, and uncontaminated concrete including embedded pipe or steel.

APPLICANT

JASON PEPITONE
CREATIVE LAND MANAGEMENT, LLC
785 NE 33RD STREET
BOCA RATON, FL 33431

SURVEYOR

DAVID WICHSER
BETSY LINDSAY, INC.
7997 SW JACK JAMES DRIVE
STUART, FL 34997

ENGINEER

MELISSA G. CORBETT, P.E.
THE MILCOR GROUP, INC.
10975 SE FEDERAL HIGHWAY
HOBE SOUND, FL 33455

ENVIRONMENTAL

JODI BECK
ASPEN ENVIRONMENTAL CONSULTING, LLC
PO BOX 2753, STUART, FL 34995-2753

			Current
Site Area Calculations	Area (SF)	Area (AC)	% of Total Area
Phase 1 Construction Limits	3,507,784	80.53	100.00%
<u>Previus Area</u>		Area (AC)	% of Total Area
Staging/Interim use	236,084	5.42	6.73%
Stockpile	75,814	1.74	2.16%
Greenspace	1,927,837	44.26	54.96%
Total Previus Area	2,239,735	51.42	63.85%
<u>Impervius Area</u>			
Lake	1,241,804	28.51	35.40%
Grassed Access Road	21,763	0.50	0.62%
Buildings	4,083	0.09	0.12%
Fuel Containment	400	0.01	0.01%
Total Impervius Area	1,268,049	29.11	36.15%

Buildout Phase 1			
Site Area Calculations	Area (SF)	Area (AC)	% of Total Area
Total Phase 1	3,024,806	69.44	100%
<u>Pervious Area</u>			
Greenspace	2,762,476	63.42	91%
Staging/Interim use	236,084	5.42	8.55%
Total Pervious Area	2,998,560	68.84	100%
<u>Impervious Area</u>			
Grassed Access Road	21,763	0.50	0.79%
Buildings	4,083	0.09	1.73%
Fuel Containment	400	0.01	0.01%
Total Impervious Area	26,246	0.60	1%
Dedication Area			
Wetland	52,054	1.19	1.08%
Upland Preserve	369,824	8.49	7.66%
Greenspace	61,210	1.41	1.27%
Total Dedication Area	483,088	11.09	100.00%

PHASE 1 SHALL INCLUDE THE FOLLOWING WORK OUTSIDE THE DEFINED PHASE 1 BOUNDARIES AS APPROVED WITH THE REMEDIATION PLAN ATTACHED AS EXHIBIT 2 OF THE CREATIVE LAND MANAGEMENT LLC COMMITMENT FOR RESTORATION OF MINING SITE DATED MAY 25, 2017 AND REQUIRED BY STIPULATION AND AGREED FINAL ORDER CASE NUMBER 16-0107262:

- ALL AREAS OF EXCAVATION OUTSIDE THE BOUNDARIES OF THE APPROVED LAKE SHALL BE BACKFILLED TO NATURAL GROUND.
- THE BOTTOM OF THE ENTIRE LAKE SHALL BE FILLED TO A DEPTH NO GREATER THAN 20-FEET BELOW THE CONTROL ELEVATION, OR 7.53' NAVD.
- ALL SLOPES SHALL BE GRADED IN ACCORDANCE WITH THE APPROVED REMEDIATION PLAN.