

Division 3, Article 12
Rio Community Redevelopment Code**Section 12.3.01. Purpose.**

1. Rio is a unique, coastal community located on the St. Lucie River with historically platted neighborhoods, established industries, scenic views, and civically engaged and diverse residents. This division is intended to:
 - a. Revitalize Rio as a desirable place to live, vacation, and conduct business.
 - b. Improve upon its indigenous architecture and colorful history to create an intimate village with an enviable quality of life.
 - c. Strengthen Rio's character and economic well-being through both public and private redevelopment initiatives.
 - d. Promote and accomplish the goals, objectives, and policies of the Martin County Comprehensive Growth Management Plan and achieve the vision for Rio in its Community Redevelopment Plan.
2. **Organization.** How this Division is organized:

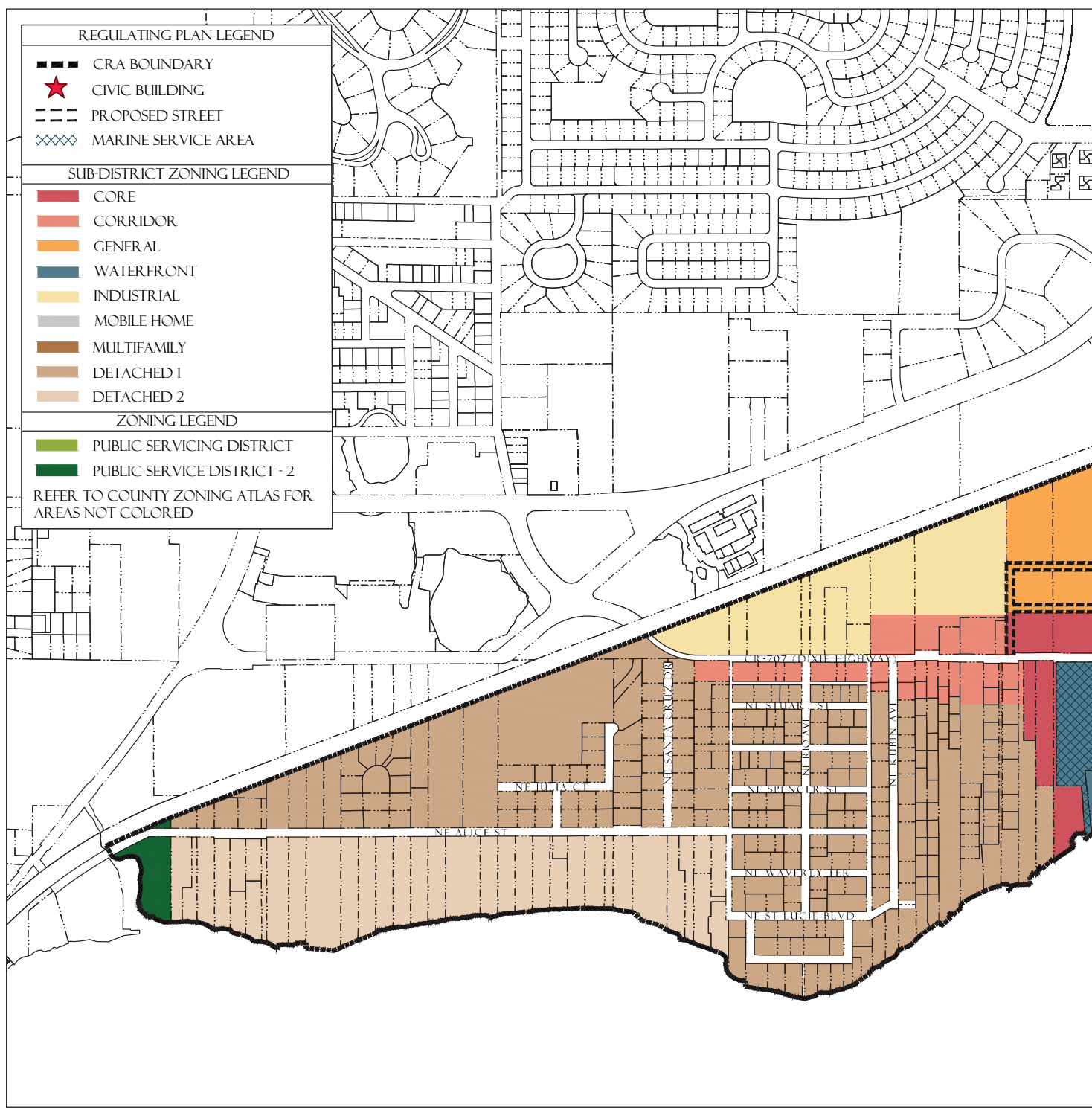
Section 12.3.01	Purpose
Section 12.3.02	Regulating Plan
Section 12.3.03	Permitted Uses
Section 12.3.04	Development Standards
Section 12.3.05	Building Type & Frontage Type Standards
Section 12.3.06	Street Standards
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Figure R-1 Artist rendering of the future vision of Rio as established in the 2001 Vision Planning and updated in 2009 and 2015.

12.3.02

Figure R-2 Regulating Plan





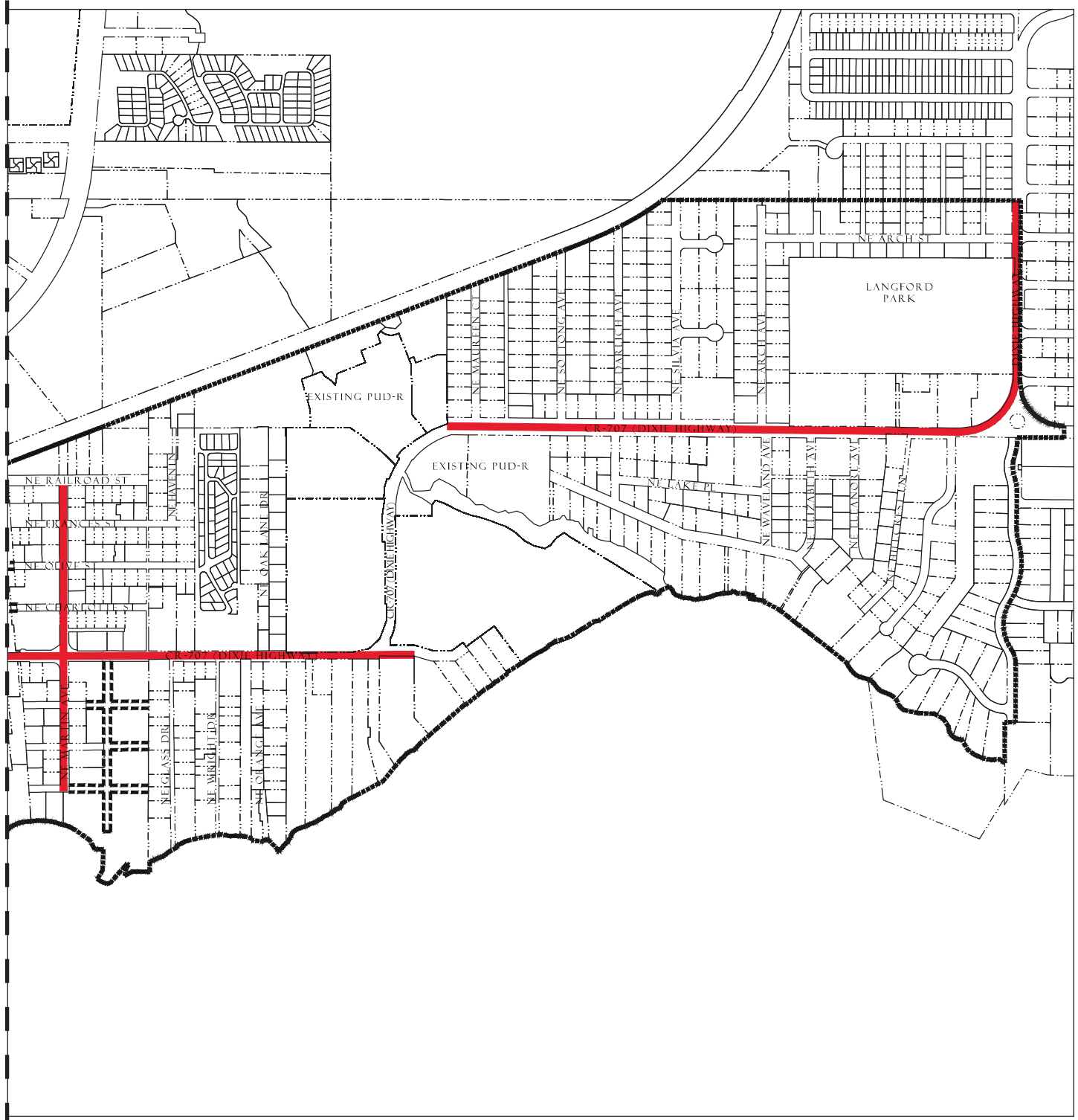
12.3.02

STREET TYPE LEGEND

- CRA BOUNDARY
- PRIMARY STREET
- SECONDARY STREET
- FUTURE STREET OR ALLEY

NOTE: Recommended Future Streets in Rio Redevelopment District shall be designated Primary or Secondary at time of design and construction. Refer to Section 12.3.06 for appropriate types defined in Section 12.1.06.

The map displays the Rio Redevelopment District with various street types and future recommendations. Key streets shown include NE 10th Ave, NE 11th Ave, NE 12th Ave, NE 13th Ave, NE 14th Ave, NE 15th Ave, NE 16th Ave, NE 17th Ave, NE 18th Ave, NE 19th Ave, NE 20th Ave, NE 21st Ave, NE 22nd Ave, NE 23rd Ave, NE 24th Ave, NE 25th Ave, NE 26th Ave, NE 27th Ave, NE 28th Ave, NE 29th Ave, NE 30th Ave, NE 31st Ave, NE 32nd Ave, NE 33rd Ave, NE 34th Ave, NE 35th Ave, NE 36th Ave, NE 37th Ave, NE 38th Ave, NE 39th Ave, NE 40th Ave, NE 41st Ave, NE 42nd Ave, NE 43rd Ave, NE 44th Ave, NE 45th Ave, NE 46th Ave, NE 47th Ave, NE 48th Ave, NE 49th Ave, NE 50th Ave, NE 51st Ave, NE 52nd Ave, NE 53rd Ave, NE 54th Ave, NE 55th Ave, NE 56th Ave, NE 57th Ave, NE 58th Ave, NE 59th Ave, NE 60th Ave, NE 61st Ave, NE 62nd Ave, NE 63rd Ave, NE 64th Ave, NE 65th Ave, NE 66th Ave, NE 67th Ave, NE 68th Ave, NE 69th Ave, NE 70th Ave, NE 71st Ave, NE 72nd Ave, NE 73rd Ave, NE 74th Ave, NE 75th Ave, NE 76th Ave, NE 77th Ave, NE 78th Ave, NE 79th Ave, NE 80th Ave, NE 81st Ave, NE 82nd Ave, NE 83rd Ave, NE 84th Ave, 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Permitted Uses

12.3.03

Section 12.3.03. Permitted Uses. Table **R-4** indicates permitted uses in the Rio Redevelopment Zoning District.

1. The Use Groups listed in the first column of Table **R-4** are described in Section 12.1.03.
2. The remaining columns identify the Subdistricts shown on the Regulating Plan.
 - a. “P” in a row below a column means that any use in that use group is permitted within that Subdistrict, provided the use can be developed in accordance with all applicable requirements of the LDR.
 - b. If “P” is not shown in a row, the use group is not permitted in that Subdistrict.
3. For uses that are functionally similar, but not clearly permitted in a Subdistrict see Section 12.1.03.3.

Table R-4 Use Groups Permitted in Rio Subdistricts

	Core	General	Water-front	Corridor	Industrial	Multi-family	Mobile Homes	Detached 1	Detached 2
Residential Use Groups, see 12.1.03									
Accessory dwelling units	P	P	-	P	-	P	-	P	P
Mobile homes	-	-	-	-	-	-	P	-	-
Other dwelling types	P	P	P ^{1,2}	P	P ²	P	-	-	-
Single-family dwellings	-	P	-	P	-	P	P	P	P
Bed and breakfast inns	P	P	P ^{1,2}	P	-	-	-	P	P
Agricultural Use Groups, see 12.1.03									
Urban farming	-	-	-	-	P	-	-	-	-
Commercial & Business Use Groups, see 12.1.03									
Business & professional offices	P	P	P ¹	P	P	-	-	-	-
Construction services, limited	P	P	P ¹	P	P	-	-	-	-
Construction services, extensive	-	-	-	-	P	-	-	-	-
Convenience store with fuel	-	-	-	-	-	-	-	-	-
Drive-through facility	-	-	-	-	-	-	-	-	-
Drive-through restaurant	-	-	-	-	-	-	-	-	-
Hotels, motels, resorts spas	P	P	P ¹	P	-	-	-	-	-
Marinas ¹	-	-	P ¹	-	-	-	-	-	-
Medical offices	P	P	-	P	P	-	-	-	-
Parking lots and garages	P	-	-	-	-	-	-	-	-
Restaurants	P	P	P ¹	P	P	-	-	-	-
Retail & services, limited impact	P	P	P ¹	P	P	-	-	-	-
Retail & services, general impact	-	-	-	P	P	-	-	-	-
Retail & services, extensive impact	-	-	-	-	P	-	-	-	-
Recreational vehicle parks	-	-	-	-	P	-	-	-	-
Vehicular service and maintenance	-	-	-	-	P	-	-	-	-
Wholesale trades and services	-	-	-	P	P	-	-	-	-
Working waterfront	-	-	P ¹	-	-	-	-	-	-
Public & Institutional Use Groups, see 12.1.03									
Institutional uses, limited impact	P	P	-	P	-	P	P	P	P
Institutional uses, general impact	P	P	-	P	-	-	-	-	-
Industrial Use Groups, see 12.1.03									
Limited impact industries	-	-	P ¹	-	P	-	-	-	-
Extensive impact industrial industries	-	-	-	-	P	-	-	-	-
Footnotes, see above									

¹ Development in the Waterfront Subdistrict shall be water-dependent or water-related. Development on land in the Waterfront Subdistrict may contain residential uses when other uses in a mixed-use development are water-dependent or water-related and not located within the Marine Service Area. Water-related development includes marine resort-type uses including transient accommodations, restaurants and retail shops.

² Residential development in the Waterfront & Industrial Subdistricts shall be within Mixed-Use Development.



Development Standards

12.3.04

Section 12.3.04. Development Standards.

1. All new development, substantial improvements of a building, and substantial renovations of a building exterior shall comply with the Development Standards in Table **R-5**.
2. **Existing Buildings.** Whenever substantial improvement of a building or substantial renovation of a building exterior triggers the obligation to comply with this Division, the Growth Management Director may authorize incremental compliance with its requirements proportional to the nature and scope of the existing and proposed improvements if full compliance would be unreasonable. An application for alternative compliance shall not be required, but the Growth Management Director may require that the proposal be presented to the Neighborhood Advisory Committee for review and comment. See Section 4.871.B, Div. 20, Article 4.
3. **Accessory Dwelling Units.** Standards for accessory dwelling units are provided in Development Standards Section 12.1.04.8.
4. **Building Types.** Each new building, or substantial improvement, constructed must meet the standards for one of the Building Types permitted in the Subdistrict where it is located, see Table **R-5**. Building Type diagrams do not prescribe use or architectural style and are illustrative. Dimensions provided in tables control for regulatory requirements.
5. **Façade Transparency.** Shopfront, Mixed-use, Office, Apartment or Courtyard Building façades facing streets or civic open spaces at the ground level must have transparent windows which cover between 20 percent and 70 percent of the wall area. Above the ground level, building façades must have transparent windows which cover between 20 percent and 50 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than forty percent.

Table R-5 - Development Standards in Rio Subdistricts

	Core	General	Water-front	Corridor	Industrial	Multi-family	Mobile Home	Detached 1	Detached 2
Lot Size, see 12.1.04.1									
Lot area - minimum in sf	-	-	-	-	-	-	-	5,000	21,780
Lot width - minimum in feet	25	25	25	25	50	-	-	50	85
Height, see 12.1.04.2									
Building height, max in stories	3	3	3	3	3	4	1	3	3
Building height, max in feet	40	35	40	35	40	40	20	30	30
Ceiling height, max in feet	Established in 12.3.05 for certain building types								
Density, see 12.1.04.3									
Residential density, max in units/acre	15	15	10 ¹	15	10 ²	10	10	1 per lot	1 per lot
Hotel/motel density, max in units/acre	20	20	20	20	-	-	-	-	-
Building Coverage, see 12.1.04.4									
Building coverage, max %	80	60	50	80	50	60	-	35	25
Open Space, see 12.1.04.5									
Open space, min in %	20	20	20	20	20	30	30	30	50
Building & Parking Placement, see 12.1.04.6									
Build-to Zone min/max in ft	Established in 12.3.05 for certain building types								
Side and Rear setbacks	Established in 12.3.05 for certain building types								
Frontage percentage, min %	Established in 12.3.05 for certain building types								
Parking Setbacks, min in feet	Established in 12.3.05 for certain building types								
Building Types, see 12.3.05									
Shopfront Building	P	-	P	P	P	-	-	-	-
Mixed-use Building	P	P	P	P	P	P	-	-	-
Office Building	P	-	-	P	-	-	-	-	-
Apartment Building	P	P	-	P	-	P	-	-	-
Courtyard Building	P	P	-	P	-	P	-	-	-
Townhouse	P	P	-	P	-	P	-	-	-
Live/Work Building	P	P	P	P	P	-	-	-	-
Side Yard Building	-	P	-	P	-	-	-	P	-
Cottage	P	P	-	P	-	P	P	P	P
Cottage Court	P	P	P	P	-	P	P	-	-
Duplex	-	P	-	P	-	P	-	-	-
All Yard House	-	P	-	P	-	-	-	P	P
Outbuilding	P	P	P	P	-	-	-	P	P
Industrial Building	-	-	P	-	P	-	-	-	-
Footnotes, see above									

¹ See Marine Service Areas within 12.1.02. Marine Service Areas are indicated on the Regulating Plan.² Any Residential is only permitted in a Mixed Use Development.

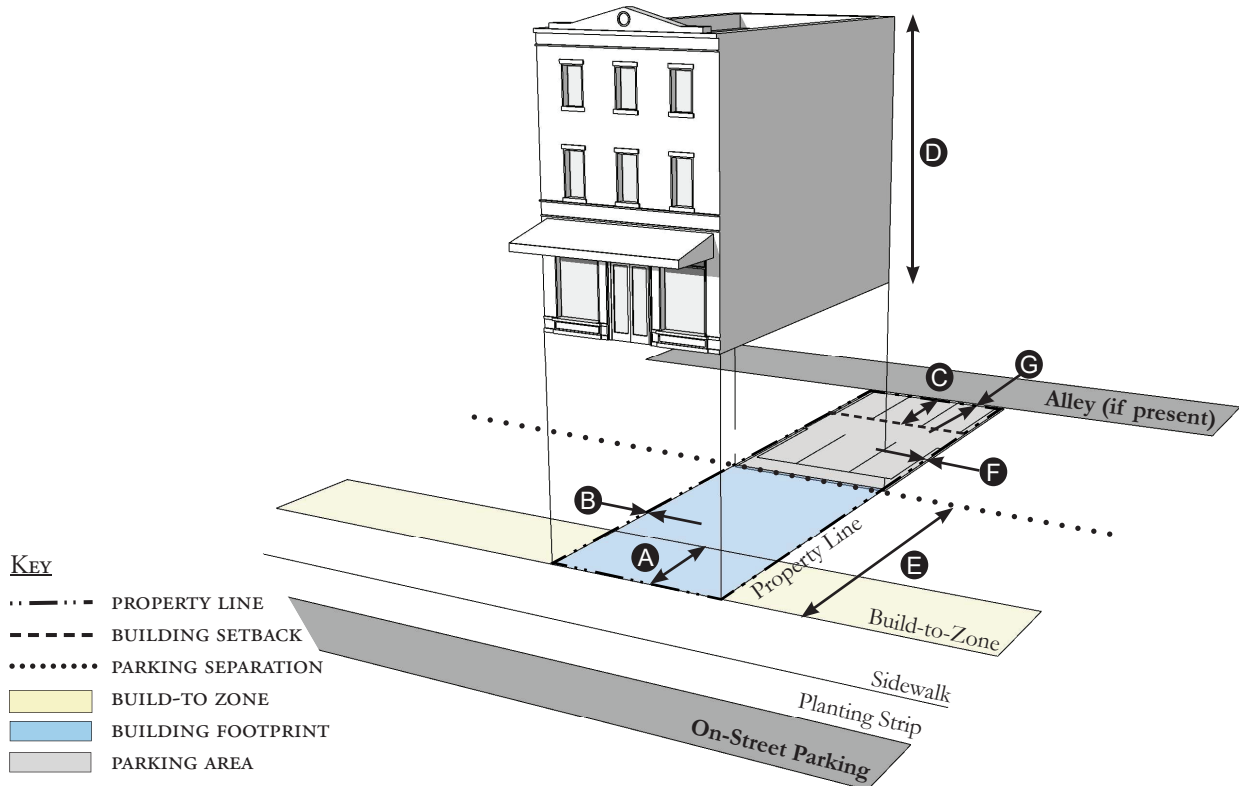
Building Type & Frontage Type Standards

12.3.05

Section 12.3.05. Building Type & Frontage Type Standards.

- Building types.** The following standards shall apply in the Rio Subdistricts. Table R-5 provides additional Development Standards.

Figure R-5.01 - Shopfront Building



Building Placement, see 12.1.04.6

Frontage	80% min.	
Front Build-to-Zone	0' min., 15' max.	A
Side at Street Build-to-Zone	0' min., 15' max.	
Side at Property Line Setback ¹	0' or 5'	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table R-5	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min. / 0' min. with alley	G

Permitted Subdistricts, see 12.3.02

Core	Corridor	Waterfront
Industrial		

Description

A Shopfront Building has ground-floor space immediately adjoining the sidewalk that can accommodate business uses with doors and large windows facing the sidewalk.

Façade Transparency, see 12.2.04.6

	%
Ground level facing streets or civic open spaces	20-70
Above the ground level	20-50

Notes

¹ Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

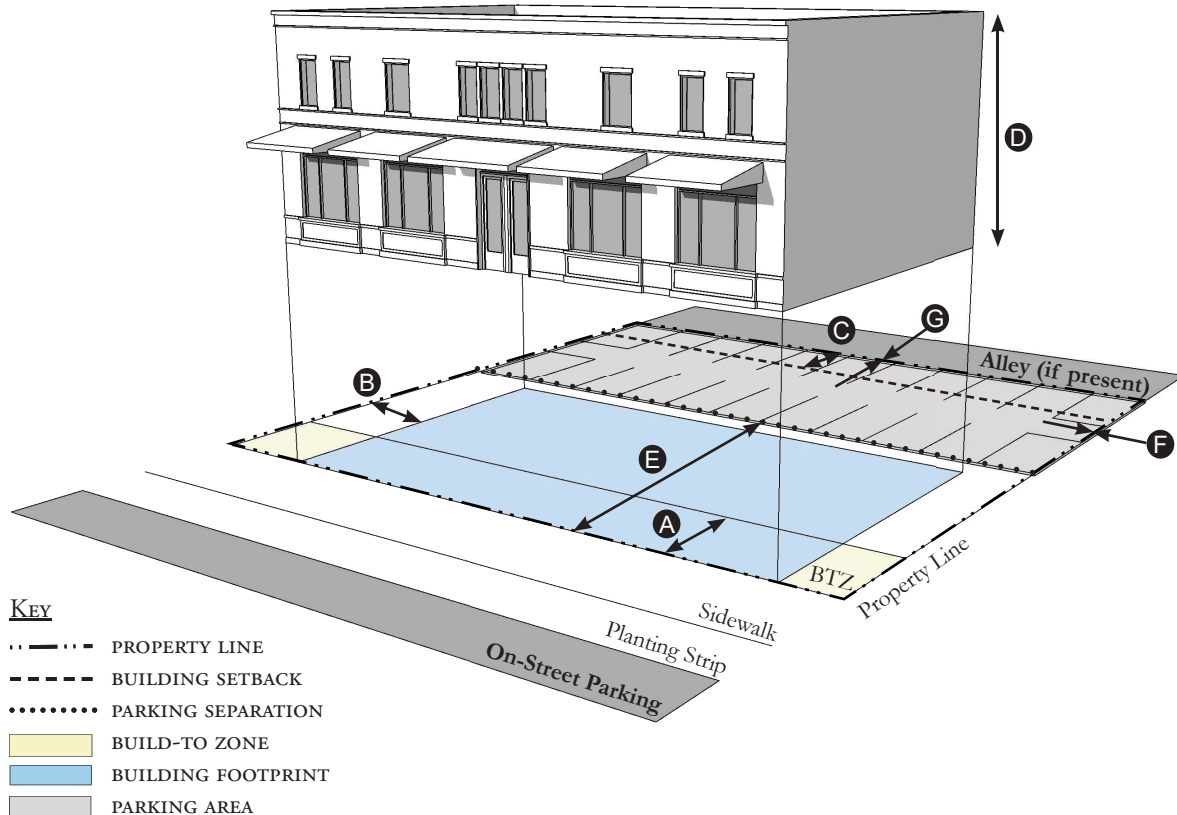
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Building Type & Frontage Type Standards

12.3.05

R

Figure R-5.02 - Mixed-Use Building



Building Placement, see 12.1.04.6

Frontage	80% min.	
Front Build-to-Zone	0' min., 15' max.	A
Side at Street Build-to-Zone	5' min., 15' max.	
Side at Property Line Setback ¹	5' min., 10' max.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table R-5	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min. / 0' min. with alley	G

Permitted Subdistricts, see 12.3.02

Core	General	Waterfront
Corridor	Industrial	Multifamily

Description

A Mixed-use Building has multiple tenants or occupancies and may contain residences, lodging and/or businesses to the extent permitted in the Subdistrict.

Façade Transparency, see 12.2.04.6

	%
Ground level facing streets or civic open spaces	20-70
Above the ground level	20-50

Notes

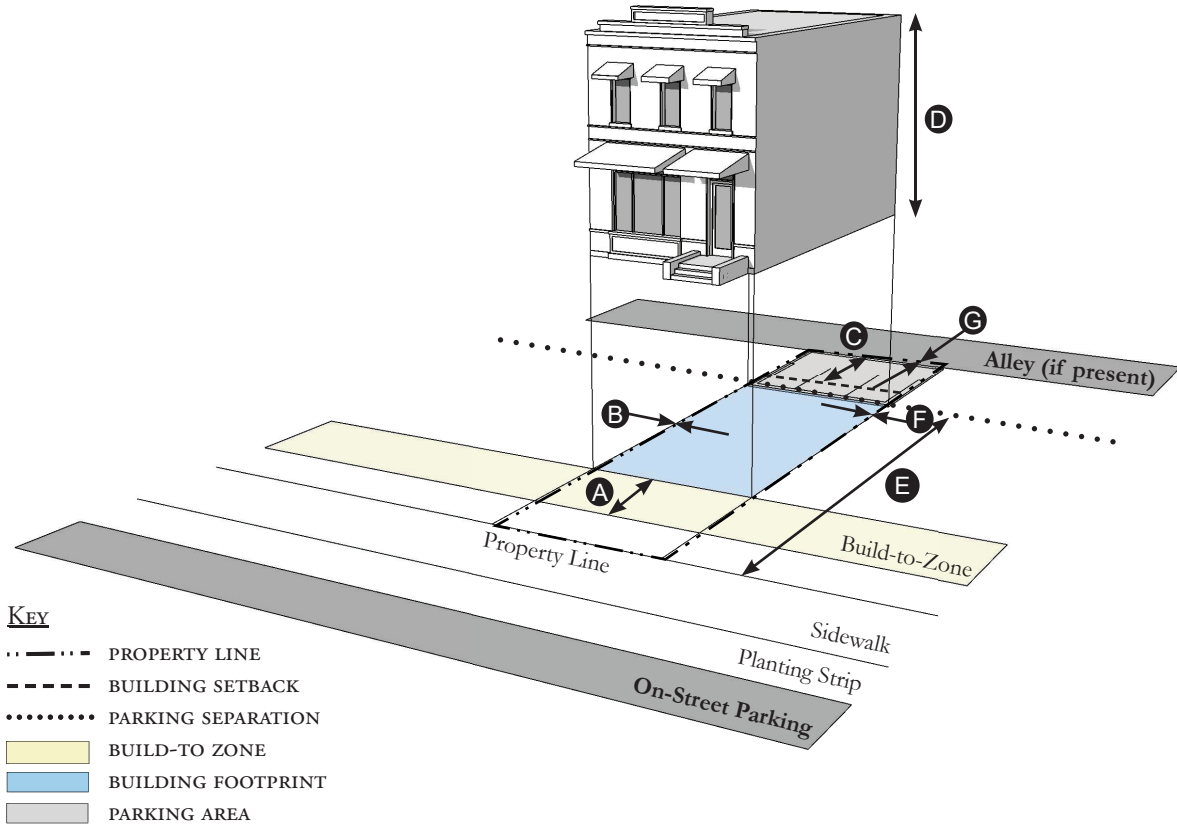
¹ Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Building Type & Frontage Type Standards

12.3.05

Figure R-5.03 - Office Building

**Building Placement, see 12.1.04.6**

Frontage	80% min.	
Front Build-to-Zone	10' min. / 15' max.	(A)
Side at Street Build-to-Zone	10' min. / 15' max	
Side at Property Line Setback ¹	0' or 5'	(B)
Rear Yard Setback ¹	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table R-5	(D)

Parking Placement

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	0' min.	(F)
Rear Setback	5' min. / 0' alley with alley	(G)

Permitted Subdistricts, see 12.3.02

Core Corridor

Description

An Office Building has a one or more commercial tenants, occupancies, or businesses. An Office Building may have a shopfront frontage on the ground floor.

Façade Transparency, see 12.2.04.6

	%
Ground level facing streets or civic open spaces	20-70
Above the ground level	20-50

Notes

¹ Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table R-5.

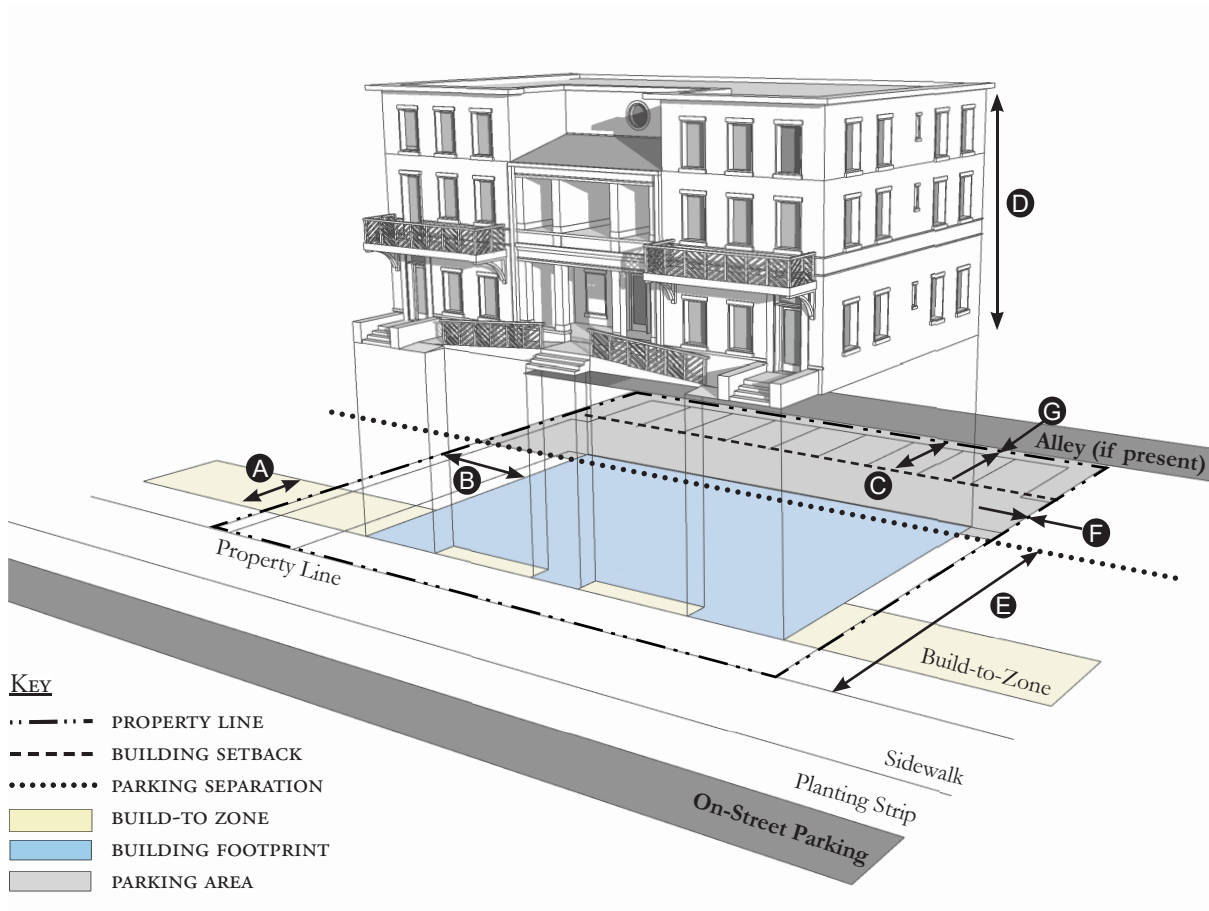
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Building Type & Frontage Type Standards

12.3.05

R

Figure R-5.04 - Apartment Building



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	5' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table R-5	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min. (no alley), 0' alley	F
Rear Setback	5' min. (no alley), 0' alley	G

Permitted Subdistricts, see 12.3.02

Core	General	Corridor
Multifamily		

Description

An Apartment Building contains multiple residences above and/or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. Off-street parking is provided to the side or rear.

Façade Transparency, see 12.2.04.6

	%
Ground level facing streets or civic open spaces	20-70
Above the ground level	20-50

Notes

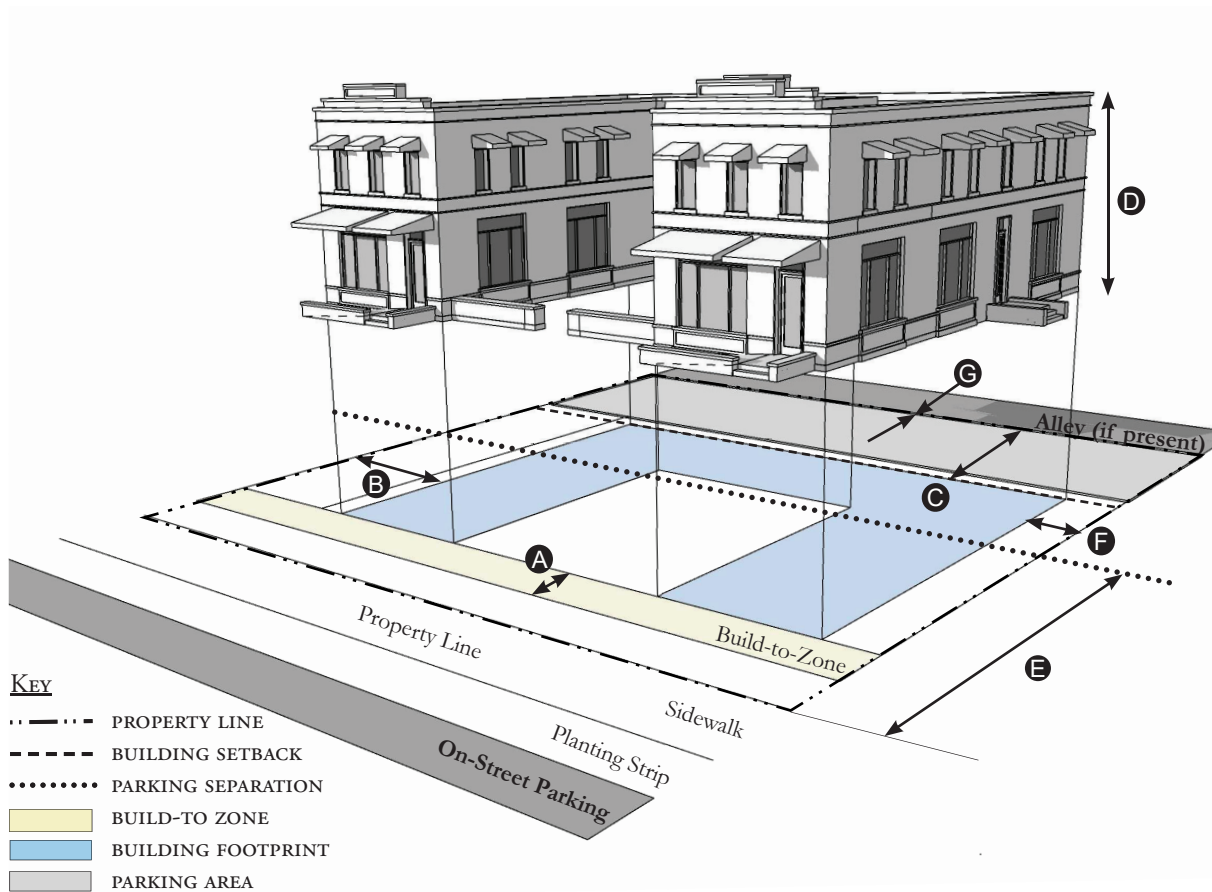
¹ Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Building Type & Frontage Type Standards

12.3.05

Figure R-5.05 - Courtyard Building

**Building Placement, see 12.1.04.6**

Frontage Percentage	80% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback ¹	5' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table R-5	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min. (no alley), 0' alley	F
Rear Setback	5' min. (no alley), 0' alley	G

Permitted Subdistricts, see 12.3.02

Core	General	Corridor
Multifamily		

Description

A Courtyard Building accommodates multiple dwellings or businesses arranged around and fronting on a central green that may be partially or wholly open to the street.

Façade Transparency, see 12.2.04.6

	%
Ground level facing streets or civic open spaces	20-70
Above the ground level	20-50

Notes

¹ Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

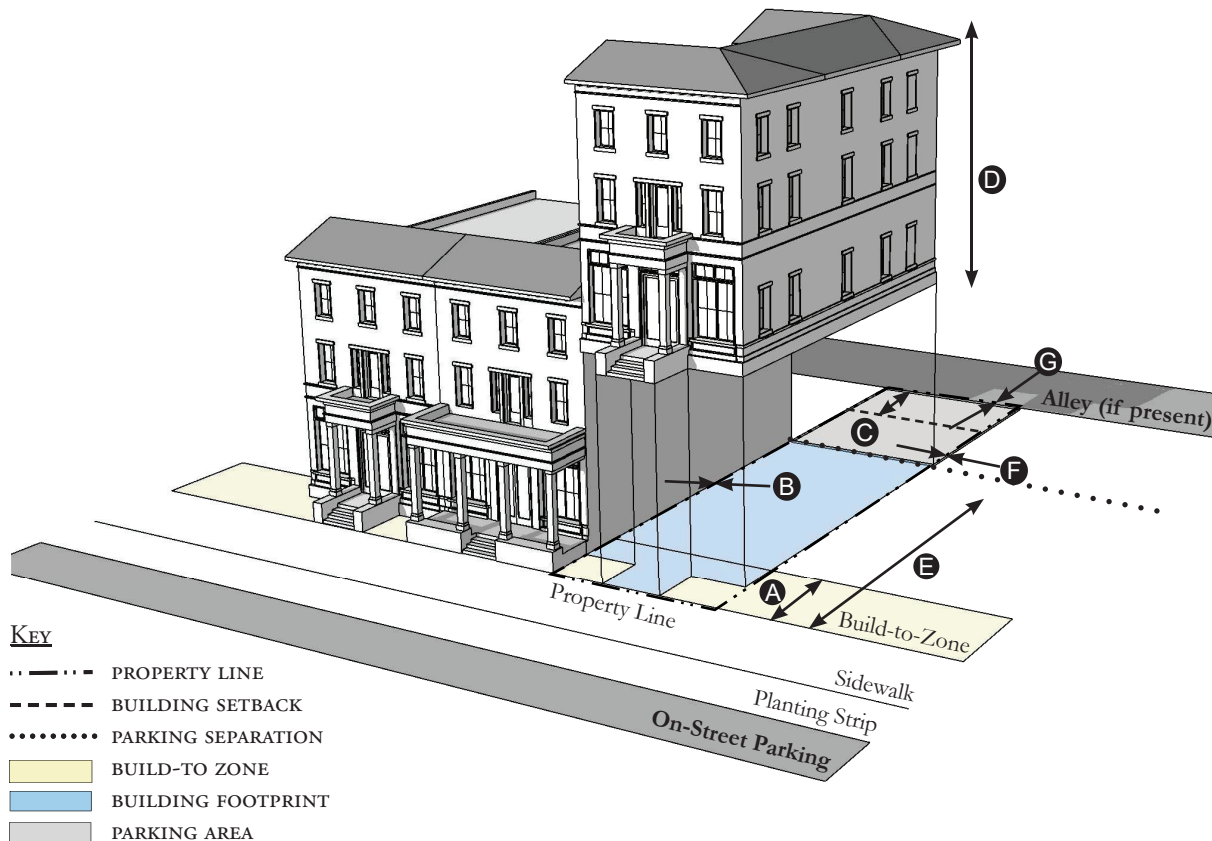
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Building Type & Frontage Type Standards

12.3.05

R

Figure R-5.06 - Townhouse



Building Placement, see 12.1.04.6

Frontage	80% min.	
Front Build-to-Zone	0' min., 15' max.	A
Side at Street Build-to-Zone	0' min., 15' max.	
Side at Property Line Setback ¹	0' min.	B
Rear Yard Setback ¹	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table R-5/2 stories min.	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min. (no alley), 0' alley	G

Permitted Subdistricts, see 12.3.02

Core	General	Corridor
Multifamily		

Description

A Townhouse is a building with common walls on one or both sides and often a private garden to the rear. Service and parking access are from the rear.

Notes

Townhouses shall have a maximum grouping of 8 dwelling units and a minimum Setback of 15 feet between buildings

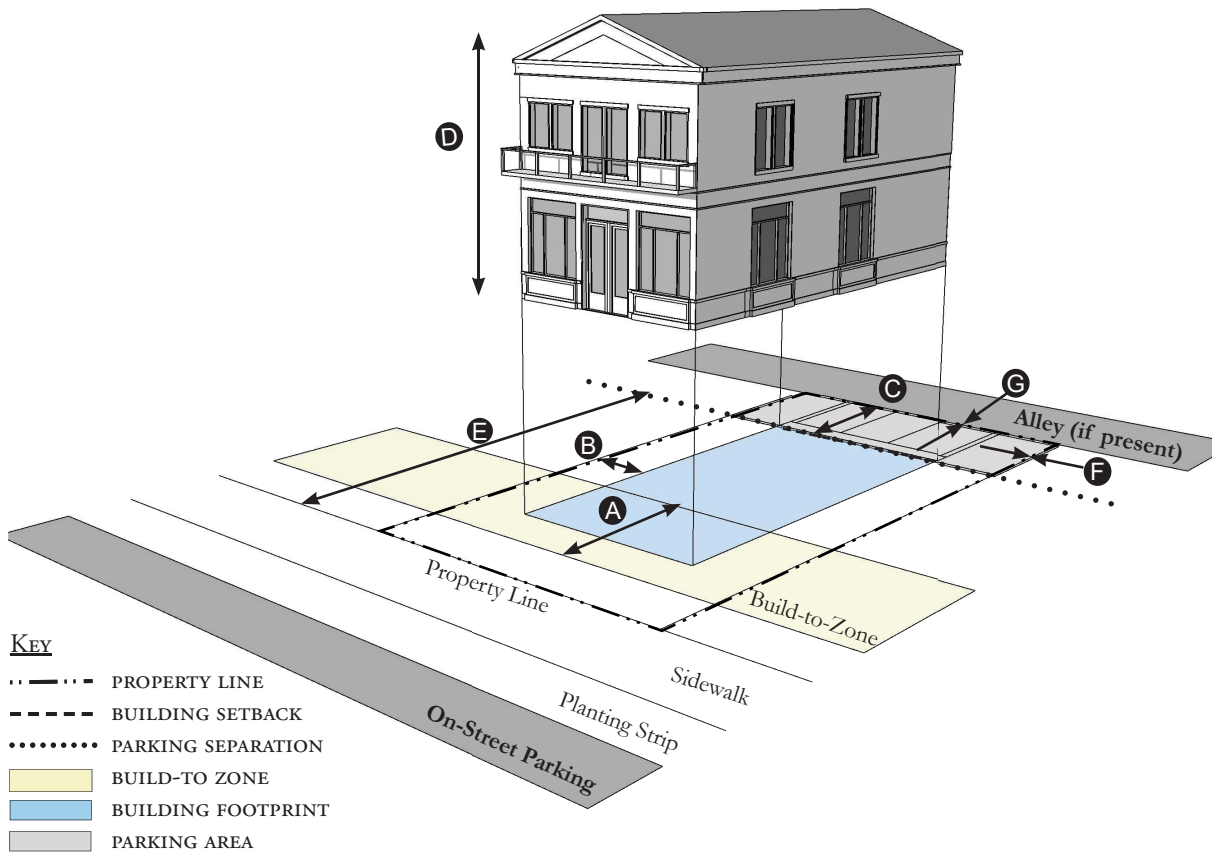
¹ Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Building Type & Frontage Type Standards

12.3.05

Figure R-5.07 - Live/Work Building

**Building Placement, see 12.1.04.6**

Frontage	80% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min.	
Side at Property Line Setback ¹	10' min.	B
Rear Yard Setback ¹	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	12' min.	
Building Height	Refer to Table R-5	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	0' min.	F
Rear Setback	5' min. (no alley), 0' alley	G

Permitted Subdistricts, see 12.3.02

Core	General	Waterfront
Corridor	Industrial	

Description

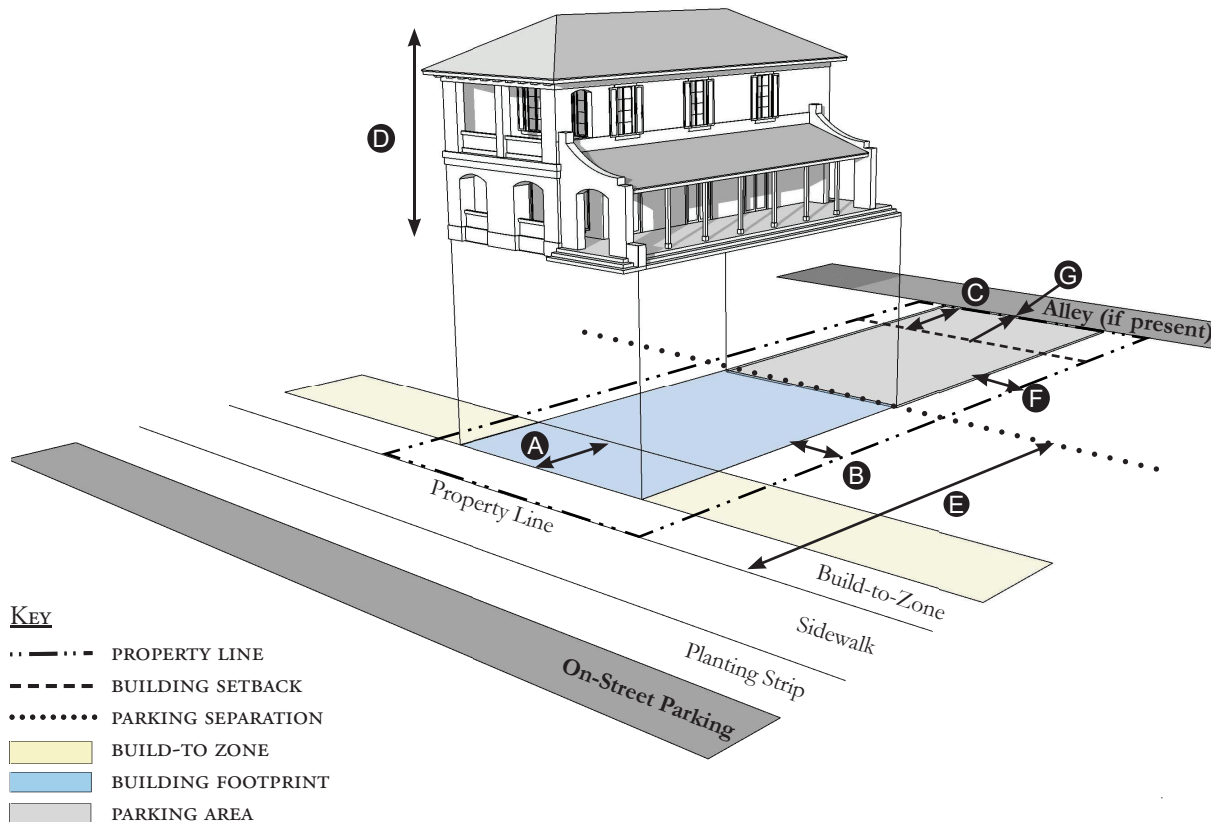
A Live/Work building consists of commercial and residential uses. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activities or industry.

Notes

¹ Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see **Table R-5**.

Figure R-5.08 - Side Yard House



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	(A)
Side at Street Build-to-Zone	10' min.	
Side at Property Line Setback	5' min., 10' min. other side	(B)
Rear Yard Setback	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	30' / 2 stories max.	(D)

Parking Placement

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min. / 0' min. with alley	(G)

Permitted Subdistricts, see 12.3.02

Corridor	General	Detached 1
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Description

A Side Yard House is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard type houses.

Notes

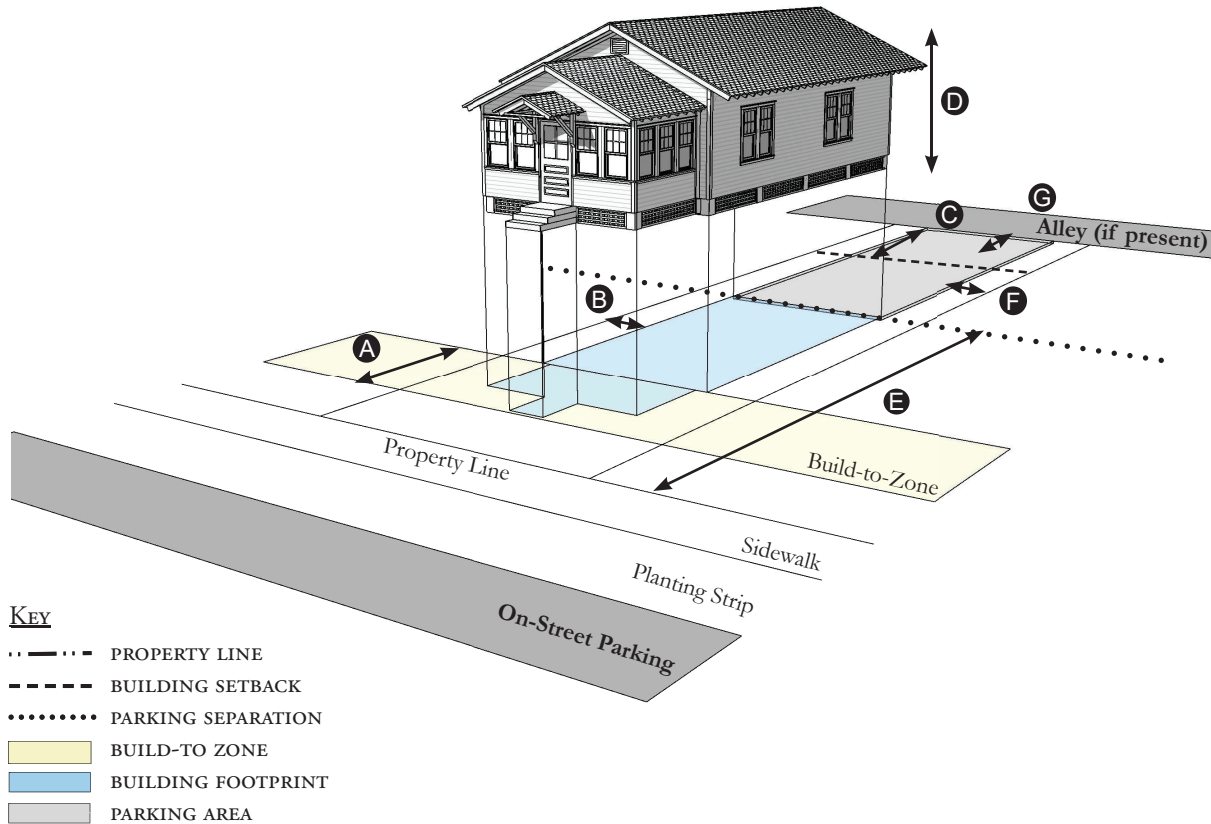
¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see **Table R-5**.

Building Type & Frontage Type Standards

12.3.05

Figure R-5.09 - Cottage

**Building Placement, see 12.1.04.6**

Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	(A)
Side at Street Build-to-Zone	5' min., 10' max.	
Side at Property Line Setback	5' min.	(B)
Rear Yard Setback	10' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	30' / 2 stories max.	(D)

Parking Placement

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min.	(G)

Where rear yard parking access or on-street parking along frontage is not available, a side yard driveway shall be provided. Width of Driveway is limited to 12' at the property line.

Permitted Subdistricts, see 12.3.02

Core	General	Corridor
Corridor	Multifamily	Mobile Home
Detached 1	Detached 2	

Description

A Cottage is a detached building with a small front yard often located on a narrow lot. Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.

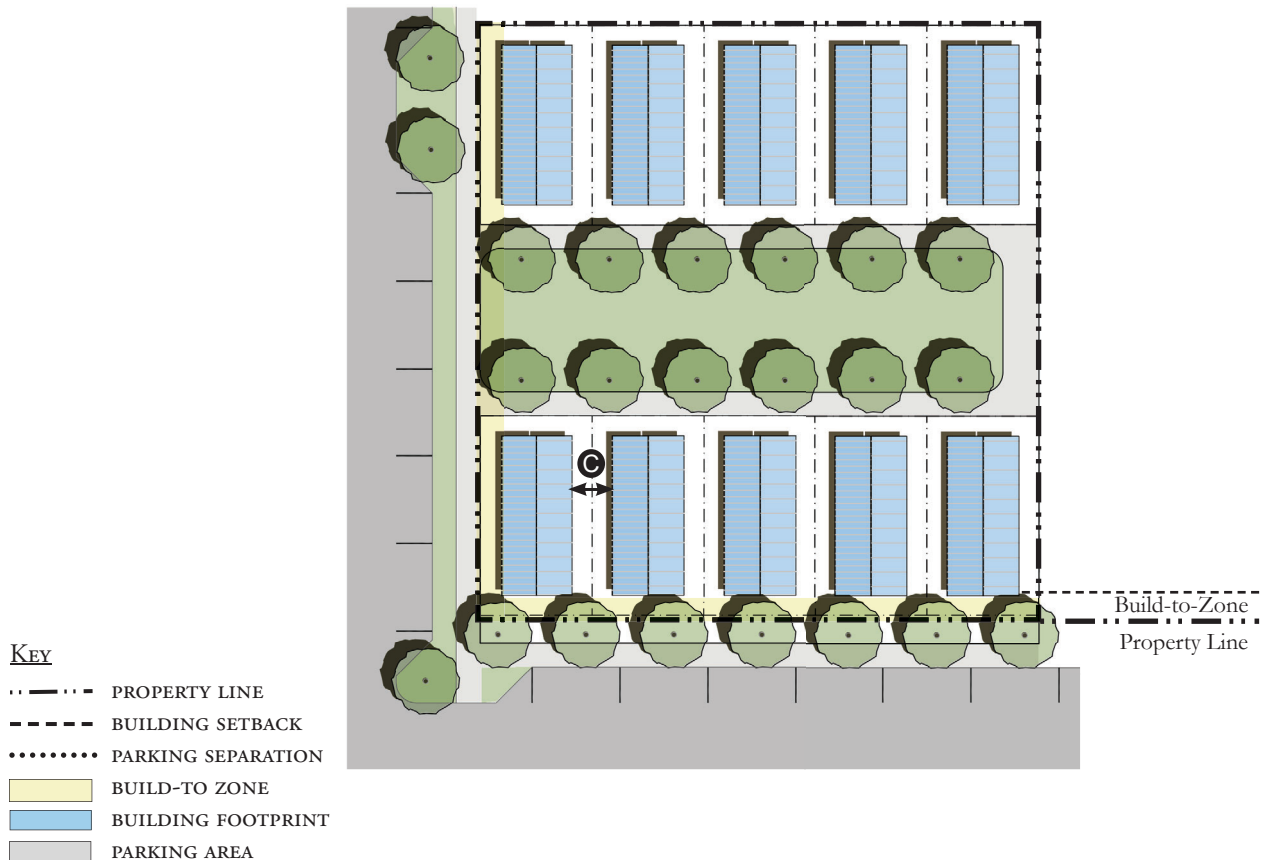
Notes

Cottages shall not exceed a footprint of 2,000 square feet.

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Figure R-5.10 - Cottage Court



Building Placement, see 12.1.04.6

Frontage ¹	60% min.	
Front Build-to-Zone	6' min.	(A)
Side at Street Build-to-Zone	6' min.	
Side at Property Line Setback	6' min.	(B)
Unit Separation	10' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	30' / 2 stories max.	(D)

Parking Placement

Front Setback	30' min.	(E)
Side at Street Setback	10' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min.	(G)

Permitted Subdistricts, see 12.3.02

Core	General	Waterfront
Corridor	Mobile Home	Multifamily

Description

A Cottage Court is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas.

Notes

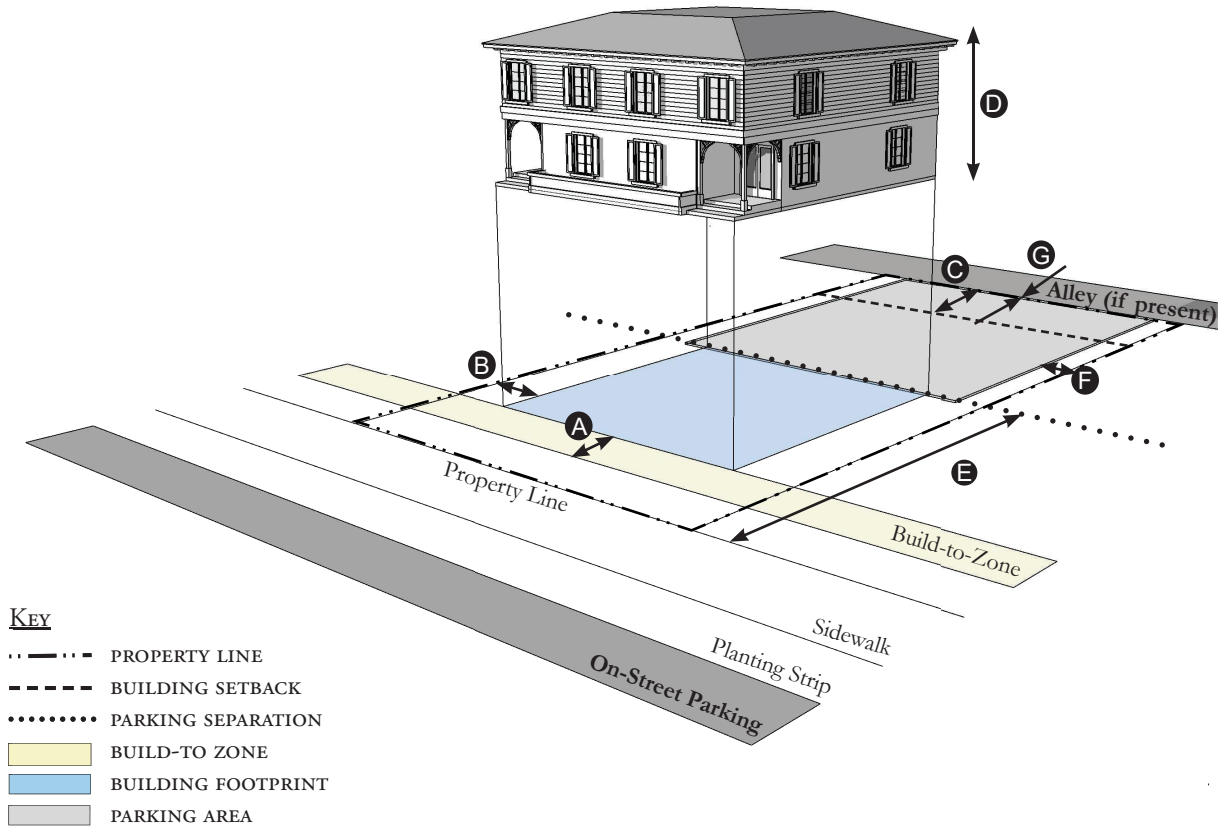
¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Building Type & Frontage Type Standards

12.3.05

Figure R-5.11 - Duplex

**Building Placement, see 12.1.04.6**

Frontage ¹	60% min.	
Front Build-to-Zone	10' min., 25' max.	A
Side at Street Build-to-Zone	10' min.	
Side at Property Line Setback	5' min.	B
Rear Yard Setback	10' min.	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	30' max.	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min./0' min. with alley	G

Permitted Subdistricts, see 12.3.02

General	Multifamily
---------	-------------

Description

A Duplex is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.

Notes

¹ For this Building Type, the frontage requirement may be met with the provision of a continuous wall or fence along the lot frontage.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

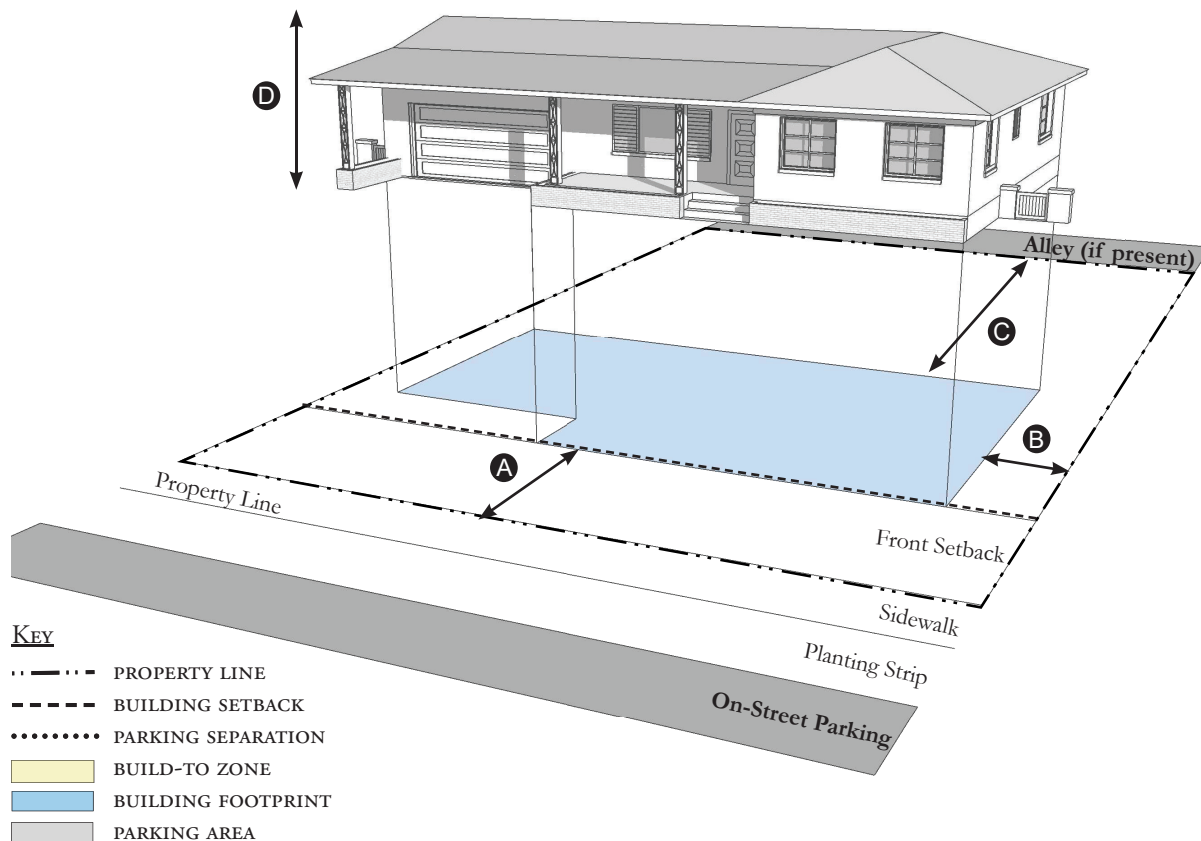
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Building Type & Frontage Type Standards

12.3.05

R

Figure R-5.12 - All Yard House



Building Placement, see 12.1.04.6

Frontage	Not Required	
Front Setback	20' min.	(A)
Side at Street Setback	6' min.	
Side at Property Line Setback	6' min.	(B)
Rear Yard Setback	10' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	30' / 3 stories max.	(D)

Parking Placement

Refer to Section 12.1.07.8 Garage & Driveway for parking and driveway configurations for Single Family Dwellings.

Permitted Subdistricts, see 12.3.02

General	Detached 1	Detached 2
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Description

All Yard House has yards on all sides and may contain accessory structures toward the rear.

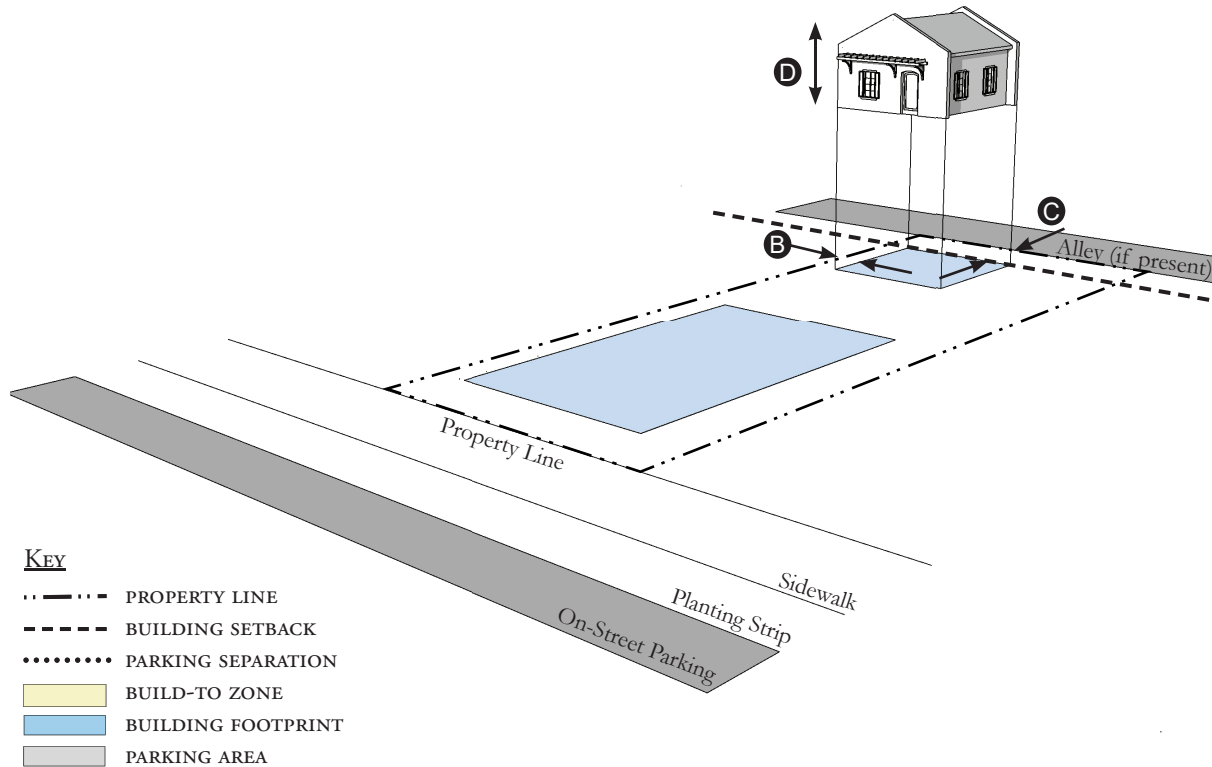
Notes

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Building Type & Frontage Type Standards

12.3.05

Figure R-5.13 - Outbuilding

**Building Placement, see 12.1.04.6**

Frontage	Not applicable	
Front Build-to-Zone	Not applicable	
Side at Street Build-to-Zone	Not applicable	
Side at Property Line Setback	5' min.	(B)
Rear Yard Setback	5' min.	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	24' / 2 stories max.	(D)

Permitted Subdistricts, see 12.3.02

Core	General	Waterfront
Corridor	Detached 1	Detached 2

Description

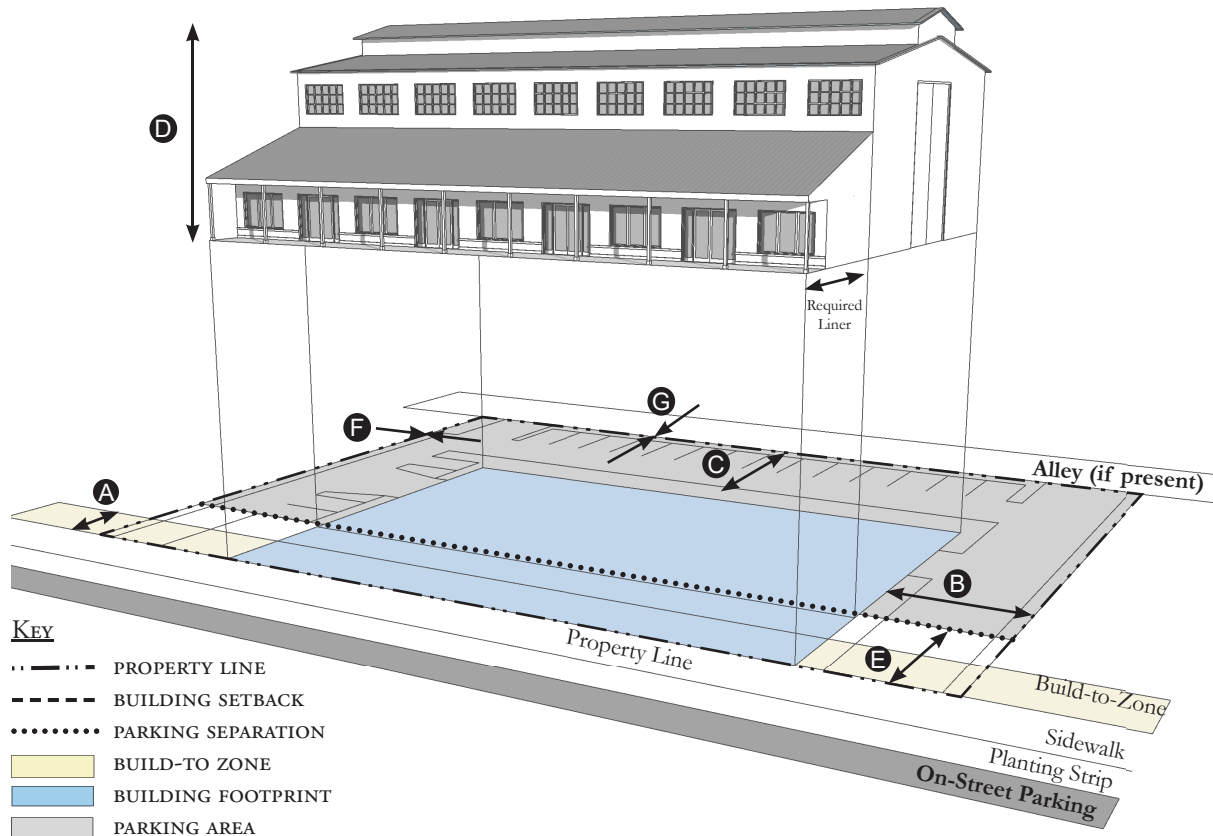
An Outbuilding is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. Outbuildings may include a garage, shed, workshop, or accessory dwelling unit.

Notes

Outbuildings shall not exceed a footprint of 850 square feet.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Figure R-5.14 - Boat Barn



Building Placement, see 12.1.04.6

Frontage	60% min.	
Front Build-to-Zone ¹	0' min., 15' max.	A
Side at Street Build-to-Zone	10' min.	
Side at Property Line Setback ²	10' min.	B
Rear Yard Setback ²	10' min./5' min. with alley	C

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	40' max.	D

Parking Placement

Front Setback	30' min.	E
Side at Street Setback	5' min.	
Side at Property Line	5' min.	F
Rear Setback	5' min. (no alley), 0' alley	G

Permitted Subdistricts, see 12.3.02

Industrial Waterfront

Description

A Boat Barn is an indoor storage facility. A liner is required to avoid large blank facades to the public. A liner shall face all primary streets. Liners may be additional commercial space with permitted uses.

Notes

Commercial linear shall be a minimum depth of 20' feet.

¹ Measured from existing Right-of-Way or edge of pavement.

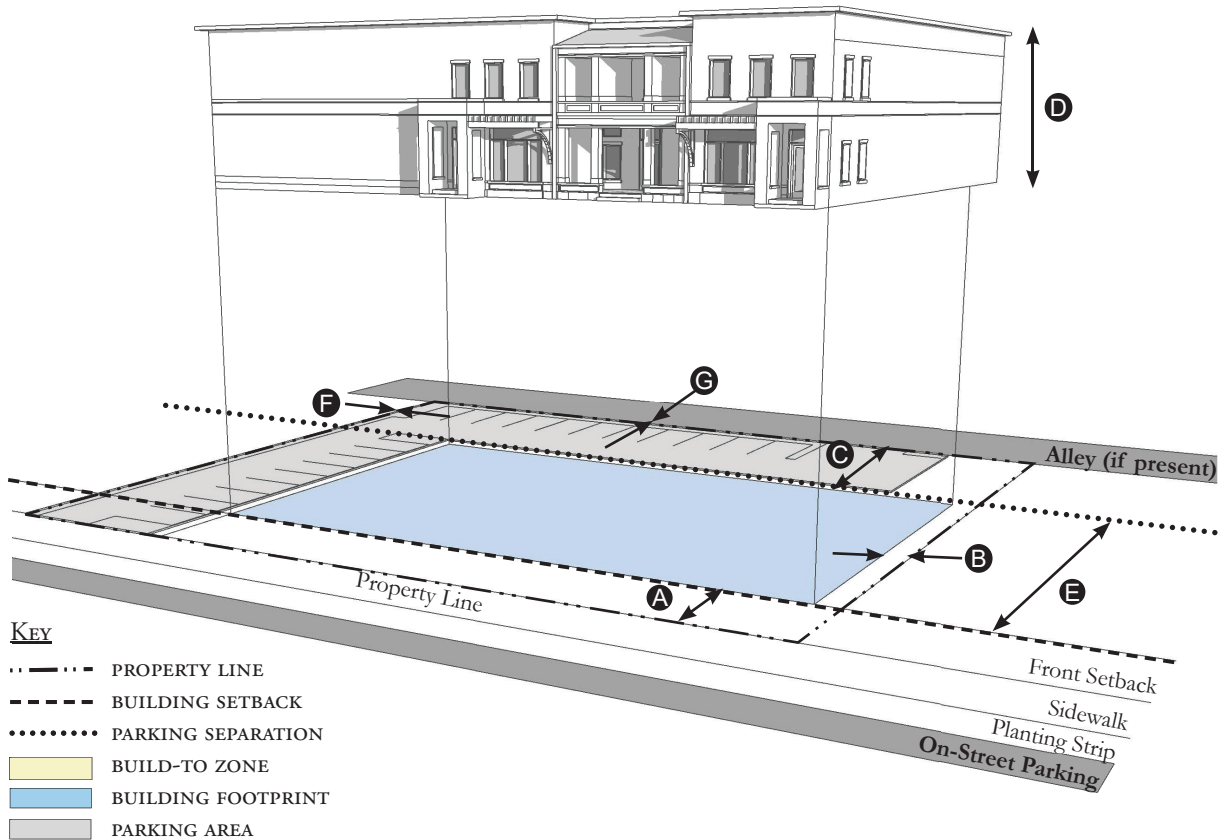
² Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Building Type & Frontage Type Standards

12.3.05

Figure R-5.15 - Industrial Building

**Building Placement, see 12.1.04.6**

Frontage	Not required	
Front Setback ¹	20' min.	(A)
Side at Street Build-to-Zone	5' min.	
Side at Property Line Setback ²	5' min.	(B)
Rear Yard Setback ²	10' min./5' min. with alley	(C)

Height, see 12.1.04.2

Ceiling at Ground Level	Not applicable	
Building Height	40' max.	(D)

Parking Placement

Front Setback	30' min.	(E)
Side at Street Setback	5' min.	
Side at Property Line	5' min.	(F)
Rear Setback	5' min. (no alley), 0' alley	(G)

Permitted Subdistricts, see 12.3.02

Industrial	Waterfront
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Description

An Industrial Building will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking and loading shall be accommodated in Alleys or Secondary Streets whenever possible.

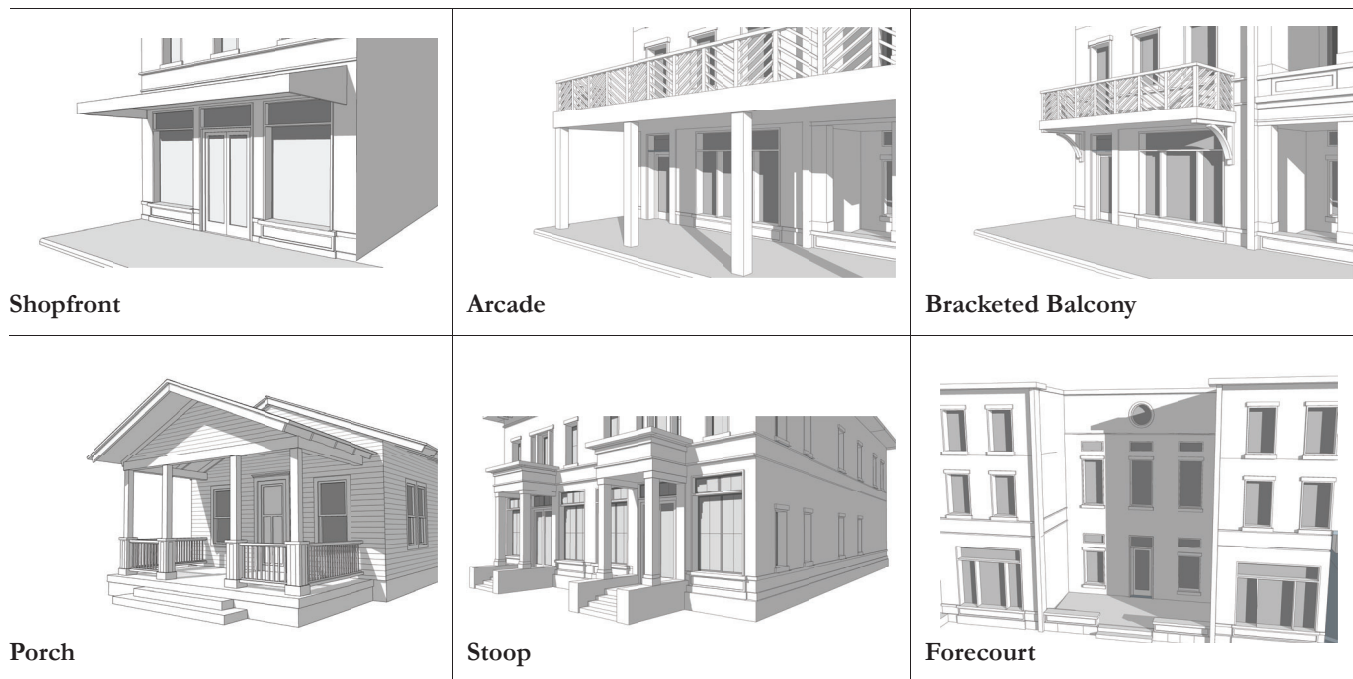
Notes

¹ Measured from existing Right-of-Way or edge of pavement.

² Where the rear or side of a property directly abuts a residential zoning district or an existing single family dwelling Building Transitions described in Section 12.1.04.15 apply.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table R-5.

Figure R-5.16 - Frontage Types Matrix



2. **Frontage Types.** Using one or more of the permitted frontage types indicated in Table R-5.17 is required within the Core, Corridor and Waterfront Subdistricts. Standards for Frontages are found in Section 12.1.05. Frontage Types are encouraged in the Industrial, Mobile Home, Multifamily, and Detached Subdistricts, but are not required.

Table R-5.17 - Permitted Frontage Types Matrix

Subdistrict	Shopfront	Arcade	Bracketed Balcony	Porch	Stoop	Forecourt
Core	P	P	P	P	P	P
Corridor	P	P	P	P	P	P
General	-	-	-	-	-	-
Waterfront	P	P	P	P	P	P
Industrial	-	-	-	-	-	-
Mobile Home	-	-	-	-	-	-
Multifamily	-	-	-	-	-	-
Detached 1	-	-	-	-	-	-
Detached 2	-	-	-	-	-	-
Primary Streets shall include the required Principal Entrance & Frontage Type.						



Street Standards

12.3.06

Section 12.3.06. Street Standards.

1. **Applicability.** Street standards that apply in all Redevelopment Zoning Districts are provided in 12.1.06. The additional street standards which apply in the Rio Redevelopment Zoning District are specified in this section.
2. **Street Regulating Plan.** A Street Regulating Plan is provided in Figure **R-3**, Section 12.2.02. That Regulating Plan identifies the following features:
 - a. **Primary Streets** allow movement through as well as within the Rio Redevelopment Zoning District.
 - b. **Secondary Streets** are local streets that supplement the primary streets to provide an interconnected street network that serves users of all ages and abilities and that fully integrates residential neighborhoods with shopping, employment, and civic features.
 - c. **Recommended Future Streets** would become additional streets to complete a highly interconnected street network.
 - d. **Recommended Future Alleys** are not required but are strongly encouraged within the blocks created by the construction of proposed streets. Alleys may be designed and constructed as the alley type in Section 12.1.06.
3. **Future Streets.**
 - a. **Street Location.** The schematic location of proposed streets is shown on the Street Regulating Plan. The exact location may be adjusted during the development review process provided the new location meet these requirements:
 - i. The adjusted location does not reduce the level of connectivity with surrounding streets, both existing and proposed.
 - ii. The adjusted location does not reduce the level of street connectivity within the site or substantially increase the average block size.
 - iii. The adjusted location does not diminish or eliminate any proposed civic space or civic building shown on the Regulating Plan.
 - iv. The adjusted location maintains or enhances pedestrian convenience and safety and does not create any traffic hazards.
 - b. **Street Types.** Proposed streets may be designed and constructed as any one of the following street types below defined in Section 12.1.06:
 - i. Local Street 1 through 3
 - ii. Local Street 2
 - iii. Local Street 3
 - iv. Neighborhood Street 1
 - v. Neighborhood Street 2
 - vi. Yield Street

4. Shade Trees.

- a.** Primary streets shall have shade trees planted at 30-foot intervals. The trees shall be 16 feet in height, with a four-foot clear trunk, and four-inch dbh at the time of planting. The landscaping on CR-707 (Dixie Highway) shall include native and non-native trees with a minimum height of 16 feet, with a four-foot clear trunk, and three-inch dbh at the time of planting, planted at a maximum of 30-foot intervals. Along CR-707 (Dixie Highway), every other block shall be complemented with a bench and a garbage container. The landscape islands shall be sized appropriately to the maximum mature size of the tree.
- b.** Secondary streets shall have shade trees planted at 30-foot intervals with a minimum height of 12 feet, with a four-foot clear trunk, and two-inch dbh at 30-foot intervals.



Parking Standards

12.3.07

Section 12.3.07. Parking Standards.

1. **Applicability.** Parking Standards found in Sections 4.621 through 4.628, Div. 14, Article 4, are modified for all Redevelopment Zoning Districts in Parking Standards Section 12.1.07. Those modified Parking Standards apply in the Rio Redevelopment Zoning District, except as specified otherwise in this section.
2. **Parking Rates.** Refer to Section 12.1.07 for parking rates applicable to Redevelopment Zoning Districts.
3. **Special Parking Alternatives for Redevelopment Centers (SPARC) program.** The SPARC program described in Section 12.1.07 is authorized within the Rio CRA.
4. **Screening of Parking from Residential Uses.** There shall be an alley between parking areas and adjacent residential uses. Where an alley is not possible, there shall be a visual barrier between parking areas or commercial uses and residential uses. Refer to Landscaping Standards Section 12.3.09, Vehicular Use Areas.
5. **Parking Structures.** Whenever a parking structure or surface parking provided beneath a building is located on a Primary Street, as identified on the Street Regulating Plan, Section 12.3.02, street level commercial space shall be provided for a depth of no less than 20 feet measured from the front of the building.
6. **Distributing Parking.** Where more than 200 parking spaces are provided onsite, such parking shall be distributed such that no more than 50 percent of the spaces are grouped in a single area of the parcel. Methods of distributing parking include locating parking adjacent to the rear or sides of a building or by physically separating parking areas with other buildings or landscaped areas.
7. **Combined Parking Lot** or Joint use of parking lots.
 - a. Shared parking lots must be located within 500 feet of each use. These lots may be separated from the use(s) by a street, easement, or other right-of-way.
 - b. Parking shared by different uses must be supported by evidence that peak parking demands of each use occur at different times of the day or days of the week. Section 4.626.B.2, Div. 14, Article 4, Shared Parking provides the methodology to support shared parking. Mixed-use developments do not have to meet this standard.
8. **Off-Street Loading.** A minimum of one loading space must be provided for all buildings that receive or ship goods via semitrailer or trucks larger than 20 feet in length. The space shall not obstruct or otherwise hinder the movement of vehicles and pedestrians. Non-residential development within Multifamily, Mobile Home, Detached 1 and Detached 2 Subdistricts shall conform with 4.626.B.4, Div. 14, Article 4 regarding the number of loading spaces.
9. **Approved Parking Surfaces.**
 - a. Residential-only development shall provide parking on a paved surface.
 - b. Commercial, industrial, or mixed-use development shall provide the required number of parking spaces on paved surfaces; however, any overflow parking may be provided on a stabilized grassed surface.
 - c. Civic uses may provide parking on stabilized grassed surfaces.



- d.** Parking surfaces shall be brought up to the standards of this sub-section, no later than five years from the effective date of this Division.
- 10. Boats, recreational vehicles or boat trailers.** Section 3.201.C.2.h. Div. 4, Article 3, shall apply in the Rio CRA, except that the parking or storage of a vehicle or equipment that exceeds 25 feet in length shall not be parked in a minimum front, side or rear setback.



Stormwater Standards

12.3.08

Section 12.3.08. Stormwater Standards.

1. Stormwater management standards are provided in Sections 4.381 through 4.390, Div. 9, Article 4 and apply in the Rio Redevelopment Zoning Districts except as modified in Section 12.1.08.

Section 12.4.09. Landscape Standards.

1. Table **R-9** identifies which of the landscaping, buffering, and tree protection standards in Div. 15, Article 4 apply as written in the Rio Redevelopment Zoning District and which standards are modified, replaced, or do not apply in this zoning district.

Table R-9 - Landscaping, Buffering, and Tree Protection Standards

Div. 15, Article 4		In Rio CRA
General Requirements		
4.661.A	Purpose and intent	Applies as written
4.661.B	Applicability	Does not apply
4.661.C	Glossary	Applies as written
Application Requirement		
4.662.A	Landscape Plan	Modified by 12.3.09.2
4.662.B	Irrigation Plans	Applies as written
Landscape Design Standards		
4.663.A	General requirements	
A.1	Required landscape area	Replaced by 12.3.09.3
A.2	Landscape area credits	Applies as written
A.3	Required tree planting	Modified by 12.3.09.4
A.4-5	Vehicular use areas	Modified by 12.3.09.5
A.6	Service areas	Modified by 12.3.09.6
A.7	Commercial buildings	Does not apply
4.663.B	Buffer-yard requirements	Does not apply
4.663.C	Add't req. for landscaping	Does not apply
4.663.D	Water efficient landscaping	Applies as written
4.663.E	Preserve area interface	Applies as written
Landscape Material Standards		
4.664	(All Subsections)	Applies as written
Maintenance of Required Landscaping		
4.665	(All Subsections)	Applies as written
Tree Protection		
4.666	(All Subsections)	Applies as written
Alternative Compliance		
4.667	(All Subsections)	Replaced by 12.1.13.3
Certificate of Compliance		
4.668	(All Subsections)	Applies as written

2. **Landscape plan, not applicable to single family dwellings or duplexes.** Development applications shall include a landscape plan prepared by a qualified professional that provides the location and type of existing and proposed features that are identified in Table **R-10**, which are summarized from the detailed requirements in Section 4.662.A, Div. 15, Article 4.

Landscape Standards

12.3.09

- a. **Column A** requirements apply to an application for a final site plan.
- b. **Column B** requirements apply to an application for a building permit for a Small Site, which are defined as the construction or expansion of a principal building or accessory structures on a lawfully established lot or adjacent lots, provided the parcel being developed is less than one-half acre.
- c. **Column B** requirements also apply to an application for a substantial improvement or substantial renovation of a building exterior on any lot regulated by Article 12, as those terms are defined in Section 4.871.B, Div. 20, Article 4.
- d. **For applications for a substantial improvement/renovation only**, the Growth Management Director, or the Director's designee, may authorize incremental compliance with its requirements when the nature and scope of the existing and proposed improvements make full compliance unreasonable. An application for alternative compliance shall not be required but the Growth Management Director may require that the proposal be presented to the Neighborhood Advisory Committee for review and comment.

Table R-10 - Landscape Plan Application Requirements

Div. 15, Article 4		In Rio CRA	
		A	B
1	Property boundaries	Yes	Yes
2	Land use features	Yes	Yes ¹
3	Structures & paving	Yes	Yes ¹
4	Utilities	Yes	Yes
5	Vehicular use areas	Yes	Yes
6	Water bodies	Yes	Yes
7	Tree survey	Yes	-
8	Installation methods	Yes	-
9	Development areas	Yes	-
10	Ditches & swales	Yes	-
11	Tabular data	Yes	-

¹ On-site features only

3. Required landscape area.

- a. Table **R-11** indicates the minimum percentage of the total developed area that must be landscaped.
- b. Landscaping shall be permitted in easements only with the written permission of the easement holder. A written agreement shall specify the party responsible for restoring disturbed landscape areas, shall be submitted to the county in a form acceptable to the County Attorney, and shall be recorded in the public records.
- c. Exposed dirt yards are prohibited.

Table R-11 - Required Landscape Area & Tree Planting

Subdistrict	Minimum Percentage	One Tree for this Amount of Total Site Area
Core	0%	1,000 sf
General	10%	1,000 sf
Waterfront	5%	1,000 sf
Corridor	10%	1,000 sf
Industrial	Not required	Not required
Mobile Home	Not required	3,000 sf
Multifamily	Not required	3,000 sf
Detached 1	Not required	3,000 sf
Detached 2	Not required	3,000 sf

4. Required tree planting.

- a. Table **R-11** indicates the minimum number of trees that must be planted.
- b. Tree species and size.
 - i. Other required trees shall have a minimum height of 12 feet, with a four-foot clear trunk, and two-inch diameter at breast height (dbh), at the time of planting.
 - ii. Palm trees shall have a minimum height of 12 feet at the time of planting.
 - iii. Fruit trees shall have a minimum height of five feet at the time of planting.
- c. Trees planted in adjacent right-of-way as indicated in Section 12.3.06, or in other nearby public space, shall be credited towards meeting the number of trees required by Table **R-11**. Any private use of the public right-of-way requires the approval of the County Engineer, a right-of-way use permit, a construction agreement, and an indemnification agreement.
- d. Trees planted in Vehicular Use Areas shall be credited towards meeting the number of trees required by Table **R-11**.
- e. Trees planted near utilities shall consider FPL's *Right Tree/Right Place Guidelines*.

5. Vehicular use areas, not applicable to single family dwellings or duplexes.

- a. **Perimeter landscaping.** Landscaping shall be provided along the perimeter of vehicular use areas in accordance with the following standards:
 - i. The side of a vehicular use area fronting SR 707 shall be planted with trees at 30-foot intervals. The trees shall be 16 feet in height, with a four-foot clear trunk, and four-inch dbh at the time of planting.
 - ii. The side of a vehicle use area abutting a Detached 1, Detached 2, Multifamily or Mobile Home that is not a part of the subject development shall be planted with trees with a minimum height of 16 feet, 4-foot clear trunk, and four-inch dbh, at 25-foot intervals in a landscape area that is at least ten feet wide. The trees, landscaped buffer and the wall, fence or hedge may be reduced or

Landscape Standards

12.3.09

eliminated with the written consent of the owner of the residential property, which shall be recorded in the public records.

iii. Any side of a vehicular use area not included in paragraph (a) or (b) shall be planted with trees minimum height of 12 feet, with a four-foot clear trunk, and two-inch dbh at 30-foot intervals.

iv. A wall, fence, or hedge shall be provided around all vehicle use areas. Between the vehicle use area and a road right-of-way, the wall, fence, or hedge shall not exceed four feet in height. For the remainder of the lot, it shall be no more than six feet in height. Walls and landscaping around parking areas shall provide pedestrian access every 50 linear feet. No wall, fence, or hedge is required along the side of a parking area that abuts another parking area.

b. **Interior landscaping.** If a vehicular use area is larger than 15,000 square feet, landscaping shall be provided within its interior in accordance with Section 4.663.A.4, Div. 15, Article 4, except that these interior landscape areas may also be used as stormwater management and conveyance facilities. If a vehicular use area is equal to or smaller than 15,000 square feet, no interior landscaping, terminal islands, interior medians, or interior islands are required.

6. **Service areas.** Service function areas including dumpsters, shall be screened in accordance with Section 4.663.A.6, Div. 15, Article 4, except that landscaping shall not be required around the perimeter of the screen, and an enclosure shall be finished masonry wall. All nonconforming enclosures shall be brought into compliance no later than two years from the effective date.



Section 12.3.10. Wall & Fence Standards.

1. Walls and fences must comply with the Wall and Fence Standards for all Redevelopment Zoning Districts found in Section 12.1.10.

Sign Standards

12.3.11

Section 12.3.11. Sign Standards.

1. Sign Standards must comply with the standards for all Redevelopment Zoning Districts found in Section 12.1.11 except where modified below for Rio Zoning District.
2. **Wall signs.** Table **R-12** supersedes the signage-area table in Section 4.700, Div. 16, Article 4.
3. **Banner signs.** Banner signs may be erected for a temporary period, not to exceed 90 days. If hung over a right-of-way, they must comply with all applicable FDOT and Martin County regulations.
4. **Freestanding signs.** One freestanding sign is permitted per building or each 200 lineal feet of property frontage. The freestanding sign shall be a pedestal sign with a maximum square footage of 50 square feet per sign face.
5. **Murals** are permitted, but may not contain advertising.
6. **Types of signs permitted.** The list of permitted signs in Section 4.703, Div. 16, Article 4 is adjusted by adding the following sign as permitted:
 - a. **Sandwich or sidewalk signs,** as defined in Section 4.693, Div. 16, Article 4, are permitted in the Core, General, and Waterfront Subdistricts, provided the signs do not exceed 6 square feet per face, do not unreasonably obstruct pedestrian or vehicular movement, and are moved off sidewalks or other public property by 9:00 PM daily.
7. **Lettering and logo size.** Table **R-12** provides the maximum height of lettering and logos on any allowable. Section 4.699, Div. 16, Article 4 describes how to measure the height of irregularly shaped features.

Table R-12 - Sign Size Limitations

Subdistrict	Percent of Building Face Allowable for Wall Signs	Maximum Size Per Wall Sign	Maximum Height of Lettering and Logos for All Signs
Core	12%	32-sf	24 inches
General	6%	6-sf	10 inches
Waterfront	15%	32-sf	24 inches
Corridor	15%	32-sf	24 inches
Industrial	15%	32-sf	24 inches
Mobile Home	-	-	-
Multifamily	-	-	-
Detached 1	-	-	-
Detached 2	-	-	-

Section 12.3.12. Architectural Standards. All structures within the Rio Redevelopment Zoning District shall comply with the following:

1. **Accessory Structures.** Materials shall be or have the appearance of that of the primary structure.
2. **Exterior Lighting.** Exterior lighting shall be so shielded to prevent any light trespass onto adjoining property.
3. **Painting of Structures.**
 - a. All exterior surfaces of buildings shall be painted, except when constructed with materials not normally painted, including, but not limited to, vinyl siding or brick.
 - b. Any repairs to the exterior of any building must be painted to match the balance of the structure.
4. **Board-ups.** If a structure is boarded-up for any reason, the boarding material must be, at a minimum, exterior grade plywood. If exterior grade plywood is used, it must be painted to match the balance of the structure, except for temporary boarding in the event of a natural disaster.
5. **Historic Structures.** Structures identified as historically and architecturally contributing shall be candidates for historic protection as set forth in Div.13, Article 4.