

**BCC MEETING DATE:** December 17, 2019  
**AGENDA ITEM:** PH-4

**MARTIN COUNTY, FLORIDA  
SUPPLEMENTAL MEMORANDUM**

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**TO:** Honorable Members of the Board of County Commissioners **DATE:** December 9, 2019

**VIA:** Taryn Kryzda  
County Administrator

**FROM:** Nicki van Vonno, AICP  
Growth Management Director

**REF:** 20-0110

**SUBJECT: LEGISLATIVE PUBLIC HEARING TO CONSIDER ADOPTION OF  
COMPREHENSIVE PLAN AMENDMENT 19-23, RIO FUTURE LAND  
USE MAP**

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Attached to this Supplemental Memorandum are Exhibit A and Exhibit B of the proposed ordinance.

Exhibit A is the legal description of the CRA Center Future Land Use designation in Rio and Exhibit B is the legal description of the CRA Neighborhood Future Land Use designation in Rio.

Also attached are copies of correspondence received from state and regional reviewing agencies in response to the transmitted plan amendment. No agency shared an objection or comment.

Reviewed by County Attorney's Office.

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# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG | M.C. PROJ. NO. 19-115

SHEET NO. 1 of 10


## EXHIBIT A

### SURVEYOR'S NOTES

1. THIS SKETCH AND LEGAL DESCRIPTION IS BASED ON PORTIONS OF THE RIO CRA.
2. THIS LEGAL DESCRIPTION SHALL NOT BE VALID:
  - A. UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1-10, SHEETS 9 AND 10 BEING A SKETCH.
  - B. WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR.
3. THE PURPOSE OF THIS SKETCH AND DESCRIPTION IS TO DESCRIBE PROPERTY WITHIN THE RIO CRA WITH THE CRA CENTER FUTURE LAND USE DESIGNATION.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
5. THIS IS NOT A SURVEY AND DOES NOT DEFINE OWNERSHIP OR ENCROACHMENTS.
6. PROPERTY, TRACT, AND PARCEL LINES SHOWN ARE APPROXIMATE IN NATURE AND NOT TO BE RELIED UPON FOR LAND POSITIONING OR DETERMINATIONS.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. LEGEND: CRA=COMMUNITY REDEVELOPMENT AGENCY, F.E.C.=FLORIDA EAST COAST, POB=POINT OF BEGINNING.

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT [WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK](http://WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK).

### SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE



BRION D. YANCY, PSM  
PROJECT SURVEYOR -- SURVEYING DIVISION  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA LICENSE NO. 7162

DATE: 12-6-2019

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 2 - 10.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM | SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG | M.C. PROJ. NO. 19-115 | SHEET NO. 2 of 10

## EXHIBIT A

### DESCRIPTION

A PARCEL OF LAND LOCATED IN SECTIONS 27, 28, 33, AND 34, TOWNSHIP 37 SOUTH, RANGE 41 EAST, LYING IN: A PORTION OF THE PLAT OF DEWAGENEIRE TRACT ACCORDING TO PLAT BOOK 5, PAGE 52, A PORTION OF THE PLAT OF OAK LANE MANOR ACCORDING TO PLAT BOOK 2, PAGE 55, A PORTION OF THE PLAT OF RIO ST. LUCIE TERRACE ACCORDING TO PLAT BOOK 1, PAGE 14B, A PORTION OF THE PLAT OF RIO ST. LUCIE TERRACE ADDITION NO. 1 ACCORDING TO PLAT BOOK 1, PAGE 56, A PORTION OF THE PLAT OF RIVER TERRACE ACCORDING TO PLAT BOOK 2, PAGE 59A, A PORTION OF THE PLAT OF ARCH HEIGHTS ACCORDING TO PLAT BOOK 3, PAGE 51, A PORTION OF THE PLAT OF ARCH HEIGHTS FIRST ADDITION ACCORDING TO PLAT BOOK 3, PAGE 59, A PORTION OF THE PLAT OF CORONA DEL RIO ACCORDING TO PLAT BOOK 3, PAGE 43, A PORTION OF THE PLAT OF PEPPER PARK ACCORDING TO PLAT BOOK 3, PAGE 42, A PORTION OF THE PLAT OF PINE GROVE ACCORDING TO PLAT BOOK 8, PAGE 29, A PORTION OF THE PLAT OF RIVERSIDE HEIGHTS ACCORDING TO PLAT BOOK 3, PAGE 20, A PORTION OF THE PLAT OF SAGO SANDS ACCORDING TO PLAT BOOK 4, PAGE 27, A PORTION OF THE PLAT OF ST. LUCIE RIVER HEIGHTS ACCORDING TO PLAT BOOK 3, PAGE 34, ALL RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, AND A PORTION OF THE PLAT OF ED. F. GLUTSCH, ACCORDING TO PLAT BOOK 1, PAGE 151 AS RECORDED IN THE PUBLIC RECORDS OF BREVARD (NOW MARTIN) COUNTY, FLORIDA, AND A PORTION OF THE PLAT OF A PART OF THE ORIGINAL HOMESTEAD OF ED. F. GLUTSCH BOOK 1, PAGE 213, A PORTION OF THE PLAT OF RIO ST. LUCIE SUBDIVISION ACCORDING TO PLAT BOOK 4, PAGE 99 ALL RECORDED IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY NOW MARTIN COUNTY, FLORIDA, AND A PORTION OF THE UNRECORDED PLAT OF BANYAN TERRACE COTTAGES, A PORTION OF THE UNRECORDED PLAT OF CERRO DE SANTA CRUZ, A PORTION OF THE UNRECORDED PLAT OF PINE CASTLE, AND A PORTION OF THE UNRECORDED PLAT OF JOHANN PARK, ALL IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA;

SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE NORTHWEST CORNER OF BLOCK 1, OF SAID PLAT OF RIO ST. LUCIE SUBDIVISION, SAID CORNER BEING THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST SUMMER AVENUE AND THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY TO THE NORTHEAST CORNER OF BLOCK 2 OF SAID PLAT OF RIO ST. LUCIE SUBDIVISION;

(CONTINUE ON SHEET 3)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1 AND 3-10.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM | SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG M.C. PROJ. NO. 19-115

SHEET NO. 3 of 10

## EXHIBIT A

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 2)

THENCE NORTHEASTERLY TO THE SOUTHEAST CORNER OF LOT 12 OF SAID PLAT OF ED. F. GLUTSCH SUBDIVISION, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT 12 TO THE WESTERLY PROJECTED LINE OF THE NORTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2522, PAGE 1528 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE EASTERLY ALONG SAID WESTERLY PROJECTED LINE AND THE NORTHERLY LINE OF SAID PARCEL TO THE EASTERLY LINE OF THE WEST HALF OF LOT 13 OF SAID PLAT OF ED. F. GLUTSCH SUBDIVISION; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE F.E.C. RAILWAY; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF LOT 6 OF SAID PLAT OF ED. F. GLUTSCH SUBDIVISION; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 6 TO THE SOUTHEAST CORNER OF SAID LOT 6; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF LOT 7 OF SAID PLAT OF ED. F. GLUTSCH SUBDIVISION TO THE NORTHWEST CORNER OF SAID PLAT OF DEWAGENEIRE TRACT; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID PLAT OF DEWAGENEIRE TRACT TO THE SOUTHWEST CORNER OF SAID PLAT OF DEWAGENEIRE TRACT; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID PLAT OF DEWAGENEIRE TRACT TO THE NORTHWEST CORNER OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 1509, PAGE 2559 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID PARCEL TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID PARCEL TO A POINT INTERSECTING THE WESTERLY LINE OF LOT 3 OF SAID PLAT OF OAK LANE MANOR; THENCE SOUTHERLY ALONG SAID WESTERLY LINE TO THE NORTHWEST CORNER OF LOT 2 OF SAID PLAT OF OAK LANE MANOR; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 2 TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF LOTS 2 AND 1 OF SAID PLAT OF OAK LANE MANOR TO THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE SOUTH TO THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY TO THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST SEAHORSE PLACE; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST SEAHORSE PLACE TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2775, PAGE 653 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA;

(CONTINUE ON SHEET 4)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1, 2, AND 4-10.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION**  
**MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG M.C. PROJ. NO. 19-115

SHEET NO. 4 of 10

## EXHIBIT A

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 3)

THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID PARCEL TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2609, PAGE 2647 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG SAID EASTERLY PROJECTED LINE, THE SOUTHERLY LINE, AND THE WESTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF SAID PARCEL RECORDED IN OFFICIAL RECORDS BOOK 2609, PAGE 2647 TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2694, PAGE 1 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID PARCEL TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2659, PAGE 354 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 1405, PAGE 1836 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2598, PAGE 1760 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG SAID EASTERLY PROJECTED LINE, THE SOUTHERLY LINE, AND THE WESTERLY PROJECTION OF SAID SOUTHERLY LINE OF SAID PARCEL TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2702, PAGE 390 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG SAID NORTHERLY LINE AND THE WESTERLY PROJECTION OF SAID NORTHERLY LINE TO THE EASTERLY LINE OF SAID PLAT OF RIO ST. LUCIE TERRACE ADDITION NO. 1; THENCE SOUTHERLY ALONG SAID EASTERLY LINE OF PLAT OF RIO ST. LUCIE TERRACE ADDITION NO. 1 TO THE EASTERLY PROJECTION OF THE NORTHERLY LINE OF BLOCK 3 OF SAID PLAT OF ST. LUCIE TERRACE ADDITION NO. 1; THENCE WESTERLY ALONG SAID EASTERLY PROJECTED NORTH LINE, SAID NORTH LINE OF BLOCK 3 AND THE NORTH LINE OF BLOCK 1 OF SAID PLAT OF ST. LUCIE TERRACE ADDITION NO.1 TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST MARTIN AVENUE; THENCE SOUTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND THE SOUTHERLY PROJECTION OF SAID EASTERLY RIGHT-OF-WAY LINE TO THE NORTHERLY MEAN HIGH WATER LINE OF ST. LUCIE RIVER;

(CONTINUE ON SHEET 5)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1, 3, AND 5-10.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115



# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG M.C. PROJ. NO. 19-115

SHEET NO. 5 of 10

## EXHIBIT A

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 4)

THENCE MEANDER NORTHWESTERLY ALONG SAID NORTHERLY MEAN HIGH WATER LINE TO A POINT INTERSECTING THE EASTERLY LINE OF LOT 14 OF SAID PLAT OF ED. F. GLUSTCH SUBDIVISION; THENCE NORTHWESTERLY ALONG SAID EASTERLY LINE OF LOT 14 TO THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE AVENUE; THENCE WESTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO A LINE 16 FEET EAST OF, AND PARALLEL WITH, THE WESTERLY LINE OF SAID LOT 14 OF PLAT OF ED. F. GLUSTCH SUBDIVISION, ALSO BEING THE WESTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 3037, PAGE 2309 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHERLY, EASTERLY, AND SOUTHERLY ALONG SAID WESTERLY LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 3037, PAGE 2309 TO THE NORTHERLY MEAN HIGH WATER LINE OF SAID ST. LUCIE RIVER; THENCE MEANDER WESTERLY, SOUTHERLY, AND SOUTHWESTERLY ALONG SAID NORTHERLY MEAN HIGH WATER LINE TO THE POINT INTERSECTING THE WESTERLY LINE OF LOT 14 OF SAID PLAT OF ED. F. GLUSTCH SUBDIVISION; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF LOT 14 TO THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 3037, PAGE 2306 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF SAID PARCEL TO THE WESTERLY LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 3037, PAGE 2306; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF SAID PARCEL TO THE SOUTHERLY LINE OF A PARCEL HAVING PARCEL IDENTIFICATION NUMBER 33-37-41-000-000-00021-2 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE WESTERLY LINE OF SAID PARCEL; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF SAID PARCEL TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF LOT 12 OF SAID PINE CASTLE UNRECORDED PLAT; THENCE WESTERLY ALONG SAID EASTERLY PROJECTED LINE, THE SOUTHERLY LINE OF SAID LOT 12, AND THE WESTERLY PROJECTION OF THE SOUTHERLY LINE OF SAID LOT 12 TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 1993, PAGE 448 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID PARCEL TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2767, PAGE 862 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA;

(CONTINUE ON SHEET 6)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1-4 AND 6-10.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION**  
**MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG

M.C. PROJ. NO. 19-115

SHEET NO. 6 of 10

## EXHIBIT A

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 5)

THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE SOUTHERLY LINE OF SAID PARCEL RECORDED IN OFFICIAL RECORDS BOOK 2767, PAGE 862; THENCE WESTERLY ALONG SAID SOUTHERLY LINE TO THE EASTERLY LINE OF SAID BANYAN TERRACE COTTAGES UNRECORDED PLAT; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE SOUTHERLY LINE OF LOT C OF SAID BANYAN TERRACE COTTAGES UNRECORDED PLAT; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF SAID LOT C AND THE SOUTHERLY LINE OF LOT D TO THE EASTERLY LINE LOT 4, BLOCK 1 OF SAID PLAT OF RIVER TERRACE; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE SOUTHERLY LINE OF SAID LOT 4, BLOCK 1 OF SAID PLAT OF RIVER TERRACE; THENCE WESTERLY ALONG SAID SOUTHERLY LINE TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST KUBIN AVENUE; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF LOT 3, BLOCK 2 OF SAID PLAT OF RIVER TERRACE; THENCE WESTERLY ALONG SAID PROJECTED LINE AND THE SOUTHERLY LINE OF LOT 3, BLOCK 2 TO THE WESTERLY LINE OF BLOCK 2 OF SAID PLAT OF RIVER TERRACE; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF BLOCK 2 TO THE NORTHWEST CORNER OF SAID LOT 3, BLOCK 2 OF SAID PLAT; THENCE NORTHWESTERLY TO THE SOUTHEAST CORNER OF LOT 13, BLOCK 2 OF SAID PLAT OF RIO ST. LUCIE SUBDIVISION; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF LOTS 1 THROUGH 13, BLOCK 2 AND LOTS 1 THROUGH 16, BLOCK 1 OF SAID PLAT OF RIO ST. LUCIE SUBDIVISION TO THE EASTERLY RIGHT-OF-WAY OF NORTHEAST SUMMER AVENUE; THENCE WESTERLY TO THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2324, PAGE 274 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE EASTERLY LINE OF SAID UNRECORDED PLAT OF CERRO DE SANTA CRUZ; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE POINT INTERSECTING THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO SAID NORTHWEST CORNER OF BLOCK 1 OF SAID PLAT OF RIO ST. LUCIE SUBDIVISION, ALSO BEING THE POINT OF BEGINNING;

TOGETHER WITH

LOT 1, BLOCK 7 AND BLOCK 1 OF SAID PLAT OF ARCH HEIGHTS;

(CONTINUE ON SHEET 7)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1-5 AND 7-10.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION**  
**MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG M.C. PROJ. NO. 19-115

SHEET NO. 7 of 10

## EXHIBIT A

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 6)

TOGETHER WITH

FOR A POINT OF BEGINNING, COMMENCE AT THE NORTHWEST CORNER OF SAID PLAT OF ST. LUCIE RIVER HEIGHTS, SAID CORNER BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE NORTHEASTERLY TO THE SOUTHEAST CORNER OF LOT 1, BLOCK 1 OF SAID PLAT OF CORONA DEL RIO, SAID CORNER BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE WESTERLY ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO THE WESTERLY LINE OF SAID PLAT OF PEPPER PARK; THENCE NORTHERLY ALONG SAID WESTERLY LINE TO THE NORTHERLY LINE OF LOT 4 OF SAID PLAT OF PEPPER PARK; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF LOT 4 TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST MAUREEN COURT; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO THE NORTHERLY LINE OF LOT 6 OF SAID PLAT OF PEPPER PARK; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF LOT 6 TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST AMY AVENUE; THENCE SOUTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO THE NORTHERLY LINE OF LOT 5, BLOCK 1 OF SAID PLAT OF CORONA DEL RIO; THENCE EASTERLY ALONG THE NORTHERLY LINES OF LOT 5 AND LOT 24, BLOCK 1, LOT 5 AND LOT 27, BLOCK 2, LOT 5 AND LOT 32, BLOCK 3, AND THE EASTERLY PROJECTION OF THE NORTH LINE OF LOT 32, BLOCK 3 OF SAID PLAT OF CORONA DEL RIO TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST SILVIA AVENUE; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO THE SOUTHERLY LINE OF SAID PLAT OF PINE GROVE; THENCE EASTERLY ALONG SAID SOUTHERLY LINE TO THE WESTERLY LINE OF SAID PLAT OF THE ARCH HEIGHTS FIRST ADDITION; THENCE SOUTHERLY ALONG SAID WESTERLY LINE TO THE NORTHERLY LINE OF LOT 3, BLOCK 9 OF SAID PLAT OF ARCH HEIGHTS FIRST ADDITION; THENCE EASTERLY ALONG THE NORTHERLY LINES OF LOT 3, BLOCK 9 AND LOT 3, BLOCK 8 OF SAID PLAT OF ARCH HEIGHTS FIRST ADDITION TO THE EASTERLY LINE OF SAID LOT 3, BLOCK 8, ALSO BEING THE EASTERLY LINE OF SAID PLAT OF ARCH HEIGHTS FIRST ADDITION; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID PLAT OF ARCH HEIGHTS FIRST ADDITION TO THE SOUTHERLY LINE OF MARTIN COUNTY LANGFORD PARK AS DESCRIBED IN OFFICIAL RECORDS BOOK 0165, PAGE 0449 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA;

(CONTINUE ON SHEET 8)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1-6 AND 8-10.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION**  
**MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115



# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG M.C. PROJ. NO. 19-115

SHEET NO. 8 of 10

## EXHIBIT A

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 7)

THENCE EASTERLY ALONG SAID SOUTHERLY LINE OF LANGFORD PARK TO A POINT INTERSECTING THE WESTERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY AS DESCRIBED IN THE MAINTENANCE MAP OF STATE ROAD 707 (DIXIE HIGHWAY) ACCORDING TO PLAT BOOK 16, PAGE 89 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHWESTERLY ALONG THE WESTERLY AND NORTHERLY RIGHT-OF-WAY LINE OF SAID STATE ROAD 707 TO THE NORTHERLY PROJECTED LINE OF THE EASTERLY LINE OF TRACT A OF SAID PLAT OF SAGO SANDS; THENCE SOUTHERLY ALONG SAID NORTHERLY PROJECTED LINE AND THE EASTERLY LINE OF SAID TRACT A, SAID LINE ALSO BEING THE WESTERLY RIGHT-OF-WAY LINE OF NORTHEAST SAGO DRIVE, TO A POINT INTERSECTING THE NORTHERLY LINE OF LOT 18 OF SAID PLAT OF SAGO SANDS; THENCE WESTERLY ALONG SAID NORTHERLY LINE OF LOT 18 TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST HILLCREST LANE; THENCE NORTHWESTERLY TO THE SOUTHEASTERLY CORNER OF LOT 28 (ALSO LOT 1) OF THE UNRECORDED PLAT OF JOHANN PARK; THENCE NORTHWESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 28 TO THE SOUTHWESTERLY CORNER OF SAID LOT 28, ALSO BEING THE WESTERLY LINE OF SAID UNRECORDED PLAT OF JOHANN PARK; THENCE NORTHEASTERLY ALONG THE WESTERLY LINE OF SAID UNRECORDED PLAT OF JOHANN PARK TO THE SOUTHEASTERLY CORNER OF LOT 24 AS NOTED AS "NOT INCLUDED" IN SAID PLAT OF RIVERSIDE HEIGHTS; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID "NOT INCLUDED" LOT 24 TO THE SOUTHWESTERLY CORNER OF SAID LOT, ALSO BEING THE EASTERLY RIGHT-OF-WAY OF NORTHEAST ELEANOR AVENUE; THENCE NORTHWESTERLY TO THE SOUTHEASTERLY CORNER OF LOT 18 OF SAID PLAT OF RIVERSIDE HEIGHTS; THENCE WESTERLY ALONG THE SOUTHERLY LOT LINES OF LOTS 6, 7, 17, AND 18, OF SAID PLAT OF RIVERSIDE HEIGHTS TO A POINT INTERSECTING THE WESTERLY RIGHT-OF-WAY LINE OF NORTHEAST WAVELAND AVENUE; THENCE NORTHWESTERLY TO THE INTERSECTION OF THE SOUTHEASTERLY PROJECTION OF THE SOUTHERLY LINE OF LOT 46 OF SAID PLAT OF ST LUCIE RIVER HEIGHTS AND THE WESTERLY RIGHT-OF-WAY OF NORTHEAST WAVELAND AVENUE; THENCE NORTHWESTERLY ALONG SAID SOUTHEASTERLY PROJECTED LINE AND THE SOUTHERLY LINES OF LOTS 46 THROUGH 50 TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST RHODES AVENUE; THENCE NORTHWESTERLY TO THE SOUTHEAST CORNER OF LOTS 19 OF SAID PLAT OF ST LUCIE RIVER HEIGHTS, ALSO BEING THE WESTERLY RIGHT-OF-WAY OF NORTHEAST RHODES AVENUE; THENCE WESTERLY ALONG THE SOUTHERLY LOT LINES OF LOTS 19 THROUGH 21 TO THE SOUTHWESTERLY CORNER OF LOT 21 OF SAID PLAT OF ST LUCIE RIVER HEIGHTS; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT 21 TO THE POINT OF BEGINNING;

LESS ALL RIGHT-OF-WAY.

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1-7 AND 9, 10.**

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : N/A

DATE : 12/6/2019

DRAWING # 19-115

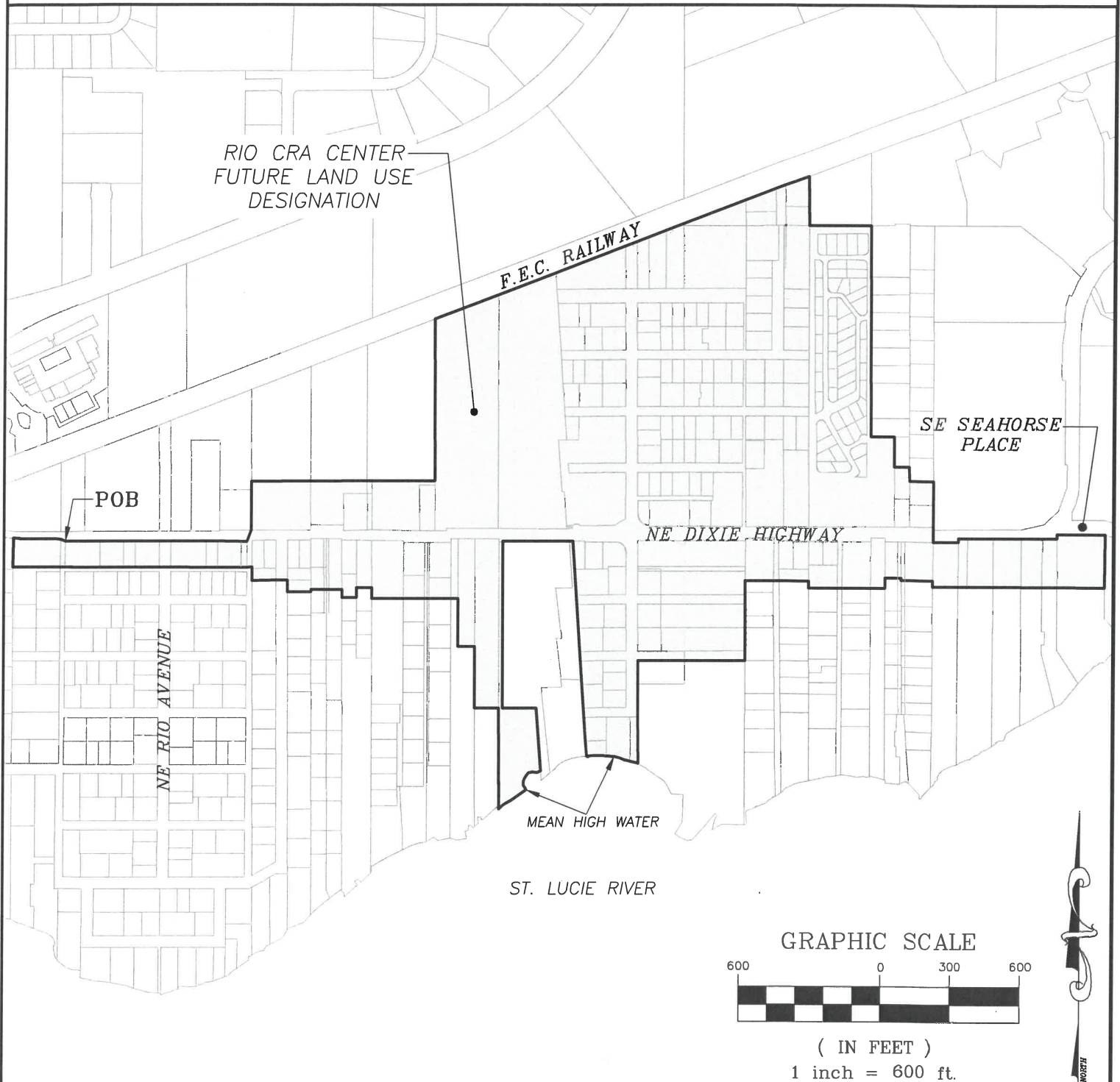
# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG M.C. PROJ. NO. 19-115

SHEET NO. 9 of 10

## EXHIBIT A



NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1-8 AND 10.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=600' OR SMALLER.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : 1"=600'

DATE : 12/6/2019

DRAWING # 19-115

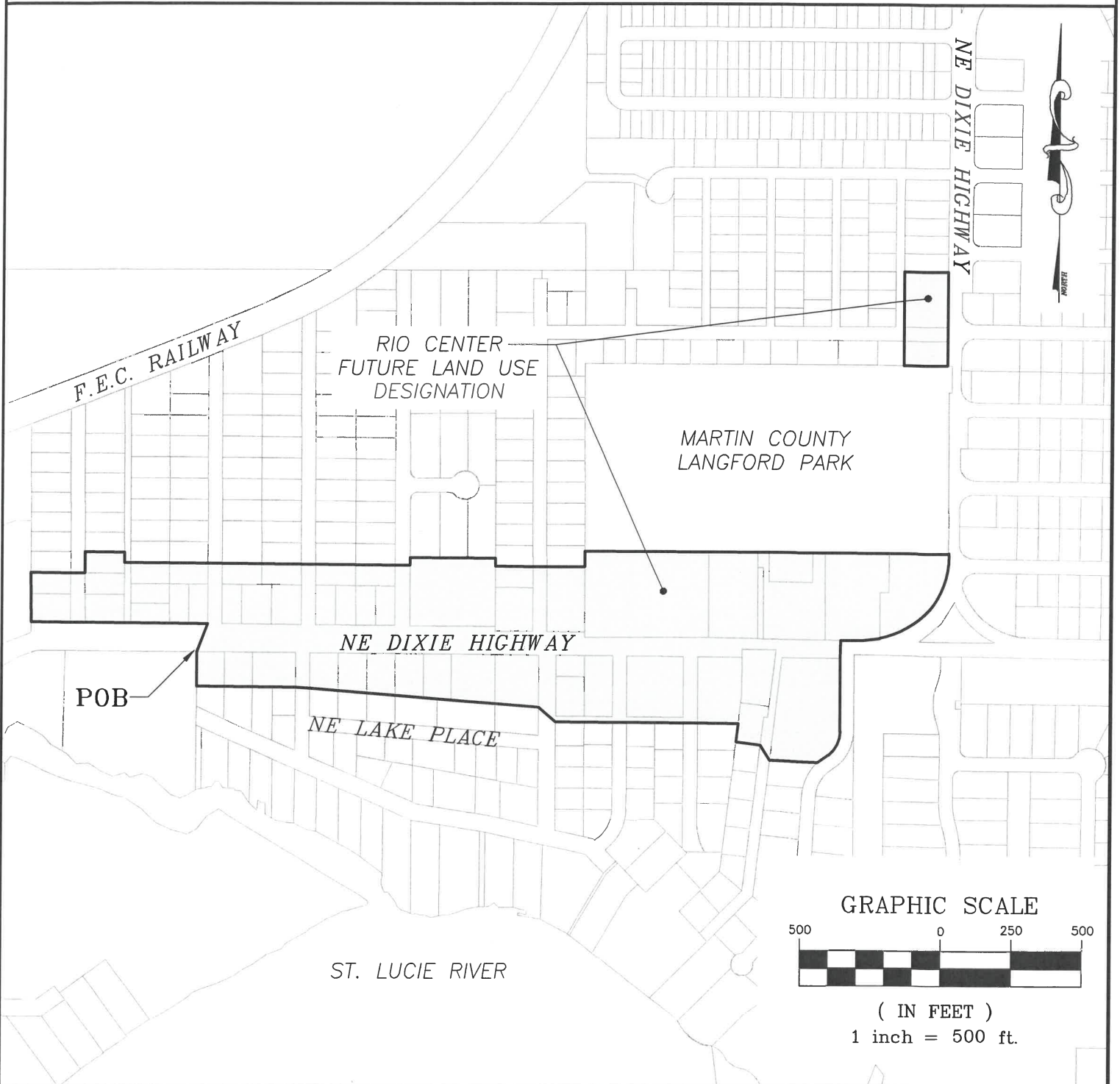
# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-115.DWG M.C. PROJ. NO. 19-115

SHEET NO. 10 of 10

## EXHIBIT A



NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1-9.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=500' OR SMALLER.

### SKETCH AND DESCRIPTION

**RIO CRA CENTER FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : MNM SCALE : 1"=500'

DATE : 12/6/2019

DRAWING # 19-115

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG | M.C. PROJ. NO. 19-114

| SHEET NO. 1 OF 8

## EXHIBIT B

### SURVEYOR'S NOTES

1. THIS SKETCH AND LEGAL DESCRIPTION IS BASED ON PORTIONS OF THE RIO CRA.
2. THIS LEGAL DESCRIPTION SHALL NOT BE VALID:
  - A. UNLESS PROVIDED IN ITS ENTIRETY CONSISTING OF SHEETS 1-8 AND SHEET 8 BEING A SKETCH.
  - B. WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR.
3. THE PURPOSE OF THIS SKETCH AND DESCRIPTION IS TO DESCRIBE PROPERTY WITHIN THE RIO CRA WITH THE CRA NEIGHBORHOOD FUTURE LAND USE DESIGNATION.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
5. THIS IS NOT A SURVEY AND DOES NOT DEFINE OWNERSHIP OR ENCROACHMENTS.
6. PROPERTY, TRACT, AND PARCEL LINES SHOWN ARE APPROXIMATE IN NATURE AND NOT TO BE RELIED UPON FOR LAND POSITIONING OR DETERMINATIONS.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. LEGEND: CRA=COMMUNITY REDEVELOPMENT AGENCY, F.E.C.=FLORIDA EAST COAST, POB=POINT OF BEGINNING

THIS DOCUMENT MAY BE REPRODUCED UPON REQUEST IN AN ALTERNATIVE FORMAT BY CONTACTING THE COUNTY ADA COORDINATOR (772) 320-3131, THE COUNTY ADMINISTRATION OFFICE (772) 288-5400, FLORIDA RELAY 711, OR BY COMPLETING OUR ACCESSIBILITY FEEDBACK FORM AT [WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK](http://WWW.MARTIN.FL.US/ACCESSIBILITY-FEEDBACK).

### SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE

  
BRION D. YANCY, PSM

PROJECT SURVEYOR - SURVEYING DIVISION  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA LICENSE NO. 7162

DATE: 12-10-2019

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 2-8.

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : JMM | SCALE : N/A

DATE : 12/10/2019

DRAWING # 19-114



# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG | M.C. PROJ. NO. 19-114

SHEET NO. 2 OF 8

## EXHIBIT B

### DESCRIPTION

A PARCEL OF LAND LOCATED IN A PORTION OF SECTIONS 26, 27, 28, 32, AND 33, TOWNSHIP 37 SOUTH, RANGE 41 EAST, LYING IN: A PORTION OF THE PLAT OF RIVER TERRACE ACCORDING TO PLAT BOOK 2, PAGE 59A, A PORTION OF THE PLAT OF DEWAGENEIRE TRACT ACCORDING TO PLAT BOOK 5, PAGE 52, A PORTION OF THE PLAT OF OAK LANE MANOR ACCORDING TO PLAT BOOK 2, PAGE 55, A PORTION OF THE PLAT OF THE FIRST ADDITION TO ARCH HEIGHTS ACCORDING TO PLAT BOOK 3, PAGE 59, A PORTION OF THE PLAT OF ARCH HEIGHTS ACCORDING TO PLAT BOOK 3, PAGE 51, A PORTION OF THE PLAT OF PINE GROVE ACCORDING TO PLAT BOOK 8, PAGE 29, A PORTION OF THE PLAT OF CORONA DEL RIO ACCORDING TO PLAT BOOK 3, PAGE 43, A PORTION OF THE PLAT OF PEPPER PARK ACCORDING TO PLAT BOOK 3, PAGE 42, A PORTION OF THE PLAT OF ST. LUCIE RIVER HEIGHTS ACCORDING TO PLAT BOOK 3, PAGE 34, A PORTION OF THE PLAT OF RIVERSIDE HEIGHTS ACCORDING TO PLAT BOOK 3, PAGE 20, A PORTION OF THE PLAT OF SAGO SANDS ACCORDING TO PLAT BOOK 4, PAGE 27, A PORTION OF THE PLAT OF RIO ST. LUCIE TERRACE ADDITON NO. 1 ACCORDING TO PLAT BOOK 1, PAGE 56, ALL RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA, AND A PORTION OF THE PLAT OF ED. F. GLUTSCH, ACCORDING TO PLAT BOOK 1, PAGE 151 AS RECORDED IN THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA AND A PORTION OF THE PLAT OF RIO ST. LUCIE SUBDIVISION ACCORDING TO PLAT BOOK 4, PAGE 99 RECORDED IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY NOW MARTIN COUNTY, FLORIDA AND A PORTION OF THE UNRECORDED PLAT OF CERRO DE SANTA CRUZ, A PORTION OF THE UNRECORDED PLAT OF BANYAN TERRACE COTTAGES, A PORTION OF THE UNRECORDED PLAT OF PINE CASTLE, A PORTION OF UNRECORDED PLAT OF JOHANN PARK, ALL IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA;

SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHERLY MEAN HIGH WATER LINE OF ST. LUCIE RIVER AND THE EASTERLY PROPERTY LINE OF THE RIO NATURE PARK AS DESCRIBED IN OFFICIAL RECORDS BOOK 965, PAGE 1576 OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE (COUNTERCLOCKWISE) MEANDER EASTERLY ALONG SAID MEAN HIGH WATER LINE OF ST. LUCIE RIVER TO A POINT INTERSECTING THE WESTERLY LINE OF LOT 14 OF SAID PLAT OF ED. F. GLUTSCH SUBDIVISION; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF LOT 14 TO THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 3037, PAGE 2306 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF SAID PARCEL TO THE WESTERLY LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 3037, PAGE 2306; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF SAID PARCEL TO THE SOUTHERLY LINE OF A PARCEL HAVING PARCEL IDENTIFICATION NUMBER 33-37-41-000-000-00021-2 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE WESTERLY LINE OF SAID PARCEL; THENCE NORTH ALONG SAID WESTERLY LINE OF SAID PARCEL TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF LOT 12 OF SAID PINE CASTLE UNRECORDED PLAT;

(CONTINUE ON SHEET 3)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1 AND 3-8.

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : JMM | SCALE : N/A

DATE : 12/10/2019

DRAWING # 19-114

**MARTIN COUNTY, STUART, FLORIDA**  
2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG | M.C. PROJ. NO. 19-114 | SHEET NO. 3 OF 8

**EXHIBIT B**

**DESCRIPTION CONTINUED**

(CONTINUED FROM SHEET 2)

THENCE WESTERLY ALONG SAID EASTERLY PROJECTED LINE, THE SOUTHERLY LINE OF SAID LOT 12, AND THE WESTERLY PROJECTION OF THE SOUTHERLY LINE OF SAID LOT 12 TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 1993, PAGE 448 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID PARCEL TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2767, PAGE 862 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE SOUTHERLY LINE OF SAID PARCEL RECORDED IN OFFICIAL RECORDS BOOK 2767, PAGE 862; THENCE WESTERLY ALONG SAID SOUTHERLY LINE TO THE EASTERLY LINE OF SAID BANYAN TERRACE COTTAGES UNRECORDED PLAT; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE SOUTHERLY LINE OF LOT C OF SAID BANYAN TERRACE COTTAGES UNRECORDED PLAT; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF SAID LOT C AND THE SOUTHERLY LINE OF LOT D TO THE EASTERLY LINE OF LOT 4, BLOCK 1 OF SAID PLAT OF RIVER TERRACE; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE SOUTHERLY LINE OF SAID LOT 4, BLOCK 1 OF SAID PLAT OF RIVER TERRACE; THENCE WESTERLY ALONG SAID SOUTHERLY LINE TO THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST KUBIN AVENUE; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO THE EASTERLY PROJECTED LINE OF LOT 3, BLOCK 2 OF SAID PLAT OF RIVER TERRACE; THENCE WESTERLY ALONG SAID PROJECTED LINE AND THE SOUTHERLY LINE OF LOT 3, BLOCK 2 TO THE WESTERLY LINE OF BLOCK 2 OF SAID PLAT OF RIVER TERRACE; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF BLOCK 2 TO THE NORTHWEST CORNER OF SAID LOT 3, BLOCK 2 OF SAID PLAT OF RIVER TERRACE; THENCE NORTHWESTERLY TO THE SOUTHEAST CORNER OF LOT 13, BLOCK 2 OF SAID PLAT OF RIO ST. LUCIE SUBDIVISION; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF LOTS 1 THROUGH 13, BLOCK 2 AND LOTS 1 THROUGH 16, BLOCK 1 OF SAID PLAT OF RIO ST. LUCIE SUBDIVISION TO THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST SUMMER AVENUE; THENCE WESTERLY TO THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2324, PAGE 274 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE EASTERLY LINE OF SAID UNRECORDED PLAT OF CERRO DE SANTA CRUZ; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE POINT INTERSECTING THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE WESTERLY AND NORTHERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY TO THE SOUTHERLY RIGHT-OF-WAY OF THE FLORIDA EAST COAST RAILWAY; THENCE SOUTHWESTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY TO THE EASTERLY PROPERTY LINE OF SAID RIO NATURE PARK;

(CONTINUE ON SHEET 4)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1, 2, AND 4-8.

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY	
DRAWN BY : JMM	SCALE : N/A
DATE : 12/10/2019	
DRAWING # 19-114	

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG | M.C. PROJ. NO. 19-114 | SHEET NO. 4 OF 8

## EXHIBIT B

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 3)

THENCE SOUTHERLY ALONG SAID EASTERLY PROPERTY LINE TO SAID MEAN HIGH WATER LINE OF THE SAINT LUCIE RIVER AND THE POINT OF BEGINNING;

TOGETHER WITH

FOR A POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE WESTERLY LINE OF LOT 2 OF GLUTSCH LAND AS RECORDED IN DEED RECORD "V", PAGE 696 OF BREVARD COUNTY, FLORIDA AND THE MEAN HIGH WATER LINE OF THE ST. LUCIE RIVER; THENCE (COUNTERCLOCKWISE) MEANDER EASTERLY AND NORTHEASTERLY ALONG SAID MEAN HIGH WATER LINE TO THE WESTERLY MEAN HIGH WATER LINE OF WARNER CREEK; THENCE NORTHEASTERLY TO A POINT OF INTERSECTING SAID MEAN HIGH WATER LINE OF WARNER CREEK AND SAID MEAN HIGH WATER LINE OF SAINT LUCIE RIVER; THENCE MEANDER EASTERLY AND SOUTHEASTERLY ALONG SAID MEAN HIGH WATER LINE OF SAINT LUCIE RIVER TO THE EASTERLY PLAT LINE OF SAID PLAT OF SAGO SANDS; THENCE NORTHERLY ALONG SAID EASTERLY PLAT LINE TO THE NORTHERLY MOST PROPERTY CORNER OF LOT 1 OF SAID PLAT OF SAGO SANDS; THENCE WEST TO THE WESTERLY RIGHT-OF-WAY LINE OF NORTHEAST SAGO DRIVE; THENCE SOUTHWESTERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT INTERSECTING THE NORTHERLY LINE OF LOT 18 OF SAID PLAT OF SAGO SANDS; THENCE WESTERLY ALONG SAID NORTHERLY LINE OF LOT 18 TO A POINT INTERSECTING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST HILLCREST LANE; THENCE NORTHWESTERLY TO THE SOUTHEASTERLY CORNER OF LOT 1 OF THE UNRECORDED PLAT OF JOHANN PARK; THENCE NORTHWESTERLY TO THE SOUTHWESTERLY CORNER OF SAID LOT 1, (ALSO KNOWN AS LOT 28 AS PER DEED), ALSO BEING THE WESTERLY LINE OF SAID UNRECORDED PLAT OF JOHANN PARK; THENCE NORTHEASTERLY ALONG THE WESTERLY LINE OF SAID UNRECORDED PLAT OF JOHANN PARK TO THE SOUTHEASTERLY CORNER OF LOT 24 AS NOTED AS "NOT INCLUDED" IN SAID PLAT OF RIVERSIDE HEIGHTS; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID "NOT INCLUDED" LOT 24 TO THE SOUTHWESTERLY CORNER OF SAID LOT, ALSO BEING THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST ELEANOR AVENUE; THENCE NORTHWESTERLY TO THE SOUTHEASTERLY CORNER OF LOT 18 OF SAID PLAT OF RIVERSIDE HEIGHTS; THENCE WESTERLY ALONG THE SOUTHERLY LOT LINES OF LOT 6, 7, 17, AND 18, OF SAID PLAT OF RIVERSIDE HEIGHTS TO THE WESTERLY RIGHT-OF-WAY LINE OF NORTHEAST WAVELAND AVENUE; THENCE NORTHWESTERLY TO THE SOUTHEASTERLY PROJECTION OF THE SOUTHERLY LINE OF LOT 46 OF SAID PLAT OF ST LUCIE RIVER HEIGHTS; THENCE NORTHWESTERLY ALONG SAID SOUTHEASTERLY PROJECTED LINE AND THE SOUTHERLY LINES OF LOTS 46 THROUGH 50 TO THE EASTERLY RIGHT-OF-WAY LINE OF NORTHEAST RHODES AVENUE; THENCE NORTHWESTERLY TO THE SOUTHEAST CORNER OF LOT 19 OF SAID PLAT OF ST LUCIE RIVER HEIGHTS, ALSO BEING THE WESTERLY RIGHT-OF-WAY LINE OF NORTHEAST RHODES AVENUE;

(CONTINUE ON SHEET 5)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1-3 AND 5-8.**

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : JMM | SCALE : N/A

DATE : 12/10/2019

DRAWING # 19-114

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG | M.C. PROJ. NO. 19-114

| SHEET NO. 5 OF 8

## EXHIBIT B

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 4)

THENCE WESTERLY ALONG THE SOUTHERLY LOT LINES OF LOT 19 THROUGH 21 TO THE SOUTHWESTERLY CORNER OF LOT 21 OF SAID PLAT OF ST. LUCIE RIVER HEIGHTS; THENCE SOUTHERLY ALONG THE WESTERLY PLAT LINE OF SAID PLAT OF ST. LUCIE RIVER HEIGHTS TO THE MEAN HIGH WATER LINE OF WARNER CREEK; THENCE MEANDER SOUTHWESTERLY, WESTERLY, NORTHWESTERLY OF SAID MEAN HIGH WATER LINE OF WARNER CREEK TO THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE SOUTHWESTERLY ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF THE BEACON 21 PUD AGREEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 530, PAGE 1864 OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG SAID EASTERLY PROJECTED LINE AND THE SOUTHERLY LINE OF SAID BEACON 21 PUD AGREEMENT TO THE EASTERLY PLAT LINE OF SAID PLAT OF OAK LANE MANOR; THENCE NORTHERLY ALONG SAID EASTERLY PLAT LINE OF PLAT OF OAK LANE MANOR TO THE SOUTHERLY LOT LINE OF LOT 12 OF SAID PLAT OF OAK LANE MANOR; THENCE WESTERLY ALONG SAID SOUTHERLY LOT LINE OF LOT 12 TO THE EASTERLY LOT LINE OF LOT 10 OF SAID PLAT OF OAK LANE MANOR; THENCE NORTHERLY ALONG SAID EASTERLY LOT LINE OF LOT 10 AND THE EASTERLY LOT LINES OF LOT 11 AND LOT 12 OF SAID PLAT OF OAK LANE MANOR TO THE NORTHERLY PLAT LINE OF SAID PLAT; THENCE WESTERLY ALONG THE NORTHERLY PLAT LINE OF SAID PLAT OF OAK LANE MANOR AND SAID PLAT OF DEWAGENEIRE TRACT; THENCE SOUTHERLY ALONG THE WESTERLY PLAT LINE OF SAID PLAT OF DEWAGENEIRE TRACT TO THE SOUTHWEST CORNER OF SAID PLAT; THENCE EASTERLY ALONG THE SOUTHERLY PLAT LINE OF SAID PLAT OF DEWAGENEIRE TRACT TO THE NORTHWEST CORNER OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 1509, PAGE 2559 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID PARCEL TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID PARCEL TO A POINT INTERSECTING THE WESTERLY LINE OF LOT 3 OF SAID PLAT OF OAK LANE MANOR; THENCE SOUTHERLY ALONG SAID WESTERLY LINE TO THE NORTHWEST CORNER OF LOT 2 OF SAID PLAT OF OAK LANE MANOR; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 2 TO THE NORTHEAST CORNER OF LOT 2 OF SAID PLAT OF OAK LANE MANOR; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF LOTS 1 AND 2 OF SAID PLAT OF OAK LANE MANOR TO THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST DIXIE HIGHWAY; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST SEAHORSE PLACE; THENCE EASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF NORTHEAST SEAHORSE PLACE TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2775, PAGE 653 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID PARCEL TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2609, PAGE 2647 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA;

(CONTINUE ON SHEET 6)

**NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1-4 AND 6-8.**

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : JMM | SCALE : N/A

DATE : 12/10/2019

DRAWING # 19-114



# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG M.C. PROJ. NO. 19-114

SHEET NO. 6 OF 8

## EXHIBIT B

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 5)

THENCE WESTERLY ALONG SAID EASTERLY PROJECTED LINE, THE SOUTH LINE, AND THE WESTERLY PROJECTED LINE OF THE SOUTH LINE OF SAID PARCEL TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2694, PAGE 1 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID PARCEL TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2659, PAGE 0354 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 1405, PAGE 1836 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE EASTERLY PROJECTED LINE OF THE SOUTHERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2598, PAGE 1760 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE WESTERLY ALONG SAID EASTERLY PROJECTED LINE, THE SOUTHERLY LINE, AND THE WESTERLY PROJECTION OF SAID SOUTHERLY LINE TO THE EASTERLY LINE OF A PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 2702, PAGE 0390 AS RECORDED IN THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHERLY LINE OF SAID PARCEL; THENCE WESTERLY ALONG SAID NORTHERLY LINE AND THE WESTERLY PROJECTION OF SAID NORTHERLY LINE TO THE EASTERLY PLAT LINE OF SAID PLAT OF RIO ST. LUCIE TERRACE ADDITION NO. 1; THENCE SOUTHERLY ALONG SAID EASTERLY PLAT LINE OF SAID PLAT OF RIO ST. LUCIE TERRACE ADDITION NO. 1 TO THE NORTHERLY MEAN HIGH WATER LINE OF SAID ST. LUCIE RIVER AND THE POINT OF BEGINNING;

TOGETHER WITH

FOR A POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY AND THE WESTERLY PLAT LINE OF SAID PLAT OF PEPPER PARK; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY TO THE NORTH LINE OF SAID PLAT OF CORONA DEL RIO; THENCE EASTERLY ALONG THE NORTH LINES OF SAID PLAT OF CORONA DEL RIO, SAID PLAT OF PINE GROVE, SAID PLAT OF ARCH HEIGHTS FIRST ADDITION, AND SAID PLAT OF ARCH HEIGHTS TO THE NORTHWESTERLY CORNER OF BLOCK 1 OF SAID PLAT OF ARCH HEIGHTS; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID BLOCK 1 OF PLAT OF ARCH HEIGHTS TO THE SOUTHWESTERLY CORNER OF SAID BLOCK 1;

(CONTINUE ON SHEET 7)

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1-5, 7, AND 8.

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : JMM SCALE : N/A

DATE : 12/10/2019

DRAWING # 19-114

# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG | M.C. PROJ. NO. 19-114

| SHEET NO. 7 OF 8

## EXHIBIT B

### DESCRIPTION CONTINUED

(CONTINUED FROM SHEET 6)

THENCE SOUTHERLY TO THE NORTHWESTERLY CORNER OF LOT 1, BLOCK 7 OF SAID PLAT ARCH HEIGHTS; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID LOT 1, BLOCK 7 TO THE SOUTHWESTERLY CORNER OF SAID LOT 1, BLOCK 7, ALSO BEING ON THE SOUTHERLY PLAT LINE OF SAID PLAT OF ARCH HEIGHTS; THENCE WESTERLY ALONG SAID SOUTHERLY PLAT LINE OF SAID PLAT OF ARCH HEIGHTS TO THE EASTERLY PLAT LINE OF SAID PLAT OF ARCH HEIGHTS FIRST ADDITION; THENCE SOUTHERLY ALONG SAID EASTERLY PLAT LINE OF PLAT OF ARCH HEIGHTS FIRST ADDITION TO NORTHERLY LINE OF LOT 3, BLOCK 8 OF SAID PLAT OF ARCH HEIGHTS FIRST ADDITION; THENCE WESTERLY ALONG SAID NORTHERLY LINE OF LOT 3, BLOCK 8 AND LOT 3, BLOCK 9 OF SAID PLAT OF ARCH HEIGHTS FIRST ADDITION TO THE WESTERLY PLAT LINE OF SAID PLAT; THENCE NORTHERLY ALONG SAID WESTERLY PLAT LINE OF PLAT OF ARCH HEIGHTS FIRST ADDITION TO THE SOUTHERLY LINE OF SAID PLAT OF PINE GROVE; THENCE WESTERLY ALONG SAID SOUTHERLY PLAT LINE OF SAID PLAT OF PINE GROVE TO THE WESTERLY PLAT LINE OF SAID PLAT; THENCE SOUTHWESTERLY TO THE NORTHEASTERLY CORNER OF LOT 32, BLOCK 3 OF SAID PLAT OF CORONA DEL RIO; THENCE WESTERLY ALONG THE NORTH LINES OF LOT 32 AND LOT 5 OF BLOCK 3, LOT 27 AND LOT 5 OF BLOCK 2, AND LOT 24 AND LOT 5 OF BLOCK 1 OF SAID PLAT OF CORONA DEL RIO TO THE NORTHWESTERLY CORNER OF SAID LOT 5, BLOCK 1; THENCE NORTHWESTERLY TO NORTHEASTERLY CORNER OF LOT 6 OF SAID PLAT OF PEPPER PARK; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 6 OF THE PLAT OF PEPPER PARK TO THE NORTHWESTERLY CORNER OF SAID LOT 6; THENCE SOUTHWESTERLY TO THE NORTHEASTERLY CORNER OF LOT 4 OF SAID PLAT OF PEPPER PARK; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 4 OF THE PLAT OF PEPPER PARK TO THE NORTHWESTERLY CORNER OF SAID LOT 4; THENCE NORTHERLY ALONG THE WESTERLY PLAT LINE OF SAID PLAT OF PEPPER PARK TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY AND THE POINT OF BEGINNING;

LESS ALL RIGHT-OF-WAY.

NOTE: THIS IS NOT A SURVEY. THIS SHEET IS  
NOT VALID WITHOUT SHEETS 1-6 AND 8.

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : JMM | SCALE : N/A

DATE : 12/10/2019

DRAWING # 19-114

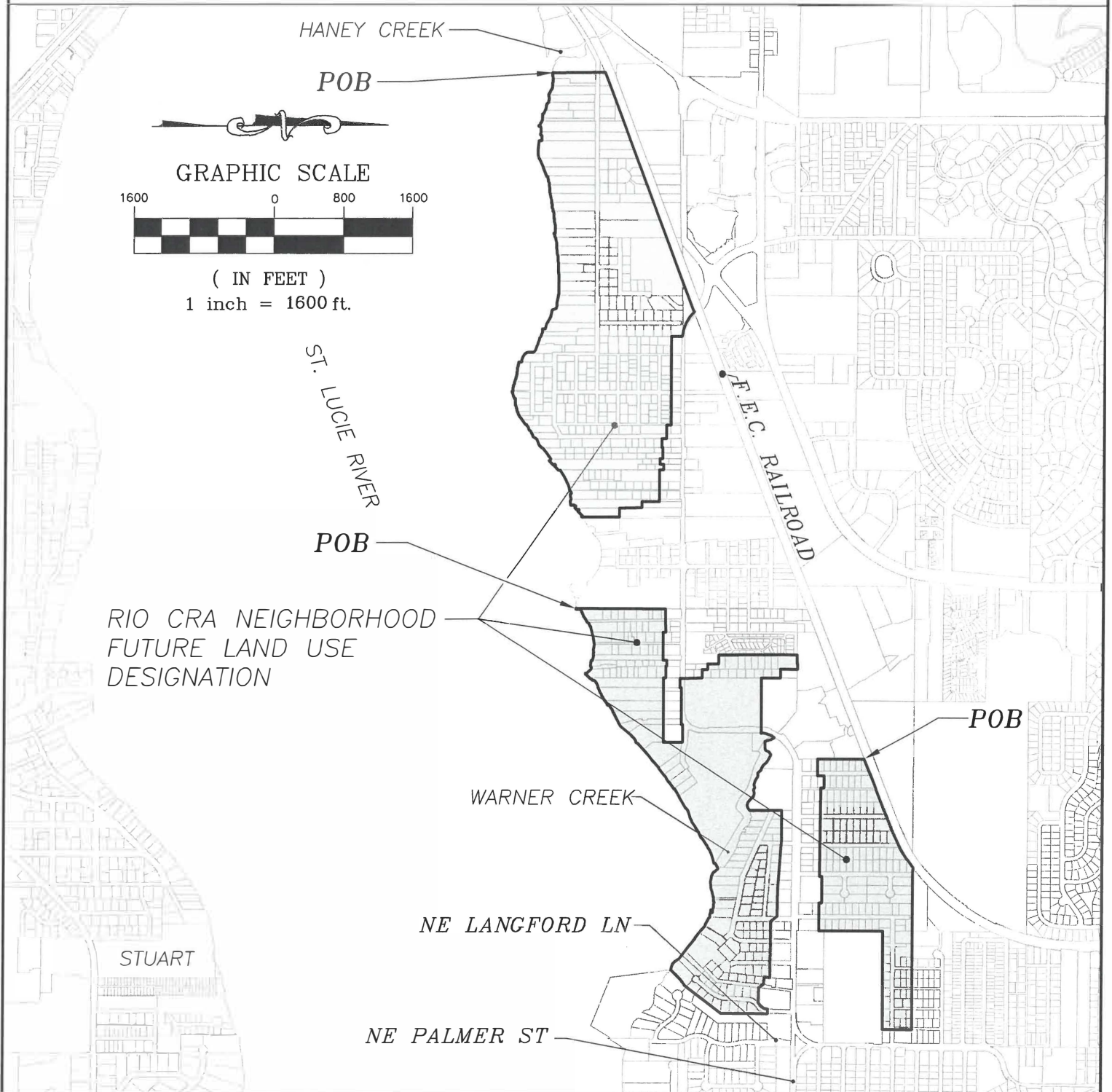
# MARTIN COUNTY, STUART, FLORIDA

2401 S.E. MONTEREY ROAD PHONE NO. 772-288-5927

DWG. NAME : 19-114.DWG | M.C. PROJ. NO. 19-114

SHEET NO. 8 OF 8

## EXHIBIT B



NOTE: THIS IS NOT A SURVEY. THIS SHEET IS NOT VALID WITHOUT SHEETS 1-7.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=1600' OR SMALLER.

**SKETCH AND DESCRIPTION FOR RIO CRA  
NEIGHBORHOOD FUTURE LAND USE DESIGNATION  
MARTIN COUNTY, FLORIDA**

SUPERVISED BY : BDY

DRAWN BY : JMM | SCALE : 1"=1600'

DATE : 12/10/2019

DRAWING # 19-114

# Correspondence

## CPA 19-23, RIO FLUM

Included is correspondence from:

1. Florida Department of Economic Opportunity
2. Florida Department of Transportation, District 4
3. South Florida Water Management District
4. Florida Fish and Wildlife Conservation Commission
5. Treasure Coast Regional Planning Council



**Ron DeSantis**  
GOVERNOR



**Ken Lawson**  
EXECUTIVE DIRECTOR

December 6, 2019

The Honorable Harold Jenkins  
Chairman, Martin County Board of  
County Commissioners  
2401 S.E. Monterey Road  
Stuart, Florida 34996

Dear Chairman Jenkins:

The Department of Economic Opportunity ("Department") has reviewed the proposed comprehensive plan amendment for Martin County (Amendment No. 19-06ESR) received on November 13, 2019. The review was completed under the expedited state review process. **We have no comment** on the proposed amendment.

The County should act by choosing to adopt, adopt with changes, or not adopt the proposed amendment. For your assistance, we have enclosed the procedures for adoption and transmittal of the comprehensive plan amendment. In addition, the County is reminded that:

- Section 163.3184(3)(b), F.S., authorizes other reviewing agencies to provide comments directly to the County. **If the County receives reviewing agency comments and they are not resolved, these comments could form the basis for a challenge to the amendment after adoption.**
- **The second public hearing**, which shall be a hearing on whether to adopt one or more comprehensive plan amendments, **must be held within 180 days** of your receipt of agency comments or the amendment shall be **deemed withdrawn** unless extended by agreement with notice to the Department and any affected party that provided comment on the amendment pursuant to Section 163.3184(3)(c)1., F.S.
- **The adopted amendment must be rendered to the Department.** Under Section 163.3184(3)(c)2. and 4., F.S., the **amendment effective date** is 31 days after the Department notifies the County that the amendment package is complete or, if challenged, until it is found to be in compliance by the Department or the Administration Commission.

Florida Department of Economic Opportunity | Caldwell Building | 107 E. Madison Street | Tallahassee, FL 32399  
850.245.7105 | [www.FloridaJobs.org](http://www.FloridaJobs.org)  
[www.twitter.com/FLDEO](https://www.twitter.com/FLDEO) | [www.facebook.com/FLDEO](https://www.facebook.com/FLDEO)

An equal opportunity employer/program. Auxiliary aids and service are available upon request to individuals with disabilities. All voice telephone numbers on this document may be reached by persons using TTY/TTD equipment via the Florida Relay Service at 711.

If you have any questions concerning this review, please contact Ed Zeno, Planning Analyst, by telephone at (850) 717-8511 or by email at [ed.zeno-gonzalez@deo.myflorida.com](mailto:ed.zeno-gonzalez@deo.myflorida.com).

Sincerely,

A handwritten signature in black ink, appearing to read "James D. Stansbury". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

James D. Stansbury, Chief  
Bureau of Community Planning and Growth

JDS/ez

Enclosure(s): Procedures for Adoption

cc: Nicki van Vonno, Growth Management Department Director, Martin County  
Thomas Lanahan, Executive Director, Treasure Coast Regional Planning Council

**From:** [Clyde Dulin](#)  
**To:** [Irene Szedlmayer](#)  
**Subject:** FW: Martin County 19-6ESR - FDOT District Four Review  
**Date:** Monday, December 9, 2019 4:20:01 PM

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**From:** Nicki vanVonno <[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)>  
**Sent:** Monday, December 9, 2019 4:02 PM  
**To:** Clyde Dulin <[cdulin@martin.fl.us](mailto:cdulin@martin.fl.us)>  
**Subject:** FW: Martin County 19-6ESR - FDOT District Four Review

Nicki B. van Vonno, AICP  
Growth Management Department Director  
Martin County Board of County Commissioners  
772-288-5520  
[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)

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**From:** Hymowitz, Larry <[Larry.Hymowitz@dot.state.fl.us](mailto:Larry.Hymowitz@dot.state.fl.us)>  
**Sent:** Monday, December 9, 2019 3:18 PM  
**To:** 'DCPexternalagencycomments' <[DCPexternalagencycomments@deo.myflorida.com](mailto:DCPexternalagencycomments@deo.myflorida.com)>; Nicki vanVonno <[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)>  
**Cc:** Fasiska, Christine <[Christine.Fasiska@dot.state.fl.us](mailto:Christine.Fasiska@dot.state.fl.us)>; Bush, Lois <[Lois.Bush@dot.state.fl.us](mailto:Lois.Bush@dot.state.fl.us)>  
**Subject:** Martin County 19-6ESR - FDOT District Four Review



I am writing to advise you that the Department **will not be issuing comments** for the proposed Martin County comprehensive plan text amendments with DEO reference number 19-6ESR.

The Department requests an electronic copy in Portable Document Format (PDF), of all adopted comprehensive plan amendment materials, including graphic and textual materials and support documents.

Thank you.

Larry Hymowitz  
Planning Specialist – Policy Planning & Growth Management  
Planning & Environmental Management - **FDOT District Four**  
3400 West Commercial Boulevard  
Fort Lauderdale, Florida 33309-3421  
Phone: (954) 777-4663; Fax: (954) 677-7892  
[larry.hymowitz@dot.state.fl.us](mailto:larry.hymowitz@dot.state.fl.us)

**From:** [Oblaczynski, Deborah](#)  
**To:** [Don Donaldson](#)  
**Cc:** [Corvin, Kelly D.](#); [Eubanks, Ray](#); [Stephanie Heidt \(sheidt@tcrpc.org\)](#); ["Tom Lanahan"](#); [Nicki vanVonne](#); ["Ray Eubanks \(DCPexternalagencycomments@deo.myflorida.com\)"](#)  
**Subject:** Martin County, DEO #19-6ESR Comments on Proposed Comprehensive Plan Amendment Package  
**Date:** Friday, December 6, 2019 7:46:13 AM

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Dear Mr. Donaldson:

The South Florida Water Management District (District) has completed its review of the proposed amendment package from Martin County (County). The proposed Future Land Use Map Amendment changes land use designations in the Rio Community Redevelopment Area to CRA Center or CRA Neighborhood Future Land Designations. The proposed changes do not appear to adversely impact the water resources within the District; therefore, the District has no comments on the proposed amendment package.

The District offers its technical assistance to the County in developing sound, sustainable solutions to meet the County's future water supply needs and to protect the region's water resources. Please forward a copy of the adopted amendments to the District. Please contact me if you need assistance or additional information.

Sincerely,

Deb Oblaczynski  
Policy & Planning Analyst  
Water Supply Implementation Unit  
South Florida Water Management District  
3301 Gun Club Road  
West Palm Beach, FL 33406  
(561) 682-2544 or email: [doblaczy@sfwmd.gov](mailto:doblaczy@sfwmd.gov)



**From:** [Clyde Dulin](#)  
**To:** [Irene Szedlmayer](#)  
**Subject:** FW: FWC Comments on Martin County 19-06ESR (CPA 19-23, Rio FLUM)  
**Date:** Tuesday, December 3, 2019 10:12:44 AM

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**From:** Nicki vanVonno <[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)>  
**Sent:** Tuesday, December 3, 2019 10:05 AM  
**To:** Clyde Dulin <[cdulin@martin.fl.us](mailto:cdulin@martin.fl.us)>  
**Subject:** FW: FWC Comments on Martin County 19-06ESR (CPA 19-23, Rio FLUM)

Nicki B. van Vonno, AICP  
Growth Management Department Director  
Martin County Board of County Commissioners  
772-288-5520  
[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)

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**From:** Hoehn, Ted <[ted.hoehn@MyFWC.com](mailto:ted.hoehn@MyFWC.com)>  
**Sent:** Tuesday, December 3, 2019 10:03 AM  
**To:** Nicki vanVonno <[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)>; [DCPexternalagencycomments@deo.myflorida.com](mailto:DCPexternalagencycomments@deo.myflorida.com);  
Wallace, Traci <[traci.wallace@MyFWC.com](mailto:traci.wallace@MyFWC.com)>; Greene, Sean <[Sean.Greene@MyFWC.com](mailto:Sean.Greene@MyFWC.com)>  
**Subject:** FWC Comments on Martin County 19-06ESR (CPA 19-23, Rio FLUM)



Dear Ms. van Vonno:

Florida Fish and Wildlife Conservation Commission (FWC) staff has reviewed the proposed comprehensive plan in accordance with Chapter 163.3184(3), Florida Statutes. We have no comments, recommendations, or objections related to fish and wildlife or listed species and their habitat to offer on this amendment.

If you need any further assistance, please do not hesitate to contact our office by email at [ConservationPlanningServices@MyFWC.com](mailto:ConservationPlanningServices@MyFWC.com). If you have specific technical questions, please contact Sean Greene at (386) 406-0814 or by email at [Sean.Greene@MyFWC.com](mailto:Sean.Greene@MyFWC.com)

Sincerely,

Ted Hoehn  
Biological Administrator II  
Florida Fish and Wildlife Conservation Commission  
Division of Habitat and Species Conservation  
Office of Conservation Planning Services  
620 S. Meridian Street, MS 5B5  
Tallahassee, FL 32399-1600

**From:** [Nicki vanVonno](#)  
**To:** [Clyde Dulin](#); [Irene Szedlmayer](#)  
**Subject:** FW: Martin County Comprehensive Plan Amendment No. 19-0ESR  
**Date:** Wednesday, December 4, 2019 9:38:38 AM  
**Attachments:** [4B14 Martin County 1906ESR.pdf](#)

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Nicki B. van Vonno, AICP  
Growth Management Department Director  
Martin County Board of County Commissioners  
772-288-5520  
[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)

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**From:** Stephanie Heidt <[sheidt@tcrpc.org](mailto:sheidt@tcrpc.org)>  
**Sent:** Wednesday, December 4, 2019 9:14 AM  
**To:** 'DEO CPA Reports (DCPexternalagencycomments@deo.myflorida.com)'  
<[DCPexternalagencycomments@deo.myflorida.com](mailto:DCPexternalagencycomments@deo.myflorida.com)>; Nicki vanVonno <[nikkiv@martin.fl.us](mailto:nikkiv@martin.fl.us)>  
**Cc:** Eubanks, Ray <[Ray.Eubanks@deo.myflorida.com](mailto:Ray.Eubanks@deo.myflorida.com)>; Kelly Corvin ([Kelly.corvin@deo.myflorida.com](mailto:Kelly.corvin@deo.myflorida.com))  
<[Kelly.corvin@deo.myflorida.com](mailto:Kelly.corvin@deo.myflorida.com)>; Ed Zeno ([ed.zeno-Gonzalez@deo.myflorida.com](mailto:ed.zeno-Gonzalez@deo.myflorida.com)) <[ed.zeno-Gonzalez@deo.myflorida.com](mailto:ed.zeno-Gonzalez@deo.myflorida.com)>  
**Subject:** Martin County Comprehensive Plan Amendment No. 19-0ESR

Attached please find the draft staff report for the proposed amendment referenced above. This report will be on the agenda for action by the Treasure Coast Regional Planning Council at its December 13, 2019 meeting.

If you have any questions regarding this report, please feel free to contact me at 772.221.4060 or [sheidt@tcrpc.org](mailto:sheidt@tcrpc.org).

**Stephanie Heidt, AICP**  
*Economic Development and  
Intergovernmental Programs Director*  
**Treasure Coast Regional Planning Council**  
772.221.4060 Office  
772.475.3863 Cell  
[sheidt@tcrpc.org](mailto:sheidt@tcrpc.org)