

DISCLOSURE OF INTEREST AFFIDAVIT

BEFORE ME, the undersigned authority, duly authorized to take acknowledgments and administer oaths, personally appeared the undersigned person on the date set forth below, who, first being duly sworn, deposes and says under penalties of perjury:

1. That the record property owner(s) of the Real Property described in **Exhibit "A"** to this Affidavit is (are) as follows:

Name	Address
Jensen CAP Investments, LLC, a Florida limited liability company	105 Foulk Road Wilmington, DE 19803

(If more space is needed attach separate sheet)

2. That the following is a list of every natural person and entity with any legal or equitable interest in the property (as defined in Section 10.2.B.3. Land Development Regulations, Martin County Code):

Name	Address	Interest
Jensen Cap, a Delaware general partnership	105 Foulk Road Wilmington, DE 19803	100% owner property owner in section 1
Comprised of the following partners:		
Louis J. Capano, Jr.	105 Foulk Road Wilmington, DE 19803	30%
Louis J. Capano, III	105 Foulk Road Wilmington, DE 19803	30%

Name	Address	Interest
The Restated Trust f/b/o the issue of Louis J. Capano III, dated 6/30/17	105 Foulk Road Wilmington, DE 19803	20%
The Louis J. Capano III Irrevocable Trust dated 12/27/12	105 Foulk Road Wilmington, DE 19803	20%

(If more space is needed attach separate sheet)

3. That the following is a list of those, who have any interest in a contract for sale of the property, or a conveyance of any interest in the property, including but not limited to, real estate brokers and salespersons; and any and all mortgagees of the property:

Name	Address	Interest

(If more space is needed attach separate sheet)

4. That the following is a list of all other applications for which the applicant has an interest as defined in subsection b. and c. of Section 10.2.B.3. Land Development Regulations, Martin County Code currently pending before Martin County. The list shall

include any development applications, waiver applications, road opening applications, and lien reduction requests.

Application Name and/or Project Number	Names & Addresses of Parties involved	Date	Type of Application	Status of Application *
S185-012	Jensen CAP Investments, LLC 105 Foulk Road Wilmington, DE 19803	9-20-18	Revised master & final site plan	Pending

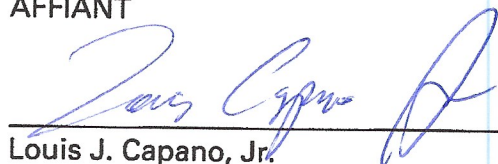
(If more space is needed attach separate sheet)

- Status defined as:
A = Approved
P = Pending
D = Denied
W = Withdrawn

This Affidavit is given for the purpose of establishing compliance with the provisions of Section 10.2.B.3 Land Development Regulations; Martin County Code.

FURTHER AFFIANT SAYETH NOT.

AFFIANT

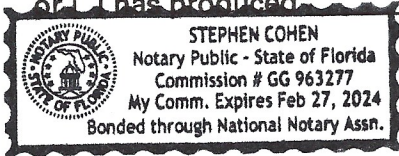


Louis J. Capano, Jr.

STATE OF Florida
COUNTY OF Palm Beach

The foregoing Disclosure of Interest Affidavit was sworn to, affirmed and subscribed before me by means of [☒] physical presence or [] online notarization, this 17 day

of July 2020, by LOUIS J. CAPANO, JR., who ☒ is personally known to me
or ☐ I has produced _____ as identification.



(Notary Seal)

Stephen Cohen
Notary Public, State of Florida
Print Name: Stephen Cohen
My Commission Expires: _____

EXHIBIT A
THE RESERVE AT JENSEN BEACH
LEGAL DESCRIPTION

PARCEL 1: LOT 15, DESTEUBEN'S SUBDIVISION OF THE WEST HALF OF THE NORTHWEST QUARTER SECTION 27, TOWNSHIP 37 SOUTH, RANGE 41 EAST, AS RECORDED IN PLAT BOOK 1, PAGE 13, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; ALSO DESCRIBED AS THE NORTH FIVE (5) ACRES OF THE SOUTH TEN (10) ACRES OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER SECTION 27, TOWNSHIP 37 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA, LESS THE SOUTH 10 FEET OF THE WESTERLY 660 FEET OF SAID LOT 15. TOGETHER WITH THE NORTH TEN (10) FEET OF THE EASTERLY 660 FEET OF LOT 16, DESTEUBEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 13, ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS, SAID LOT 16 ALSO BEING DESCRIBED AS THE SOUTH FIVE (5) ACRES OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 37 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA.

PARCEL 2: A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 37 SOUTH, RANGE 41 EAST, BOUNDED ON THE WEST BY THE EASTERLY RIGHT OF WAY OF STATE ROAD 723, ON THE NORTH BY THE WESTERLY EXTENSION OF THE NORTH LINE OF LOT 15 OF DESTEUBEN'S SUBDIVISION; ON THE EAST BY THE EASTERLY LINE OF SAID SECTION 28, AND ON THE SOUTH BY THE WESTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 15 OF DESTEUBEN'S SUBDIVISION, LOT 15 OF DESTEUBEN'S SUBDIVISION IS ALSO DESCRIBED AS THE NORTH FIVE (5) ACRES OF THE SOUTH TEN (10) ACRES OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 27 SOUTH, RANGE 41 EAST.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHTS-OF-WAY OF RECORD.

CONTAINING 223,405 SQUARE FEET, OR 5.129 ACRES MORE OR LESS. PCN :27-37-41-007-000-00150-0

AND TOGETHER WITH

THE EAST NINE HUNDRED FORTY (940) FEET OF THE FOLLOWING DESCRIBED PARCEL:

THE SOUTH FIVE (5) ACRES OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 37 SOUTH, RANGE 41 EAST, MARTIN COUNTY, FLORIDA; ALSO DESCRIBED AS LOT 16, DESTEUBEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 13, ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA PUBLIC RECORDS; LESS HOWEVER, THE NORTH TEN (10) FEET OF THE EASTERLY SIX HUNDRED SIXTY (660) FEET THEREOF.

TOGETHER WITH THE SOUTH TEN (10) FEET OF THE EASTERLY SIX HUNDRED SIXTY (660) FEET OF THE LOT 15, BEING PARALLEL WITH THE SOUTH LINE OF LOT 15, OF SAID DESTEUBEN'S SUBDIVISION, SAID STRIP OF LAND BEING TEN (10) FEET WIDE AND SIX HUNDRED SIXTY (660) FEET IN DEPTH ON THE FRONT PORTION OF SAID LOT 15.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHTS-OF-WAY OF RECORD.

CONTAINING 156,182 SQUARE FEET, OR 3.585 ACRES MORE OR LESS. PCN: 27-37-41-007-000-00161-0

AND TOGETHER WITH

ALL THAT PART OF LOTS 3 THRU 8, INCLUSIVE, OF J.T. CLEVELAND'S SUBDIVISION OF GOVERNMENT LOTS 2 AND 3, SECTION 27, TOWNSHIP 37 SOUTH, RANGE 41 EAST LYING NORTHERLY OF THE F.E.C. RIGHT-OF-WAY, AS SUBDIVIDED MARCH 21, 1894 IN PLAT BOOK 1, PAGE 213 PUBLIC RECORDS OF ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, AND RIGHTS-OF-WAY OF RECORD.

CONTAINING 622,704 SQUARE FEET, OR 14.295 ACRES MORE OR LESS. PCN: 27-37-41-005-000-00020-0

CONTAINING A TOTAL OF 1,002,291 SQUARE FEET, OR 23.009 ACRES MORE OR LESS.

AND TOGETHER WITH

AN ACCESS EASEMENT BEING A PORTION OF LOT 1 OF THE ORIGINAL HOMESTEAD OF ED. F. GLUTSCH SUBDIVISION, AS RECORDED IN PLAT BOOK 1 AT PAGE 213, PUBLIC RECORDS OF ST. LUCIE (NOW MARTIN) COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE S00°06'23"E ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 113.35 FEET; THENCE N45°00'01"W, A DISTANCE OF 160.59 FEET TO A POINT ON NORTH LINE OF SAID LOT 1; THENCE S89°53'38"E ALONG SAID NORTH LINE, A DISTANCE OF 113.35 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, AND THE POINT OF BEGINNING.

CONTAINING 6,423.78 SQUARE FEET OR 0.147 ACRES, MORE OR LESS.

SAID EASEMENT BEING SUBJECT TO ANY/ALL EASEMENTS, RESERVATIONS, DEDICATIONS OR RESTRICTIONS.

Jensen CAP Investments, LLC
105 Foulk Road
Wilmington, DE 19803

July 2, 2020

Paul Schilling, Director
Martin County Growth Management Department
2401 S.E. Monterey Road
Stuart, FL 34996

Re: The Reserve at Jensen Beach

Dear Mr. Schilling:

As owner of the property referenced above, please consider this correspondence formal authorization for Lucido & Associates to represent **Jensen CAP Investments, LLC** during the governmental review process of the Revised Master and Final Site Plan application.

Sincerely,

Jensen CAP Investments, LLC,
a Florida limited liability company

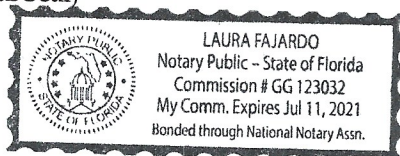
By: 

Louis J. Capano, Jr., Manager

STATE OF Florida
COUNTY OF Palm Beach

The foregoing was acknowledged before me by means of ☐ physical presence or ☐ online notarization, this 7th day of July, 2020, by Louis J. Capano, Jr., Manager of Jensen CAP Investments, LLC, a Florida limited liability company. He ☒ is personally known to me or ☐ has produced _____ as identification.

(Notarial Seal)




NOTARY PUBLIC

My Commission Expires: July 11th, 2021



Prepared by and return to:

Donald M. Allison, Esquire

Graner, Platzek & Allison, P.A.

720 East Palmetto Park Road

Boca Raton, Florida 33432

(561) 750-2445

File Number: OPT-2036

Parcel ID No.: 27-37-41-00-5000-00020.00000; 27-37-41-007-000-00150.00000 & 27-37-41-007-000-00161.00000

(space above this line for recording data)

Corrective Warranty Deed

THIS WARRANTY DEED, made this 24th day of October, 2019, by **Savannah Investments, LLC**, a Florida limited liability company, whose address is P.O. Box 2393, Stuart, Florida 34995 (as to Parcels 1 through 4) and **Davelu, LLC**, a Florida limited liability company, whose address is 759 S. Federal Highway, Suite 217 Stuart, Florida 34994 (as to Parcels 1 and 2) ("Grantor*"), to **Jensen CAP Investments, LLC**, a Florida limited liability company, whose address is 105 Foulk Road, Wilmington, DE 19803 ("Grantee*");

Witnesseth that said Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

SEE ATTACHED LEGAL DESCRIPTION

Subject to taxes for 2019, and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said Grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.


* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

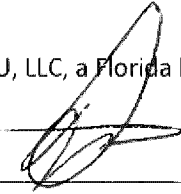
THIS CORRECTIVE DEED IS RE-EXECUTED, RECORDED AND DELIVERED BY THE GRANTORS TO GRANTEE TO CORRECT THE GRANTEE'S NAME WHICH WAS MISSTATED IN THAT CERTAIN ORIGINAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 3090, PAGE 2358, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

Signed, sealed and delivered in our presence:


 Witness printed name: April Duarte


 Witness printed name: Kristin Giles

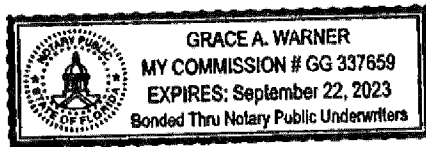
DAVELU, LLC, a Florida limited liability company

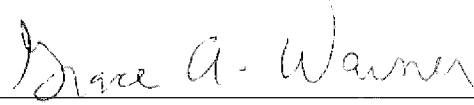
By: 
 David Christenson, Manager

State of Florida
 County of Martin

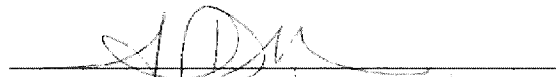
The foregoing instrument was acknowledged before me this 13th day of November, 2019, by David Christenson, as Manager for and on behalf of Davelu, LLC, a Florida limited liability company, who ☒ is personally known or { } has produced a driver's license as identification.


{Notary Seal}



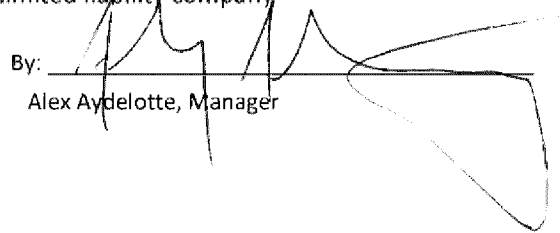

 Notary Public

Signed, sealed and delivered in our presence:


Witness printed name: Alex Aydelotte


Witness printed name: Grace A. Warner

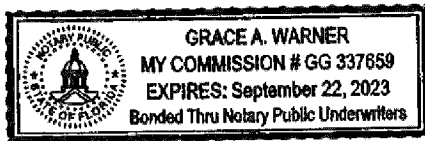
SAVANNAH INVESTMENTS, LLC, a Florida
limited liability company

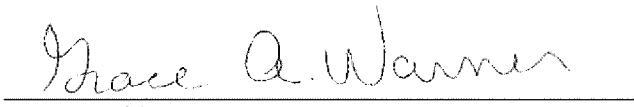
By: 
Alex Aydelotte, Manager

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 13th day of November, 2019, by Alex Aydelotte, as Manager for and on behalf of Savannah Investments, LLC, a Florida limited liability company, who ☒ is personally known or { } has produced a driver's license as identification.

{Notary Seal}




Notary Public

Legal Description

PARCEL 1:

All that part of Lots 3 through 8, inclusive, of J.T. Cleveland's Subdivision of Government Lots 2 and 3, of Section 27, Township 37 South, Range 41 East, Martin County, Florida, lying Northwesterly of Florida East Coast Railway Company's Northwesterly right-of-way limit, said right-of-way limit being located 50 feet Northerly of the centerline of said Railway's main track; said Subdivision being transcribed from Deed Book "X", page 752, Public Records of Brevard County, Florida and recorded in Plat Book 1, page 213, Public Records of St. Lucie (now Martin) County, Florida.

TOGETHER WITH a non-exclusive easements for the benefit of the above described parcel as created by and set forth in those certain Grants of Easement and Consent, Acknowledgment and Acceptance by Grantee recorded in Official Records Book 2107, pages 1544, Official Records Book 2128, page 1845 and Official Records Book 2128, page 1853, of the Public Records of Martin County, Florida.

PARCEL 2:

The East 940.00 feet of the following described parcel: The South 5 acres of the Southwest quarter of the Northwest quarter of Section 27, Township 37 South, Range 41 East, Martin County, Florida; also described as Lot 16, Desteuben's Subdivision, according to the map or plat thereof, recorded in Plat Book 1, page 13, Public Records of St. Lucie (now Martin) County, Florida; LESS however the North 10 feet of the Easterly 660 feet thereof. TOGETHER WITH the South (10) feet of the Westerly 660 feet of Lot 15, being parallel with the South line of Lot 15, said Desteuben's Subdivision, said strip being 10 feet wide and 660 feet in depth on the front portion of said Lot 15.

PARCEL 3:

Lot 15, DESTEUBEN'S SUBDIVISION of the West half of the Northwest quarter Section 27, Township 37 South, Range 41 East, as recorded in Plat Book 1, Page 13, Public Records of St. Lucie County, Florida; also described as the North five (5) acres of the South ten (10) acres of the Southwest quarter of the Northwest quarter Section 27, Township 37 South, Range 41 East, Martin County, Florida, LESS the South 10 feet of the Westerly 660 feet of said Lot 15. TOGETHER WITH the North ten (10) feet of the Easterly 660 feet of Lot 16, DESTEUBEN'S SUBDIVISION, according to the Plat thereof recorded in Plat Book 1, Page 13, St. Lucie (now Martin) County, Florida, Public Records, said Lot 16 also being described as the South five (5) acres of the Southwest quarter of the Northwest quarter of Section 27, Township 37 South, Range 41 East, Martin County, Florida.

PARCEL 4:

A parcel of land lying in the Southeast quarter of the Northeast quarter of Section 28, Township 37 South, Range 41 East, bounded on the West by the Easterly right of way of State Road 723, on the North by the Westerly extension of the North line of Lot 15 of DESTEUBEN'S SUBDIVISION; on the East by the Easterly line of said Section 28, and on the South by the Westerly extension of the South line of said Lot 15 of DESTEUBEN'S SUBDIVISION, Lot 15 of Desteuben's Subdivision is also described as the North five (5) acres of the South ten (10) acres of the Southwest quarter of the Northwest quarter of Section 27, Township 37 South, Range 41 East.